

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

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ZBA 2017-98
Petition of Wellesley College
106 Central Street

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday, December 7, 2017, at 7:30 p.m. in the Juliani Meeting Room, 525 Washington Street, Wellesley, on the petition of Wellesley College requesting Site Plan Approval pursuant to the provisions of Section XVIA and Section XXV of the Zoning Bylaw for a major construction project to install 33,000 square feet of temporary laboratory, classroom, and faculty office space to serve as swing space for the future renovation and expansion of the existing Science Center on Wellesley College's campus, at 106 Central Street, in an Educational District. The Petitioner is requesting a Special Permit pursuant to Section XIVE and Section XXV of the Zoning Bylaw for a major construction project in a Water Supply Protection District.

On November 16, 2017, the Petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing was Justin Mosca, VHB. Also present were Michelle Maheu, Wellesley College, Carl Franceschi, DRA Architects, and Dave Conway, Nitsch Engineering.

Mr. Mosca said that Site Plan Approval for the temporary trailers is one of the phases in the modernization of the Science Center at the College. He said that this will be swing space for the other components. He said that there will be some renovation work and some new construction. He said that classrooms, office and laboratories will be located in the temporary facilities, which will be design build modular construction. He said that the lease for the trailers is three years. He said that there will be two phases. He said that the footprint of the building will stay the same in the second phase once a portion of the Science Center Project is completed and the program gets moved back. He said that it will be all interior renovation after that. He said that the project will not be visible from any public streets.

Mr. Mosca said that because the trailers are design build pods, they do not have all of the mechanicals or foundation information yet. He said that part of this request is that it be granted with provision that the Building Inspector will have the authority to approve the building plans. He said that all of the stairs and ramps will be site built. He said that the modulars will sit above grade by approximately four feet. He said that the parking lot where the trailers will be installed will remain underneath. He said that the lot will be re-established when the trailers are removed.

Mr. Mosca said that there will be minimal impact to existing vegetation in the parking lot. He said that the project will conform to the existing topography. He said that the pods can be set at different elevations and connections made between them.

Mr. Mosca said that sewer connections will run along the west side of the pods. He said that the connections will be determined based on the design build and where they will need plumbing coming out of the building. He said that they will connect to an existing on campus collection system. He said that there is an existing water connection on the north side that will connect into the building. He said that there is a 36 inch perforated pipe for stormwater. He said that it will offset temporary impervious surface that will become pervious once the trailers come out.

Mr. Mosca said that there will be walkway connections to existing walkways. He said that there will be ramps to connect the walkways accessibly into the pods. He said that they will be providing some accessible space by the trailers to accommodate handicapped parking. He said that the displaced parking from the lot was reviewed by the Board of Selectmen as part of the PSI submittal. He said that parking will be temporarily redistributed throughout the campus.

Mr. Mosca said that they received comments from the Department of Public Works (DPW) about a week ago. He said that VHB submitted a response to comments memo. He said that the contractor realigned the pods to make them more parallel because they are easier to construct that way. He said that the south end was brought up to be entirely within the parking lot limit. He said that they will remove some trees to accommodate that. He said that 19 trees were originally scheduled to be removed but that number has been reduced to 7. He said that there will be a small retaining wall around a corner so as to not disturb utilities.

A Board member confirmed that the College has a chemical removal contractor for the existing laboratories. He asked how that will be handled in the temporary space. Ms. Maheu said that the College will continue to have the contractor remove hazardous materials. Mr. Mosca said that hazardous materials will be stored in locked storage with access only by trained people. He said that the College does not store large quantities of hazardous materials in the classrooms. Ms. Maheu said that it will be the same process that they use now but will be consolidated and downsized a bit.

A Board member said that the project is located in a Water Supply Protection District (WSPD) where there are unique requirements for facilities for hazmat, wastes, storage and handling. He said that he did not see a lot in the submittal package that talked about that. He said that it was not explained how they will be moving things from the Science Center into this space. He said that the Board would be concerned about the gravel around the perforated pipe and things being brought in that are not allowed in the WSPD. He said that there was no information submitted about refueling construction vehicles.

Mr. Conway said that the type of construction for this project is not heavy. He said that the parking lot will not be disturbed and there will not be large areas of uncovered earth. He said that the foundations will get drilled in, and trailers will arrive on trucks and be assembled and blocked together. He said that stone around the 36 inch infiltration pipe is not as needed as it once was because of the change in layout with the project being located over the existing parking lot. He said that the stone will be clean double washed crushed stone. He said that the only other digging will be for the sewer line, and short water connections. He said that a good deal of the electrical lines will be pole mounted because they are only

going to be there for a couple of years. He said that Wellesley MLP will put in the poles and do some of the power work.

Mr. Conway said that the project is more of an assembly rather than construction. He said that there are a couple of special parts to the project, the chemical storage being one of them. He said that the assembly itself is fairly light construction.

The Board asked about the fire protection road and turn around on the west side. Mr. Conway said that will be paved.

Mr. Mosca said that the only site work for the turnaround is connecting the apron. He said that they are still trying to figure out the volume of chemicals that will be stored. He said that if it reaches a certain volume it will require secondary containment. A Board member said that because there are incomplete technical solutions, it is hard for the Board to get the conditions right. Mr. Mosca said that the College has staff that is dedicated to environmental health and safety and they will drive the process to make sure that the project is in full compliance.

A Board member said that he did not see in the Construction Management Plan (CMP) how construction traffic will get to the site. Mr. Conway said that when the CMP was prepared the contractor had not been selected yet. He said that the Applicant has since selected Triumph Modular of Littleton, MA as the contractor. He said that they will work directly with the Police Department on a construction traffic route to the site. Mr. Franceschi said that they will not be oversized vehicles. He said that Turner Construction is the contractor for the larger construction project on campus. He said that their construction traffic route is down Weston Road to the College Road entrance off of Washington Street. A Board member said that Weston Road, from Route 135 to Route 9 is heavily congested. He said that putting 60 foot long modules on there will force the line of traffic back even further. Mr. Conway said that his guess is that the modules will be coming from the west on Route 135.

A Board member said that the Board is interested in knowing the site impacts, such as number of workers, how long will they be there, where will they park, and types of vehicles. He said that the other considerations concern things that relate to the WSPD including specs on the materials and control of what is happening in the modules in terms of hazmats. He said that the Board has not seen anything that addresses those issues. He said that the Board is concerned about when the trailers will arrive in Wellesley and how they will get to the site.

The Board voted unanimously to continue the hearing to December 15, 2017.

December 15, 2017

Present were Justin Mosca, VHB, David Conway, Nitsch Engineering, Chris Ridge, Wellesley College, Carl Franceschi, DRA Architects, Miranda Volpicelli, VHB, and Michelle Maheu, Wellesley College.

Mr. Mosca said that VHB issued a response to questions from the Board.

The Chairman said that construction workers will park on site. He asked about plans to contain spills from vehicles. Mr. Mosca said that the site will be over the existing parking lot that is designed to handle that. He said that there will be fewer cars at the site because they will be displaced by the modulars.

The Chairman asked when the trailers will be brought to the site. Mr. Mosca said that they will be brought in between 9 am and 6 pm. He said that they will most likely be brought in from the west on Route 135, which is the route that was used for the recent Pendleton Project on campus. He said that they will have to get MassDOT approval on State roads.

The Chairman said that he was concerned about the weight of the trailers on the existing parking lot. Mr. Mosca said that a foundation system will be going in.

A Board member confirmed that runoff will drain to an existing system. He said that care must be taken to not block catch basins. Mr. Conway said that they will mark the utilities. He said that there will be underground storage for some of the trailers. He said that the drainage system will be cleaned and inspected so that everything works as it is supposed to.

A Board member asked about temporary directional signs. He said that because the project is located on campus, there is no need for a large construction sign at the site for the public. Mr. Conway said that the new loading dock may have a small sign. He said that the Stormwater Pollution Prevention Plan describes a directory at the job trailer with contact information and numbers. Ms. Maheu said that there will be construction traffic directions and delivery signs. She said that there will be fencing around the project site.

The Board asked about additional security lighting. Ms. Maheu said that there will be lights on the trailers and the walkways. She said that the campus police will monitor the site. Mr. Conway said that there will not be any major construction lighting. Mr. Mosca said that existing lights will be maintained.

Mr. Conway said that the Applicant met with the Fire Department to discuss access.

A Board member said that the plan is to use existing infrastructure to meet the requirements of the WSPD bylaw. He said that the Board will need assurances that any fill meets the requirements and standards under the bylaw. He asked who will supervise that. Ms. Maheu said that the College has an Environmental Health & Safety Director, who will be responsible.

The Chairman said that all equipment should be brought in from Route 135 in Natick.

The Board discussed the temporary nature of the completed project. The Board said that the temporary units will be referred to as modular so as not to confuse them with trailers that are referenced in bylaw language.

There was no one present at the public hearing who wished to speak to the petition.

Submittals from the Applicant

- Letter to Zoning Board of Appeals, dated 10/31/17, from Justin Mosca, PE, Project Manager, VHB, re: Wellesley College Temporary Trailers: Modular Laboratory, Classroom and Office Space – Application for Site Plan Review/Special Permit
- Application for Site Plan Approval
- Site Plan Approval Review Plans and Submittal Checklist
- Development Prospectus, dated 10/31/17
- Site Locus Plan
- Abutters List
- Fire Access Accommodations – Letter to Zoning Board of Appeals, dated 10/25/17, stamped by David M. Conway, PE, Nitsch Engineering, re: Fire Truck Access
- Construction Management Plans – Phase 1 – Existing Conditions until 12/31/17, Phase 2 – Temp Science (Trailer) Install 12/31/17 – 06/01/18, TSK-01 Wellesley College Science Center Site Logistics – Truck Traffic Plan
- Municipal Systems Impact Analyses
 - Electrical System – Memorandum, dated 10/30/17, from VHB, re: Electrical Systems Impact Analysis
 - Building Occupant Life Safety – Memorandum, dated 10/30/17, from VHB, re: Building Occupant Life Safety
 - Refuse Disposal System - Memorandum, dated 10/30/17, from VHB, re: Refuse Disposal and Recycling
 - Water System - Memorandum, dated 10/30/17, from VHB, re: Water Distribution System Impact Analysis
 - Sanitary Sewer - Memorandum, dated 10/30/17, from VHB, re: Sanitary Sewer System Impact Analysis
 - Storm Drainage Systems - Memorandum, dated 10/3/17, from Dave Conway, Nitsch Engineering, re: Stormwater Analysis and Project Description
 - Traffic Impact - Memorandum, dated 6/15/17, from VHB, re: Transportation Evaluation
- Letter to Zoning Board of Appeals with attachments, dated 12/7/17, from Justin Mosca, PE, re: Revised Site Plan Approval/Special Permit Materials

Plan Number	Drawing Title	Date of Issue	Prepared By	Date of Revision
	Cover Sheet	10/25/17	Carl Franceschi, RA	12/06/17
A0.1	Overall Layout Plan	10/3/17	Carl Franceschi, RA	10/25/17
A1.0	First Floor Plan Phase 1	10/3/17	Carl Franceschi, RA	10/25/17, 11/22/17, 11/29/17, 12/4/17, 12/5/17, 12/6/17
A1.2	First Floor Plan Phase 2	10/3/17	Carl Franceschi, RA	10/25/17
A1.3	Roof Plan	10/3/17	Carl Franceschi, RA	10/25/17
A1.4	Modular Elevations	10/3/17	Carl Franceschi, RA	10/27/17
A1.5	Typical Plans and Details	10/3/17	Carl Franceschi, RA	10/25/17

C-000	Existing Conditions Plan	10/26/17	Denis R. Seguin, PLS	
C-010	Plot Plan	10/27/17	David M. Conway, PE	12/5/17
C-100	Site Preparation Plan	10/27/17	David M. Conway, PE	12/5/17
C-200	Erosion and Sedimentation Control Plan	10/27/17	David M. Conway, PE	12/5/17
C-300	Site Layout and Grading Plan	10/27/17	David M. Conway, PE	12/5/17
C-400	Site Utility Plan	10/27/17	David M. Conway, PE	12/5/17
C-401	Sewer Plan and Profile	10/27/17	David M. Conway, PE	12/5/17
C-500	Erosion and Sedimentation Control Details	10/27/17	David M. Conway, PE	12/5/17
C-501	Site Utility and Layout Details	10/27/17	David M. Conway, PE	12/5/17

On November 16, 2017, the Design Review Board reviewed the project and voted unanimously to approve the project.

On November 24, 2017, David Allen, Supervisory Electrical Engineer, Municipal Light Plan, reviewed the project and submitted comments.

On November 29, 2017, George Saraceno, Senior Civil Engineer, DPW Engineering Division submitted comments regarding the proposed project.

On December 5, 2017, the Planning Board reviewed the project and submitted recommendations.

On December 6, 2017, Deputy Chief DiGiandomenico, Wellesley Fire Department, reviewed the project and submitted comments.

DECISION

The Board's approval of the Site Plan for the Project is premised on the Applicant's and Project's compliance with the following conditions (the "Conditions"). All requirements imposed by the Conditions or this Site Plan Approval shall be applicable to the entity responsible for the administration of the Project regardless of whether the condition specifically identifies the Applicant, the responsible entity, or no entity as having responsibility for a particular condition. By accepting this Site Plan Approval, the Applicant agrees to the terms, covenants, conditions, and agreements contained herein.

The Board found that the project meets the requirements of Section XIVE of the Zoning Bylaws for Water Supply Protection Districts. The Board voted unanimously to grant a Special Permit for a Major Construction Project in a Water Supply Protection District.

CONDITIONS

1. By accepting this Site Plan Approval the Applicant agrees to the terms, covenants and conditions and agreements contained herein. This Site Plan Approval shall expire one year from the date hereof unless construction has begun by that date. The Applicant may apply to the Board for reasonable extensions to this Site Plan Approval for good and sufficient reason.
2. Except for the relief granted by the Board as listed in these Conditions, the Applicant shall comply with all provisions of the Zoning Bylaw and general bylaws generally applicable to a project approved on December 21, 2017. No fees are waived in connection with the Project. Fees shall be those then in effect at the time of application for the permit or approval subject to the fee.
3. Contract documents, including working drawings and specifications for the Project shall undergo the usual and customary review and approvals of the Building Inspector, the Town Engineer, or any other applicable local inspector or board.
4. The Applicant shall establish a website, or use an existing website during the duration of site construction activities, to provide Town officials and residents access to the most current scheduled activities and for notification of upcoming project events that reasonably have potential to impact the surrounding neighborhood.

Design Conditions

4. Design and construction of the Project shall fully comply with all applicable federal and state laws and regulations, including, but not limited to, the requirements of the Massachusetts State Building Code (780 CMR) and the Massachusetts Architectural Access Board (521 CMR). The Project shall be designed and constructed on the Site in accordance with the Plans, except as provided in this Site Plan Approval, including these Conditions. Any requirement of consistency with the Plans means as those Plans are modified by the Conditions.
5. The Applicant shall establish, apply, and maintain a reasonable procedure under which appropriate members of the Wellesley College faculty, with the Director of Environmental Health and Safety, shall review and approve a program for the delivery, use, storage, and disposal of any Toxic or Hazardous Materials (as defined in Section XIVE of the Zoning Bylaw) in any part of the Project. The procedure shall, as a minimum, meet the applicable requirements of Section XIVE(F) of the Zoning Bylaw.

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Construction Conditions

6. The Applicant shall implement its Traffic Management Plan as specified in its VHB memorandum dated December 12, 2017, as modified by these Conditions.
7. During the period of construction, all construction equipment and materials deliveries shall utilize: (1) Route 135 to the Wellesley College main entrance; or (2) any other such route as the Applicant shall agree with the Wellesley Police Department prior to its use.
8. During the period of construction, all deliveries of construction materials and equipment shall be made only on Monday through Friday no earlier than 7:00 am and no later than 6:00 pm. Construction work may be performed on the site Monday through Friday commencing not earlier than 7:00 am and completing not later than 6:00 pm. Exterior and site work may be performed on Saturday commencing not earlier than 8:00 am and completing not later than 6:00 pm. Exterior and site work on Sunday or on a holiday in the Town is prohibited.
9. During the period of construction, on-site parking for construction workers and for construction equipment is specifically permitted, and no vehicles of construction workers and no construction equipment shall be parked on any public way of the Town. Trucks and construction vehicles on-site shall shut off engines when not in use, or when idling time exceeds five minutes.
10. All construction and delivery vehicles entering the site shall stop at an established construction exit for a wheel wash to prevent the entrance of materials deleterious to the Water Supply Protection District onto the streets of the Town. The Applicant shall cause connecting streets to be swept as frequently as required in the event that dust, dirt and debris not completely removed by the truck wash are deposited on the street.
11. Insofar as practicable, refueling of construction equipment on the site shall be prohibited. In the event that on-site refueling cannot be avoided, such refueling shall be performed with due consideration to spill prevention and control measures that should reasonably be applied in a Water Supply Protection District.

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Use Conditions

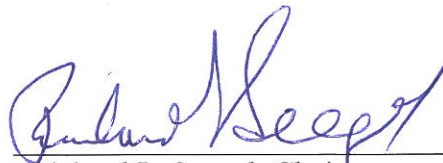
12. Operation and maintenance of the stormwater run-off and drainage system shall comply with the requirements of the Town's "Municipal Stormwater Drainage System Rules and Regulations" in effect as of December 21, 2017.
13. To implement the Operation and Maintenance Plan and Long Term Pollution Prevention Plan, the Applicant shall either deploy a qualified third party contractor or its own staff to perform the O&M activities, provided that the personnel performing the work, whether third party contractor or its own staff, shall be trained in performance of the work in accordance with manufacturer's requirements, and shall be certified or qualified by the manufacturer if the manufacturer offers such certification or qualification.
14. There shall be no storage of prohibited chemicals, in accordance with Section XIVE of the Zoning Bylaw.

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Petition of Wellesley College
106 Central Street

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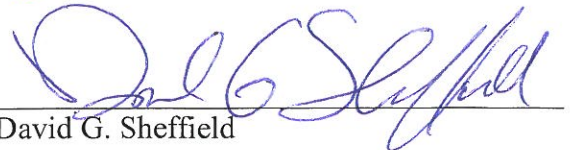
APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN THE
OFFICE OF THE TOWN CLERK.



Richard L. Seegel, Chairman



J. Randolph Becker



David G. Sheffield

cc: Planning Board
Inspector of Buildings
lrm