

TOWN OF WELLESLEY



MASSACHUSETTS

## BOARD OF SELECTMEN

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

ELLEN F. GIBBS, CHAIR  
JACK MORGAN, VICE CHAIR  
MARJORIE R. FREIMAN, SECRETARY  
BETH SULLIVAN WOODS  
THOMAS H. ULFELDER

FACSIMILE: (781) 239-1043  
TELEPHONE: (781) 431-1019 x2201  
[WWW.WELLESLEYMA.GOV](http://WWW.WELLESLEYMA.GOV)  
BLYTHE C. ROBINSON  
EXECUTIVE DIRECTOR OF GENERAL GOVERNMENT

### SELECTMEN'S MEETING *TENTATIVE AGENDA* Wellesley Town Hall – Juliani Room **7:00 P.M. Monday, October 30, 2017**

1. 7:00 Citizen Speak
2. 7:05 Executive Director's Update
  - Acceptance of Gifts for Holiday Lighting
  - Discuss Free Holiday Parking
  - Approve Revised Holiday Schedule for Town Hall
3. 7:15 Retail Sale of Beer and Wine License – Whole Foods, 442 Washington St.
4. 7:35 Joint Meeting with Planning Board and Wellesley Housing Development Corp.
  - Housing Production Plan
  - 135 Great Plain Avenue Site Eligibility Review
5. 8:50 Update on Hardy, Hunnewell, and Upham Swing Space
6. 9:00 Review FY18 Work Plan
7. 9:10 Discuss Licensing Alcohol in Town Building Proposal
8. 9:20 New Business/Correspondence

Next Meeting Dates: Tuesday, November 7, 2017 7:00 p.m.  
Monday, November 13, 2017 7:00 p.m.  
Monday, November 27, 2017 7:00 pm



## **MOTIONS- OCTOBER 30, 2017:**

2. **MOVE to accept a gift of TBD prior to meeting.**
  
2. **MOVE to authorize two-hour free on-street parking in Wellesley Square, Wellesley Hills, and Wellesley Lower Falls for the entire month of December 2017. This free parking does not apply to four-hour and 10-hour parking meters or commuter rail parking lots.**
  
2. **MOVE to alter the holiday calendar for calendar year 2018 to close Town Hall on November 24th (day after Thanksgiving) in lieu of half day holidays on December 22nd and 29th).**
  
3. **MOVE to authorize a license for retail sale of wines and malt beverages for off premises consumption to Whole Foods Market Group, Inc. for their Whole Foods Store located at 442 Washington Street until December 31, 2017 and to name Kimberly Pinelli as manager.**
  
4. **Move to convene a joint meeting with the Planning Board and Wellesley Housing Development Corporation.**

**Move to elect Ellen Gibbs as chair of the joint meeting.**

**Move to elect Deb Carpenter as secretary of the joint meeting.**

**Move to dissolve the joint meeting of the Board of Selectmen, Planning Board and Wellesley Housing Development Corporation.**



10/27/2017

Black regular agenda items

**Board of Selectmen Calendar – FY17**

<b>Date</b>	<b>Selectmen Meeting Items</b>	<b>Other Meeting Items</b>
<i>11/6 Monday</i>	<b>Wellesley Club</b>	
<i>11/7 Tuesday</i>	<b>Meeting</b> Whole Foods - Retail Sale License if Needed 135 Great Plain - if needed. Joe McDonough - Town Hall and Library Review Model Designer Selection Document Sweet Greens Fire Chief & Ass't Fire Chief Contracts Naming of Add'l Rooms - TPC	
<i>11/13 Monday</i>	<b>Meeting</b> Joe - FMD Capital Presentation 148 Weston Road - 40B Letter Traffic Committee Update COA Board – FY19 Budget Discussion	
<i>11/20 Monday</i>	<b>NO Meeting</b>	
<i>11/27 Monday</i>	<b>Meeting</b> Trail Signs – MWRA Cochituate Aqueduct	
<i>12/2 Saturday</i>	<b>BUDGET Meeting</b> Budget Workshop - 8 AM - Noon	
<i>12/4 Monday</i>	<b>Meeting</b> Tax Classification Hearing (7:15 - Advertised) Vote to open/close warrant for ATM	
<i>12/11 Monday</i>	<b>Meeting</b> Quarterly Traffic Update	
<i>12/18 Monday</i>	<b>Meeting</b>	
<i>12/25 Monday</i>	<b>TOWN HALL CLOSED</b>	
<i>1/1/18 Monday</i>	<b>TOWN HALL CLOSED</b>	
<i>1/8 Monday</i>	<b>Meeting</b>	
<i>1/15 Monday</i>	<b>Town Hall Closed – MLK</b>	
<i>1/16 Tuesday</i>	<b>Meeting</b>	
<i>1/22 Monday</i>	<b>Wellesley Club</b>	
<i>1/23 Tuesday</i>	<b>Meeting</b>	
<i>1/29 Monday</i>	<b>Possible STM Date</b>	
<i>1/30 Tuesday</i>	<b>Possible STM Date</b>	

10/27/2017

Black regular agenda items

<i>Date</i>	<i>Selectmen Meeting Items</i>	<i>Other Meeting Items</i>
2/5 <i>Monday</i>	<b>Possible STM Date</b>	
2/6 <i>Tuesday</i>	<b>Possible STM Date</b>	
2/12 <i>Monday</i>	<b>Meeting</b>	
2/19 <i>Monday</i>	<b>Town Hall Closed – President's Day</b>	
2/20 <i>Tuesday</i>	<b>Meeting</b>	
2/26 <i>Monday</i>	<b>Meeting</b>	
3/5 <i>Monday</i>	<b>Wellesley Club- Town Affairs Night</b>	
3/6 <i>Tuesday</i>	<b>Meeting</b>	<b>Tuesday 3/6- Town Election</b>
3/12 <i>Monday</i>	<b>Meeting</b>	
3/19 <i>Monday</i>	<b>Meeting</b>	
3/26 <i>Monday</i>	<b>ATM Starts</b>	
3/27 <i>Tuesday</i>	<b>ATM</b>	
4/2 <i>Monday</i>	<b>ATM</b>	
4/3 <i>Tuesday</i>	<b>ATM</b>	

**Notes**

*Quarterly updates*

- *Traffic Committee (Deputy Chief Pilecki)*
- *Facilities Maintenance (Joe McDonough)*
- *Wellesley Club Dates 11/6/17, 1/22/18, 3/5/18*

T O W N O F W E L L E S L E Y



M A S S A C H U S E T T S

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Our regularly scheduled meeting at the normal time of **Monday at 7:00 PM** in the Juliani Room.

### 1. Citizen's Speak



## **2. Executive Director's Update**

### Acceptance of Gifts for Holiday Lighting -

Selectman Sullivan Woods has been working with DPW, MLP and NRC regarding additional trees for lighting this holiday season. In anticipation of this she has asked that this be on our agenda so that action could be taken. I understand that there is a donation from an anonymous donor that would require the board's action. At the time the packet was completed for the FNM the details were not available, thus we will update the motions before the meeting.

**MOVE** to accept a gift of TBD prior to meeting.



Discuss Free Holiday Parking -

This year the Wellesley Merchant's Association has made a request for free parking for during the entire month of December. Historically the Board has only approved three weeks of free parking in Wellesley Square. The BOS extended free parking, towards the end of the 3-week period last year to include Wellesley Hills. Lower Falls has never been included. Staff believes that targeting the 2-hour parking throughout Town would be equitable to the merchants. Four and ten hour meters are for the business employees and commuters. In the four hour spaces, if using the Passport App, it allows you to extend the 4 hours to up to 8 hours (this was requested by the merchants).

Included is a map and overview by Terry of the impact of authorizing free parking at all of the two-hour meters in Town for the Board's consideration.

**MOVE** to authorize two-hour free on-street parking in Wellesley Square, Wellesley Hills, and Wellesley Lower Falls for the entire month of December 2017. This free parking does not apply to four-hour and 10-hour parking meters or commuter rail parking lots.



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**DATE:** October 27, 2017  
**TO:** Board of Selectmen  
**FROM:** Terry Connolly  
**SUBJECT:** 2 Hour Free Parking – December 2017

The Selectmen have been asked to approve free parking in all three business districts for the entire month of December. In the past, free parking was granted for three weeks in Wellesley Square only. Last year Wellesley Hills was included for weeks two and three. This free parking only applied to two-hour parking meters and not the commuter rail lots or four-hour and ten-hour parking meters.

Attached are 3 maps depicting all parking spaces in Wellesley Square, Wellesley Hills and Wellesley Lower Falls. The counts of the all parking limits is below.

Parking Limit	Wellesley Square	Wellesley Hills	Wellesley Lower Falls
2 Hour	245 on-street space 28 parking lot spaces	181 on-street spaces	18 on-street spaces 43 parking lot spaces
4 Hour	180 parking lots spaces	0	14 parking lot spaces
10 Hour	63 spaces	0	20 parking lot spaces

To provide a better estimate of lost revenue, we used actual on-street collections for the month of September 2017.

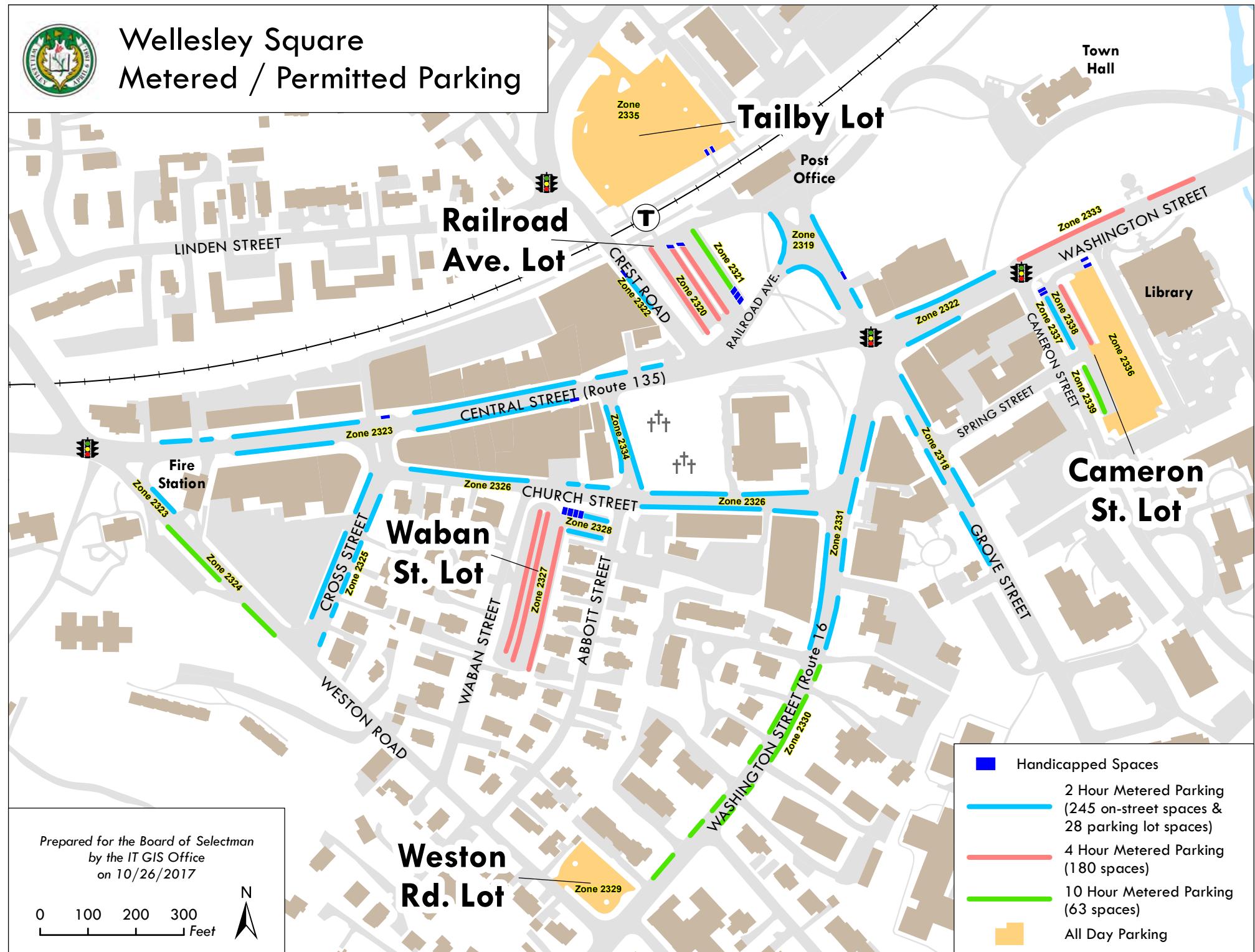
Wellesley Square - \$11,000 collected September 2017

Wellesley Hills/Lower Falls - \$5,000 collected September 2017

**Estimated total lost revenue from 2-hour free parking throughout town in December 2017  
\$16,000.**

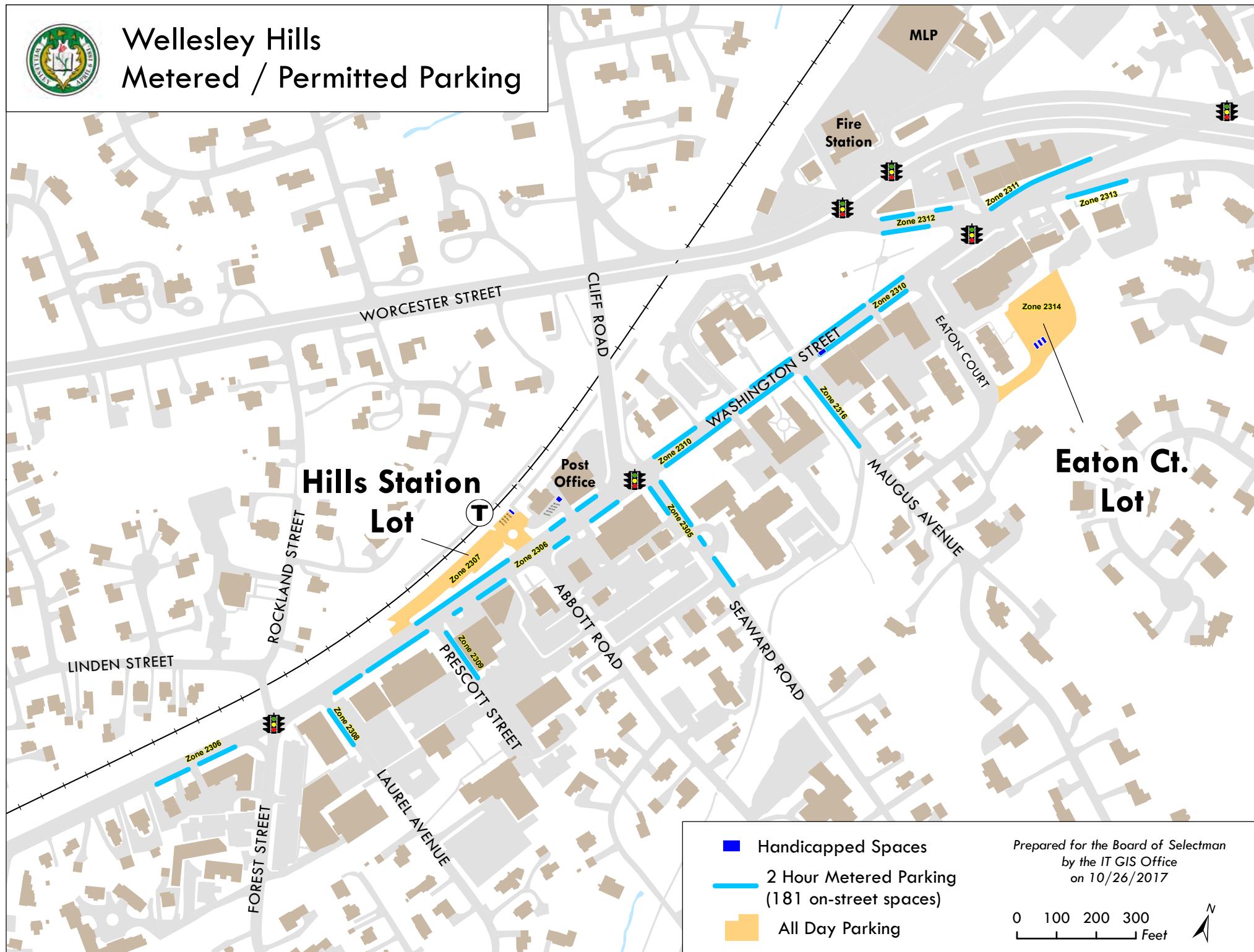


# Wellesley Square Metered / Permitted Parking





# Wellesley Hills Metered / Permitted Parking



■ Handicapped Spaces  
■ 2 Hour Metered Parking  
(181 on-street spaces)  
■ All Day Parking

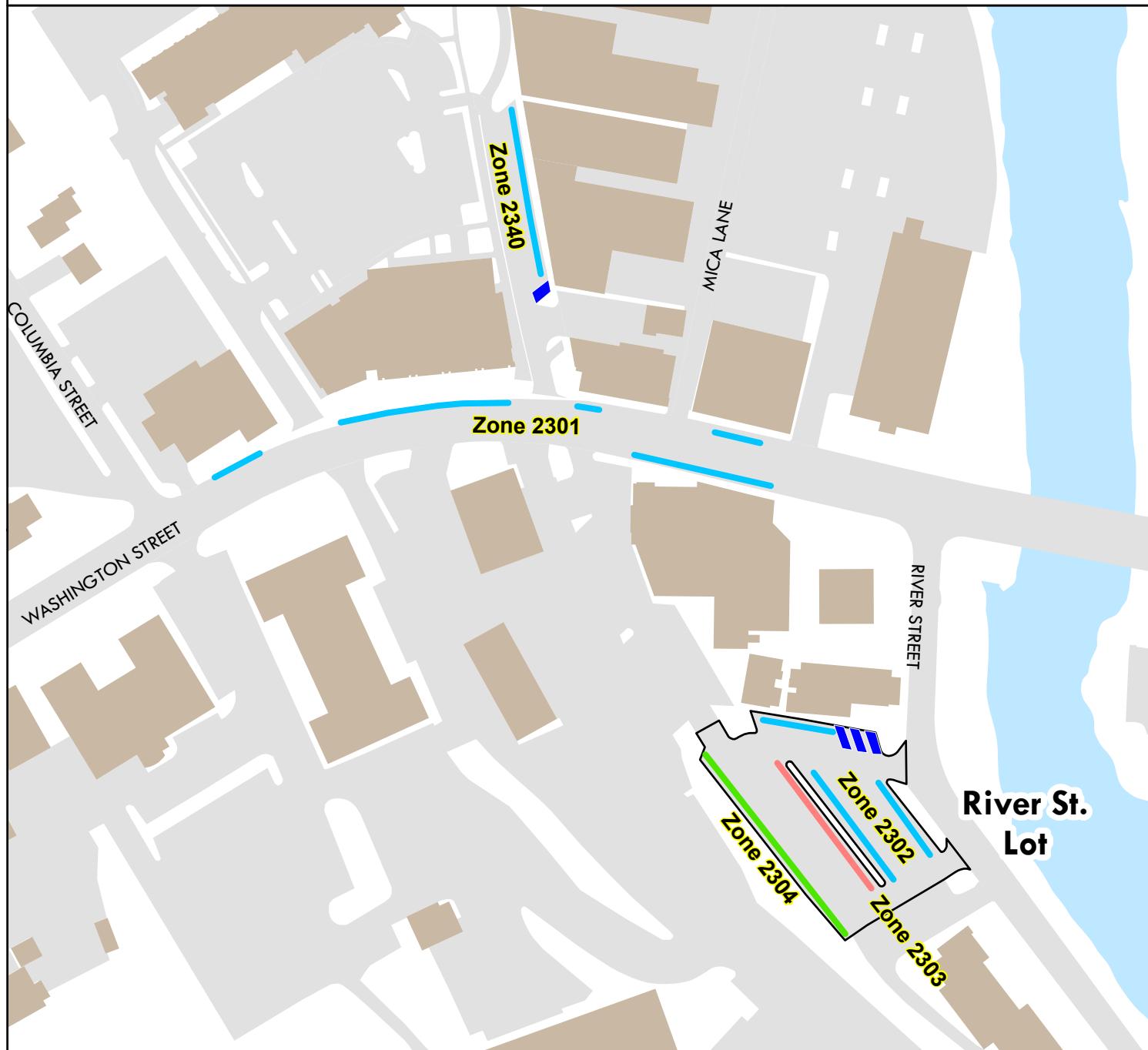
Prepared for the Board of Selectmen  
by the IT GIS Office  
on 10/26/2017

0 100 200 300  
Feet





# Wellesley Lower Falls Area Metered / Permitted Parking



- Handicapped Spaces
- All Day Parking
- 2 Hour Metered Parking:  
— (18 on-street spaces & 43 parking lot spaces)
- 4 Hour Metered Parking:  
— (14 parking lot spaces)
- 10 Hour Metered Parking:  
— (20 parking lot spaces)

Prepared for the Board of Selectman  
by the IT GIS Office  
on 10/26/2017



0 125 250 Feet

Approve Revised Holiday Schedule for Town Hall -

The holiday calendar for employees at the end of the year provides for Thanksgiving on November 23<sup>rd</sup>, a half-day holiday on the “eve” of Christmas and New Year’s (December 22<sup>nd</sup> & 29<sup>th</sup>) as well as Christmas and New Year’s (December 25<sup>th</sup> and January 1<sup>st</sup>). Due to the way the calendar falls, employees will benefit from having a three-day weekend for Christmas and New Year’s and so the question was raised about whether the half days could be adjusted in some way. This has been discussed with the staff at Town Hall as well as the department heads, and the consensus is that combining them into one day off and celebrating that the day after Thanksgiving is best. I understand that typically the traffic flow of customers doing business at Town Hall is very low the day after Thanksgiving, and thus the least impact. I recommend that for this year this change be made.

**MOVE** to alter the holiday calendar for calendar year 2018 to close Town Hall on November 24<sup>th</sup> (day after Thanksgiving) in lieu of half day holidays on December 22<sup>nd</sup> and 29<sup>th</sup>).



**3. Retail Sale of Beer and Wine License – Whole Foods, 442 Washington St -**

Earlier this fall Whole Foods approached our office to inquire about the opportunity of applying for a beer and wine license at their store on Washington Street. Included in your packet is their application. The complete application is over 254 pages and includes CORI information and the lease with Gravestar and Amazon. Those aspects of the application have not been included, but a link will be sent to you, should you want to review those materials. Meghan and I met with them early in the fall and indicated the types of concerns the board would be likely to have such as the amount of square footage in the store reserved for this purpose, the mechanisms they would use to scrutinize out of state licenses, and their overall plan to add this component to the store.

Their final license application takes these matters into consideration. The applicants proactively met with Lieutenant Cleary and Chief Pilecki, who have also thoroughly reviewed the application and have signed off on the proposal. The applicants have also followed up with the Building Inspector, DRB, and Board of Health. We recommend that their request be approved. They have reduced the total square footage (retail and storage space) to 2,000 which matches what has been authorized for Roche Brothers. (Initially there was a question as to whether storage could be in excess of the 2,000 square feet of retail space.) They have removed the request to have these beverages located at the checkout lanes as requested by Chief Pilecki. Should the board approve of their application, the next step will be to submit that the State ABCC for their approval as well.

**MOVE** to authorize a license for retail sale of wines and malt beverages for off premises consumption to Whole Foods Market Group, Inc. for their Whole Foods Store located at 442 Washington Street until December 31, 2017 and to name Kimberly Pinelli as manager.



## **Henderson, Heidi**

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**From:** Jop, Meghan  
**Sent:** Friday, October 27, 2017 11:04 AM  
**To:** Henderson, Heidi  
**Subject:** Fwd: Whole Foods/Wellesley - Beer and Wine License  
**Attachments:** Pages from Untitled.pdf

See attached for FNM- put this as first document.

Thanks

Meghan Jop  
Assistant Exec. Director

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**From:** Brent McDonald <BMcDonald@nutter.com>  
**Sent:** Thursday, October 26, 2017 2:28:06 PM  
**To:** Jop, Meghan  
**Cc:** Hobson, Sandy; Michael Scott; Jim Hughes (NA NAO); Kim Pinelli (NA WLY)  
**Subject:** Whole Foods/Wellesley - Beer and Wine License

Meghan:

Attached is a copy of the first page of the Whole Foods application, which has been countersigned by the Building Department, Health Department, Police Department and Design Review Board.

Please let us know if you have any questions.

Thanks,

Brent



**Brent McDonald**  
Nutter McCennen & Fish LLP  
155 Seaport Blvd / Boston, MA 02210  
Direct / 617-439-2486  
[BMcDonald@nutter.com](mailto:BMcDonald@nutter.com)  
[nutter.com](http://nutter.com)

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TOWN OF WELLESLEY



MASSACHUSETTS

**FOOD STORE OR SPECIALTY FOOD STORE APPLICATION FOR  
RETAIL SALE OF WINES AND MALT BEVERAGES FOR OFF PREMISES CONSUMPTION**

Date Applied:	Date Approved:	Date Issued:
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<i>Office Use Only</i>	Fees Paid:	Tax Cert:	Resumes:	TIP Info:	Plan:	Interview:	CORI
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The undersigned hereby applies for a Retail Sale of Wines and Malt Beverages for Off Premises Consumption License in accordance with the provisions of Massachusetts General Law 138 Section 15 and Chapter 14 of the Acts of 2014.

**(PLEASE TYPE OR PRINT CLEARLY)**

Name of Applicant: Whole Foods Market Group, Inc. Date: September 2017

D.O.B: N/A S.S.N: N/A Dr. Lic #: N/A Fed. ID/TIN #: 52-1711175

Business Address: 442 Washington Street, Wellesley, MA 02482

Home Address: N/A

Business Telephone: (781) 235-7262 Cell Phone: (401) 301-3354 [Kimberly Pinelli]

Name and Location of Establishment: Whole Foods Market, 442 Washington Street, Wellesley, MA 02482

Food Store  Specialty Food Store

Enclose a brief description of type of merchandise sold. [See Exhibit 3]

Enclose Copy of Floor Plan 1,950 sf display; 50 sf storage

Dimensions of Retail Space: Area of display Display % of Retail Space ~10%

Dimensions vary--see attached plan

Provide information below for Managers, Assistant Managers, and authorized personnel

Name	Address	Telephone	SSN
Kimberly Pinelli	175 Wildflower Drive, Cranston, RI 02921	(401) 301-3354	039-46-0065
Katelyn Harper	8 Roman Drive, Shrewsbury, MA 01545	(617) 816-1051	022-64-7584
Kevin Whitcher	27 Siasconset Dr, Sagamore Beach, MA 02562	(781) 366-7389	024-66-3099

**Plan Review and/or Preliminary Approval (Required Before License will be Approved)**

Reviewing Department	Signature of Approving Authority	Date of Plan Review/Approval
Building Department:	<i>Mark Lut</i>	<i>10/25/17</i>
Health Department:	<i>CDL/DP/</i>	<i>10/24/17</i>
Police Department	<i>Chief P. Kelly</i>	<i>10/18/17</i>
Design Review Board	<i>DRB Review N/A</i>	<i>10-12-2017</i>

*Victor Del*

TOWN OF WELLESLEY



MASSACHUSETTS

**FOOD STORE OR SPECIALTY FOOD STORE APPLICATION FOR  
RETAIL SALE OF WINES AND MALT BEVERAGES FOR OFF PREMISES CONSUMPTION**

Date Applied:	Date Approved:	Date Issued:					
<i>Office Use Only</i>	Fees Paid:	Tax Cert:	Resumes:	TIP Info:	Plan:	Interview:	CORI

The undersigned hereby applies for a Retail Sale of Wines and Malt Beverages for Off Premises Consumption License in accordance with the provisions of Massachusetts General Law 138 Section 15 and Chapter 14 of the Acts of 2014.

**(PLEASE TYPE OR PRINT CLEARLY)**

Name of Applicant: Whole Foods Market Group, Inc. Date: September 2, 2017

D.O.B: N/A S.S.N: N/A Dr. Lic #: N/A Fed. ID/TIN #: 52-1711175

Business Address: 442 Washington Street, Wellesley, MA 02482

Home Address: N/A

Business Telephone: (781) 235-7262 Cell Phone: (401) 301-3354 [Kimberly Pinelli]

Name and Location of Establishment: Whole Foods Market, 442 Washington Street, Wellesley, MA 02482

**Food Store**  **Specialty Food Store**

**Enclose a brief description of type of merchandise sold.** [See Exhibit 3]

**Enclose Copy of Floor Plan** 1,950 sf display; 50 sf storage

Dimensions of Retail Space: 1 Area of display 1 Display % of Retail Space ~10%

Dimensions vary--see attached plan

Provide information below for Managers, Assistant Managers, and authorized personnel

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**Plan Review and/or Preliminary Approval (Required Before License will be Approved)**

Reviewing Department	Signature of Approving Authority	Date of Plan Review/Approval
Building Department:		
Health Department:		
Police Department		
Design Review Board		

**PROVIDE THE FOLLOWING INFORMATION WITH RESPECT TO EACH LOCATION:**

**Please attach applicable store policies or other documentation as needed**

Store is open from 7 am to 9 pm seven days a week. Seeking permission to sell beer and wine from 8 am to 9:30 pm (Mon through Sat) and 10 am to 9:30 pm (Sun). Proposed closing time allows for shoppers who arrive right before closing to complete their transactions.

How will you secure the display area when sales of wines and malt beverages are prohibited?

Registers will not permit sales during times when sales are prohibited; signage will be placed on display areas (see attached Exhibit 2 for example of a sign used at another store. Similar signage would be used during all times when sales are prohibited) Time(s) of Peak Customer Activity 12-2 pm and 5-7 pm 614 from 12-2; 548 from 5-7

Est. Number of Customers at Peak Time(s): 1 Est. Number of Employees at Peak Time(s): 100 within entire store

Do you hire employees under 21? If so, how will you assure they do not sell wines or malt beverages? If under 18, how will you assure they do not handle wines or malt beverages? Yes to employees under 21. See attached policy at Exhibit 1 addressing lock out of register and requirement for shift supervisor to verify ID and override transaction if cashier is under 21. Alcohol stocking and displays are done by specialty team members, who must be 18. What provisions have been made for trash removal and bottle/can redemption? Trash removal to occur via existing trash facilities at store; bottle/can redemption to occur at customer service counter

How much parking is needed? Approximately 175 spaces

How will parking be provided? 200 spaces

What are delivery times to the store? 7 am to 2 pm

Will you deliver Wines and Malt Beverages to customers? If so, you must receive an Off-Premises Transportation Permit issued by the ABCC and describe here delivery protocol, record retention, and identification verification procedures. Delivery to customers of wine and malt beverages is not currently contemplated.

What is the policy/practice for in-store age verification? See attached policy. Cashiers must enter date of birth in register for transaction to process.

Will you accept out of state identification? If so, how will you verify authenticity? Yes. Verify through use of I.D. Checking Guide. See attached policy at Exhibit 1.

I the undersigned state that the information provided in this application, and associated attachments, is true and accurate to the best of my knowledge and agree to abide by the decisions, conditions, and regulations of the Town of Wellesley, Massachusetts:

Signature: Kimberly Pinelli Printed Name: Kimberly Pinelli Date: 9/22/17

*Note: No Retail Sale of Wines and Malt Beverages license shall be approved until the applicant addresses all issues and/or concerns to the satisfaction of the Board of Selectmen; and no Retail Sale of Wines and Malt Beverages License will be issued until all required inspections have been conducted, permits granted, and final approvals given.*

**FOR OFFICE USE ONLY**

Final Permits/Approvals Granted (Required Before RSWML will be Issued)

Approving Department	Yes	No	If "No," Reason Why	Date of Final Approval
Building Department:				
Health Department:				
Police Department:				
Fire Department:				

Nutter, McClellan & Fish, LLP

Seaport West  
155 Seaport Boulevard  
Boston, MA 02210-2604

Check No. 65641

Date:

September 11, 2017

Santander Bank, N.A.

5-7515

0110

Pay: Five hundred and 00/100\*\*\*\*\* \$ 500.00

PAY  
TO THE  
ORDER OF:

Town of Wellesley



0000065641 011075150 62104972138

**EXHIBIT 1: STORE POLICIES AND PROCEDURES—WELLESLEY**



250 Forest Street | Marlborough, MA 01752 | T 617.492.5500 | F 617.492.5510

Whole Foods Market North Atlantic Region  
August 21, 2017

Alcohol Store Policies and Procedures--Wellesley:

- All Customer Service and Specialty Team Members in beer and wine stores must be 18 years of age or older
- All Customer Service and Specialty Team Members in beer and wine stores are required to complete the ServSafe alcohol training
- All Customer Service and Specialty Team Members in beer and wine stores are required to read and sign the Whole Foods Market North Atlantic Region Alcohol Policy prior to working on the sales floor
- ServSafe alcohol training certification for all Customer Service Team Members is maintained in the employee files. Team Leaders are notified of upcoming expiring certifications by the Metro Educator. The Metro Educator and Customer Service Leadership are responsible for scheduling training for new Team Members and those needing recertification.
- The register system recognizes cashiers by their unique employee identification number and will not allow a team member under the age of 21 to scan alcohol. The system prompts the cashier to call over a supervisor if they are not of legal age to sell alcohol, and the supervisor must verify the valid ID and override the transaction in order for the sale to proceed
- Cashiers are required to enter date of birth from a valid ID for all alcohol purchases
- If a customer does not have a valid form of ID, a store shift leader must confirm that the customer is over 30 years of age, or deny the sale
- The following forms of ID are acceptable:
  - A valid driver's license
  - A valid Liquor Identification card
  - A valid Passport issued by the United States government, or by a government recognized by the United States government of a foreign country
  - A valid United States issued active duty Military Identification Card with photo and date of birth
- If a customer is using an out of state driver's license as a form of ID, either the cashier or the shift supervisor must check the authenticity of the out of state ID against the current version of the *I.D. Checking Guide*, a copy of which will be maintained at the cash register, customer service area or other suitable location.

3669945.1



**EXHIBIT 2: EXAMPLE OF SIGNAGE TO BE PLACED ON DISPLAY AREAS WHEN  
SALES ARE PROHIBITED**

# Attention Customers

THE CITY OF BOSTON PROHIBITS  
THE SALE OF ALCOHOLIC BEVERAGES

prior to

10 AM

on Sundays

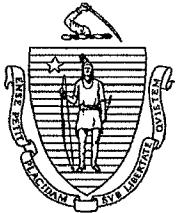
WE APOLOGIZE FOR ANY INCONVENIENCE



**EXHIBIT 3: BRIEF DESCRIPTION OF TYPE OF MERCHANDISE SOLD**

Groceries, meat, seafood, produce, bakery, coffee/gelato bar, health and beauty, floral, beer and wine.

**EXHIBIT 4: WORKERS' COMPENSATION INSURANCE AFFIDAVIT/  
INSURANCE CERTIFICATE**



**The Commonwealth of Massachusetts  
Department of Industrial Accidents  
1 Congress Street, Suite 100  
Boston, MA 02114-2017  
www.mass.gov/dia**

**Workers' Compensation Insurance Affidavit: General Businesses.  
TO BE FILED WITH THE PERMITTING AUTHORITY.**

**Applicant Information**

**Please Print Legibly**

Business/Organization Name: Whole Foods Market Group, Inc.

Address: 250 Forest Street

City/State/Zip: Marlborough, MA 01752

Phone #: 617-492-5500

**Are you an employer? Check the appropriate box:**

1.  I am a employer with 8,300 employees (full and/or part-time).\* (approximate number for North Atlantic Region (MA/NH/ME/RI/parts of CT))
2.  I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required]
3.  We are a corporation and its officers have exercised their right of exemption per c. 152, §1(4), and we have no employees. [No workers' comp. insurance required]\*\*
4.  We are a non-profit organization, staffed by volunteers, with no employees. [No workers' comp. insurance req.]

**Business Type (required):**

5.  Retail
6.  Restaurant/Bar/Eating Establishment
7.  Office and/or Sales (incl. real estate, auto, etc.)
8.  Non-profit
9.  Entertainment
10.  Manufacturing
11.  Health Care
12.  Other \_\_\_\_\_

\*Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.

\*\*If the corporate officers have exempted themselves, but the corporation has other employees, a workers' compensation policy is required and such an organization should check box #1.

***I am an employer that is providing workers' compensation insurance for my employees. Below is the policy information.***

Insurance Company Name: ACE American Insurance Company

Insurer's Address: P.O. Box 1000

City/State/Zip: Philadelphia, PA 19106

Policy # or Self-ins. Lic. # WLRC48610535 Expiration Date: 09/30/2018

**Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date).**

Failure to secure coverage as required under Section 25A of MGL c. 152 can lead to the imposition of criminal penalties of a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. Be advised that a copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

***I do hereby certify, under the pains and penalties of perjury that the information provided above is true and correct.***

Signature: \_\_\_\_\_

Robert F. Donnelly

Date: 9/22/17

Phone #: 617-492-5500

***Official use only. Do not write in this area, to be completed by city or town official.***

City or Town: \_\_\_\_\_ Permit/License # \_\_\_\_\_

Issuing Authority (circle one):

1. Board of Health
2. Building Department
3. City/Town Clerk
4. Licensing Board
5. Selectmen's Office
6. Other \_\_\_\_\_

Contact Person: \_\_\_\_\_ Phone #: \_\_\_\_\_



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

9/25/2017

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERs NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER		John L. Wortham & Son, L.P. PO Box 1388 Houston, TX 77251-1388  www.worthaminsurance.com	CONTACT NAME: John L. Wortham & Son, L.P. PHONE (A/C, No. Ext): 713-526-3366 E-MAIL ADDRESS:	FAX (A/C, No): 713-521-1951
INSURED		Whole Foods Market, Inc. 550 Bowie Street Austin TX 78703	INSURER(S) AFFORDING COVERAGE	
		INSURER A : ACE American Insurance Company	NAIC # 22667	
		INSURER B : XL Specialty Insurance Company	37885	
		INSURER C : ACE Fire Underwriters Insurance Company	20702	
		INSURER D : Agri General Insurance Co.	42757	
		INSURER E :		
		INSURER F :		

## COVERAGES

CERTIFICATE NUMBER: 37932686

## REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS		
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> SIR \$2,000,000  GEN'L AGGREGATE LIMIT APPLIES PER: POLICY <input type="checkbox"/> PRO- JECT <input checked="" type="checkbox"/> LOC  OTHER:		XSLG2786921A	9/30/2017	9/30/2018	EACH OCCURRENCE	\$ 500,000	
						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$	
						MED EXP (Any one person)	\$	
						PERSONAL & ADV INJURY	\$ 500,000	
						GENERAL AGGREGATE	\$ 1,500,000	
						PRODUCTS - COMP/OP AGG	\$ 1,500,000	
							\$	
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY		ISAH09062683	9/30/2017	9/30/2018	COMBINED SINGLE LIMIT (Ea accident)	\$ 2,000,000	
						BODILY INJURY (Per person)	\$	
						BODILY INJURY (Per accident)	\$	
						PROPERTY DAMAGE (Per accident)	\$	
							\$	
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE  DED <input checked="" type="checkbox"/> RETENTION \$10,000		US00072655LI17A	9/30/2017	9/30/2018	EACH OCCURRENCE	\$ 5,000,000	
						AGGREGATE	\$ 5,000,000	
							\$	
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	<input type="checkbox"/> Y/N	SCFC64417083 (WI-Retro) WLRC64417046(Other States Except TN TX WI WA OH) WLRC64417125 (TN)	9/30/2017 9/30/2017	9/30/2018 9/30/2018	<input checked="" type="checkbox"/> PER STATUTE	OTHE- R	
A	ANYPROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/> N/A		9/30/2017	9/30/2018	E.L. EACH ACCIDENT	\$ 2,000,000	
D						E.L. DISEASE - EA EMPLOYEE	\$ 2,000,000	
						E.L. DISEASE - POLICY LIMIT	\$ 2,000,000	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

## CERTIFICATE HOLDER

## CANCELLATION

To Whom It May Concern

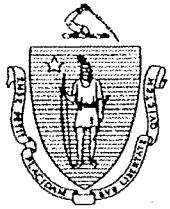
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE  
THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN  
ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

John L. Wortham &amp; Son, L.P.

*John L. Wortham & Son, L.P.*

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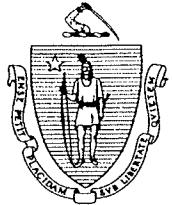
*The Commonwealth of Massachusetts*  
*Alcoholic Beverages Control Commission*  
*239 Causeway Street*  
*Boston, MA 02114*  
*[www.mass.gov/abcc](http://www.mass.gov/abcc)*

**APPLICATION FOR A RETAIL ALCOHOLIC BEVERAGES LICENSE**

**The following documentation is required as a part of your retail license application.**

*ABCC investigators reserve the right to request additional documents as a part of their investigation.*

- Monetary Transmittal Form** with \$200 fee  
**You can PAY ONLINE or include a \$200 check made out to the ABCC**
- Retail Application** (this packet)
- Beneficial Interest - Individual Form**  
**For any individual with direct or indirect interest in the proposed licensee**
- Beneficial Interest - Organization Form**  
**For any organization with direct or indirect interest in the proposed licensee**
- CORI Authorization Form**  
**For the manager of record AND any individual with direct or indirect interest in the proposed licensee. This form must be notarized with a stamp\***
- Proof of Citizenship for proposed manager of record**  
**Passport, US Birth Certificate, Naturalization Papers, Voter Registration**
- Vote of the Corporate Board**  
**A corporate vote to apply for a new / transfer of license and a corporate vote to appointing the manager of record, signed by an authorized signatory for the proposed licensed entity**
- Business Structure Documents**  
If Proposed Licensee is applying as:
  - A Corporation or LLC - **Articles of Organization** from the Secretary of the Commonwealth
  - A Partnership - **Partnership Agreement**
  - Sole Proprietor - **Business Certificate**
- Purchase and Sale Documentation**  
**Required if this application is for the transfer of an existing retail alcoholic beverages license**
- Supporting Financial Documents**  
**Documentation supporting any loans or financing, including pledge documents, if applicable**
- Floor Plan**  
**Detailed Floor Plan showing square footage, entrances and exits and rooms**
- Lease**  
**Signed by proposed licensee and landlord. If lease is contingent upon receiving this license, a copy of the unsigned lease along with a letter of intent to lease, signed by licensee and landlord**
- Additional Documents Required by the Local Licensing Authority**



*The Commonwealth of Massachusetts*  
*Alcoholic Beverages Control Commission*  
*239 Causeway Street*  
*Boston, MA 02114*  
*[www.mass.gov/abcc](http://www.mass.gov/abcc)*

[Print Form](#)

**RETAIL ALCOHOLIC BEVERAGES LICENSE APPLICATION  
MONETARY TRANSMITTAL FORM**

**APPLICATION SHOULD BE COMPLETED ON-LINE, PRINTED, SIGNED, AND SUBMITTED TO THE LOCAL  
LICENSING AUTHORITY.**

ECRT CODE: RETA

CHECK PAYABLE TO ABCC OR COMMONWEALTH OF MA: \$200.00

(CHECK MUST DENOTE THE NAME OF THE LICENSEE CORPORATION, LLC, PARTNERSHIP, OR INDIVIDUAL)

CHECK NUMBER

65639

IF USED EPAY, CONFIRMATION NUMBER

A.B.C.C. LICENSE NUMBER (IF AN EXISTING LICENSEE, CAN BE OBTAINED FROM THE CITY)

LICENSEE NAME

Whole Foods Market Group, Inc.

ADDRESS

442 Washington Street

CITY/TOWN

Wellesley

STATE

MA

ZIP CODE

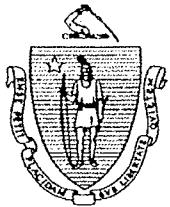
02482

**TRANSACTION TYPE (Please check all relevant transactions):**

- |  |   |   |   |
|--|---|---|---|
| <input type="checkbox"/> Alteration of Licensed Premises | <input type="checkbox"/> Cordials/Liqueurs Permit       | <input type="checkbox"/> New Officer/Director | <input type="checkbox"/> Transfer of License        |
| <input type="checkbox"/> Change Corporate Name           | <input type="checkbox"/> Issuance of Stock              | <input type="checkbox"/> New Stockholder      | <input type="checkbox"/> Transfer of Stock          |
| <input type="checkbox"/> Change of License Type          | <input type="checkbox"/> Management/Operating Agreement | <input type="checkbox"/> Pledge of Stock      | <input type="checkbox"/> Wine & Malt to All Alcohol |
| <input type="checkbox"/> Change of Location              | <input checked="" type="checkbox"/> More than (3) §15   | <input type="checkbox"/> Pledge of License    | <input type="checkbox"/> 6-Day to 7-Day License     |
| <input type="checkbox"/> Change of Manager               | <input checked="" type="checkbox"/> New License         | <input type="checkbox"/> Seasonal to Annual   |   |
| <input type="checkbox"/> Other                           | <input type="text"/>                                    |   |   |

THE LOCAL LICENSING AUTHORITY MUST MAIL THIS TRANSMITTAL FORM ALONG WITH THE  
CHECK, COMPLETED APPLICATION, AND SUPPORTING DOCUMENTS TO:

**ALCOHOLIC BEVERAGES CONTROL COMMISSION  
P. O. BOX 3396  
BOSTON, MA 02241-3396**



*The Commonwealth of Massachusetts  
Alcoholic Beverages Control Commission  
239 Causeway Street  
Boston, MA 02114  
[www.mass.gov/abcc](http://www.mass.gov/abcc)*

**APPLICATION FOR A RETAIL ALCOHOLIC BEVERAGES LICENSE**

*Please complete this entire application, leaving no fields blank. If field does not apply to your situation, please write N/A.*

**1. NAME OF PROPOSED LICENSEE** (Business Contact) Whole Foods Market Group, Inc.

*This is the corporation or LLC which will hold the license, **not** the individual submitting this application. If you are applying for this license as a sole proprietor, **not** an LLC, corporation or other legal entity, you may enter your personal name here.*

**2. RETAIL APPLICATION INFORMATION**

There are two ways to obtain an alcoholic beverages license in the Commonwealth of Massachusetts, either by obtaining an existing license through a transfer or by applying for a new license.

Are you applying for a new license  New  Transfer or the transfer of an existing license?

If transferring, please indicate the current ABCC license number you are seeking to obtain:

If applying for a new license, are you applying for this license pursuant to special legislation?

If transferring, by what method is the license being transferred?

Yes  No

Chapter

Acts of

**3. LICENSE INFORMATION / QUOTA CHECK**

City/Town

Wellesley

On/Off-Premises

Off-Premises

TYPE

\$15 Supermarket

CATEGORY

Wines and Malt Beverages

CLASS

Annual

**4. APPLICATION CONTACT**

The application contact is required and is the person who will be contacted with any questions regarding this application.

First Name: Michael

Middle: Edward

Last Name: Scott

Title: Attorney

Primary Phone:

617-439-2811

Email: mscott@nutter.com

**5. OWNERSHIP** Please list all individuals or entities with a direct or indirect, beneficial or financial interest in this license.

An individual or entity has a direct beneficial interest in a license when the individual or entity owns or controls any part of the license. For example, if John Smith owns Smith LLC, a licensee, John Smith has a direct beneficial interest in the license.

An individual or entity has an indirect beneficial interest if the individual or entity has 1) any ownership interest in the license through an intermediary, no matter how removed from direct ownership, 2) any form of control over part of a license no matter how attenuated, or 3) otherwise benefits in any way from the license's operation. For Example, Jane Doe owns Doe Holding Company Inc., which is a shareholder of Doe LLC, the license holder. Jane Doe has an indirect interest in the license.

- A. All individuals listed below are required to complete a Beneficial Interest Contact - Individual form.
- B. All entities listed below are required to complete a Beneficial Interest Contact - Organization form.
- C. Any individual with any ownership in this license and/or the proposed manager of record must complete a CORI Release Form.

Name	Title / Position	% Owned	Other Beneficial Interest
Albert E. Percival	President	0	VP, Treas., Sec. & Director
Patricia D. Yost	Assistant Secretary	0	

For additional space, please use next page

## APPLICATION FOR A NEW RETAIL ALCOHOLIC BEVERAGES LICENSE

### 5. OWNERSHIP (continued)

Name	Title / Position	% Owned	Other Beneficial Interest
Anthony C. Gallo	Director	0	
Whole Foods Market, Inc.	Shareholder	100	
Amazon.com, Inc.*	Ultimate Beneficial Interest Holder	0	
* Ultimate Beneficial Interest Holder. See Corporate Organization Chart attached hereto as Exhibit A			

### 6. PREMISES INFORMATION

Please enter the address where the alcoholic beverages are sold.

#### Premises Address

Street Number:	442	Street Name:	Washington Street	Unit:	
City/Town:	Wellesley	State:	MA	Zip Code:	02482
Country:	USA				

#### Description of Premises

Please provide a complete description of the premises, including the number of floors, number of rooms on each floor, any outdoor areas to be included in the licensed area, and total square footage.

Floor Number	Square Footage	Number of Rooms
1	26,364	Including 1,950 sf of display space of beer &
		wine
Basement	19,775	Including 50 sf of storage space of beer & wine

Patio/Deck/Outdoor Area Total Square Footage	N/A
Indoor Area Total Square Footage	46,139
Number of Entrances	1
Number of Exits	4
Proposed Seating Capacity	94
Proposed Occupancy	691

#### Occupancy of Premises

Please complete all fields in this section. Documentation showing proof of legal occupancy of the premises is required.

Please indicate by what right the applicant has to occupy the premises

Lease

Landlord Name: Wellesley Plaza LLC

Lease Beginning Term

8/22/2011

Landlord Phone: 617-492-4118

Lease Ending Term

8/31/2031

Landlord Address: c/o Gravestar, Inc.  
160 Second Street  
Cambridge, MA 02142

Rent per Month

128,250.00

If leasing or renting the premises, a signed copy of the lease is required.

Rent per Year

1,539,000.00

If the lease is contingent on the approval of this license, and a signed lease is not available, a copy of the unsigned lease and a letter of intent to lease, signed by the applicant and the landlord, is required.

Please indicate if the terms of the lease include payments based on the sale of alcohol:  Yes  No

## APPLICATION FOR A NEW RETAIL ALCOHOLIC BEVERAGES LICENSE

### 7. BUSINESS CONTACT

The Business Contact is the proposed licensee. If you are applying as a Sole Proprietor (the license will be held by an individual, not a business), you should use your own name as the entity name.

\* Please see last page of application for required documents based on Legal Structure \*

Entity Name:	Whole Foods Market Group, Inc.	FEIN:	52-1711175
DBA:	Whole Foods Market	Fax Number:	(781) 431-9730
Primary Phone:	(781) 235-7262	Email:	kim.pinelli@wholefoods.com
Alternative Phone:	(617) 492-5500	Legal Structure of Entity	Corporation

#### Business Address (Corporate Headquarters) Check here if your Business Address is the same as your Premises Address

Street Number:	550	Street Name:	Bowie Street
City/Town:	Austin	State:	TX
Zip Code:	78703	Country:	USA

#### Mailing Address Check here if your Mailing Address is the same as your Premises Address

Street Number:		Street Name:	P.O. Box 684786, Attention: Licensing
City/Town:	Austin	State:	TX
Zip Code:	78768	Country:	USA

Is the Entity a Massachusetts Corporation?

Yes  No

If no, is the Entity registered to do business in Massachusetts?

Yes  No

If no, state of incorporation

Delaware

#### Other Beneficial Interest

Does the proposed licensee have a beneficial interest in any  Yes  No other Massachusetts Alcoholic Beverages Licenses?

If yes, please complete the following table.

Name of License	Type of License	License Number	Premises Address
See EXHIBIT B			

#### Prior Disciplinary Action:

Has any alcoholic beverages license owned by the proposed licensee ever been disciplined for an alcohol related violation?

Date of Action	Name of License	State	City	Reason for suspension, revocation or cancellation
5/12/2000	Section 15 package store	MA	Hadley	3-day suspension for sale to a minor
6/5/2006	Section 15 package store	MA	Wayland	1-day suspension and 1 year probation for sale to a minor

## APPLICATION FOR A NEW RETAIL ALCOHOLIC BEVERAGES LICENSE

### 8. MANAGER CONTACT

The Manager Contact is required and is the individual who will have day-to-day, operational control over the liquor license.

Salutation	Ms.	First Name	Kimberly	Middle Name	Ann	Last Name	Pinelli	Suffix
Social Security Number			[REDACTED]					
			Date of Birth 09/24/1970					
Primary Phone:	(401) 301-3354			Email:	kim.pinelli@wholefoods.com			
Mobile Phone:	(401) 301-3354			Place of Employment	Whole Foods Market			
Alternative Phone:	(781) 235-7262			Fax Number	(781) 431-9730			

#### Citizenship / Residency / Background Information of Proposed Manager

Are you a U.S. Citizen?	<input checked="" type="radio"/> Yes <input type="radio"/> No	Do you have direct, indirect, or financial interest in this license?	<input type="radio"/> Yes <input checked="" type="radio"/> No
Have you ever been convicted of a state, federal, or military crime?	<input type="radio"/> Yes <input checked="" type="radio"/> No	If yes, percentage of interest [REDACTED]	
Have you ever been Manager of Record of a license to sell alcoholic beverages?	<input type="radio"/> Yes <input checked="" type="radio"/> No	If yes, please indicate type of interest (check all that apply):	
If yes, please list the licenses for which you are the <u>current</u> or <u>proposed</u> manager:	N/A	<input type="checkbox"/> Officer	<input type="checkbox"/> Sole Proprietor
		<input type="checkbox"/> Stockholder	<input type="checkbox"/> LLC Manager
		<input type="checkbox"/> LLC Member	<input type="checkbox"/> Director
		<input type="checkbox"/> Partner	<input type="checkbox"/> Landlord
		<input type="checkbox"/> Contractual	<input type="checkbox"/> Revenue Sharing
		<input type="checkbox"/> Management Agreement	<input type="checkbox"/> Other

Please indicate how many hours per week you intend to be on the licensed premises [REDACTED] 45

#### Employment Information of Proposed Manager

Please provide your employment history for the *past 10 years*

Date(s)	Position	Employer	Address	Phone
SEE EXHIBIT C				

#### Prior Disciplinary Action of Proposed Manager

Have you ever been involved directly or indirectly in an alcoholic beverages license that was subject to disciplinary action? If yes, please complete the following:

Date of Action	Name of License	State	City	Reason for suspension, revocation or cancellation
N/A				

## APPLICATION FOR A NEW RETAIL ALCOHOLIC BEVERAGES LICENSE

## **9. FINANCIAL INFORMATION**

Please provide information about associated costs of this license.

### Associated Costs

A. Purchase Price for Building/Land	0
B. Purchase Price for any Business Assets	0
C. Costs of Renovations/Construction	100,000
D. Purchase Price of Inventory	175,000
E. Initial Start-Up Costs	0
F. Other (Please specify)	0
G. Total Cost (Add lines A-F)	275,000

Please note, the total amount of **Cash Investment** (top right table) plus the total amount of **Financing** (bottom right table) must be equal to or greater than the **Total Cost** (line G above). Source of funds is the ultimate beneficial interest holder and publicly traded entity, Amazon.com, Inc. Please see SEC 10-K attached as

**Attachment 9**

## 10. PLEDGE INFORMATION

Are you seeking approval for a pledge?  Yes  No

Please indicate what you are seeking to pledge (check all that apply)

License     Stock / Beneficial Interest     Inventory

Please provide information about the sources of cash and/or financing for this transaction

### Source of Cash Investment

Name of Contributor	Amount of Contribution
Amazon.com, Inc.	275,000
Total:	275,000

### Source of Financing

Name of Lender	Amount	Does the lender hold an interest in any MA alcoholic beverages licenses?	If yes, please provide ABCC license number of lender
N/A			
Total:			

## APPLICANT'S STATEMENT

I,  the:  sole proprietor;  partner;  corporate principal;  LLC/LLP member  
Authorized Signatory

of  , hereby submit this application for   
Name of the Entity/Corporation Transaction(s) you are applying for

(hereinafter the "Application"), to the local licensing authority (the "LLA") and the Alcoholic Beverages Control Commission (the "ABCC" and together with the LLA collectively the "Licensing Authorities") for approval.

I do hereby declare under the pains and penalties of perjury that I have personal knowledge of the information submitted in the Application, and as such affirm that all statement and representations therein are true to the best of my knowledge and belief. I further submit the following to be true and accurate:

- (1) I understand that each representation in this Application is material to the Licensing Authorities' decision on the Application and that the Licensing Authorities will rely on each and every answer in the Application and accompanying documents in reaching its decision;
- (2) I state that the location and description of the proposed licensed premises does not violate any requirement of the ABCC or other state law or local ordinances;
- (3) I understand that while the Application is pending, I must notify the Licensing Authorities of any change in the information submitted therein. I understand that failure to give such notice to the Licensing Authorities may result in disapproval of the Application;
- (4) I understand that upon approval of the Application, I must notify the Licensing Authorities of any change in the Application information as approved by the Licensing Authorities. I understand that failure to give such notice to the Licensing Authorities may result in sanctions including revocation of any license for which this Application is submitted;
- (5) I understand that the licensee will be bound by the statements and representations made in the Application, including, but not limited to the identity of persons with an ownership or financial interest in the license;
- (6) I understand that all statements and representations made become conditions of the license;
- (7) I understand that any physical alterations to or changes to the size of, the area used for the sale, delivery, storage, or consumption of alcoholic beverages, must be reported to the Licensing Authorities and may require the prior approval of the Licensing Authorities;
- (8) I understand that the licensee's failure to operate the licensed premises in accordance with the statements and representations made in the Application may result in sanctions, including the revocation of any license for which the Application was submitted; and
- (9) I understand that any false statement or misrepresentation will constitute cause for disapproval of the Application or sanctions including revocation of any license for which this Application is submitted.

Signature:



Date:

7/18/17

Title:

EXHIBIT A  
Corporate Organizational Chart

**PROPOSED LICENSEE**

**Whole Foods Market Group, Inc.**  
FEIN # 52-171175, 550 Bowie Street, Austin, TX 78703

President: Albert Percival  
Treasurer: Albert Percival  
Secretary: Albert Percival  
Assistant Secretary: Patricia D. Yost  
Vice President: Albert Percival  
Director: Anthony C. Gallo  
Director: Albert Percival

↓

**Whole Foods Market, Inc.**  
FEIN # 74-1989366, 550 Bowie Street, Austin, TX 78703  
Currently Publicly-Traded Entity: NASDAQ (WFM)

↓

**Walnut Sub Properties LLC**  
FEIN # 82-2414282, 410 Terry Street, Seattle, WA 98109

President: Michael Deal  
Vice President: Michael Deal  
Vice President: Jeff Van Hove  
Treasurer: Michael Deal  
Secretary: Michael Deal

↓

**Walnut Sub Enterprises LLC**  
FEIN # 82-2396572, 410 Terry Street, Austin, TX 98109

President: Michael Deal  
Vice President: Michael Deal  
Vice President: Jeff Van Hove  
Treasurer: Michael Deal  
Secretary: Michael Deal

↓

**Amazon Fulfillment Services, Inc.**  
FEIN # 82-0544687, 410 Terry Street, Austin, TX 98109

President: Michael Deal  
Vice President: Jeff Van Hove  
Treasurer: Jeff Van Hove  
Secretary: Michael Deal

↓

**ULTIMATE BENEFICIAL INTEREST HOLDER**

**Amazon.com, Inc.**  
FEIN #91-1646860, 410 Terry Street, Seattle, WA 98109  
Publicly-Traded Entity: NASDAQ (AMZN)

## EXHIBIT B

### Whole Foods Market Group, Inc. Massachusetts Liquor Licenses

Licensee Name	License Type	License #	Address
Whole Foods Market Group, Inc.	Off-Premise	02054-PK-0116	348 Harrison Ave, Boston, MA
Whole Foods Market Group, Inc.	Off-Premise	00237-PK-0166	340 River Street, Cambridge, MA
Whole Foods Market Group, Inc.	Off-Premise	00049-PK-0274	300 Legacy Place, Dedham, MA
Whole Foods Market Group, Inc.	Off-Premise	00022-PK-0482	327 Russell Street, Hadley, MA
Whole Foods Market Group, Inc.	Off-Premise	00029-PK-0640	427 Walnut Street, Lynnfield, MA
Whole Foods Market Group, Inc.	Off-Premise	88899-PK-1116	193 Boston Turnpike, Unit 1, Shrewsbury, MA

## EXHIBIT C

### Employment Information of Proposed Manager

Date(s)	Position	Employer	Address	Phone
2017-Present	Store Team Leader	Whole Foods Market-Wellesley	442 Washington St, Wellesley, MA	(617) 492-5500
2015-2017	Store Team Leader	Whole Foods Market-Brighton	15 Washington St, Brighton, MA	(617) 492-5500
2014-2015	Store Team Leader	Whole Foods Market-Brookline	1028 Beacon St, Brookline, MA	(617) 492-5500
2012-2014	Assistant Store Team Leader	Whole Foods Market-University Heights	601 N Main St, Providence, RI	(617) 492-5500
2011-2012	Specialty Team Leader	Whole Foods Market-Cranston	151 Sockanosset Cross Rd, Cranston, RI	(617) 492-5500
2011	Assistant Bakery Team Leader	Whole Foods Market-Bellingham	255 Hartford Ave, Bellingham, MA	(617) 492-5500
2010-2011	Prepared Foods Assistant Team Leader	Whole Foods Market-Cranston	151 Sockanosset Cross Rd, Cranston, RI	(617) 492-5500
2008-2010	Prepared Foods Buyer	Whole Foods Market-Cranston	151 Sockanosset Cross Rd, Cranston, RI	(617) 492-5500
2008	Prepared Foods Supervisor	Whole Foods Market-Cranston	151 Sockanosset Cross Rd, Cranston, RI	(617) 492-5500
2007-2008	Prepared Foods Team Member	Whole Foods Market-Cranston	151 Sockanosset Cross Rd, Cranston, RI	(617) 492-5500

**ATTACHMENT 5: VOTE OF THE CORPORATE BOARD**

SECRETARY'S CERTIFICATE OF WHOLE FOODS MARKET GROUP, INC.

SECRETARY'S CERTIFICATE

At a meeting of the Board of Directors of Whole Foods Market Group, Inc. (the "Corporation"), held on September 18, 2017, the Directors voted as follows:

RESOLVED, that the Corporation apply to the Town of Wellesley (the "Town") and Massachusetts Alcoholic Beverages Control Commission ("ABCC") for a new retail package store wine and malt beverage license under M.G.L. c. 138, § 15 for sale by a food store (the "Package Store License") for the Whole Foods Market store at 442 Washington Street, Wellesley, Massachusetts (the "Wellesley Location").

RESOLVED, to authorize Kimberly Pinelli, Robert Donnelly or any officer or director of the Corporation, acting individually, to sign the applications submitted to the Town and the ABCC in the name of the Corporation, and to execute on the Corporation's behalf, any necessary papers and to do all things required to have the Package Store License modified and to obtain any and all other permits, licenses and approvals necessary to effectuate these resolutions, including, without limitation, any applications for a common victualler license.

RESOLVED, to appoint Kimberly Pinelli to be the Manager of Record and Store Team Leader under the Package Store License for the Wellesley Location, and hereby grant her with full authority, management and control of the premises described in the Package Store License and full authority and control of the conduct of all businesses therein.

RESOLVED, that the officers of the Corporation are hereby severally authorized to (a) sign, execute, certify to, verify, acknowledge, deliver, accept, file, and record any and all instruments and documents and (b) take, or cause to be taken, any and all such action, in the name and on behalf of the Corporation or otherwise, as (in such officer's judgment) shall be necessary, desirable, or appropriate in order to effect the purposes of the foregoing resolutions.

RESOLVED FURTHER, that any and all action taken by any proper officer of the Corporation prior to the date of this written consent is actually executed in effecting the purposes of the foregoing resolutions is hereby ratified, approved, confirmed, and adopted in all respects.

Further, I certify as follows:

1. That the Corporation has not been dissolved.

2. That as of the date hereof, the following individuals are the officers and directors of the Corporation and currently hold the positions listed next to each individual's name:

Albert Percival	President, Vice President, Treasurer, Secretary and Director
Patricia D. Yost	Assistant Secretary
Anthony C. Gallo	Director

3. That Whole Foods Market, Inc. is the sole shareholder of Whole Foods Market Group, Inc., that Walnut Sub Properties LLC is the sole shareholder of Whole Foods Market, Inc., that Walnut Sub Enterprises LLC is the sole member of Walnut Sub Properties LLC, that Amazon Fulfillment Services, Inc. is the sole member of Walnut Sub Enterprises LLC, and that Amazon.com, Inc., a publicly-traded company on NASDAQ, is the sole shareholder of Amazon Fulfillment Services, Inc.

A true copy attest,



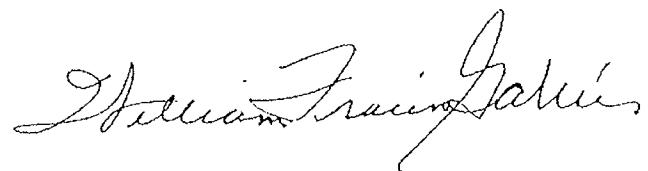
Albert Percival, President, Vice President, Treasurer and Secretary

Date: 9/18/17

THE COMMONWEALTH OF MASSACHUSETTS

I hereby certify that, upon examination of this document, duly submitted to me, it appears that the provisions of the General Laws relative to corporations have been complied with, and I hereby approve said articles; and the filing fee having been paid, said articles are deemed to have been filed with me on:

March 08, 2017 03:08 PM

A handwritten signature in black ink, appearing to read "William Francis Galvin". The signature is fluid and cursive, with "William" and "Francis" stacked above "Galvin".

WILLIAM FRANCIS GALVIN

*Secretary of the Commonwealth*

## Jop, Meghan

---

**From:** Brent McDonald <BMcDonald@nutter.com>  
**Sent:** Wednesday, October 18, 2017 6:45 PM  
**To:** Jop, Meghan  
**Cc:** Michael Scott; Kim Pinelli (NA WLY); Robert Donnelly (NA NAO); Jim Hughes (NA NAO)  
**Subject:** RE: Whole Foods - Electronic Copy of Beer and Wine License Applications  
**Attachments:** WFM Wellesley - CV License Plan\_10-18-17.pdf

Thank you Meghan. The Whole Foods team is confirmed for the hearing on October 30.

Per your suggestion, Whole Foods has been working to obtain countersignatures from Town departments to the application.

Whole Foods received the following feedback from Chief Pilecki yesterday, which you were copied on:

**From:** "Pilecki, Jack" <[jpilecki@wellesleyma.gov](mailto:jpilecki@wellesleyma.gov)>  
**Date:** October 17, 2017 at 1:07:26 PM EDT  
**To:** "[ezhaka@cmbteam.com](mailto:ezhaka@cmbteam.com)" <[ezhaka@cmbteam.com](mailto:ezhaka@cmbteam.com)>  
**Cc:** "[mcleary@wellesleyma.gov](mailto:mcleary@wellesleyma.gov)", "Jop, Meghan" <[mjop@wellesleyma.gov](mailto:mjop@wellesleyma.gov)>  
**Subject:** Beer and Wine Application

Elsiana,

I have reviewed your application for Retail Sale of Wines and Malt Beverages. My only concern is the location of these beverages at the check-out lanes. I am not comfortable with this and ask that they be removed from the plans before I sign off on the application.

Please contact me if you have any questions

In response to the Chief's comments, Whole Foods modified its layout plan to remove display space at the checkouts lanes (two 8 sf display areas and one 2 sf display area) and to add 2 new 9 sf display areas near the rear of the store proximate to the specialty wine area, meaning the total area remains at 2,000 sf (1,950 sf of display space and 50 sf of storage space). Whole Foods received confirmation today that the revised plan is acceptable to the Chief and the Police Department has countersigned the application.

Therefore, attached is a copy of the revised plan incorporating these changes that the Police Chief reviewed before signing off on the application. I would ask that you substitute this plan for the plan contained in the submitted application and that this revised plan be included in the materials provided to the Board.

We will provide you with all countersignatures to the application once they have been obtained.

Thanks,

Brent



**Brent McDonald**  
Nutter McCennen & Fish LLP  
Direct / 617-439-2486

---

**From:** Jop, Meghan [mailto:[mjop@wellesleyma.gov](mailto:mjop@wellesleyma.gov)]  
**Sent:** Monday, October 16, 2017 4:10 PM  
**To:** Brent McDonald <[BMcDonald@nutter.com](mailto:BMcDonald@nutter.com)>; Hobson, Sandy <[shobson@wellesleyma.gov](mailto:shobson@wellesleyma.gov)>  
**Subject:** RE: Whole Foods - Electronic Copy of Beer and Wine License Applications

Brent,

I left you a message, but the Selectmen have advertised to take this matter up on October 30<sup>th</sup> at 7:15 pm. The application was complete. I am happy to discuss further.

Meghan C. Jop, AICP  
Assistant Executive Director  
Town of Wellesley  
[mjop@wellesleyma.gov](mailto:mjop@wellesleyma.gov)  
(P) 781-431-1019 ext. 2205  
Direct dial 781-489-4300

Think Green... please don't print this e-mail unless it's absolutely necessary.  
When responding, please be advised, the Town of Wellesley and the Secretary of State have determined that email could be considered a public record.

---

**From:** Brent McDonald [mailto:[BMcDonald@nutter.com](mailto:BMcDonald@nutter.com)]  
**Sent:** Sunday, October 15, 2017 6:10 PM  
**To:** Hobson, Sandy <[shobson@wellesleyma.gov](mailto:shobson@wellesleyma.gov)>; Jop, Meghan <[mjop@wellesleyma.gov](mailto:mjop@wellesleyma.gov)>  
**Subject:** RE: Whole Foods - Electronic Copy of Beer and Wine License Applications

Meghan/Sandy:

I wanted to follow up with both of you to see if a date had been selected for the public hearing on the application as well as to see if your review indicated that anything was missing.

Thanks as always for your assistance!

Brent



**Brent McDonald**  
Nutter McCennen & Fish LLP  
[Direct / 617-439-2486](tel:617-439-2486)

---

**From:** Hobson, Sandy [mailto:[shobson@wellesleyma.gov](mailto:shobson@wellesleyma.gov)]  
**Sent:** Friday, October 06, 2017 2:53 PM  
**To:** Brent McDonald <[BMcDonald@nutter.com](mailto:BMcDonald@nutter.com)>  
**Subject:** RE: Whole Foods - Electronic Copy of Beer and Wine License Applications

Thanks, Brent. I plan on reviewing it next week. Light bedtime reading!!  
Sandy

*Sandy Hobson*

Selectmen's Office  
Wellesley Town Hall  
525 Washington St.  
Wellesley, MA 02482  
781-431-1019 ext 2204  
[shobson@wellesleyma.gov](mailto:shobson@wellesleyma.gov)



***~ Think Green... please don't print this e-mail unless it's absolutely necessary. ~***

When responding, please be advised that the Town of Wellesley and the Office of the Secretary of State have determined that E-mail could be considered a public record.

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**From:** [bmcdonald@nutter.com](mailto:bmcdonald@nutter.com) (via LeapFILE) [mailto:[no\\_reply@leapfile.com](mailto:no_reply@leapfile.com)]

**Sent:** Friday, October 06, 2017 2:11 PM

**To:** Hobson, Sandy <[shobson@wellesleyma.gov](mailto:shobson@wellesleyma.gov)>

**Subject:** Whole Foods - Electronic Copy of Beer and Wine License Applications

\*\*\* You have a secure file transfer awaiting download. Details enclosed. \*\*\*

---

FROM: [bmcdonald@nutter.com](mailto:bmcdonald@nutter.com)

TO: [shobson@wellesleyma.gov](mailto:shobson@wellesleyma.gov) ([shobson@wellesleyma.gov](mailto:shobson@wellesleyma.gov))

SUBJECT: Whole Foods - Electronic Copy of Beer and Wine License Applications

**FILE TRANSFER WAITING:**

Click the secure link to download.

<http://nutter.leapfile.com/get.jsp?t=ff8080815d6af3b5015ef2e0dfc001c7>

(TRANSFER EXPIRES October 11, 2017 02:11 PM)


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Attached are electronic copies of the Town of Wellesley and ABCC application and supporting materials. Although included in the ABCC application materials, since it is often the most reviewed document, I attach a copy of the floor plan as a separate pdf.

Thanks,

Brent ▀

This Electronic Message contains information from the law firm of Nutter, McCennen & Fish, LLP, which may be privileged and confidential. The information is intended to be for the use of the addressee only. If you have received this communication in error, do not read it. Please delete it from your system without copying it, and notify the sender by reply e-mail, so that our address record can be corrected. Thank you.



Project Title:		INTERIOR RENOVATIONS TO: 442 WASHINGTON STREET Wellesley, MA	
Prepared By:		JACOBS CONSULTANTS, INC. One Broadway, Cambridge, MA 02142 (617) 450-4600	
Seal:		WHOLE FOODS	
PLAN OF LICENSED PREMISES STORE LICENSE		PLAN FOR SECTION 16 PACKAGE	
Designed by KAK Drawn by CA Checked by KAK		Scale: 1/8" = 1'-0" Date: 09/05/17	
GROSS SQUARE FOOTAGE: FIRST FLOOR: 26,364 S.F. BASEMENT: 19,115 S.F.		PUBLIC ENTRANCES: 1 ACCESSIBLE ENTRANCES	
EXITS: 4 TOTAL (3 PUBLICLY ACCESSIBLE EXITS)		OCCUPANT LOAD: FIRST FLOOR: 691 OCCUPANTS	
OCCUPANT LOAD: FIRST FLOOR: 691 OCCUPANTS		SEATING CAPACITY: FIRST FLOOR: 44 SEATS EXTERIOR: 50 SEATS TOTAL: 94 SEATS	
BEER/WINE SALES/STORAGE SQUARE FOOTAGE: FIRST FLOOR: 1,950 S.F. BASEMENT: 50 S.F. TOTAL: 2,000 S.F.		Drawing No. CV-1 FIA WELLISLEY	
Project No. L1009413			



**4. Joint Meeting with Planning Board and Wellesley Housing Development Corp -**

There are two significant topics to discuss at this meeting, thus a joint meeting has been planned. The first item is to begin review of the two consultant proposals we received in response to our RFP to develop a Housing Production Plan. The Planning Board and members of the Housing Development Corporation will be joining us for that.

As the Town received two applications, the first step is to decide upon the process. The boards should determine whether they want to interview any of the candidates, or if one response stands out whether you initially only want to bring in one consultant. If an interview process is determined to be desirable, the options include inviting the boards and the consultants to all participate in interviews scheduled at a posted and broadcast meeting. Another strategy could be to have a subset of each of the boards (i.e. not a quorum) interview each of the consultants. If this option is preferred, the joint meeting should take the opportunity to determine the types of questions they would like answered. It is envisioned that these interviews would be taped so that other board members could watch them, and then have either one or both consultants then come in for a joint meeting.

Regardless of which option is chosen on Tuesday night, it would be very helpful if the Boards could provide their thoughts on the proposals, and raise any questions that they would like to see brought up in an interview situation.

**Move** to convene a joint meeting with the Planning Board and Wellesley Housing Development Corporation.

**Move** to elect Ellen Gibbs as chair of the joint meeting.

**Move** to elect Deb Carpenter as secretary of the joint meeting.

**NO MOTION**



# Proposal for Housing Production Plan Services

Town of Wellesley  
October 13, 2017



**BARRETT**  
PLANNING GROUP LLC

Submitted by:  
Barrett Planning Group LLC  
Duxbury, Massachusetts  
Judi Barrett, Principal

**JM Goldson**  
community preservation  
+ planning

In association with:  
JM Goldson community preservation +  
planning  
Roslindale, Massachusetts  
Jennifer Goldson, AICP, Principal

**NON-PRICE PROPOSAL**



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## OVERVIEW

Barrett Planning Group LLC is pleased to submit this proposal to assist the Town of Wellesley with preparing a Housing Production Plan. For this engagement, we have assembled an experienced team with a proven track record: Judi Barrett of Barrett Planning Group and Jennifer Goldson, AICP, of JM Goldson community preservation + planning. Given the scope of work outlined in the Town's Request for Proposals (RFP), we believe our team is ideally qualified to serve you. We offer the following competitive advantages:

- Recognized expertise in housing needs analysis, strategic planning, and real estate economics for affordable and market-rate housing;
- Extensive experience with local government planning and policy analysis, particularly in Massachusetts cities and towns;
- High comfort level working with professional staff, boards and commissions, the general public, and developers;
- Extraordinary depth of knowledge and experience in Greater Boston housing conditions;
- Extensive housing and community development experience in New England; and
- A talented team of planners with top-notch skills in demographic studies and spatial analysis with GIS technology.

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### BARRETT PLANNING GROUP LLC

#### **Judi Barrett, Principal**

Judi Barrett, principal of Barrett Planning Group LLC and economic development director for the Plymouth Regional Economic Development Foundation, is a veteran planner and community development professional with 30 years of experience in state and local government and the private sector, mainly in New England. She has prepared numerous municipal comprehensive plans, neighborhood revitalization plans, zoning ordinances and bylaws, and housing plans, and she is highly respected for her work in socioeconomic and fiscal impact analysis. Judi is known nationally for her work in inclusionary zoning. As a consultant for



the Massachusetts Housing Partnership (MHP) Chapter 40B Technical Assistance Program, Judi has worked with Boards of Appeal throughout the state. She is the principal author of MHP's recently published *Chapter 40B Handbook for Zoning Boards of Appeal* (2016).

Judi's most recent experience with Housing Production Plans includes the Towns of Brookline, Nantucket, Lenox, and Brewster, in all cases serving as project manager and lead consultant (while employed at RKG Associates, Inc.).

Judi previously served as Director of Municipal Services for RKG Associates, Inc., of Boston, Alexandria, VA, and Atlanta, GA; Planning Director at Community Opportunities Group, Inc., in Boston; CDBG Program Director at the Massachusetts Department of Housing and Community Development (DHCD); and Community Development Director for the Town of Plymouth, MA. She holds an A.B. from Harvard and has completed graduate courses in planning, community development, and immigration studies at Tufts, Harvard, and the University of Massachusetts-Boston.

A frequent panelist at professional conferences, Judi also serves as a guest lecturer for graduate and undergraduate planning courses, a trainer for the Massachusetts Citizen Planner Training Collaborative (CPTC), and an AICP exam prep course instructor. She is on the Board of Directors of the Massachusetts Chapter, American Planning Association, where she also chairs the Housing and Community Development Committee, and she also serves on the Housing and Economic Development Product Council of the Urban Land Institute, New England.

---

### JM GOLDSOM COMMUNITY PRESERVATION + PLANNING

#### **Jennifer Goldson, AICP, Principal**

Established in 2006 by community planner Jennifer Goldson, AICP, JM Goldson has a strong track record of helping communities develop strategic priorities for community preservation and affordable housing through interactive public engagement. Jennifer has a diverse 20-year background as a professional community planner that blends specialties in housing, community preservation, and land use planning. She specializes in creating Housing Production Plans, Housing Needs Assessments, Community Preservation Act Plans, and Affordable Housing Trust Action Plans. JM Goldson has completed Housing Production Plans and Housing Needs Assessments, as well as facilitated housing workshops for a variety of communities including Barnstable, Bridgewater, Concord, Easton, Medway, Norwood, Pelham, Southborough, and Sudbury.



In addition, Jennifer is the primary author of the Massachusetts Housing Partnership's (MHP) *Municipal Affordable Housing Trust Guidebook* and *Housing Trust Operations Manual*. Jennifer is also currently working with MHP as primary author of the updated *Community Preservation Act and Affordable Housing Guidebook*.

Prior to forming JM Goldson, Jennifer served as community planner in the Town of Brookline and City of Newton. In Brookline, Jennifer assisted in development and design reviews, working closely with the Planning Board, and served as project manager for the Town's comprehensive planning initiative.

Jennifer's firm includes Lara Kritzer, who recently joined JM Goldson after more than 10 years as Senior Planner in the Town of Concord Planning Department. Lara's resume, along with that of Judi Barrett and Jenn Goldson, can be found at the end of our proposal.

---

### COLLABORATIVE EXPERIENCE

Barrett Planning Group LLC and JM Goldson are well known and highly respected in Massachusetts planning circles. They also are well known to each other as colleagues and collaborators. In the past three years, Judi Barrett and Jennifer Goldson worked together on Housing Production Plans in Brookline, Nantucket, Brewster, and for the towns on Martha's Vineyard. They also collaborated in Tewksbury for a recently completed Vision Plan, and they are currently working together in North Andover on a master plan update and zoning revision.



## PROJECT REQUIREMENTS AND RESPONSE TO RFP

Wellesley is an impressive, maturely developed suburb of Boston. It is a higher education mecca that offers an exceptional quality of life and amenities and a resident population with high expectations. Wellesley attracts home seekers who want the advantages of urban living and excellent public services, especially schools. With little vacant land (and expensive land, too), intense pressure for redevelopment, populations with different needs all competing for the same desirable housing supply, and Wellesley's prestige all contribute to the town's very high housing costs. In turn, its hot housing market has gradually fueled growth and change conditions that have helped to widen the wealth gap and exacerbate housing affordability problems.

To arrive at a workable housing strategy requires more than statistical analysis and projections. Town government, non-profit and for-profit developers, human service agencies, charitable organizations, and dedicated citizens need a shared understanding of roles and responsibilities and a commitment to work together. Although Wellesley's total population has not changed significantly, there is evidence that economic, social, and cultural change has occurred here as households have continued to come and go. Just about everywhere, economic change often triggers social conflict, and Wellesley is no exception. Not all parts of the town have benefited from the effects of rising household wealth and new housing construction. Wellesley does have residents who struggle to make ends meet and have trouble finding housing they can reasonably afford.

Wellesley needs a framework for achieving a shared vision of its housing future and a strategic plan for getting there. Through the efforts of the Planning Board, Zoning Board of Appeals, Wellesley Housing Development Corporation and others, Wellesley has taken steps to provide for housing affordability and access to housing choices. Recognizing the intensity of housing demand in Wellesley and the challenge of managing the Chapter 40B permitting process, the Town wants to prepare a Chapter 40B Housing Production Plan to identify housing opportunities and gain as much control as possible over comprehensive permits. While doing so, the Town also wants to make the most efficient use possible of existing data, plans, and studies.

It is important to note that while Chapter 40B recognizes three statutory minima, the Department of Housing and Community Development's Housing Production Plan regulation focuses on only one: producing enough low- or moderate-income housing to reach the 10 percent minimum number of affordable units.

## APPROACH AND PLAN OF SERVICES

Barrett Planning Group's work plan includes the tasks outlined below. If selected for this engagement, we would be pleased to negotiate work plan adjustments to meet the Town's needs. A chart outlining the following tasks and identifying the primary team member(s) responsible for each task can be found at the end of this section.

---

## MOBILIZATION

Our team will participate in a kickoff meeting with Town staff and, if desired by the Town, members of the Town boards that will serve as a working group. The kickoff meeting should include time set aside for a tour of the Town, with staff or a member of the committee assisting as a guide. The kickoff meeting will provide an opportunity to make any necessary adjustments in the plan of services, finalize the public participation plan and determine the best approaches to civic engagement in Wellesley, and obtain data or documentation that is not readily available on the Town's website.

---

## HOUSING MARKET ANALYSIS AND NEEDS ASSESSMENT

To provide useful policy and program recommendations, it is essential to understand the local and regional context for affordable housing in Wellesley. The tasks outlined below will help to accomplish that objective and make optimum use of the Town's existing plans, studies, and databases.

- **Existing Plans.** We will review Wellesley's Comprehensive Plan and in-progress Unified Plan documents, other local plans and pertinent information from outside sources, and identify data gaps that should be addressed during development of the Housing Production Plan. The Barrett/Goldson team will verify the adequacy of available data for understanding and documenting historic trends and future projections, e.g., building permits and demolition permits, assessor's parcel data employment, business establishments, incomes, affordability, and other key variables from existing secondary sources.
- **Local Housing Conditions and Submarket Boundaries.** The Barrett/Goldson Team will prepare an inventory of existing housing conditions and housing market trends, using available data from the Planning Department (e.g., pipeline projects and recent approvals), Board of Assessors, GIS, and other sources such as the American Community Survey (ACS), ESRI Business Analyst, Social Explorer, HUD CHAS Data, and so on. Relevant trends will be reviewed, spatially analyzed, and mapped at the sub-market level for up to four sub-markets (the geography of sub-markets to be determined in consultation with the Town).
- **Affordable Housing Barriers and Opportunities.** No housing needs study is complete without an assessment of local capacity and barriers to affordable housing development. Accordingly, we will review the Town's land use regulations and permitting procedures, infrastructure, and public services for their potential impact on future housing development, and specifically on the creation and preservation of affordable housing. In addition, we will review, analyze, and describe existing housing development capacity in Wellesley, considering local and regional organizations, both public and private.
- **Issues Analysis.** The Barrett/Goldson team will identify and document key issues and findings from the research and analysis tasks performed above, and generate a discussion document for

review and comment by the Town. The issues analysis will focus on not only statistical indicators of housing need, but also regulatory, physical, infrastructure, and capacity impediments that have to be accounted for in developing housing plan strategies and recommendations.

---

## HOUSING GOALS

Barrett/Goldson will assist the Town in developing goals for the Housing Production Plan. “Goals” are numeric on one hand – number of units – and qualitative on the other hand, e.g., types of housing the Town needs, or underserved settings with critical housing needs. The goals should be informed by DHCD’s housing plan certification requirements (meaning the minimum one- and two-year certification targets), but what is most important is a clear description of Wellesley’s own quantitative and qualitative goals.

---

## HOUSING STRATEGIES (ACTION PLAN)

■ **Site Suitability Criteria.** We will work with Town staff and boards to determine criteria that can be used to identify and evaluate potential sites for affordable or mixed-income housing, or housing in mixed-use developments. For site identification decisions, we encourage municipal boards to identify properties or areas they think would be appropriate and let the consultants conduct a technical review of those sites. This approach has always worked well, in our experience, largely because it respects the knowledge that already exists in local government and reinforces that the community owns the plan. Nevertheless, we understand that Wellesley would like the criteria to be vetted and determined in an open public process, e.g., a community meeting sponsored by the Planning Board or other town agency, and our team will be pleased to facilitate that kind of process.

It is important to note that the approach requested by Wellesley is very similar to the approach the Town of Brookline hoped to follow. Among the many “lessons learned” in Brookline: the number and types of criteria people wanted to apply to the site identification and prioritization process did not produce the results that Brookline’s steering committee expected. In the end, the criteria had to be narrowed considerably, and it is best to make that clear at the outside of the criteria selection process in order to manage expectations.

The Board of Selectmen will be updated about the status of this project while the site criteria and site identification tasks are underway.

■ **Identification of Suitable Sites; Prioritization.** Using zoning assumptions provided by Town staff (e.g., effective FAR multipliers) and GIS technology, we will work with the Town to apply a reasonable set of criteria and identify potentially suitable locations for affordable and mixed-income housing. Sites meeting all or a substantial majority of the previously agreed-upon criteria will be determined in consultation with town boards and the public at a meeting under the direction of the Planning Board or working group and following a general review of

those sites, we will report back to the Town by presenting our review and initial recommendations.

■ **Recommendations.** Barrett/Goldson will identify opportunities for regulatory reform and other mechanisms to bridge the gap between existing conditions and Wellesley's affordable housing needs. The recommendations should include, at a minimum:

- Land development regulations;
- Financial mechanisms to support the development of affordable housing;
- Employer and institutional involvement;
- Potential use of Chapter 40B, Chapter 40R, and other measures;
- Staffing needs for carrying out affordable housing initiatives;
- Potential for partnerships or regional collaborations; and
- A review of "best practices" from other communities in New England and beyond, considering communities with similar demographics and location characteristics.

■ **Implementation Schedule.** Barrett/Goldson will propose a five-year action plan schedule to guide the Town's implementation of strategies outlined in the plan.

■ **Presentations.** Our team will present a draft of key findings, goals, and strategies at a public meeting sponsored by the Planning Board or working group and present the final Housing Production Plan at a public meeting of the Board of Selectmen. Ideally, the Board of Selectmen and Planning Board should conduct a joint hearing to consider the proposed Housing Production Plan, as both boards are required to approve the plan and submit it to DHCD for review.

■ **Technical Appendix.** Summary metrics of current and projected demands for affordable housing, a report glossary, comparable community case studies, and other documentation as needed.

## COMMUNITY PARTICIPATION; PROPOSAL ASSUMPTIONS

Barrett Planning Group assumes the following meeting commitments and project coordination responsibilities in order to complete this project:

■ A kickoff meeting with the Planning Department to discuss the project approach and timetable, refine the scope of work, and develop a public participation plan.

- Four public meetings which may occur primarily under “Housing Strategies” and the adoption process, but they may also be divided up to accommodate the needs of other tasks in the scope of services. Meeting design will be determined as part of the public participation plan. An alternative the Town may wish to consider would be three community-wide public meetings and two focus groups with a selection of knowledgeable residents whose experience could help to refine, shape, and make practical the goals and recommendations of the Housing Production Plan. Again, this can be discussed and resolved when the public participation plan is developed.
- One day of individual or small-group interviews and/or focus groups conducted as part of developing the Housing Strategies (Action Plan).
- Reasonable number of daytime project coordination meetings with Town staff, which may be done face-to-face or by videoconference, e.g., Webex.

Barrett Planning Group understands that these assumptions may need to be adjusted following discussions at the kickoff meeting. We recommend including opportunities for civic engagement during the early phases of the project so the public will know this project is underway and that residents will have a chance to participate well before the plan is substantially developed.

## PROJECT SCHEDULE

The Barrett/Goldson Team agrees that the proposed project can be completed within 28 weeks, but a 28-week completion goal is a little ambitious. For a Housing Production Plan, the schedule issues that can arise have far less to do with the consultant’s level of effort than with the community’s need for time to hear, digest, reach agreement about, and work with the information the consultants submit along the way. If Wellesley determines that it needs additional time for consensus building, deliberation, or negotiation, we will consider a modest extension of the contract to meet the Town’s needs. Otherwise, we understand the project should be completed within 28 weeks and our proposed schedule is based on that assumption.

## DELIVERABLES

Barrett Planning Group will provide the following deliverables to the Town:

- Interim reports: Housing Needs, Goals, and Strategies, submitted to the Town in electronic format (PDF);
- PowerPoint presentations for each of the public meetings included in our proposal; and

- Twenty bound copies of the HPP, including a separate stand-alone Executive Summary, in written and electronic format.

## TEAM RESPONSIBILITIES BY TASK

The chart below lists tasks, lead responsibilities, and approximate time required for each major phase of the project. (Time is expressed in number of weeks from Notice to Proceed.)

PROJECT RESPONSIBILITIES & ORGANIZATION		
Task/Approximate Completion Timeline	BPG	JMG
<b>MOBILIZATION</b> (Within 3 weeks of NTP)		
Start-up tasks (e.g., kickoff meeting, tour)	★	★
Assemble, organize demographic, market, GIS data	★	
Review existing plans		★
<b>NEEDS ASSESSMENT</b> (7 weeks from NTP)		
Data Review: Existing Conditions & Trends	★	○
Sub-markets assessment	★	○
Population, social, economic trends		★
Existing housing conditions and trends	★	○
Municipal services, schools, utilities		★
Transportation/mobility	★	
Interviews/focus groups		★
Analysis of constraints		
Regulatory, physical, market	★	
Resources/capacity assessment		★
Fair housing	★	
<b>GOALS</b> (9 weeks from NTP)	○	★
<b>STRATEGIES</b> (20 weeks from NTP)		
Criteria for suitable locations	★	
Refine criteria	★	
Evaluate public/private sites	★	
Identify development strategies, roles/responsibilities	★	○
Develop proposed timeline		★
<b>FINAL HPP</b> (28 weeks from NTP)	★	
<b>PUBLIC MEETINGS</b> (4) (TBD in citizen participation plan)	○	★

★ = Primary responsibility

○ = Support role

\*NTP = Notice to Proceed

## SIMILAR EXPERIENCE

The following lists identify Chapter 40B Housing Production Plans and related housing planning work completed by Judi Barrett or Jennifer Goldson.

### **BARRETT PLANNING GROUP**

The following housing plans and related projects were led by Judi Barrett:

- *Housing Production Plan*, Town of Brookline; completed 2016
- *Housing Production Plan*, Town of Nantucket; completed 2016
- *Nantucket Workforce Housing Needs Assessment*, Housing Nantucket, Inc.; completed 2015
- *Housing Production Plan*, Town of Lenox; completed 2017
- *Newton Housing Strategy*, City of Newton; completed 2015
- *Falmouth Housing Needs Study and Demand Analysis*; completed 2014 (received APA-MA Project Planning Award)
- *Good Neighbors: Kingston Affordable Housing Plan*, Town of Kingston; completed 2012
- *Housing Production Plan*, Town of Groton; completed 2014
- *Amherst Housing Market Study; Inclusionary Zoning Review and Tax Incentive Subsidy Strategy*; Town of Amherst, 2015
- *Chapter 40B Handbook for Zoning Boards of Appeal* (prepared for Massachusetts Housing Partnership); completed 2017

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### **JM GOLDSOM**

- *Agawam Housing Production Plan*; Town of Agawam, completed 2017
- *Sudbury Housing Production Plan*; Town of Sudbury, completed 2016
- *Concord Housing Production Plan*; Town of Concord, completed 2015
- *Southborough Housing Production Plan*; Town of Southborough, completed 2014
- *Norwood Housing Production Plan*; Town of Norwood, completed 2013
- *Bridgewater Housing Production Plan*; Town of Bridgewater, completed 2012

## COMPETING COMMITMENTS

Barrett Planning Group has the following commitments underway during the period of performance for Wellesley's Housing Production Plan:

Project	Client	Target Completion Date
Zoning for Affordable Housing and Senior Residential Development/Universal Design	Town of Littleton Planning Board	October 30, 2017
Zoning Ordinance Recodification and Update	Town of Southbridge	September 2018
Phase 2 Zoning Revision	Town of Tewksbury	May 2018
Millbury Master Plan (subcontractor to BSC Group)	Town of Millbury	June 2018



## REFERENCES

The following references are for projects recently completed by Judi Barrett or Jennifer Goldson (or both). All projects listed here are also identified under “Similar Experience” in our proposal.

### **BARRETT PLANNING GROUP**

Brookline Housing Production Plan (2016)

Alison Steinfeld, Director

Joseph Viola, Assistant Director

Brookline Planning Department

Phone: (617) 730-2130

Email: [asteinfeld@brooklinema.gov](mailto:asteinfeld@brooklinema.gov) or [jviola@brooklinema.gov](mailto:jviola@brooklinema.gov)

*\*Project with Barrett-Goldson collaboration*

Nantucket Housing Production Plan

Andrew Vorce, AICP

Director of Planning and Land Use Services

Phone: (508) 325-7587

Email: [avorce@nantucket-ma.gov](mailto:avorce@nantucket-ma.gov)

*\*Project with Barrett-Goldson collaboration*

Newton Housing Strategy (2015)

James Freas, AICP, Deputy Planning Director

Phone: (617) 796-1120

Email: [jfreas@newtonma.gov](mailto:jfreas@newtonma.gov)

Falmouth Housing Demand Study (2014)

Brian Currie, AICP, Planning Director

Town of Falmouth

Phone: (508) 495-7440

Email: [bcurrie@falmouthmass.us](mailto:bcurrie@falmouthmass.us)

Kingston Housing Production Plan (2014)

Thomas Bott, Town Planner

Town of Kingston, MA 02364

Phone: (781) 585-0549

Email: [tbott@kingstonmass.org](mailto:tbott@kingstonmass.org)

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## JM GOLDSON

Concord Housing Production Plan (2010 and 2015 Update)

Marcia Rasmussen, Planning Director

Town of Concord

Phone: (978) 318-3290

Email: [mrasmussen@concordma.gov](mailto:mrasmussen@concordma.gov)

Southborough Housing Production Plan

Jennifer Burney, Town Planner

Town of Lincoln

Phone: 781-259-2610

Email: [burneyj@lincolntown.org](mailto:burneyj@lincolntown.org)

\*Jennifer Burney served as Southborough Town Planner when JM Goldson completed the Housing Production Plan



## RESUMES AND PROPOSAL CERTIFICATIONS





Judi Barrett, Principal  
Barrett Planning Group LLC  
843 Franklin Street/PO Box 2730  
Duxbury, Massachusetts 02331  
Tel. (781) 834-7324 Cell (781) 206-6045



Judi Barrett, principal of Barrett Planning Group LLC, is a veteran planner and community development professional with 30 years of experience in state and local government and the private sector. She has prepared numerous municipal comprehensive plans, neighborhood revitalization plans, zoning ordinances and bylaws, and housing plans, and is highly respected for her work in socioeconomic and fiscal impact analysis.

## PROFESSIONAL EXPERIENCE

**Principal, Barrett Planning Group LLC, April 2017-Present.** Small private consulting firm with 30 years of community planning experience. Judi Barrett has prepared numerous municipal comprehensive plans, neighborhood revitalization plans, zoning ordinances and bylaws, and housing plans, and is highly respected for her work in socioeconomic and fiscal impact analysis. In addition, she assists local boards as a peer reviewer and advisor, often in her capacity as a Massachusetts Housing Partnership (MHP) Chapter 40B Technical Assistance Consultant.

**Director of Municipal Services, RKG Associates, Inc., May 2013 – April 2017.** Played an instrumental role in expanding RKG's practice in Massachusetts as part of a longer-term company plan to consolidate and reorganize its New England operation. Responsible for marketing, business development, project management, client relations, and supervising teams of RKG staff and subcontractors. Significantly expanded the firm's housing planning and policy work. Projects ranged from comprehensive plans to major zoning revisions, housing plans, economic development plans and policy studies, conflict resolution, and training and technical assistance contracts. Served as principal author of MHP's new Chapter 40B handbook for zoning boards of appeal.

**Director of Planning, Community Opportunities Group, Inc., March 1996 – April 2013.** Established and built a well-respected municipal planning practice for a small Boston-based firm that specializes in community development and housing. Planning group offered services in city and town planning, housing and economic development plans, zoning, fiscal impact analysis, technical assistance, and capacity building. Also provided expert witness services for Chapter 40B comprehensive permit appeals. Won three planning awards from the Mass. Chapter of the American Planning Association.

**Director, Community Development Fund, Executive Office of Community Development, June 1993 – March 1996.** Managed the Community Development Fund (CDF), the Commonwealth's largest set-aside of Community Development Block Grant (CDBG) funds for non-entitlement cities and towns. Directed annual application round, prepared application package and technical assistance materials, oversaw the review and awards process, and supervised grant compliance and grantee monitoring. Reported to Deputy Secretary of Community Development.

**Community Development Administrator, Town of Plymouth. September 1988 – June 1993.** Responsible for developing a comprehensive community development department offering housing, economic development, and other programs and services with CDBG and other funds. Oversaw the formation of Plymouth's "Main Street" program (Downtown/Waterfront), wrote the special

legislation that created the Tourism Fund and Visitor Services Board, and provided staff support and technical assistance to numerous boards and commissions. Assisted with preparing master plans for the Downtown/Waterfront Area, North Plymouth, and Manomet.

## EDUCATION

Harvard University, Bachelor of Liberal Arts (cum laude). Concentrations: American Civilization and Government.

Graduate coursework in American Studies, University of Massachusetts Boston; and Economics and Community Development at Harvard University and Tufts University.

## PROFESSIONAL AFFILIATIONS & SERVICE

- American Planning Association (APA)
- APA-Massachusetts Chapter, Chair, Housing and Community Development Committee
- Congress of New Urbanism (CNU)
- Urban Land Institute, Boston/New England Chapter, Member, Housing and Economic Development Product Council
- Trainer, APA-MA AICP Exam Preparation Course, 2008-Present. Topics: Economic Development and Public Participation/Community Engagement.
- Trainer, Citizen Planner Training Collaborative (CPTC), 2006-Present. Topics: Planning with Community Support, Creating a Master Plan, Nonconforming Uses and Structures, Vested Rights, Chapter 40B, and Variances and Spot Zoning.
- Trainer, Neighborhood Revitalization Strategy Areas (NRSA) and Neighborhood Planning Strategies for HUD CDBG grantees, 2015.
- Frequent Speaker at Statewide, Regional, and National Conferences (Recent Examples)
- ULI Housing Conference: Housing Opportunity, May 2016, Boston, Massachusetts. “Affordability in the Suburbs: From Fair Housing to Community Opposition.”
- APA National Conference 2017, New York, NY. “Office Hours: Focus on Fair Housing” and “Advancing Fair Affordable Housing Goals.”
- APA National Conference 2015, Seattle, WA. “Connecting Community Plans.”
- APA Northeast Region Conference, 2015, Saratoga Springs, NY. “Getting Ahead of Demographic Trends.”

## SKILLS

Excellent communication skills, both oral and written

Proficient in ArcGIS, Adobe Creative Suite, and Microsoft Word, Excel, and PowerPoint

Basic knowledge of SketchUp, Microsoft Access

## JENNIFER M. GOLDSON, AICP, FOUNDER

### PROFESSIONAL PROFILE

Jennifer M. Goldson, a certified professional planner, formed JM Goldson community preservation + planning in 2006 to help communities create successful community visions and master plans, community preservation programs, and address affordable housing needs. Her 20+ year professional background blends affordable housing, comprehensive planning, historic preservation, open space conservation, community engagement, and implementation of the Massachusetts Community Preservation Act. Jennifer is certified by the American Institute of Certified Planners and is a member of the International Association of Facilitators.

JM Goldson provides client communities with a balanced approach to planning. JM Goldson's approach focuses on protecting community assets and enhancing housing choice in ways that are compatible with other community and regional goals. JM Goldson is known for facilitating highly-interactive public engagement and customizing services to best meet client communities' needs.

JM Goldson has a strong track record assisting communities with community visioning and master planning, community preservation, and affordable housing planning and implementation, including Community Vision Plans, Housing Production Plans, Housing Needs Assessments, Community Preservation Plans, and Affordable Housing Trust Action Plans. Jennifer is the primary author of Massachusetts Housing Partnership's (MHP) *Municipal Affordable Housing Trust Guidebook*, which received the 2010 Outstanding Planning Award from the Massachusetts Chapter of the American Planning Association. Jennifer is also the primary author of MHP's *Municipal Affordable Housing Trust Implementation Manual*, released in November 2015, and the updated MHP and CHAPA Community Preservation and Affordable Housing Guidebook *Create, preserve, support*, released in early 2016.

Among JM Goldson's municipal clients are Agawam, Amherst, Arlington, Barnstable, Brewster, Bridgewater, Brookline, Concord, Eastham, Easton, Hopkinton, Grafton, Manchester-by-the-Sea, Medway, Middleborough, Norwood, Pelham, Stockbridge, Stoughton, Somerville, Southborough, Sudbury, West Bridgewater, Westford, Westport, and Williamstown. In 2008, Jennifer was the primary author of the Community Preservation Coalition's *CPA Update*, a monthly email-newsletter subscribed to by Community Preservation Committees across the state.

Prior to forming JM Goldson, Jennifer managed the City of Newton's Community Preservation program, one of the first and largest CPA programs in Massachusetts. Under her management, Newton's CPA program funded over \$12 million in community housing, open space, recreation, and historic preservation projects, including the city's purchase of Angino Farm, the last farm in Newton, and Kesseler Woods. Working with the city from inception of the CPA program, she established and administered a clear and effective evaluation and review process that the Community Preservation Committee relied on to select projects in highly competitive funding rounds.

As project manager for the Town of Brookline's comprehensive planning initiative, Jennifer worked closely with the Comprehensive Plan Committee, town officials, and neighborhood groups to identify issues and opportunities in the areas of affordable housing, parks and open space, historic

preservation, transportation, economic development, and community facilities. Jennifer was primary author of *The Brookline Plan: Program & Progress*, a document culminating the first phase of the comprehensive planning process.

In addition to her experience in local government, Jennifer has extensive experience in the private sector. She was a preservation planner for the Newport Collaborative Architects, a full-service architecture and planning firm in Newport, Rhode Island, where she prepared community visioning and master plans. She also developed town-wide historic resource surveys for the Connecticut Historical Commission and prepared historic tax credit applications for rehabilitation projects in Rhode Island. Prior to that, Jennifer was a preservation research associate for the Conservation Technology Group in Newport, a firm specializing in the conservation of historic sites, architecture, and monuments.

Jennifer earned a Master's degree in Community Planning from the University of Rhode Island and a BS in Historic Preservation with a minor in Architecture from Roger Williams University. She was editor of the New England Planning Newsletter and served on the Board of the Massachusetts chapter of the American Planning Association.

In her hometown, Jennifer served as vice president of the Roslindale Village Main Street (RVMS) Board of Directors, co-chair of the RVMS Design Committee, and was appointed by Mayor Menino as a member of the Roslindale Advisory Group for Strategic Planning & Rezoning. She was recognized by Mayor Menino for her contributions to the RVMS Design Committee as volunteer of the year.

## LARA KRITZER, PRINCIPAL PLANNER

### PROFESSIONAL PROFILE

Lara Kritzer joined JM Goldson community preservation + planning in 2017 with an interest in applying her expertise in historic preservation, the Community Preservation Act, and community planning to assist communities in reaching their planning and preservation goals. Her 17 years of experience in municipal government has focused primarily on historic preservation, affordable housing, and the administration of the Massachusetts Community Preservation Act and includes extensive experience in grant writing and administration, comprehensive and community planning, open space conservation, neighborhood design reviews and surveys, as well as community engagement.

Lara joins JM Goldson after nearly a decade as the Senior Planner for the Town of Concord. There, Lara's work focused on the oversight and development of the Town's Community Preservation Act, Local Historic Districts, and Historical Commission activities and programs. As staff to the Community Preservation Committee, Lara was responsible for administering an application and project oversight program with an average of \$1.4 million in annual allocations to projects in community housing, open space, recreation, and historic preservation. The wide range of her work in this area includes experience with the purchase of open space and agricultural lands; the restoration of both locally and nationally significant historic sites; the development of new playing fields and park spaces; and the construction of new affordable housing units both in existing and new developments.

Lara was the primary author of the Historic Districts Commission's new Design Guidelines and provided technical assistance in writing the Districts first set of comprehensive Rules and Regulations, Administrative Practices, and New Construction policies in the 50+ year history of Concord's Districts. Lara assisted the Historical Commission in writing the Town's new Demolition Review Bylaw, including developing the administrative and review processes necessary for its smooth implementation, and oversaw the Town's Historic Survey and newly established Archaeology programs. Her experience in affordable housing includes unit purchases, rehabilitations, and resales; the development of Housing Production and Fair Housing plans; and the implementation of Concord's Small Grants Program and initial HOME program requirements.

Prior to her work in Concord, Lara was the Senior Preservation Planner for the City of Newton for eight years, with direct responsibility for the oversight of their Demolition Review and Historic District programs. While in Newton, Lara worked to establish clear and consistent processes for both programs. During her tenure in Newton, Lara oversaw the creation of two new Local Historic Districts from the initial public meetings and neighborhood discussions to the creation of an administrative review process and the training of the new Historic District Commissions. Her work also included expanding the City's Historic Resource Inventory; developing a Citywide Preservation Plan and Post WWII Housing Survey; reestablishing and expanding the City's historic neighborhood walking tour program; and growing the Town's Local Landmark Program.

In both communities, Lara expanded the capacity of the existing programs by taking advantage of grant and other funding sources whenever possible. Lara has extensive experience in writing

grants and requests for proposals, and has served as the project coordinator for both construction and survey grants. Her experience also extends to the Section 106 Review and other State required Project Notification form processes.

Lara has a master's degree in historic preservation from Boston University and received a BA in History with a minor in business from Washington University in St. Louis. Lara is a past member of Newton's Urban Design Committee and served on the American Planning Association's National Conference Committee for their Boston Conference.

**Bidder Information Response**  
**Development of Housing Production Plan**

Legal Name of the Bidder: \_\_\_\_\_

Company Name: \_\_\_\_\_

Company Address: \_\_\_\_\_

City State Zip: \_\_\_\_\_

Company Web Address: \_\_\_\_\_

Company Telephone: \_\_\_\_\_ Company Fax Number: \_\_\_\_\_

State of Incorporation (Date): \_\_\_\_\_

If the bidder is a partnership, give full names and addresses of all partners; and if an individual, give residential address if different from business address.

**Company Contacts - Required**

**Individual Submitting the Bid:**

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

**Individual to be contacted about the Bid:**

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

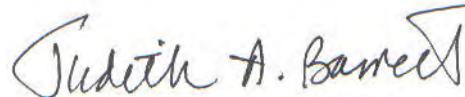
Telephone: \_\_\_\_\_ Fax number: \_\_\_\_\_

Email Address: \_\_\_\_\_

Best Times to Contact: \_\_\_\_\_

### CERTIFICATE OF NON-COLLUSION

The undersigned certifies under penalties of perjury that this bid or proposal has been made and submitted in good faith and without collusion or fraud with any person. As used in this certification, the word "person" shall mean any natural person, business, partnership, corporation, union, committee, club, or other organization, entity, or group of individuals.



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Signature of person signing proposal

Date

**Judith A. Barrett, Principal**

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Printed Name and Title

**Barrett Planning Group LLC**

---

Name of Business

# PROPOSAL FOR CONSULTANT SERVICES

## Housing Production Plan

TOWN OF WELLESLEY



**Prepared for:**  
Town of Wellesley

**Submitted by:**

Karen Sunnarborg Consulting  
Abacus Architects + Planners  
13 October 2017

3 Parkside Drive  
Jamaica Plain, MA 02130  
617/983-9883  
119 Braintree Street  
Boston, MA 02134  
617/562-4446



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*The Price Proposal is included in a separate and sealed envelope.*



## LETTER OF INTENT

October 13, 2017

Karen Sunnarborg Consulting  
3 Parkside Drive  
Jamaica Plain, MA 02130  
617-983-9883

Mr. Michael Zehner, Planning Director  
Town Hall, Ground Floor  
525 Washington Street  
Wellesley, MA 02482

Dear Mr. Zehner:

I would like to formally express my interest in preparing a Housing Production Plan for the Town of Wellesley that will meet all state requirements of 760 CMR 56.00 and the Housing Production Guidelines of December 2014. I have assembled a team of professionals that can provide a multi-disciplinary orientation to insure that this Housing Plan is an effective and far-reaching document. Abacus Architects + Planners will work with me to propose site selection, planning and design strategies that will balance the need for affordable housing with the Town's desire to maintain its historic and small town character and put the Plan into action. We have worked effectively together in the past on the development of Housing Plans for the communities of Beverly, Hanover, Newburyport, Peabody, Amherst, Wakefield and the City of Lawrence. This experience has taught us that the presentation of well-designed, visual representations of housing opportunities within an inclusive and transparent public process dispels many concerns about affordable housing and its impact on the community. Our Plan for Hanover received an award from the American Planning Association (APA).

*Karen Sunnarborg Consulting*

Briefly, I was professionally trained as a planner at Harvard's Graduate School of Design and have been involved in planning for the preservation and development of affordable housing for more than 40 years. During the last 20 years, my consulting work has focused on coordinating planning and development efforts to build the capacity of small towns and cities in the area of affordable housing production and regulatory reform.

Producing Housing Needs Assessments and Strategic Housing Plans has been the core of my consulting practice. This work has included the preparation of more than 60 such Plans, many for communities in the Boston Region including nearby Weston and Milton. Moreover, I have worked with municipalities on the implementation of specific strategies that were key components of their Housing Plans, helping these communities meet their production goals.

*Abacus Architects + Planners*

Abacus Architects + Planners can provide compelling visual representations of affordable housing options that powerfully illustrate the ramifications of new zoning changes and design alternatives for prospective properties where affordable housing may be suitable. Their years of experience in planning and design will support our efforts to better inform local leaders and residents on the physical implications of affordable housing development – how some additional density, where appropriate and coupled with good design, can lend appeal to a community while meeting important local needs.

Abacus partners, David Eisen and David Pollak, have spent more than two decades exploring critical planning and design issues from a variety of perspectives. In addition to professional practice, David Eisen was the architecture critic for the Boston Herald for eight years and writes frequently about design issues throughout the region; he is well equipped to use words as well as drawings to make complex planning and design issues comprehensible to non-professionals. David Pollak lectures widely on urban design and planning issues and has many years of experience with the community planning process, including as a member of the Brookline Building Commission, Chairman of the Brookline School Committee, and as a board member on two real estate development corporations. Their nine person staff provides a broad range of research, design, 3D modeling and graphics capabilities.

With my long-term affordable housing planning and development expertise, Abacus Architects + Planners' recognized physical design and planning skills and a rigorous community process, we can respond to the Scope of Services outlined in the Request for Proposals with a depth that will ease the path to community support and implementation.

I have attached a proposal that meets the requirements in the Request for Proposals (RFP) for Consulting Services. Please contact me if you have any questions concerning this submission. I can be reached at 617/983-9883 or [ksunnarborg@msn.com](mailto:ksunnarborg@msn.com). I should mention that I will be away from October 20th through November 4th but will be available after that for any questions or an interview. I hope that this will not be a problem and was pleased to see that the Town was incorporating a potentially wide window for reaching a decision on a consultant. During my time away you can also contact David Eisen or David Pollak from Abacus Architects + Planners at 617-562-4446 or [deisen@abacusarchitects.com](mailto:deisen@abacusarchitects.com) or [dpollak@abacusarchitects.com](mailto:dpollak@abacusarchitects.com).

Sincerely,



Karen Sunnarborg, Consultant

It was not surprising to learn from the RFP that Wellesley is confronting a number of current and potential Chapter 40B projects where developers are taking advantage of the Town's susceptibility to overrides of local zoning given an affordability threshold of less than 10%. Given such high property values, developers find that the values of the market units more than cover the costs of the affordable ones and more often than not developers are targeting units to those earning at or below 50% of area median income in homeownership developments located in affluent communities thus requiring only 20% of the units be affordable as opposed to 25%.

It is clear from Wellesley's ongoing planning work, recent zoning and adoption of CPA, that the Town has been working towards diversifying its housing stock to create greater housing choice and affordability while guiding such development to appropriate locations to better control its own growth. These intentions are emphasized in Wellesley's Affordable Housing Policy and will become guiding principles in the forthcoming Housing Production Plan as well as the Unified Plan. This balance of producing affordable housing and guiding its development is not an easy task however, particularly in light of the following issues that were stressed in the RFP and will need to be addressed in the planning process:

***Site issues – The devil's in the details!***

There is typically strong local support for the concept of increasing affordable housing in most communities, but opposition to such development typically erupts as soon as any specifics regarding where and how to produce such units surface. For example, the development of the Housing Production Plan in Weston received significant community support and no comments were received on the draft Housing Needs Assessment or specific strategies with the exception of one table that summarized Town-owned sites for potential mixed-income or affordable housing development. The Committee appointed to prepare the HPP was confronted with substantial resident pushback from all neighborhoods where such identified parcels were located. Representatives from these neighborhoods were eager to weigh-in on the multitude of reasons that the particular site(s) near them would be inappropriate to include in the Plan.

One of the biggest obstacles to solving Massachusetts' affordable housing shortage is the reluctance of many areas and neighbors to accept the density that may be required to construct new cost-effective housing. The landscape is littered with poorly planned developments often dismissed as "more bad 40B's". The perspectives that density is undesirable, that affordable housing is unattractive, and that infill housing shoehorns too much onto too little space are too widely believed but not necessarily true. People have a tendency to imagine the worst-case scenario unless the best case is presented, and unless best-case scenarios are backed up with zoning and design review requirements, they are likely to be subverted. Our team can provide a blueprint for overcoming these obstacles by illustrating how affordable strategies can be implemented to strengthen the character and quality of life for everyone.

It consequently was not lost on us that the RFP had such a strong and thoughtful focus on the process of determining site selection criteria. This proposal suggests that integrating visual representations of development opportunities and references to what has been effectively accomplished in other comparable communities can have profound positive impacts on the level of community support for various housing recommendations.

***Community perceptions – The need for substantial community engagement and buy-in***

The RFP emphasizes that the Town has made public participation a major priority in its operations and recognizes that this planning work presents an invaluable opportunity to continue the education of all constituencies. This civic engagement is not only important with respect to communicating the basics of affordable housing, including benefits and challenges, but also to dispelling possible negative notions about affordable housing, density in particular. Consequently, this proposal emphasizes a robust and inclusive public outreach process that incorporates the following major components:

- Several public meetings that present documented demographic and housing characteristics, trends and needs, including visual representations of development opportunities.
- A focused and transparent process for obtaining input on site selection criteria during a series of public meetings.
- A community housing survey to make the planning process more visible and input more accessible.
- Interviews with local and regional housing stakeholders that represent all important constituencies.
- Effective use of the Town's website and social media during the planning process.
- Regular meetings with the Working Group and Planning Director to obtain guidance.

This extensive outreach process, with layers of local participation, will bring additional credibility to the final document, thus promoting greater local support for the documented local needs, goals and strategies.

***Housing priorities – Focus on housing strategies that relate directly to local needs and goals***

Unlike many other housing plans with laundry lists of as many housing strategies that might conceivably be implemented in a community, the Consultants will focus on approaches for promoting affordable housing that relate directly to the documented needs in the Housing Needs Assessment, the goals based on existing and future target populations, and state Housing Production requirements. Bottom-line is that the Plan must resonate with Wellesley's unique character. Additionally, the Plan will not just provide a list of these strategies, but articulate the context for proposing the action as well as a process that can be referenced when the Town decides to pursue implementation.

***Community-wide focus – Address the wide range of housing needs***

While the Housing Plan will focus on housing units that can count as part of annual Housing Production goals to strive for certification as well as inclusion as part of the Subsidized Housing Inventory (SHI) towards the 10% affordability threshold, it will identify opportunities to serve a wider range of community housing needs. Consequently, it will not only identify housing needs and goals for those earning at or below 80% of area median income, but will also extend the analysis to those earning above this level and still priced out of the housing market. It will also likely include some proposed strategies that will address local housing needs but might result in units that are unlikely to be eligible for inclusion in the SHI or towards annual production goals such as accessory units for example.

***Project schedule – Timing could be important***

The RFP emphasized the objectives of obtaining HPP approval and certification to achieve a “Safe Harbor” status under Chapter 40B regulations and even the potential of achieving another Statutory Minima. Given the number of current and potential 40B applications, the Town may be in a position to obtain certification under Housing Production regulations. This would require the Town to have the Plan approved by DHCD before the comprehensive permits are issued to the greatest extent possible. Consequently, it will be important to move the planning process forward expeditiously to submit the Plan to the state well within the 28 week time frame identified in the RFP, as proposed under the Consultants’ project schedule.

On the following pages we have laid out our technical approach to addressing these important issues.

This section summarizes the Consultants' approach to the project, responding to the tasks in the RFP. Fundamental to an effective Housing Plan is a strong working partnership with key staff and local leaders as well as a productive exchange of information between the Consultants and the community. Clearly strong ongoing communication between the Consultants and local representatives is pivotal to our approach. The initial meeting proposed under Task 1 will be important in establishing this critical partnership and additional meetings and public forums under the subsequent tasks will support efforts to insure substantial opportunities for important community input into the development of the Housing Plan.

### **Task 1: Conduct a Comprehensive Housing Needs Assessment**

#### **Subtask 1-1: Attend Initial Meetings**

Meet with the Planning Director within two weeks of being contingently selected as the Consultants to review contractual requirements and documentation as well as the substance of the proposal. It may be useful to collect useful documents at this time and to potentially have a tour of key areas of the community such as existing affordable housing developments and potential sites. These activities will be followed by the first meeting with the Working Group and appropriate staff to further discuss contract terms and the technical approach to the project, including upcoming meetings and communication practices. Early meetings are important to not only clarify key logistical issues concerning project work and timetables, but to also begin to forge a partnership between Town representatives and the Consultants that will help establish a productive working relationship throughout the term of the project. These meetings will also be useful in discussing how the project can effectively use the Town's website and social media during the planning process.

During the initial meeting, it will be important to obtain early input on a number of key issues such as:

- What has Wellesley done in the past related to affordable housing, reviewing the existing Subsidized Housing Inventory (SHI) and existing zoning related to affordable housing and smart growth development?
- What strategies to promote affordable housing and smart growth development have worked best in town?
- What public process has been conducted as part of introducing new zoning and proposing any specific housing initiatives?
- What, if any, affordable housing projects are in the pipeline and how do staff, local officials and the community perceive these developments?
- What are the key local concerns about affordable housing as we embark on this planning process?
- Beyond the obvious challenge of such high property values and such substantial affordability gaps, what are the other principle challenges to producing affordable units in Wellesley?
- What are the key local organizations and stakeholders, beyond Town boards and committees, that will need to be drawn into the planning process and are likely to have some role in the implementation of the Plan?
- What staff and stakeholders will be important for the Consultants to interview?

- What has been the local political will to move an affordable housing agenda forward?

While the Consultants have conducted similar work in many other communities, including localities adjacent or in relatively close proximity to Wellesley, each community is unique with different orientations towards zoning, new development and affordable housing. This early input will begin to provide the context out of which the Plan will take shape.

**Division of Responsibilities:** Both Karen Sunnarborg and Abacus Architects + Planners will attend the initial meetings.

**Timeframe for Completion:** Within two (2) weeks following contract execution.

**Meetings:** A pre-award conference with the Planning Director and first meeting of the Working Group and appropriate staff.

**Deliverables:** Karen Sunnarborg will provide the following:

- A work project schedule with dates to begin and complete each task and projected dates for all meetings including meetings with the Planning Board and Board of Selectmen as well as public meetings.
- An Outreach Strategy that includes a list of those to be interviewed as part of the project as well as public meetings and other approaches for integrating community input into the planning process such as a community housing survey.

All deliverables will be provided throughout the term of the project in digital (Word and pdf) and hard copy formats.

### **Subtask 1-2: Conduct Background Research and Information Gathering**

While some important information can be gathered in the initial meetings included in Subtask 1-1, additional data must be collected for analysis and inclusion in the Housing Plan, the Housing Needs Assessment in particular. This data includes but is not limited to the following:

#### *Demographic and Economic Information*

- Census data for 1990, 2000 and 2010 (I believe it is important to look at historical data to obtain an understanding of past trends that can inform future characteristics);
- Census estimates from the American Community Survey data for 2016 (should become available prior to the start of the project);
- Historic population data through previous census counts from 1930 to show historic growth;
- Population projections;
- Employment/workforce data and wage levels;
- School enrollment projections and capacity issues; and
- Disability data on local seniors.

#### *Land Use and Housing Information*

- Zoning Bylaw and other relevant local bylaws and regulations;
- Subsidized Housing Inventory with a detailed breakdown of affordable units;
- HUD CHAS data that provides income data and how much households are paying for housing by tenure, type of household (e.g., seniors, small families, large families, and non-elderly individuals) and income level;
- Building permit information or contacts to secure the numbers and types of new

- dwellings since 2009 (this information will be matched to demolition permits to obtain documentation on the extent of teardown activity);
- Data from the Town Assessor on the value of all residential property by type of property for an analysis of the current range of housing values;
- Wait lists and wait times for Wellesley Housing Authority units as well as other subsidized rental units;
- Information on rental subsidies;
- Types of housing inquiries and issues from the Council on Aging;
- Multiple Listing Service data for sold properties over the past year;
- Median house prices going back to late 1980's;
- Home and apartment listings;
- Participation of Wellesley residents in available programs related to down payment assistance, home improvements, fuel assistance, first-time homeownership financing and counseling, etc.;
- Information concerning public funding and other contributions directed to community housing activities including CPA and other resources;
- Information on local infrastructure and other physical constraints to development;
- Available GIS maps and aerial views of Wellesley (involving Abacus Architects + Planners); and
- More site-specific information on potential properties for producing visual representations of design options based on zoning changes and development criteria (involving Abacus Architects + Planners).

Some of this data will also be collected and analyzed for other communities, the county, region, state and country for comparative purposes, particularly census data and housing market information.

It will also be important to begin securing important documents or information to begin work on the Housing Needs Assessment and obtain a better understanding of local conditions including the following:

- Past studies, reports, surveys, plans and maps related to housing including the 2007-2017 Comprehensive Plan and Unified Plan materials;
- Information on potential affordable housing opportunities including Town-owned sites (involving Abacus Architects + Planners);
- Information on current housing proposals, including current and potential Chapter 40B projects;
- Any information regarding coordination with non-profit housing organizations;
- Annual Town Report; and
- Detailed Town plans showing streets, open space, wetlands, buildings, and other site features in anticipation of locating potential sites for affordable housing (involving Abacus Architects + Planners).

Another important component in this data-collection phase will be interviews with those community stakeholders identified in Subtask 1-1 as well as a community housing survey. The Consultants will work with the Town's IT staff to determine the best avenue for posting this survey, most likely using Survey Monkey or a similar instrument. While such surveys

cannot be construed as being accurate or reliable as they are not conducted in a random scientific manner which would be cost-prohibitive, they nonetheless offer another tool for the residents to weigh-in on the issue of community housing needs and goals and further demonstrate the Town's commitment to a wide-reaching public process.

**Division of Responsibilities:** Most of this work will be conducted by Karen Sunnarborg, including interviews with local stakeholders identified under Task 1 and work on the housing survey. Abacus Architects + Planners will obtain information on the items noted above.

**Timeframe for Completion:** Within six (6) weeks following contract execution (survey issued within this timeframe with results analyzed within 16 weeks of contract execution).

**Meetings:** Working Group meetings.

**Deliverables:** Karen Sunnarborg will provide:

- A Glossary of Housing Terms to provide members with a wide range of affordable housing terminology
- A summary of important state statutes, regulations, resources and guidelines.
- A status report on SHI units with a statistical analysis of the gap in affordable units to meet the state's 10% affordability threshold will also be provided as well as calculations regarding other Statutory Minima.
- A community housing survey format.
- Abacus Architects + Planners will document existing patterns of housing design and construction including issues of scale, relationship to street, density, and relationship to commercial construction including the mapping of existing development patterns, potential areas of opportunity, and locations of existing affordable housing units. Abacus will also map potential private and public sites for review during the planning process and draft preliminary site selection criteria for discussion at the first public meeting.

### **Subtask 1-3: Draft Housing Needs Assessment**

The Consultants will draft a comprehensive and detailed Housing Needs Assessment that will meet all requirements under the state's Housing Production regulations and guidelines, including all items listed in the RFP. Karen Sunnarborg has completed more than 60 of these Assessments to date (See Sections 3 and 4). The information obtained in the previous tasks will be analyzed and summarized in the draft. It is proposed that the draft include the following basic outline following a cover sheet, Table of Contents (Roman numerals are illustrative only), and acknowledgements of contributions to the project:

#### **I. Executive Summary**

- A. Introduction
- B. Housing Goals and Challenges
- C. Summary of Housing Needs Assessment

#### **II. Introduction**

- A. Background and Purpose of the Project
- B. Definition of Affordable Housing

#### **III. Housing Needs Assessment**

- A. Demographic Profile

- B. Economic Profile
  - C. Housing Profile
    - 1. Housing Characteristics and Trends
    - 2. Housing Market Conditions
  - D. Affordability Analysis
  - E. Priority Housing Needs (including a quantitative analysis of unmet and future housing needs based on various income ranges and target populations).
  - F. Subsidized Housing Inventory (including the possible identification of any units that are eligible for inclusion in the SHI but might not yet be counted as such and appropriate assistance to get these units included. Also includes descriptions of projects in the conceptual, proposed and under construction phases of development and units with expiring affordability restrictions).
- IV. Challenges to Producing Affordable Housing** (including political, regulatory, land transportation, infrastructure, environmental and other development constraints). This section will also include mitigation measures for addressing these constraints such as infrastructure improvements or enhancements, additional services to address local needs based on projected demographic changes. This analysis will include an assessment of the capacity of all those infrastructure and service categories listed in the RFP. Once completed, actions included in the Housing Strategies section of the HPP that can help mitigate the listed challenges will also be added to this section.

## APPENDICES

**Appendix 1 Local and Regional Organizations**

**Appendix 2 Glossary of Housing Terms**

**Appendix 3 Summary of Housing Regulations and Resources**

**Appendix 4 Summary of First Public Meeting/Community Housing Workshop**

Once the draft is prepared, the Consultants will meet with designated Town staff, the Working Group and other appropriate local leaders to obtain comments on the document and discuss the public process.

The Consultants propose holding a public meeting at this stage of the planning process as it presents an excellent opportunity to highlight the findings from the Housing Needs Assessment and obtain input into the next sections of the Housing Production Plan, including site selection criteria and housing production goals and strategies. The visual images prepared by Abacus Architects + Planners help focus the discussion and are a great tool for engaging participants in discussing potential housing opportunities, specific sites in particular. The Consultants also typically divide meeting participants into breakout groups which will be instructed to weigh-in on key questions related to housing challenges, goals, site issues and priority actions. All groups will report back to the full group and then all participants will have an opportunity to vote on their preferences. With further guidance from the Town, the Consultants will prepare a PowerPoint presentation as well as a detailed agenda and clear instructions for the breakout groups. The Consultants will also prepare a summary of the results of the meeting that will be included in the Appendices.

**Division of Responsibilities:** This work will be conducted primarily by Karen Sunnarborg with Abacus identifying a preliminary inventory of properties that might be appropriate for some amount of affordable housing including public and private properties and general areas of the community that provide suitable locations. Abacus will also prepare preliminary site selection criteria, some prototypical visual representations of various affordable housing developments and mixed-use developments as well as prototypical illustrations of various levels of density and design orientations.

**Timeframe for Completion:** Within nine (9) weeks of contract execution.

**Meetings:** Monthly meetings with the Working Group.

**Deliverables:** The following items would be prepared and submitted for this task:

- Draft Housing Needs Assessment and a revised version based on comments.
- PowerPoint presentation that includes the key findings of the Housing Needs Assessment as well as preliminary site selection criteria, prototypical visual representations of various affordable housing developments and potential development opportunities, and mapping.
- Hand-out with breakout group instructions for the proposed public meeting.
- Hand-out with a map as well as a list of possible strategies and accompanying brief descriptions to consider related to affordable housing. This document can not only help public forum participants think through what actions they might wish to support during the meeting but also will take advantage of an important opportunity to better inform residents about actions other communities have taken and about affordable housing in general.
- Summary of first public meeting/Community Housing Workshop

### **Task 2: Develop Affordable Housing Goals**

Affordable housing goals will build on the work included under Subtask 1-3 of the Housing Needs Assessment in identifying unmet and future housing needs based on various income ranges and target populations as listed in the RFP. It is the intention of Housing Production Plans to quantify the mix of local needs and to develop production goals and strategies to address them. Consequently, the Consultants will provide quantitative data that provides numbers of households by income ranges, types of household and tenure with unmet housing needs. This data will be compared to the existing housing supply to determine gaps and address the questions included in the RFP. These goals and gaps will then be analyzed as to how they inform the need for specific housing strategies that will be developed as part of Task 3. These goals will suggest a range of housing options and will be in line with fair housing considerations. Another important component of this housing need and demand analysis is a computation of the affordability gaps that exist based on various income ranges and household sizes as the data will identify the depth of subsidies needed to serve these various populations.

State Housing Production requirements call for Plans of a five-year duration with annual production goals organized by calendar year. The Wellesley Housing Production Plan can focus on this first five-year period, and establish a priority of needs and responsive actions (identified as “high”, “medium” or “low” priority) that includes a timeline, responsible parties and measurable benchmarks. This section will also address when the 10% state affordability goal might be reached as well as the other Statutory Minima. It is worth noting that at present the annual housing production goal under state guidelines is 45 affordable units for Wellesley and the land area covered by affordable housing must be at least 1.5%

as determined by recent guidelines released by DHCD. It will be important to prepare the draft for Section VI on the implementation strategies before this section can be finalized as the key components of the production goals relate not only to housing needs but also to the specific strategies that the Town will implement to address these needs.

These production goals will be incorporated as Section V of the full Housing Production Plan to be finally compiled as one document under Task 4 of the RFP and this proposal.

**Division of Responsibilities:** This work will be conducted by Karen Sunnarborg.

**Timeframe for Completion:** Within 16 weeks following contract execution within the same timeframe as Task 3 as housing strategies will inform annual Housing Production goals.

**Meetings:** Monthly meetings of the Working Group.

**Deliverables:** Karen Sunnarborg will provide the draft for Section V of the HPP and make appropriate changes based on comments.

### **Task 3: Develop Implementation Strategies**

The Consultants will draft the remaining sections of the Housing Production Plan, meeting all requirements under the state's Housing Production regulations and guidelines and addressing all items outlined under this task in the RFP. This major part of the Plan builds on the information that was compiled and analyzed in the previous tasks, which provide the context for proposing specific strategies and production goals for promoting affordable housing.

It is proposed that the draft include the following basic outline:

#### **An updated and expanded Executive Summary.**

#### **VI. Housing Strategies/Action Plan, including strategies under all categories that must be addressed as part of Housing Production guidelines and listed in the RFP.**

**APPENDICES** – In addition to the three Appendices listed above under Task 1, the Consultants will include additional ones such as a map of existing and potential affordable housing units as well as other analyses that will involve the mapping of GIS data. It will also include a summary of the results of the public meetings conducted under this Task.

This section of the Housing Plan will describe specific strategies that the Town will explore with respect to promoting affordable housing. This includes strategies for modifying zoning in addition to identifying specific housing development and preservation options as well as opportunities for effective community outreach and education. Some of these actions are listed in the RFP.

The Consultants believe that the Housing Plan should not only present a mix of appropriate strategies based on a mix of identified community needs, but should be an accessible resource and tool for local leaders and interested residents to turn to for guidance when implementing a particular initiative and applying for subsidy funds. This approach will offer a more realistic overview of what is involved in producing actual units. Each strategy will include at least the following information:

- *Current Status:* This describes the action, any relevant state action, what other communities might be doing with respect to implementing the strategy, and what, if any, Town action has been taken to date.
- *Next Steps:* This involves a summary of the implementation process – the actions that are necessary to implement the specific strategy including required local and/or state approvals.
- *Resources Required:* The type and approximate amounts of technical and financial assistance including local, state, and/or federal subsidies involved, as well as Town staff or donated time.
- *Timeframe:* The level of priority and how long it will take to plan and implement the action. Priority 1 actions (Year 1 to 2 actions) are those that will begin within the next two years, most of which will involve some immediate actions. Priority 2 strategies (Year 3 to 5 actions) involve focused attention after the next couple of years, working towards implementation after Year 2 but before the end of Year 5. The Plan will also identify longer-term actions for future consideration and implementation after the expiration of the Plan or the end of Year 5.
- *Projected Number of Affordable Units:* The estimated number of total housing units and affordable units produced through the specific action that also relates to the Housing Production goals. These estimates not only include those units that can be counted as part of the Subsidized Housing Inventory, but specific strategies might include units that are targeted to those earning more than 80% of area median income, up to 100% (still eligible for CPA funding) or 120%, but still shut-out of the private housing market. Estimates regarding the target population served, infrastructure impacts, approximate impacts on school enrollments, and other relevant issues will also be included.

The Plan will also identify both private and town-owned sites that would be suitable for the potential development of affordable housing, prioritizing the criteria based on the input obtained from the first public meeting that will be presented for further input, first at a Board of Selectmen meeting and then as part of a second public meeting as part of this Task. Based on the Consultants' experience, site selection and development criteria used in other communities can also be easily referenced for comparative purposes.

*This second public meeting will highlight recommended strategies from the following sources:*

- The first public meeting
- Interviews
- Working Group and staff meetings
- Housing Needs Assessment, particularly the projected housing needs based on incomes and target populations
- Community Housing Survey
- Production goals
- Review of a preliminary list of appropriate sites for some amount of affordable housing in the context of the established criteria, agreed to by the Board of Selectmen

*Of particular importance to this proposal is the integration of planning and design strategies with illustrations. Abacus will develop planning strategies and design options for specific sites, as well as prototypical development approaches for typical sites that define*

Wellesley. This work can help galvanize local support, particularly for those strategies that will require local approvals. In our experience, illustrating the written findings and suggested strategies will help diffuse negative notions about density and development and make the positive aspects of proposals “come alive”. Too often people have negative perceptions of affordable housing and assume that multi-family housing and 40B’s have to have a deleterious impact on the town. They have seen with their own eyes how open space and nicely scaled streets can disappear as new housing grows up around them. Necessary changes are easier to implement if residents can “visualize” how appropriately designed housing can help rejuvenate commercial areas and protect and define rather than pave over open space.

The Consultants will be sensitive in its review and discussion of any privately-owned sites, working with Town staff and the Working Group on how best to present these potential opportunities. Owners of such sites are unlikely to want to be informed through back channels that the Town is considering their property for potential affordable housing. The Consultants have found that some of these sites or general locations have long been under discussion for further development, potentially including some amount of affordable housing, or owners have been involved in discussions either in the past or as part of this planning process. Otherwise, the Consultants present privately-owned sites without locational details and within the framework as generally being illustrative of local development opportunities.

A summary of this planning and design work includes:

1. Site identification criteria.
2. Design guidelines for future development including how to handle parking, street frontages, landscape, façade development and massing for single-family and multi-family housing as well as mixed-use development.
3. More extensive evaluations of potential development sites and proposed density, design and zoning options.
4. Three dimensional imaging, including aerial and streetscape views, of what appropriate development could look like.

Samples of this information will be provided at the public meeting and the Consultants will present information on the following and then facilitate a follow-up discussion:

- A summary of the definition of affordable housing as well as its benefits and challenges.
- A summary of the benefits of preparing a Housing Production Plan.
- A summary of proposed housing strategies including but not limited to those listed in the RFP.
- A review of site selection criteria that has been distilled from input on the preliminary site criteria discussed in the first public meeting.
- A review of potential sites for the development of some amount of affordable housing including site constraints, potentially needed mitigation measures, and appropriate housing options (various densities, mixed-use, new development, redevelopment, etc.) with visual representations to help engage participants and encourage comments.

It will be important to work closely with the Town's technical staff (including GIS resources) to obtain maps and to insure that all work products have the appropriate format.

*Division of Responsibilities:* This work will be conducted by both Consultants with Abacus taking the lead in reviewing appropriate sites, providing site selection criteria, and developing visual representations of various development options. Karen Sunnarborg will take the lead in presenting other housing strategies that address the identified local needs and goals.

*Timeframe for Completion:* Within 16 weeks of contract execution.

*Meetings:* Monthly meetings with staff and the Working Group, a second public meeting and a joint meeting of the Planning Board and Board of Selectmen to present preliminary findings and recommendations and obtain additional feedback.

*Deliverables:* PowerPoint presentation for the public meetings, draft Sections VI and VII of the Housing Production Plan, and revised versions following the receipt of comments.

#### **Task 4: Prepare and Present a Housing Production Plan**

##### **Subtask 4-1: Compile the Plan**

The Consultants will compile all of the draft sections of the Plan into a full Housing Production Plan that will be suitable for posting on the Town's website. The Executive Summary will be particularly important for conveying the key components including the range of housing needs, documented housing production goals, and proposed sites and other strategies for promoting and preserving affordable housing. The Consultants will work with the Planning Director to insure that this document is forwarded to all appropriate local leaders, including members of the Planning Board and Board of Selectmen.

*Division of Responsibilities:* Abacus Architects + Planners will take the lead on this subtask, using their graphic designer to compile all sections of the draft Plan in a visually cohesive and appealing document.

*Timeframe for Completion:* Within 18 weeks of contract execution.

*Meetings:* Meetings with Town staff and the Working Group as determined appropriate.

*Deliverables:* Fully compiled and visually appealing Housing Production Plan.

##### **Subtask 4-2: Present the Plan**

The Consultants will present the Plan to a joint meeting of the Planning Board and Board of Selectmen. This meeting would also involve another PowerPoint presentation that will focus on the following information:

- What is affordable housing and Housing Production (we will cover this information in the first public meeting, but it bears repeating, particularly for those who did not attend the initial meeting).
- Key highlights from the Housing Needs Assessment including housing goals for targeted populations.
- Proposed housing strategies including site selection criteria.
- Presentation of planning strategies and design options for specific sites, as well as prototypical development approaches to typical sites that define Wellesley. Information on how specific sites address site selection criteria, including their relative merits and

drawbacks and adaptability to particular affordable housing options. Sites would include Town-owned properties as well as those chosen in consultation with the Town.

This meeting at this juncture would provide local leaders and residents with another opportunity to weigh-in before the Plan has been finalized and submitted to DHCD for approval. It also offers another chance to educate the public on affordable housing, summarize the range of local needs, and emphasize how the suggested strategies can address these needs and local priorities. This meeting also offers an excellent opportunity to showcase the work that Abacus will do in helping the community better visualize the implications of various strategies, particularly those related to site selection and potential increases in density.

Both the Planning Board and Board of Selectmen could approve the Plan at this meeting. If they determined that they needed additional time or asked for additional changes, the votes could occur at the next scheduled meetings following the completion of Subtask 4-3. It should be noted that both Boards will receive the draft Housing Production Plan right after the document has been compiled under Subtask 4-1 and consequently will have ample time for review.

*Division of Responsibilities:* This work will be shared jointly by both Consultants – Karen Sunnarborg and Abacus Architects + Planners.

*Timeframe for Completion:* Within 20 weeks of contract execution.

*Meetings:* A public meeting and briefings to the Planning Board and Board of Selectmen to present the draft Housing Production Plan and obtain feedback.

*Deliverables:* PowerPoint presentation.

#### **Subtask 4-3: Obtain Feedback and Revise the Plan**

The draft Housing Plan will be finalized based on any written and verbal comments received from the meetings included under Subtask 4-2.

*Division of Responsibilities:* The Consultants will make the necessary changes to the sections for which each was involved in drafting.

*Timeframe for Completion:* Changes to the draft, if any, will be made within one (1) week following the presentation of the Plan under Subtask 4-2 or 21 weeks following contract execution.

*Deliverables:* Further revised Housing Production Plan suitable for submitting to DHCD and posting on the Town's website. This revised Plan will also include another Appendix that summarizes the input from the public meeting and joint meeting of the Planning Board and Board of Selectmen as deemed appropriate.

#### **Subtask 4-4: Submit Plan to DHCD**

The Consultant will prepare a draft cover letter and instructions for conveying the Plan to DHCD.

*Division of Responsibilities:* Karen Sunnarborg will oversee this task.

*Timeframe for Completion:* Within two (2) to three (3) days of finalizing the Housing Plan under Subtask 4-3 sand approvals of the Planning Board and Board of Selectmen.

*Meeting:* A meeting as required with the Planning Director, other staff and/or the Working Group regarding the submission (a meeting with DHCD will not be necessary).

*Deliverables:* Revised Housing Production Plan and draft cover letter for the hard copy submission to DHCD and instructions for conveying the Plan to DHCD electronically as well.

#### **Subtask 4-5: If Necessary, Revise Plan and Resubmit to DHCD**

Following state review, the Consultants will discuss the state's comments, if any, with the Planning Director, other appropriate local staff and/or the Working Group and make the necessary changes. DHCD has typically approved our plans without specific comments or at most suggested only very minor changes. None of the Plans prepared by the Consultants jointly or by Karen Sunnarborg herself have necessitated a return to the Board of Selectmen or Planning Board for further approval. However, if any of the state's comments require any substantive changes to the Plan, the Board of Selectmen and Planning Board would need to be consulted and it would be necessary for the municipality to send the revised version to DHCD per instructions from the Consultant.

*Division of Responsibilities:* Karen Sunnarborg and Abacus will make any necessary changes in the sections of the Plan for which they were involved in drafting.

*Timeframe for Completion:* DHCD takes approximately three months for its review although recently this review period has been significantly shorter. Revisions can be turned around in a matter of a couple of hours as typically comments, if any, involve only very minor changes. If more substantive changes are required, more time will be required but will unlikely involve more than one (1) week.

*Meetings:* Meetings with the Planning Director, other appropriate Town staff and/or the Working Group to discuss the revisions. If DHCD requires any substantive changes to the Housing Plan, the Consultants will return to the Planning Board and Board of Selectmen for new approvals (this has not been necessary for any of the Consultants' Plans to date).

*Deliverable:* 20 bound copies of the final Housing Production Plan including a stand-alone Executive Summary in both written and electronic formats.

**COLLABORATIVE EXPERIENCE**

The Consultants, Karen Sunnarborg and Abacus Architects + Planners, have worked effectively together in the past on the development of Housing Plans for the communities of Beverly, Hanover, Newburyport, Peabody, Amherst, Wakefield and the City of Lawrence. Our Plan for Hanover received an award from the American Planning Association (APA).

**KAREN SUNNARBORG CONSULTANT, PRIMARY CONSULTANT**

Karen Sunnarborg has completed more than 60 Housing Plans as detailed under Section 4 including Plans for nearby communities such as Weston, Milton, Bedford, Belmont, Carlisle and Needham for example.

**ABACUS ARCHITECTS + PLANNERS**

Abacus has been a leader in the planning and design of affordable housing for over two decades, and has been recognized with a series of prestigious regional and national design awards. In addition to their planning work with Karen Sunnarborg and a series of other cities and towns, they have built hundreds of apartments throughout the Greater Boston area in a variety of urban, suburban and rural contexts. All of their work has involved close collaborations with local officials, neighborhood groups and a variety of stakeholders whose involvement is critical to the success of their endeavors. They look closely at the context in which planned development will occur so that it reinforces the character of the surrounding community and can achieve the support of those it will impact.

A portfolio of Abacus' recent work is included at the end of this proposal. We have also provided examples of recent work in digital form.

I, Karen Sunnarborg, will serve as the prime consultant and will enter into a contract with the Town for the agreed upon professional services and will take the lead in communicating with the Town throughout the term of the contract. Because Abacus Architects + Planners and I have worked effectively together on past and current projects, we have developed an effective working relationship. For example, we have found that it has been useful for each of us to be in direct contact with municipal representatives regarding our designated responsibilities and at the same time keep each other informed of this ongoing communication such as copying each other on email messages and regularly discussing issues and progress.

In regard to our organizational structure, I, Karen Sunnarborg, as an individual consultant will perform all tasks myself as detailed in Section 2, the Technical Approach, while one of Abacus' partners, David Eisen or David Pollak, will take the lead for Abacus Architects + Planners, using the firm's support staff as appropriate. Both principals have experience in assuming the lead role on our previous Housing Production Plans in planning and design intensive areas of our work. In addition to the Abacus principals, their 9 person staff of planners, architects, graphic designers, writers, and researchers will give form to both our planning proposals and Housing Production Plan documents – which is particularly important in the work summarized under Subtask 4-1.

The following narratives describe the nature, size, background, and qualifications of the firms, focusing on the lead professionals and designers.

**KAREN SUNNARBORG CONSULTING, PRIME CONSULTANT*****Overview***

I was professionally trained at Harvard's Graduate School of Design where I received a Masters in City Planning with a concentration in housing. My subsequent career has focused on the planning and development of affordable housing in the public and non-profit sectors. During the last 20 years, my consulting work has primarily involved planning and development efforts to build the capacity of small towns and cities in the area of affordable housing production and regulatory reform. This work includes the completion of more than 60 Housing Needs Assessments and Housing Plans (under Housing Production and its predecessor Planned Production, Executive Order 418, and HUD Consolidated Plans) throughout the state.

***Early Professional Work***

Most of my early professional experience was with the City of Boston in the planning and administration of the City's neighborhood housing programs that included the oversight of funding through the Community Development Block Grant (CDBG) among other subsidy funds. This work enabled me to become a major part of the evolution of the City's housing programs from simple rebate and loan programs, supporting the housing rehabilitation needs of low- and moderate-income homeowners, to a wide range of programs directed to the broader housing needs in Boston's neighborhoods. This hands-on exposure gave me the opportunity to design housing programs using multiple federal and state sources that helped revitalize neighborhoods, preserve the existing affordable housing stock and create new housing opportunities for diverse target populations. I obtained a solid understanding of the mechanics of housing subsidies and the local context within which decisions and reforms are made.

In the mid-80's I directed a non-profit community organization, Boston Neighborhood Housing Services (BNHS), which was involved in the revitalization of four distressed neighborhoods in Boston. Each of the four local affiliates reported to a Central Board for which I was the Executive Director. In this position I ran a small business; and in concert with our local entities, I was responsible for the planning and oversight of housing development and other efforts to spur neighborhood revitalization. Once again the development of housing program strategies in response to neighborhood planning efforts was central to this experience.

In late 1986, I moved to New York City and worked for the New York City Housing Partnership that served as the developer of the largest affordable homeownership program in the country. During the first four years I coordinated the construction of thousands of units of housing in neighborhoods throughout the city as the senior technical project director. I worked with City government on planning for site development and served as the liaison between the homebuilders we selected to undertake the construction and City agencies on the wide range of regulatory and development hurdles, including the commitment of public subsidies. Here again my focus was on the planning and development of affordable housing, negotiating projects through the regulatory maze.

During the last four years at the Partnership I managed many of the consulting projects we were engaged to conduct, largely as a result of the success of our affordable homeownership program. I coordinated a wide range of projects including work in some of the affluent municipalities in Westchester County, including Rye and Harrison, helping

them create affordable housing. I also coordinated the preparation of a comprehensive resource guide to all land use regulations for the State of New York that was sent to all municipalities. This guide also included a wide range of case studies that demonstrated how regulations affect development projects in time and money as well as recommendations to the state on ways to reform regulations to better promote affordable housing. Other relevant work involved the cost and policy analysis of existing housing programs and the development of an Affordable Housing Handbook written under contract with HUD for national dissemination.

After several years of full-time motherhood I began consulting in New York. I worked for the Edna McConnell Clark Foundation on a survey instrument to evaluate grant-making practices in other foundations, including the preparation of a final report for distribution to all of the participating foundations. I also prepared a HUD application for the Corporation for Supportive Housing (CSH) that secured significant funding to provide technical assistance to organizations in nine states on the development of service-enriched, permanent housing.

#### ***More Recent Professional Experience***

Over the past 20 years, I have worked with over 70 municipalities on a wide range of housing planning and development initiatives including the completion of more than 60 Housing Needs Assessments and Housing Plans<sup>1</sup>. This planning work has ranged widely from older cities such as Lawrence and Peabody, to affluent suburbs such as Carlisle and Weston, to more rural communities including Boxford and Carver, and resort towns such as those on Martha's Vineyard as well as Chatham and Orleans. Of particular importance to this work has been a review of affordable housing efforts in a wide range of communities to determine what housing initiatives might be most adaptable to meet pressing housing needs in the communities I was advising. Through this process I have developed insights into the housing issues and strategies working in many communities throughout the Commonwealth.

I provided professional services for several special research projects that have broadened my familiarity with new affordable housing initiatives throughout the state. For example, I was a principal author of a resource guide for using CPA funds on community housing initiatives, sponsored by the Massachusetts Housing Partnership (MHP) and Citizens Housing and Planning Association (CHAPA). This guide was widely distributed, and we conducted several follow-up workshops. I also worked with the Cape Cod Commission on a best practices toolkit that highlights innovative and effective zoning and land use strategies, techniques for converting existing housing or nonresidential properties into affordable housing, model Chapter 40B and tax credit projects, noteworthy mixed-income and mixed-use developments, effective partnerships, new tax incentives, and the generation and use of local resources for affordable housing production.

<sup>1</sup> I have produced Needs Assessments and Action Plans for the following communities, most of which have been approved under the state's Housing Production Program (previously referred to as Planned Production): Amherst, Ashburnham, Barnstable, Bedford, Belmont, Bourne, Boxford, Brewster, Brockton, Carlisle, Carver, Chatham, Dennis, Dighton, Eastham, Grafton, Halifax, Hanover, Harwich, Holliston, Hubbardston, Marion, Marshfield, Milton, Needham, Newburyport, Northampton, Norwell, Peabody, Rowley, Sandwich, Scituate, Sterling, Stow, Truro, Yarmouth, Wareham, Wakefield, Wayland and Wenham. I have also completed updated Housing Needs Assessments and Plans for eight of the above communities and prepared a comprehensive Housing Study for Martha's Vineyard that involved all six towns and the Island as a whole.

Other special project work has included the coordination of the application and selection process for Citizens Housing and Planning Association's (CHAPA) Smart Growth Demonstration Initiative and the planning for Local Initiatives Support Corporation's (LISC) entry into the smaller communities surrounding Boston through its Suburban Housing Initiative. Another project involved research, analysis and strategic planning for The Hyams Foundation, helping it develop the next phase of its funding program for affordable housing in conjunction with consultant Charleen Regan.

I have also been engaged by municipalities or housing authorities to perform other types of professional services, including the implementation of Housing Plans, such as:

Helped Chatham in implementing key strategies in their Housing Production Plan including the development of Housing Guidelines for their Affordable Housing Trust and a new accessory apartment bylaw.

Provided a report analyzing the organizational structure for overseeing housing activities for the Town of Wayland.

Prepared a Request for Proposals for the conversion of an historic schoolhouse to affordable rental housing in Medway.

Worked with the Town of Wellfleet and Wellfleet Housing Authority on a Buy Down Program and a Request for Proposals to develop a vacant parcel as affordable ownership units.

- Helped both Carlisle and Boxford with RFP's for the development of parcels the Towns acquired using CPA funding.
- Worked with the Town of Lexington on the development of two new housing initiatives to convert existing housing to long-term affordability, one for rental properties and the other for first-time homeownership.
- Evaluated proposals submitted to the Hanover Housing Authority for the development of its Legion Drive parcel that was ultimately developed into 60 units of senior rental housing.
- Worked with the Carver Local Housing Partnership Committee and the Leverett Board of Selectmen on designing a package of specific programs to meet local housing needs.
- Facilitated retreats of the Needham Housing Authority on their Five-Year Strategic Plan and the redevelopment of an existing senior rental development.
- Prepared a Community Needs Study and Action Plan for the Town of Avon, including a Resource Manual on the wide range of local and regional community services.
- Provided professional support for the Norwell Housing Trust in converting existing housing to long-term affordability and issuing a Request for Proposals on the development of Town-owned land for special needs housing and the hiring of a Housing Coordinator.
- Developed Request for Proposals for Holliston to convert a vacant Town-owned school into condominiums, a majority of which were affordable, and helped them select a developer.
- Prepared another RFP for the development of six lots owned by the Yarmouth Housing Authority into first-time homeownership opportunities.
- Prepared a Request for Proposals for the Grafton Affordable Housing Trust to use Housing Trust Funds to buy-down market rate units to affordable ones in planned mixed-income residential developments.
- Provided technical support for the Marshfield Housing Authority as it took on the

responsibilities of marketing and monitoring agent for affordable housing developments in town and worked with the Towns of Grafton and Lexington to build this capacity as well.

- Served as a consultant to Mayor Jack Yunits in Brockton on a wide range of housing issues.
- Coordinated the development of new homes for first-time homebuyers in Bourne as a consultant for the Bourne Housing Partnership and Bourne Housing Authority, more recently their Housing Trust on another project.
- Prepared Executive Order 418 Housing Certification applications for Brockton, Boxford and Marshfield.

My consulting practice has also included project development work for non-profit organizations including Chelsea Neighborhood Housing Services (CNHS) and South Shore Housing Development Corp. The balance between planning and the actual implementation of housing strategies is something I strive to integrate into my work, and I believe my hands-on development experience enables me to work more effectively with municipalities on reality-based housing production strategies. Some of the activities that I have been engaged in for these non-profit organizations include completing funding applications for development projects, managing project development activities, pulling together closing documentation, and overseeing marketing efforts and lotteries for new homeownership projects.

I continue to be asked by state and regional agencies and organizations to speak on affordable housing. For example, I was asked by the state's Department of Housing and Community Development (DHCD) to participate in a workshop on Housing Production for a statewide conference, facilitated an Affordable Housing Summit for the Town of Chatham, presented information on housing planning at the Massachusetts Municipal Association, facilitated several off-site retreats of the Needham Housing Authority on strategic planning, among others.

## KAREN SUNNARBORG

**3 Parkside Drive  
Jamaica Plain, MA 02130  
617/983-9883**

**617/983-4991 fax  
ksunnarborg@msn.com**

### **EDUCATION**

<b>HARVARD UNIVERSITY</b>	<b>1974-1976</b>
<b>Graduate School of Design</b>	<b>Master in City Planning</b>
<b>MARY WASHINGTON COLLEGE OF</b>	<b>1970-1974</b>
<b>THE UNIVERSITY OF VIRGINIA</b>	<b>B.A. - Sociology</b>
<b>Fredericksburg, Virginia</b>	<b>Community Organization</b>

### **PROFESSIONAL EXPERIENCE**

**CONSULTANT** **12/97 to present**  
**Planning**

Prepared Affordable Housing Needs Assessments and Executive Order 418 Action Plans for Belmont, Bedford, Brockton, Milton and Needham including Plans approved under the state's Planned/Housing Production requirements for Amherst, Ashburnham, Auburn (with CMRPC), Barnstable, Bourne, Boxford, Brewster, Carlisle, Carver, Chatham, Dennis, Dighton, Eastham, Halifax, Hanover, Harwich, Holliston, Hubbardston, Manchester, Marion, Marshfield, Newburyport, Northampton, Norwell, Peabody, Rowley, Sandwich, Scituate, Sterling, Stow, Truro, Yarmouth, Wakefield, Wareham, Wayland, Wenham, and Weston. Updated Plans for 10 of these communities. Also, updated Needham's Affordable Housing Plan and prepared its HUD Consolidated Plan for HOME funds, updating it as well. Prepared a comprehensive Housing Needs Study for Martha's Vineyard (Island-wide and for each of the 6 towns), Lawrence, Orleans and Beverly. Completed a Community Needs Assessment and Action Plan regarding the full range of community services for Avon.

### **Housing Plan Implementation**

Have helped implement a range of affordable housing strategies in Carver, Chatham, Holliston, Bourne, Boxford, Carlisle, Hanover, Leverett, Lexington, Norwell, Wellfleet, Yarmouth, and Grafton. Prepared marketing plans for numerous affordable housing developments, coordinating lotteries for affordable units in many localities. Have prepared Executive Order 418 Housing Certification applications for Brockton, Boxford and Marshfield. Served as Housing Advisor to the Mayor of Brockton as a consultant and undertaking some ongoing work for the Town of Needham.

### **Development**

Worked with communities on development projects. Prepared Requests for Proposals for new affordable housing developments in Bourne, Boxford, Carlisle, Holliston, Medway, Norwell, Wellfleet, Yarmouth and Brockton. Provided consulting services on a range of development projects to Chelsea NHS and South Shore Housing Development Corp. Assisting the Town of Needham in closing on funding for a group home.

### **Research/Policy/New Initiatives**

Prepared a resource guide for using Community Preservation Act funding for community housing for the Massachusetts Housing Partnership and CHAPA and a best practices toolkit on affordable housing for the Cape Cod Commission. Provided consulting services

for The Hyams Foundation on an analysis of its Affordable Housing Initiative and strategic planning for the next phase of funding. Recommended opportunities for the Local Initiatives Support Corporation (LISC) to expand its program into suburban communities in the Greater Boston area through a Suburban Housing Initiative and organized a series of meetings to follow-up on this report. Provided services to CHAPA on its Smart Growth Demonstration Project and completed another project for CHAPA involving research and recommendations for revitalizing the smaller cities in the state. A statewide conference on this report took place in December 2006. Also provided consulting services to the Corporation for Supportive Housing and Edna McConnell Clark Foundation including the coordination of a funding proposal to HUD to provide technical assistance to localities interested in developing permanent supportive housing and the evaluation of grant-making practices through a survey instrument sent to other foundations.

**NEW YORK CITY PARTNERSHIP, INC.**

**10/86-6/93**

**One Battery Park Plaza**

**New York, New York 10004**

The New York City Partnership created one of the most successful housing partnerships in the country responsible for the production and sale of 18,000 newly built homes and apartments to moderate-income families in 50 low-income neighborhoods.

**Director of Planning/Technical Services**

**6/89-6/93**

Managed consulting projects for the Housing Partnership including the development of a comprehensive Land Use Resource Guide for the State of New York, the production of an Affordable Housing Handbook for HUD, a contract to make minority contractors more competitive in obtaining public work, analyses of Single Room Occupancy (SRO) housing and government supported housing policy, technical assistance to Westchester County on the development of affordable housing, and other housing development related projects.

**Project Director**

**10/86-5/89**

Responsible for planning and development activities on all housing projects administered through the Partnership's New Homes Program. Served as liaison between the Partnership and the City of New York, other funding agencies, private sector builders, and community-based organizations to identify new development sites, secure qualified developers, obtain necessary governmental subsidies, and expedite public approvals and development activities towards the construction of affordable homeownership opportunities for moderate- and middle-income residents.

**BOSTON NEIGHBORHOOD HOUSING SERVICES**

**10/84-10/86**

**Executive Director**

Managed a private, non-profit housing agency with an annual operating budget of over \$1.1 million (not including special development projects) and assets of \$2.75 million. Responsibilities included fiscal management, corporate fund raising, program marketing, coordination of voluntary Board of Directors, design and implementation of long-term program development strategies, and supervision and assistance to four affiliated entities providing housing services in Boston.

**NEIGHBORHOOD DEVELOPMENT AND  
EMPLOYMENT AGENCY/HOUSING DIVISION**  
**Deputy/Assistant Director of Planning and**

**3/83-10/84**

## **Administration**

Managed the planning and administrative functions of the Agency that operated the City of Boston's housing programs. Responsible for an annual budget of approximately \$10 million as well as related administrative activities including personnel, payroll and contracts. Planning functions focused on developing, implementing and evaluating subsidized housing programs offered to property owners, non-profit organizations and local developers to improve the city's housing stock and provide affordable housing.

## **MAYOR'S OFFICE OF HOUSING**

### **Planning Director**

**2/79-2/83**

Responsible for the program development, implementation and evaluation of neighborhood housing programs aimed at revitalizing Boston's existing housing stock

### **Planner**

**10/78-1/79**

## **CONTRACT RESEARCH CORPORATION**

**8/77-3/78**

### **Housing and Social Service Analyst**

Duties ranged from project design to research, evaluation, survey design and administration, as well as report and proposal writing. Project involvement included an evaluation of the HUD Section 8 Housing Assistance Payments Program and a contract to train Boston City employees in fair housing/equal access law.

## **HARBRIDGE HOUSE, INC.**

**12/76-7/77**

### **Consultant**

Involved in extensive socioeconomic impact studies of major governmental or quasi-public projects.

## **HARVARD UNIVERSITY**

**6/76-11/76**

### **Research Assistant**

For the Dean of the Harvard Graduate School of Design conducted research and prepared reports on projects in the Middle East including the design of a city planning curriculum for the University of King Abdulaziz in Jeddah, Saudi Arabia, and recommendations for attracting and accommodating private capital into the development of Ariashahr, a new city in Iran.

## **STATE OF MASSACHUSETTS**

**6/75-6/76**

## **DEPARTMENT OF COMMUNITY AFFAIRS**

### **Health and Planning Specialist**

Advised Administrator on health issues and recommended policy positions for the Division of Social and Economic Opportunity.

## **OTHER PROFESSIONAL ACTIVITIES/AWARDS**

### **Visiting Fellow**

**4/91**

Participated in the Woodrow Wilson National Fellowship Program at Hamilton College.

Received 2008 Outstanding Planning Project Award from Massachusetts APA **2/09**

Appointed to a state Advisory Panel on strengthening housing investments for community revitalization **Late 2014 through 2015**

**ABACUS ARCHITECTS + PLANNERS, SUBCONSULTANTS**

Abacus is a full service architectural firm with broad expertise in town planning, housing design, and policy issues associated with affordable housing development. Their award winning work for private developers, housing authorities, community development corporations and local housing partnerships gives them insights into the long term impact municipal policies can have on the character of towns and neighborhoods.

Placing first in a field of 320 entries, Abacus's design for Progressive Architecture magazine's affordable housing competition was built in Cleveland in 1992 as a model for infill housing in neighborhoods of modest density. The New York Times called their Garfield Street development for the Cambridge Housing Authority, completed in 1998, "the future of public housing".

Since then they have developed affordable housing prototypes for the City of Boston and built new housing for the Groveland, Stoneham, New Bedford, Arlington and Concord Housing Authorities. Their 104 unit Jefferson Park for the Cambridge Housing Authority is nearly complete, and a new 61 unit building for Jewish Community Housing for the Elderly started construction in July, 2017. They also work with private developers on mixed income housing in South Boston, Medford and Beverly. A list of recent awards follows their portfolio at the end of this proposal.

In parallel with the design and construction of housing they have worked in Winchester, MA, Norfolk, MA, West Rockport ME, Camden ME, Culpepper VA, Nantucket and other municipalities on town plans and housing proposals that create a strong sense of place. Abacus provides planning and design proposals that put policy into the context of real communities so that the implications of zoning and design guidelines can be visualized. They provide the experience and the "design eye" that creates a bridge between conceptual approaches and real world solutions. This work has been particularly compelling in its partnership with Karen Sunnarborg on Housing Plans for Hanover, Newburyport, Peabody, Amherst and Beverly. They also recently completed, with Ms. Sunnarborg as well as another consultant, Charleen Regan, a Housing Study for the City of Lawrence.



DAVID EISEN FAIA, PRINCIPAL,  
SENIOR PROJECT MANAGER

#### PRACTICE

- 1996-present Abacus Architects + Planners, Boston, MA: Partner and Principal  
1988-1994 Eisen Architects, Planning and Design, Cambridge, MA: Principal  
1985-1991 Graham Gund Architects, Cambridge, MA: Project Designer  
1983-1985 Krueger Associates, Inc., Boston, MA: Project Architect

#### TEACHING

- 1987-present Harvard, MIT, Northeastern, RISD, Roger Williams, others, Guest Review Critic  
1990-1998 Roger Williams University, Adjunct Professor of Architecture and Planning  
1987-1998 Studio Instructor, Boston Architectural College

#### EDUCATION

- 1983 Harvard University Graduate School of Design: M. Arch. Degree with Commendation  
1977 University of Illinois: B.A. Magna Cum Laude in Architecture and Planning

#### REGISTRATIONS AND AFFILIATIONS

- 1985-present Registered Architect: Massachusetts (#5913)  
1995-present American Institute of Architects Member, Fellow 2016

#### PUBLIC SERVICE

- 2016-present Massachusetts School Building Authority Designer Selection Panel  
2013-present Back Bay Architectural Commission  
2013 - 2016 Boston Society of Architects – Vice President  
1985-present Pro-bono work, various non-profit organizations

#### WRITING

- 1996 *Fun with Architecture*, Viking Press/Metropolitan Museum of Art.  
2006 - 2009 Architecture Critic, *Boston Phoenix*  
1995 - 2005 Architecture Critic, *Boston Herald*

**DAVID M. POLLAK AIA, NCARB, LEED-AP BD+C  
PRINCIPAL****PRACTICE**

- 1989-present Abacus Architects & Planners, Boston, MA: Founding Partner and Principal  
1986-1989 Robert M. Wood Architects, Boston: Associate, Project Architect and Planner  
1984-1986 Whitinsville Redevelopment Trust, Whitinsville, MA: Director of Planning, Design and Construction

**TEACHING**

- 2000-05, 2013 Rhode Island School of Design, Adjunct Professor of Architecture  
1989-2003 Roger Williams University, Adjunct Professor of Architecture and Planning  
1987-present Harvard, MIT, RISD, others, Guest Review Critic  
1984 Harvard GSD Career Discovery Program, Instructor in Architecture

**EDUCATION**

- 1984 Harvard Graduate School of Design: Master of Architecture with Commendation  
1978 Dartmouth College: A.B. Magna cum Laude with High Honors in Drama

**REGISTRATION AND AFFILIATIONS**

- 1988- present Registered Architect: Massachusetts (#7429), Maine (#1855)  
2005-present LEED Accredited Professional, BD+C  
1989-present NCARB Certificate Holder  
1995-present American Institute of Architects Member

**CIVIC**

- 2013-present Brookline School Committee, Current Chairman, past Chair of Capital Improvements Subcommittee  
2005-2013 Brookline Building Commission Member  
2000-2010 Brookline Education Foundation Board, Finance and Collaborative Grants Comm. Chair  
2008-2013 Brookline Music School Board of Directors, Board Clerk

**CORPORATE**

- 1988-2007 Starmount Company, Greensboro, NC, Board of Directors: A real estate development and management company of office, retail and residential property  
1994-present Draper and Kramer, Inc., Chicago, IL, Board of Directors: Current Vice Chairman  
A full service real estate finance, development and management company



**JULIA PATTEN, PROJECT DESIGNER**  
**AIA Associate Member**

#### PRACTICE

- 2014-present Abacus Architects + Planners, Boston, MA: Designer  
Revit Building Information Modeler / Construction Documents;  
Designer/Modeler of various projects; Presentation / Proposal  
Renderings
- 2012-2014 Handlin, Garrahan & Associates, Cambridge, MA: Architectural  
Associate  
Cad Drafter / Construction Documents; Head digital designer for  
renderings, presentations, and marketing.
- 2011 Boston College Capital Projects Management, Boston, MA:  
Architectural Intern  
Cad Drafter; Digital designer for renderings and presentations.
- 2010 Harvard Business School, Boston, MA:  
Architectural Intern  
Cad Drafter; LEED Certification Coordinator for existing and  
proposed buildings.

#### Education

- 2012 Wentworth Institute of Technology, Boston, MA: Master of  
Architecture
- 2011 Wentworth Institute of Technology, Boston, MA: Bachelor of  
Architecture - Concentration in Form and Culture

#### Teaching

- 2011-2012 Wentworth Institute of Technology: Teaching Assistant & Review Critic

#### Registrations and Affiliations

- 2014 American Institute of Architects Associate Member



**KATHERINE HILL, PROJECT DESIGNER**  
**AIA Associate Member**

**PRACTICE**

- 2013-Present Abacus Architects + Planners, Boston, MA:  
Project Designer:  
  
Design Development  
Revit Building Information Modeler  
Construction Documents  
Public Process Coordination  
Communications Facilitation
- 2012 Design Partnership of Cambridge, Charlestown, MA  
Design Partnership of Cambridge, Charlestown, MA: Marketing Assistant:  
Proposal Design/  
Production; Presentation / Proposal Renderings and Graphics
- 2010, 2011 Daniel v. Scully Architects, Keene, NH: Architectural Intern: CAD Drafter /  
Construction Documents; Designer / Drafter of Various Projects

**EDUCATION**

- 2014 Northeastern University, Boston, MA:  
Bachelor of Science in Architecture: Magna Cum Laude

**REGISTRATIONS AND AFFILIATIONS**

- 2012 American Institute of Architects Associate Member

**PROJECT EXPERIENCE**

- Project Designer - Housing and Senior Facilities, Jewish Community Housing for the Elderly, Brighton, MA  
Project Manager - New Accessible Housing, New Bedford, MA  
Project Manager - Intergeneration Community Center, Lincoln, MA  
Project Designer - Community/Senior Center, Randolph, MA  
Project Manager - Housing Master Plan, Amherst, MA

While the RFP requires that the Plan be ready for presentation to the Board of Selectmen for approval within 28 weeks following commencement of the project, the Consultants anticipate that this can be accomplished well ahead of schedule. Assuming a project commencement date of mid-November, an end date in April instead of in June is a realistic goal, particularly given the availability of Karen Sunnarborg to focus her consulting work on this project. To accomplish this however, it will be important to establish meeting dates well ahead of schedule as scheduling challenges are the major cause of project delays.

As indicated in Section 1 of this proposal, given the number of current and potential 40B applications, the Town may be in a position to obtain certification under Housing Production regulations. This would require the Town to have the Plan approved by DHCD before the comprehensive permits are issued. Consequently, it will be important to move the planning process forward expeditiously to submit the Plan to the state well within the 28 week time frame identified in the RFP, as proposed under the following project schedule.

### Project Schedule

Task	Timeframe for Completion (# weeks from contract execution)
<b>Task 1: Conduct a Comprehensive Housing Needs Assessment</b>	<b>9 weeks</b>
Subtask 1-1: Attend Initial Meetings	(week 2)
Subtask 1-2: Conduct Background Research and Information Gathering	(week 6)
Subtask 1-3: Draft the Housing Needs Assessment	(week 9)
<b>Task 2: Develop Affordable Housing Goals</b>	<b>16 weeks</b>
<b>Task 3: Development Implementation Strategies</b>	
<b>Task 4: Prepare and Present a Housing Production Plan</b>	<b>21-22 weeks</b>
Subtask 4-1: Compile the Plan	(week 18)
Subtask 4-2: Present the Plan	(week 20)
Subtask 4-3: Obtain Feedback and Revise the Plan	(week 21)
Subtask 4-4: Submit the Plan to DHCD	Within 2 to 3 days of finalizing the Plan and obtaining approvals
Subtask 4-5: If Necessary, Revise Plan and Resubmit to DHCD	DHCD has up to 90 days to review Plans but has approved Plans within shorter periods

**Karen Sunnarborg**

The timing of the Wellesley HPP could not be better as I expect to be able to complete my current projects in the near future and be able to commit my full focus on this project. I am in the process of completing Housing Plans for the towns of North Reading (final section to be completed this month) and Wellfleet (fully compiled Plan ready for final presentation and approval), having just recently completed planning projects for Auburn and Orleans.

I am currently working on an update of a Housing Production Plan for the Town of Grafton, a community I have worked with on several other projects in the past including two prior Plans. I expect to complete the update by the end of November. Consequently, I will be able to focus my consulting work on the Wellesley HPP and thus will be able to complete the Plan ahead of schedule.

**Abacus Architects + Planners**

This is an excellent time for Abacus to take on new work. Their Jefferson Park housing for the Cambridge Housing Authority is nearly complete. Construction Documents for new housing for Jewish Community Housing for the Elderly are completed and construction has started. Several other smaller projects are nearing completion or have just finished. Abacus will have the Principal and staff time required to devote to this project.

**SUNNARBORG/ABACUS COLLABORATIVE PROJECTS****Andy Port**

978-465-4400 ext. 1 and aport@cityofnewburyport.com

We collaborated on the Housing Production Plans for both Hanover and Newburyport which were both coordinated by Andy Port while he was Planning Director.

**OTHER REFERENCES: SUNNARBORG**

References are for relatively recent and comparable projects in mostly nearby communities:

George Meservey, Planning and Development Director

Town of Orleans

508-240-3700 ext. 335 and gmeservey@town.orleans.ma.us

Just completed a Community Housing Study that included a comprehensive Housing Needs Assessment and housing strategies to address identified needs and goals. Because the Town is so close to meeting the 10% state affordability goal under Chapter 40B, they decided not to submit a Housing Production Plan to the state. Nevertheless, despite 5-year annual production goals, this Study/Plan would meet all state requirements under Housing Production. I am attaching a CD that includes this project as a work sample.

Donna VanderClock, Town Manager

Town of Weston

781-786-5020 or vanderclock.d@westonmass.org

Completed a Housing Production Plan for Weston last year that included working with an appointed Steering Committee that was composed of the Chairs of all the relevant committees as well as a number of at-large members who worked in the real estate/housing professions.

William Clark, Director of Planning and Community Development

Town of Milton

617-898-4847 or wclark@townofmilton.org

Completed a Housing Production Plan in 2005 and updated the Plan in 2014.

Nan Balmer, Town Administrator

Town of Wayland

508-358-3621 or nbalmer@wayland.ma.us

Worked with Ms. Balmer in 2009-2010 on a Housing Production Plan while she was Assistant Town Administrator in Harwich (recently prepared updated Plan for the Town) and provided consulting services on Wayland's housing organization structure in 2016-2017.

## **OTHER REFERENCES: ABACUS**

### **Allencrest Community Center Leominster Housing Authority**

A new community center at a public housing development. Abacus has been working with Kirstein on a variety of projects for over a decade at the Cambridge and Medford Housing Authorities.

Bernie Kirstein, Assoc. Director at Chelmsford H.A.  
978-256-7425 bkirstein3@gmail.com

### **Franklin School Condominiums Medford, MA**

Williams was the turn-key developer for work done with the Cambridge H.A. Franklin is a mixed income development within the shell of an old school in a compact urban neighborhood.

Richard Williams, President,  
The Equity Company  
617-771-1950

### **Main Street Corridor Planning Study Winchester, MA**

Abacus worked with Betsy when she was Town Planner in Winchester. We prepared planning studies for the town-owned Waterfield block and for Main St. The plans suggested how housing and mixed use development could be integrated into the community fabric, and formed the basis for zoning changes.

Betsy Ware, Director of Community Development Dracut, MA  
Telephone: 978-453-4557

The Consultants are enclosing a CD of the following work samples that demonstrate the high quality of their work for projects on which they collaborated as well as other planning work that shows their capacity to prepare an outstanding Housing Production Plan for the Town of Wellesley.

### **Collaborative Projects**

Sunnarborg /Abacus have completed 7 Housing Production Plans similar to what Wellesley will need in the past decade. We have enclosed two: for Amherst and Newburyport.

### **Other Related Projects: Karen Sunnarborg**

I recently completed Housing Study for the Town of Orleans. The Town decided not to submit the document for approval under state Housing Production requirements given that the community is close to surpassing the 10% affordability threshold under Chapter 40B. Nevertheless, this document would meet all HPP requirements with the exception of providing annual housing production goals for the next five years although targeted housing goals based on a housing needs and demand analysis are an important component of the document.

The Housing Production Plan for the Town of Weston was completed in 2015.

**Statement of Project Requirements****HIGHLY ADVANTAGEOUS**

*Consultant has a clear understanding of needs, objectives, and goals to be achieved, and work involved. Content is well presented and easy to understand.*

*The Consultants have decades of experience preparing similar plans and have a very clear understanding of how to achieve Wellesley's goals. Our proposal indicates our knowledge of the challenges the Town faces and how to address them in effective ways. Particularly strong is their:*

- Awareness of the sensitivity involved in establishing site selection criteria and identifying particular sites in the Plan. The Consultants highlight the importance of a transparent process for dealing with site selection, proposing to use visual illustrations of prototypical development in general locations or on specific sites to emphasize the importance of good design and siting, allay resident concerns about potential density, and garner local support for housing initiatives.
- Emphasis on an inclusive public process that will reach all relevant constituencies through public meetings with visuals to engage participants, interviews, a community survey, regular meetings of the Working Group and Planning Director to obtain guidance, and effective use of the Town's website and social media.
- Focus on units targeted to those earning at or below 80% of area median income to make progress towards the 10% affordability requirements under Chapter 40B and meet housing production goals but extending the analysis and support to those earning above this level but still priced out of Wellesley's high-priced, housing market.
- Pursuit of an expedited project schedule to better capture affordable units and obtain certification under Housing Production requirements.

**Response to RFP****HIGHLY ADVANTAGEOUS**

*Consultant details their process, from beginning to end, and addresses each area of concern in Section 3.0 in a manner that is easily understandable. Consultant addresses potential areas of concern with a well thought-out plan.*

The Consultants have provided a detailed Technical Approach that is guided by the RFP but based on their extensive experience in preparing Housing Production Plans. The Consultants have added Subtasks to a number of the Tasks included in the RFP to better detail the planning process. Each Task and Subtask includes a concluding list that summarizes the division of responsibilities between the Consultants, the timeframe for completion, the meetings, and deliverables for easy reference. Every effort has been made to address all items and concerns listed in Section 3.0 of the RFP.

**Plan of Services****HIGHLY ADVANTAGEOUS**

*Consultants with a well-defined and developed Plan for Services as set forth in response to the Town's Request for Proposals and clear, understandable and focused implementation strategy.*

The team's collaboration on similar planning projects provides a sound grasp of the elements in the required Scope of Work. The Consultant's approach in Section 2, Technical Approach, reflects our experience in jointly preparing Housing Production Plans in the past and lays out a clear and comprehensive approach to accomplishing the tasks, engaging Town staff, local leaders and community residents at large in the planning process. Fundamental to an effective Housing Plan is a strong working partnership with key staff and local leaders as well as a productive exchange of information between the Consultants and the community as discussed in the introduction to Section 2.

The proposed approach also emphasizes the strengths of the principals, combining a strong narrative with visual representations (maps, illustrations, photos, graphics, etc.) of what is being proposed. These compelling images will demonstrate the benefits of housing strategies. Unlike many other Housing Plans that appear to include laundry lists of potential housing actions for the community to consider, our Plans only include housing strategies that have been discussed with local representatives, are feasible, and resonate with local character, needs, resources and priorities.

The division of responsibilities, as detailed in Section 2, is based on our respective expertise with Karen Sunnarborg taking the lead in preparing the Housing Needs Assessment and the text for the remaining sections of the Housing Production Plan and Abacus Architects + Planners focusing on the physical context of promoting affordable housing in Wellesley including:

- Mapping of existing affordable housing units.
- A preliminary list of site selection criteria that is evaluated and distilled during the planning process.
- A preliminary inventory of properties that might be appropriate for some amount of affordable housing including public and private properties and general areas of the community that provide suitable locations.
- Design guidelines for future development including how to handle parking, street frontages, landscape, façade development and massing for single-family and multi-family housing as well as mixed-use development.
- More extensive evaluations of potential development sites and proposed density, design and zoning options.
- Three dimensional imaging, including aerial and streetscape views, of what appropriate development could look like.

### **Similar Experience**

#### **HIGHLY ADVANTAGEOUS**

*Consultant responds to all aspects of this section while providing summaries of past projects with much similarity to the subject matter.*

While team members have not worked on projects in Wellesley to date, we have experience with other affluent communities in close proximity to Wellesley. For example, Karen Sunnarborg has prepared Housing Plans for a number of such communities including Carlisle, Bedford, Belmont, Milton, Weston and Needham for example. The housing markets in all of these communities rebounded relatively quickly after the Recession and continue to create increasing affordability gaps as property values increase. Areas such

as Chatham and Orleans as well as Martha's Vineyard, while not located in the Boston region, nevertheless share some of the same affordable housing challenges as Wellesley, particularly related to having some of the highest property values in the state.

It is also important to point out that Karen Sunnarborg has produced more than 60 Housing Plans and has a keen understanding of Housing Production requirements. It is rare that DHCD suggests any changes to the Plans she submits and when they do such comments involve extremely minor changes.

Abacus's past projects include similar efforts in Lincoln, Concord, Milton, Carlisle and other nearby communities which in addition to work with Karen Sunnarborg in the area are evidence of their deep understanding of the relevant subject matter.

The Consultants clearly understand that all communities are unique, and certainly Wellesley is a very special place to live and raise a family. Nevertheless, our experience indicates that communities can learn from each other and our work in other towns that share some of Wellesley's characteristics has provided us with models on what types of strategies and developments can most advantageously address local needs and priorities. We look forward to learning more about the Town of Wellesley and helping the community shape its housing future.

The Consultants have also included work samples in this proposal to demonstrate the high quality of their work both collaboratively and independently.

#### **Expected Time of Delivery**

#### **HIGHLY ADVANTAGEOUS**

*The Consultant agrees to present the HPP to the Board of Selectmen for approval within 28 weeks following commencement of the project.*

The Consultants believe that they will be able to deliver the Plan for review of the Planning Board and Board of Selectmen within 21 weeks and well within the 28-week period identified in the RFP. Karen Sunnarborg's ability to focus almost all of her consulting work during this period on this project will facilitate this reduced time-frame. Nevertheless, as noted above, it will be important to establish meeting dates well ahead of schedule as the Consultants have found that such scheduling issues are the major cause of project delays.

#### **References**

#### **HIGHLY ADVANTAGEOUS**

*Consultant provides three or more references that are able to provide examples of the quality of services the Consultant provided to them.*

This proposal includes more than the required number of references. Former client satisfaction with the Consultant's work should be revealed through the reference checks but is also suggested by the amount of recurring work the Consultants are selected or asked to perform by many of their clients when new projects arise.

## REQUIRED FORMS

Town of Wellesley  
RFP - Development of Housing Production Plan  
Released: September 22, 2017

### CERTIFICATE OF NON-COLLUSION

The undersigned certifies under penalties of perjury that this bid or proposal has been made and submitted in good faith and without collusion or fraud with any person. As used in this certification, the word "person" shall mean any natural person, business, partnership, corporation, union, committee, club, or other organization, entity, or group of individuals.

Karen Sunnarborg 10 - -17  
Signature of person signing proposal Date

Karen Sunnarborg, Consultant  
Printed Name and Title

Karen Sunnarborg Consulting  
Name of Business

**Bidder Information Response**  
**Development of Housing Production Plan**

Legal Name of the Bidder: Karen Sunnarborg

Company Name: Karen Sunnarborg Consulting

Company Address: 3 Parkside Drive

City State Zip: Jamaica Plain MA 02130

Company Web Address: \_\_\_\_\_

Company Telephone: 617-983-9883 Company Fax Number: 617-983-4991

State of Incorporation (Date): NA

If the bidder is a partnership, give full names and addresses of all partners; and if an individual, give residential address if different from business address.

**Company Contacts - Required**

**Individual Submitting the Bid:**

Name: Karen Sunnarborg Title: Consultant

Mailing Address: 3 Parkside Drive, Jamaica Plain MA 02130

Telephone: 617-983-9883 Fax Number: 617-983-4991

Email Address: ksunnarborg@mgh.com

**Individual to be contacted about the Bid:** Name as above

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax number: \_\_\_\_\_

Email Address: \_\_\_\_\_

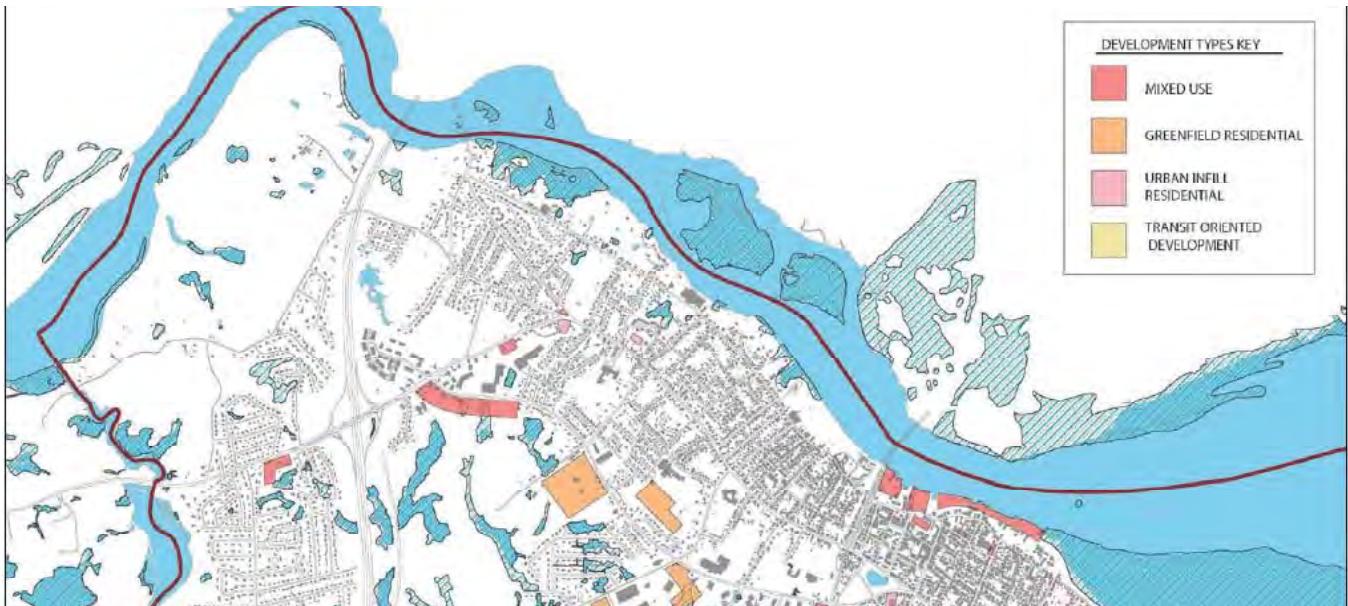
Best Times to Contact: generally available



**Smart Growth Master Plan**  
Amherst, MA

Abacus Architects, in collaboration with housing consultant Karen Sunnarborg and the Town of Amherst, identified a series of sites where mixed use, commercial, and housing development can reinforce the character of the town while providing much needed housing.

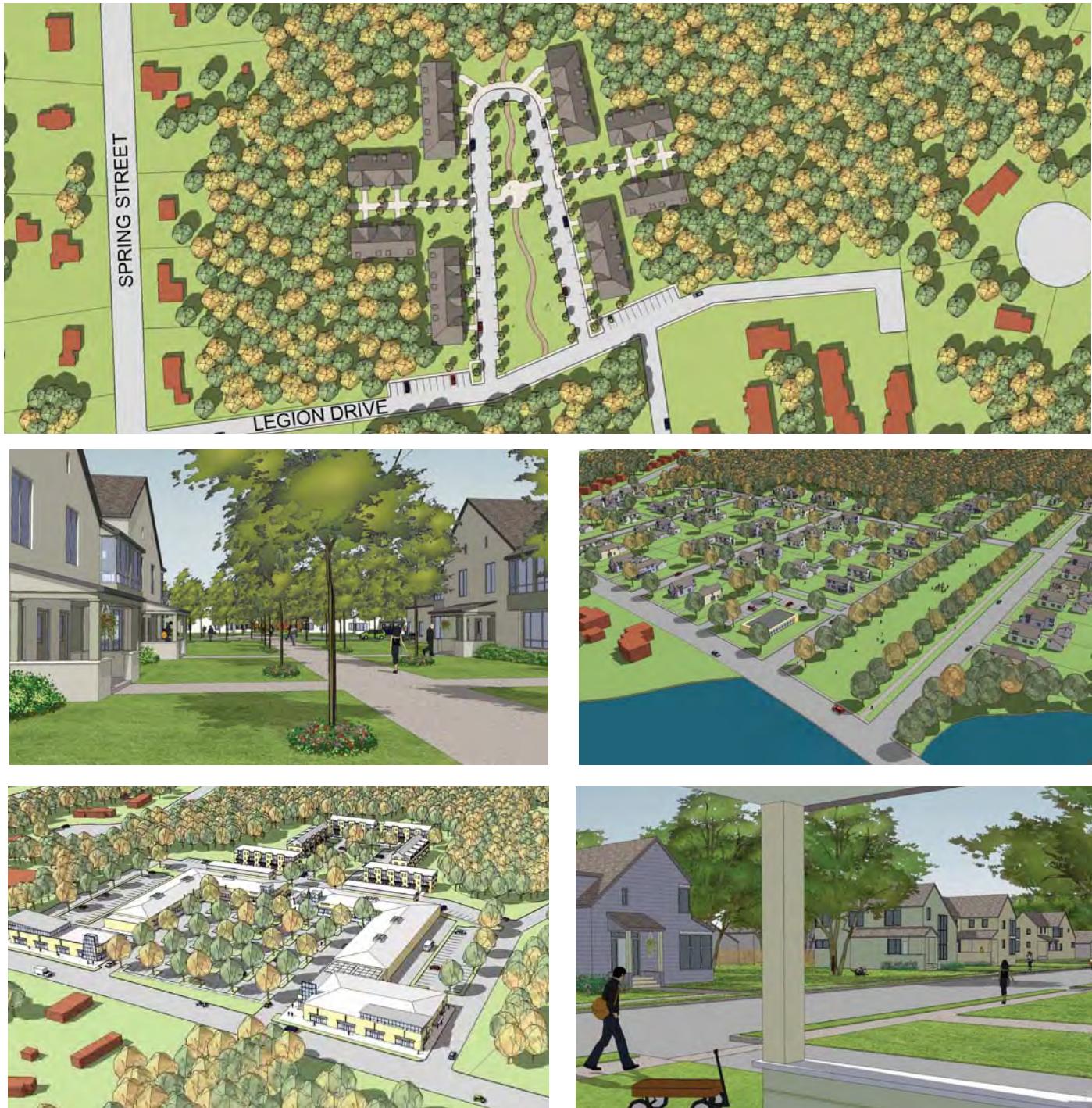
Four critical sites were further developed using three dimensional modeling to demonstrate how new housing and commercial space can work to strengthen the neighborhood and streetscape. These schematic designs were presented and discussed in a series of public forums to broaden the community's understanding and attitudes toward housing and development issues.



### Housing Production Plan Newburyport, MA

Abacus and housing consultant Karen Sunnarborg prepared Newburyport's Housing Master Plan. Housing needs were assessed, and the city's policies and programs evaluated in public workshops. This work was followed by a series of recommendations for increasing affordable housing.

In parallel with this work we investigated planning options and development opportunities that will weave housing and mixed use development into the fabric of the city, reinforcing its character and economy. Focus areas include a series of waterfront, downtown, and industrial zone sites, as well as transit orient development areas near the commuter rail line that were selected in a community review process.



### Housing Production Plan, Hanover, MA

Abacus worked with Karen Sunnarborg to illustrate the planning implications of proposed housing production strategies for a variety of sites in Hanover. Multi-family housing was combined with retail to reinforce commercial areas and provide centers for civic life. Larger development along busier retail streets, and smaller development at rural crossroads provide walkable neighborhoods for nearby residents. Generous open spaces reflect both traditional town planning approaches and innovative ways of meeting storm water management requirements. A series of public meetings built consensus for affordable housing development as a way to preserve town character while meeting a range of other needs, including providing housing for town employees, the elderly, and young families.

American Planning Association, Massachusetts Chapter, 2009 Outstanding Master Plan: Hanover Affordable Housing Master Plan



### Smart Growth Overlay Plan [ Reading, MA ]

Abacus' smart growth plan for Reading, Massachusetts guides redevelopment of the downtown area around the commuter rail station. 500 new housing units are added above reorganized retail blocks that line the main streets and restore the mixed use density of the early 20th century. A phasing plan and new design guidelines chart a path through the next fifty years of town development.





### Housing Production Plan, Wakefield MA

Working with housing consultant Karen Sunnarborg, Abacus has completed a new Housing Master Plan for the Town of Wakefield, updating our 2003 housing master plan and 2004 Economic Development Master Plan.

A series of public meetings, interviews, focus groups and presentations to town boards and commissions were utilized to establish Town priorities, and evaluate design and development options. The impact of options on traffic, parking, and town infrastructure was evaluated in collaboration with the Department of Public Works. Our work helped build a consensus around the kind of development that would benefit Wakefield.



### Wakefield Economic Development Master Plan, Wakefield MA

Downtown renewal and the redevelopment of under-utilized parcels of land were the focus of planning proposals for development appropriate for a town of 27,000. Cost-benefit analyses by our consultants GLC put Abacus's prototypes for architectural design and land use planning in the context of financial feasibility, setting the direction for future growth.



**Main Street Corridor Planning Study**  
Winchester, MA

The town of Winchester hired Abacus to prepare a schematic planning study of their Main Street Corridor. A massive elevated MBTA viaduct disconnected Main Street from the Common and much of the village. Abacus was tasked with revitalizing this tranquil and much-loved commercial district while preserving the town's historic charm and considering higher density "smart-growth" options. Work included study of site circulation and storm water management along with public presentations and the preparation of Design Guidelines.



**Waterfield Block Planning Study**

Winchester, MA

One of two recently completed studies for the Winchester Planning Board, this mixed use schematic design for a parcel adjacent to the Town Common and the Commuter Rail Station supports the revitalization of the entire village center.

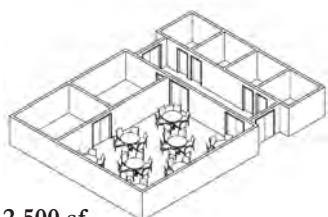
Abacus proposed a mix of housing, office, restaurants and retail, and civic uses with below grade parking defining central community spaces and a sloping lawn. The terracing of the site connects up to the elevated rail platform with a series of gently inclined accessible walkways. Traffic, site circulation, storm water management and infrastructure were evaluated for their impact on the conceptual design.

A series of public meetings offered a forum for discussing options and consensus building, which led to the rejoining of the site and surrounding parcels.

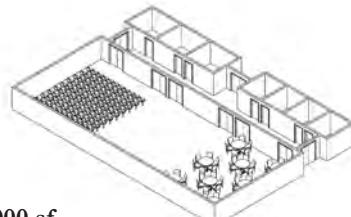




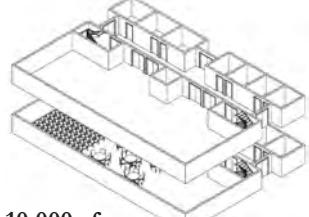
3 Masterplan Schemes



2,500 sf



5,000 sf



10,000 sf

3 Modular Sizing schemes



The Design Team prepared a series of site design studies that included housing and a senior/community center



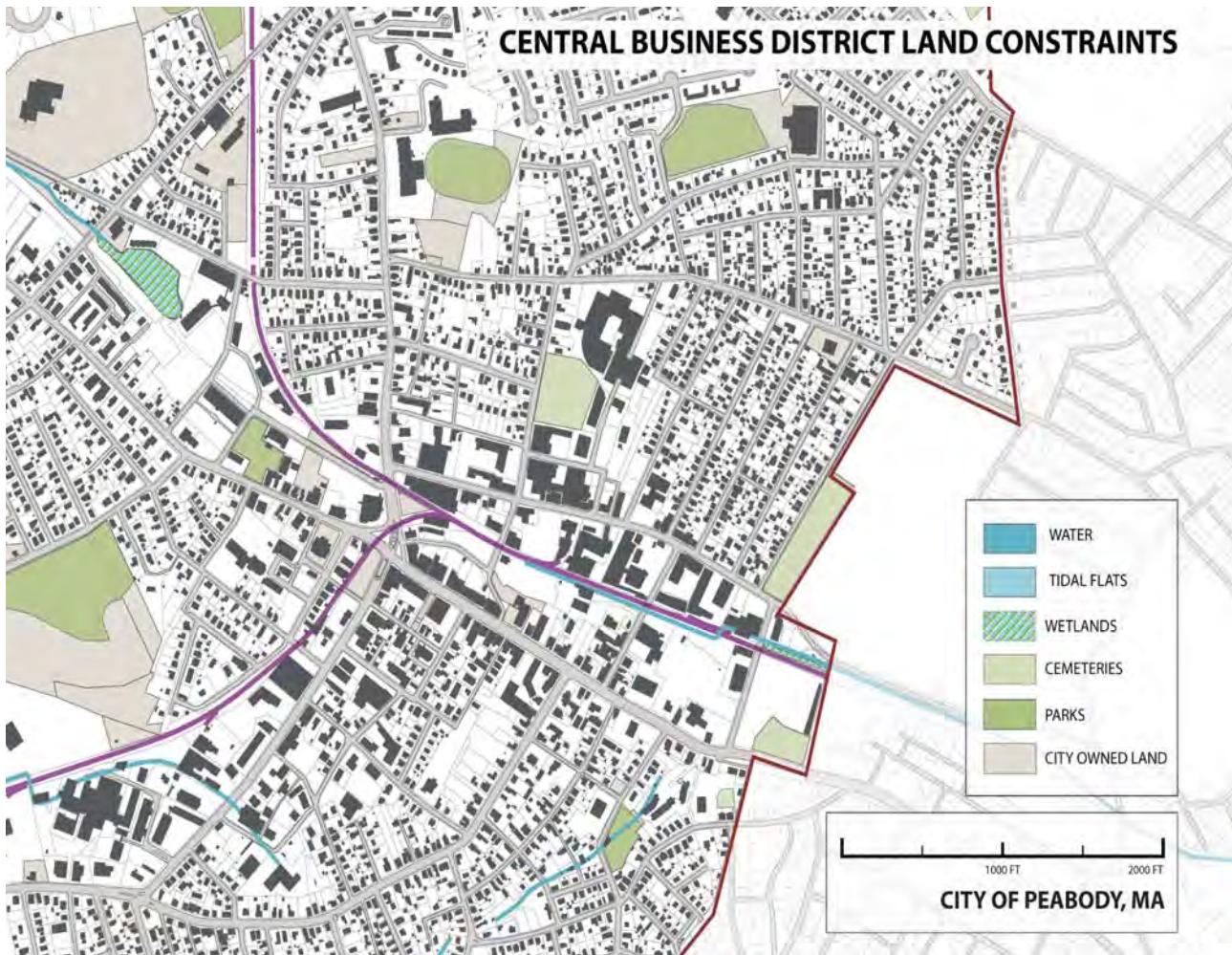
Abacus organized decision making charrettes where participants explored various site layout and program options.

### 338 Bedford Road Facilities Master Plan Carlisle MA

The Town of Carlisle acquired the 6 acre 338 Bedford Road Property and engaged Abacus and sub-consultants Ryan Associates (Landscape) and Samiotis Consultants (Civil) to conduct a public process and develop a master plan for how to best utilize the property for town purposes.

The property fills in between two larger town-owned parcels - one of which has most of the town's ball fields and the other is conservation land. Two five-bedroom group homes for developmentally disabled adults will occupy part of the site, and a new community/senior center will occupy the remainder. Site utilities, storm water management, parking and site circulation were analyzed and options developed.

Abacus principals David P and David E guided group work and documented results in a series of design options that were then refined and brought back for further input and approval.



**Housing Production Plan, Peabody, MA**

Working with housing consultant Karen Sunnarborg and the City Abacus identified a series of sites where mixed use and housing development can reinforce the character of Peabody while providing much needed affordable residential and mixed use construction. Designs for 4 critical sites led to proposed zoning changes and design guidelines so development can meet a variety of City needs. Public presentations broadened the discussion of housing issues in relation to affordability, downtown revitalization, and storm water management.



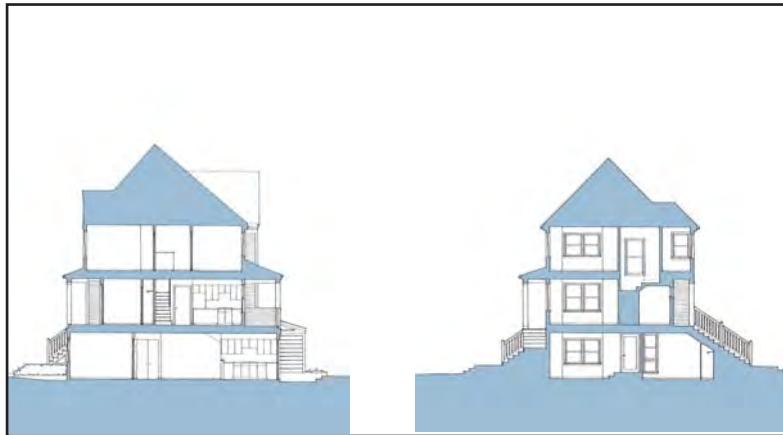


### Jefferson Park Master Plan, Cambridge Housing Authority

The Jefferson Park Master Plan began with an intensive investigation and documentation of existing conditions including an assessment of all building systems and an evaluation of the effectiveness of site, building and apartment designs. CHA management, staff and residents were interviewed at a series of meetings and a range of unmet needs were documented.

Alternative design options were prepared and reviewed with stakeholders, and revised in response to feedback. Options included substantial renovation, major reconfiguration of the site and buildings, and demolition and reconstruction. Computer modeling and 3D walkthroughs allowed an evaluation of the character of each alternative.

Cost estimates were developed for each option, benefits analyzed, and a decision-making matrix prepared to allow evaluation of monetary and non-monetary factors. Demolition and new construction was determined to be the most cost effective remedy to solve documented problems.



### Garfield Street Family Housing, Cambridge Housing Authority

An award-winning eight unit apartment building on a prominent corner in Cambridge creates a thoughtful transition between a commercial street and a neighborhood of Victorian houses.

Porches, stairways, roofs and bays give the building an appropriate scale and root it to its site. Every apartment has a sense of openness and generous views to the outside. Developed by The Equity Company for the Cambridge Housing Authority.

Boston Society of Architects. 1998 Citation for Urban Planning



Groveland, MA **Gardner Street Family Housing**  
Groveland Housing Authority

This duplex development is woven into a sloping site so that it fits into its semi-rural neighborhood context. Pitched roofs, projecting bays and porches provide each resident with their own entry.

Abacus worked with the Town on permitting and approvals and with the funders to meet budget limitations.



Worcester, MA

### Frangillo Farm Housing Kunst Development

A 80-unit development slips garages below grade off of shared driveways. Bays and porches create a strong neighborhood streetscape. The interiors step upward creating dramatic overlooks and double height spaces. Pre-fabricated construction allows each duplex building to be configured differently while keeping construction economical.



Arlington, MA **Menotomy Manor Housing**  
Arlington Housing Authority

This project is a comprehensive modernization of a 46 building, 179 unit, low rise, brick and wood frame family housing complex with additions and renovations to add ten barrier-free apartments. Work included new kitchens and baths and interior renovations, associated abatement, new electrical systems throughout and selective mechanical and plumbing replacement.

The project was phased in a building by building “single move” approach that minimized resident inconvenience and relocation as well as project cost. Abacus worked closely with AHA staff, residents and DHCD to find the most cost effective solutions for the design and construction challenges.

BSA 2011 Accessibility Honor Award



Stoneham, MA **Passive Solar Accessible Housing**  
Stoneham, MA

New housing creates bright and open interiors for returning veterans and their families under broad sheltering roofs. Porches and bays reach out to the neighborhood and provide views of the surrounding landscape.

Passive solar design principals, natural ventilation and high performance systems conserve energy. Clerestory windows bring light deep into the buildings and light every room.

BSA 2013 Accessibility Honor Award

AIA/HUD Secretary's 2013 Housing Accessibility Alan J. Rothman Award



Brighton, MA **Senior Housing and Community Facilities, Jewish Community Housing for the Elderly**

This 61 apartment 55,000 square foot mixed use complex is now under construction. The facility is designed for older residents from diverse backgrounds, and will provide a series of interior and exterior function spaces that connect to the main JCHE campus next door, and to nearby shopping and civic areas.

Generous lounges and meeting spaces offer the flexibility for a changing array of programs responsive to resident needs. Complex site circulation and infrastructure challenges are in the process of being resolved.





Cambridge, MA

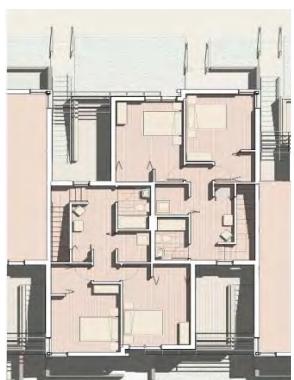
### Jefferson Park Housing/Community Facilities Cambridge Housing Authority

A failed public housing development is being replaced with new housing and community spaces. The \$50,000,000 development is focused on four courtyards that reconnect back to the surrounding neighborhood. Dynamic forms and sheltered spaces are creating a vibrant sense of community. Traffic and infrastructure studies were coordinated with ongoing work in the City and adjacent CHA development.

The design is based on a feasibility study and master planning process that included 12 public meetings and the consideration of a broad range of options. Community spaces will include a range of classrooms and meeting spaces for adult, senior, and children's programs. Completion December 2017.



Town House Plans





Beverly, MA

### **Edwards Harborview Condominiums**

Symes Associates

With a floor added on top and a new courtyard carved out of the building volume, a sprawling school has been transformed into 28 light-filled mixed income condominiums. The masonry shell was restored while new interior construction creates a sense of openness within units and the glass-enclosed lobby.



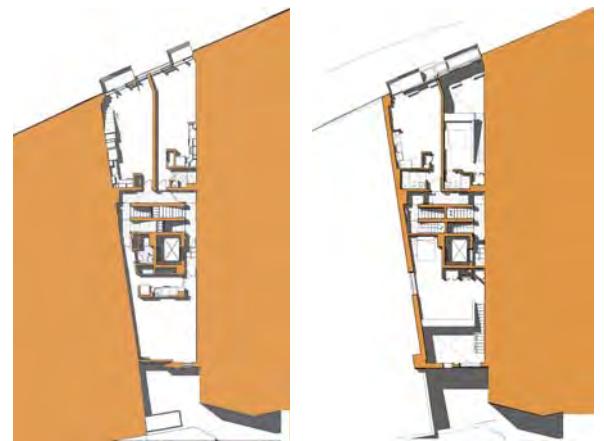
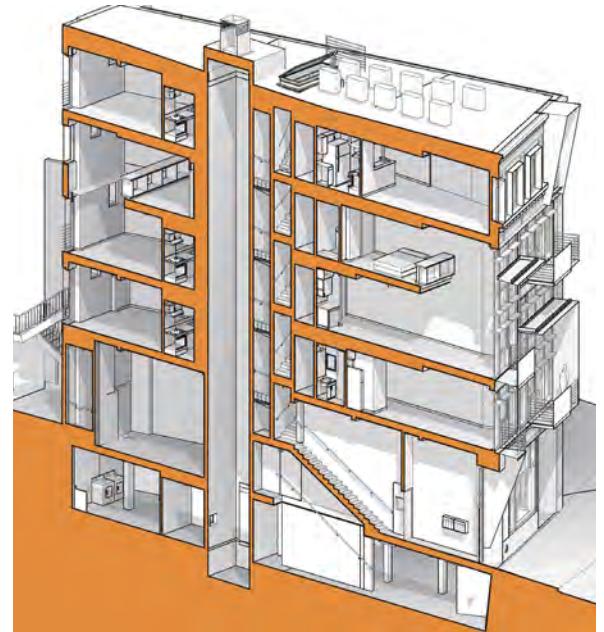
Groveland, MA **Franklin School Condominiums**  
Medford, MA

Abacus brought a historic 110 year old masonry school back to life with a sensitive renovation and exuberant additions that meet contemporary needs.

20 new condominiums and community spaces help revitalize the surrounding neighborhood. Dramatic double height lofts look out over the skyline; interior spaces are flooded with natural light. High performance systems and a new elevator meets today's demanding code requirements.

Boston Society of Architects 2010 Housing Award

Builder Association of Greater Boston 2007 Prism Award



Lynn, MA

**LYNN ARTIST'S LIVE-WORK STUDIOS, LYNN EDIC**

Abacus designed apartments over first floor arts space in the center of Lynn's art district. A glass curtain wall with projecting balconies and sunshades add vitality to the dense downtown site while providing passive solar heating. High performance insulation minimizes heat loss. A LEED gold certification is anticipated along with Energy Star rebates.



# DEVELOPMENT OF HOUSING PRODUCTION PLAN

## Request for Proposals



**Town of Wellesley Board of Selectmen**  
**Ellen Gibbs, Chair**

**Town of Wellesley Planning Board**  
**Deborah Carpenter, Chair**

**Wellesley Housing Development Corporation**  
**Robert Kenney, Chair**

RFP Prepared by:

Michael Zehner, AICP, Planning Director  
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[mzehner@wellesleyma.gov](mailto:mzehner@wellesleyma.gov)

Meghan Jop, AICP, Assistant Executive Director  
781-431-1019 x2205  
[mjop@wellesleyma.gov](mailto:mjop@wellesleyma.gov)

**TOWN OF WELLESLEY  
PLANNING BOARD AND HOUSING DEVELOPMENT CORPORATION  
REQUEST FOR PROPOSALS  
DEVELOPMENT OF HOUSING PRODUCTION PLAN**

## **1.0 INTRODUCTION**

The Town of Wellesley (“the Town”), acting through its Board of Selectmen, Planning Board, and Wellesley Housing Development Corporation (“the Boards”), is seeking to engage a consultant (“the Consultant”) for the purpose of developing a Housing Production Plan (“HPP”) for the Town consistent with the Guidelines dated December 2014 issued by the Department of Housing and Community Development (“DHCD”) under its regulatory authority established by 760 CMR 56.00. As expanded upon below, the Boards are deeply involved in this planning initiative and will partner to support the selected Consultant in preparing the HPP.

### **1.1 BACKGROUND**

The Town was incorporated in 1881 and is located in Norfolk County, approximately 10 miles west of Boston. It is bordered by Natick on the west, Weston and Newton on the north and northeast, Needham on the east and southeast, and Dover on the south.

In recent years, the Town of Wellesley has made a commitment to improving the amount of affordable housing located in the Town. Since 2004, the Town has adopted an Inclusionary Zoning Bylaw, adopted the 2007-2017 Comprehensive Plan (with numerous goals and objectives pertaining to the provision of affordable housing and diverse housing options), amended and adopted several Zoning regulations to support increased residential density and the development of affordable housing, and supported projects resulting in the development of approximately 130 SHI-eligible units. Despite these efforts, the Town’s Subsidized Housing Inventory (SHI) remains below the 10% goal at approximately 6% (unofficially). This has resulted in the recent proposal of several 40B projects, the majority of which could be characterized as “unfriendly”: 4 currently pending project eligibility totaling 190 units, and at least 3 additional conceptual projects discussed with Town officials. Accordingly, the Town seeks to develop a plan to guide the development of affordable housing to appropriate sites that complement the integrity of the Town’s character, while also working to meet one or more 40B certification thresholds to protect the Town from future “unfriendly” 40Bs.

The Town is therefore seeking to engage a Consultant to produce an HPP in order to achieve three fundamental objectives:

1. Approval of an HPP by the Planning Board, and ultimately the Board of Selectmen, the specific provisions of which will make it eligible for DHCD approval, and implementation of which will make it eligible for DHCD certification and achievement of a "Safe Harbor" status under Chapter 40B regulations;
2. Achievement of one or more the Statutory Minima (i.e. 10% affordable housing unit minimum, 1.5% land area minimum, etc.) under Chapter 40B definitions and standards; and
3. Expansion of the diversity of housing types available within the Town.

## **2.0 ACCESS TO MATERIALS**

The Town of Wellesley Planning Department will make available all relevant public information pertaining to affordable housing in the Town. Such information includes, but is not limited to, the following:

- 2007-2017 Comprehensive Plan (i.e. master plan);
- Materials related to the ongoing development of the Town's *Unified Plan* (i.e. master plan update and Town-wide strategic plan);
- Information on potential affordable housing opportunities, including Town-owned sites;
- Zoning Bylaw and Zoning Map;
- Information (description, status) on current housing proposals, including 40B applications; and
- Information regarding demolition permits and building permits for new residential buildings, by year, since 2009.

## **3.0 SCOPE OF SERVICES**

The selected Consultant will be required to prepare and deliver a written HPP to the Town that is consistent with the December 2014 Guidelines promulgated by DHCD, meets the regulatory requirements for HPPs contained in 760 CMR 56.00, and achieves the Town's fundamental objectives as stated above. The Consultant shall comprehensively address each of the elements identified and expanded upon in the aforementioned DHCD Guidelines and undertake the tasks specified below.

These tasks are intended to describe the general extent of services to be provided by the Consultant. This outline should not be considered all-inclusive and the

Consultant should include in the proposal any tasks or alternatives and services it deems necessary to satisfactorily complete the project. Consultants are expected to bring both expertise and creative ideas tested elsewhere and tailored to Wellesley to help the Boards design the approach that best suits the objectives of the Project.

Public participation is a long-standing priority of the Town and a fundamental component of its government structure and operations. Therefore, the active and genuine involvement of all constituencies will be crucial in the ultimate success of the HPP. The Town is committed to ensuring that the process is transparent and encourages the participation of all constituencies, particularly as it relates to the identification of public and private sites that are appropriate for affordable housing development.

The Consultant shall be available to meet periodically with a working group consisting of representatives of the Boards and staff of the Selectmen's Office and Planning Department. These meetings will be held during normal working hours and shall not exceed one per month. The Planning Department will administer the contract, be available to respond to questions on a daily basis, and provide administrative support in scheduling and coordinating both public and in-house meetings.

#### **Task 1: Conduct a Comprehensive Housing Needs Assessment**

The Consultant shall prepare an Affordable Housing Needs Assessment to understand who currently lives in the Town, demographic trends affecting future growth, existing housing stock, and future housing needs to establish a strategic plan for housing. Action items should include:

- a. A review and analysis of the existing 2007-2017 *Comprehensive Plan* and *Unified Plan* materials, and any previous studies and surveys, regulatory requirements, current census data, housing market information, site information and other pertinent housing-related materials;
- b. Preparation of a draft Needs Assessment that estimates current housing needs, and housing needs for the Town's future population, taking into account regional and local growth factors. The projections should address the housing needs of the projected population at various income levels: not more than 30% of Area Median Income ("AMI"), more than 30% but not more than 80% AMI, and more than 80% but not more than 120% AMI, taking into account the likely family composition of such households;

- c. Review and determine constraints and limitations on current and future needs due to zoning regulations, infrastructure deficiencies, and environmental constraints, and identify steps necessary to mitigate such constraints to support development; and
- d. Identify improvements and/or enhancements to the Town's infrastructure and services necessary to accommodate the current population and anticipated future growth, including plans for enlargement or expansion of existing infrastructure and services to ensure that both current and future needs are met. The infrastructure and services analyses should evaluate the capacity of schools, water and sewer systems, roads, utilities, public transit, public safety, and any other public facilities and services that could impact or be impacted by future housing developments and/or population growth.

### **Task 2: Develop Affordable Housing Goals**

- a. Develop Affordable Housing Goals based on the Affordable Housing Needs Assessment that consider the types of housing most likely needed with consideration of fair housing obligations. What is the projected population of: Working age? New household formation? Special needs? Elderly? Frail elderly? What percentage of these populations is projected to be at not more than 30% AMI? At more than 30% but not more than 80%? At more than 80% but not more than 120% AMI?
- b. Does the existing housing supply match the needs of these populations? Is there now or will there be in the future a range in housing types which will be affordable to each income group? The HPP must address a mix and diversity of housing types, consistent with Town and regional needs, that is affordable to households at not more than 30% AMI, more than 30% but not more than 80% AMI and more than 80% but not more than 120 AMI.
- c. The Affordable Housing Goals should provide for a range of housing, including rental, homeownership, and other occupancy arrangements that accommodate families, individuals, persons with special needs, and the elderly within the housing market in the Town.

Determine a numerical goal for annual housing production, pursuant to which there is an increase in the Town's number of SHI Eligible Housing units by at least 0.50% of its total units or commencement of projects on sites achieving the annual land area minimum during every calendar year included in the HPP until the overall percentage exceeds the Statutory Minimum, as defined in the DHDC

Guidelines. There should be a direct link between the setting of these goals and the results of the Needs Assessment.

**Task 3: Develop implementation strategies**

- a. The HPP should include an explanation of specific strategies that the Town could use to achieve its housing production goals, as well as a time frame/schedule for achieving the housing goals. Each goal should include specific milestones to indicate progress and include strategies such as the following:
  - i. Identification of zoning districts or geographic areas in which zoning needs to be modified for the purposes of creating SHI-Eligible Housing developments to meet housing production goals; for example, consideration should be given to whether density can be increased, whether accessory apartments can be accommodated, and whether upper-story residential units are allowed in commercial districts;
  - ii. Identification of sites for which the Town could encourage the filing of a 40B Comprehensive Permit application;
  - iii. Identification of characteristics of proposed residential or mixed-use developments that would be preferred by the Town (e.g. infill development, cluster developments, adaptive reuse, transit-oriented housing, mixed-use development, and/or inclusionary zoning);
  - iv. Identification of Town-owned parcels for which the Town could issue an RFP to develop SHI Eligible Housing; and
  - v. Examples of best practice implementation strategies that have been successful in other Massachusetts municipalities.
- b. Develop criteria to identify both private and Town-owned sites that would be suitable for the development of affordable housing.
  - i. Facilitate a public meeting conducted by one or more of the Boards to:
    1. Update, inform, and educate the public;
    2. Discuss general characteristics and/or potential criteria for site selection; and
    3. Solicit input

- ii. Establish a range of criteria for site selection in response to public input (may require prioritizing the criteria, at this stage or later, to facilitate site selection).
  - iii. Provide comparative information as to how public meeting input compares to criteria for site selection used by other Massachusetts cities and towns.
- c. Provide an update and explain criteria for site selection at a Board of Selectmen public meeting, with all materials provided to the Selectmen at least three days in advance of the meeting.
- d. Identify and examine public and private sites that meet (to varying degrees) the established criteria:
- i. Facilitate a public meeting sponsored by one or more of the Boards to:
    1. Explain criteria; and
    2. Identify potential public and private sites in context of the established criteria.
  - ii. Select a preliminary list of specific sites that meet established criteria.
  - iii. Facilitate a public meeting conducted by one or more of the Boards to:
    1. Share research on the benefits and challenges affordable housing provides to a community;
    2. Discuss relative merits and drawbacks of each site;
    3. Explain development constraints and limitations and possible mitigation measures of each site; and
    4. Provide affordable housing options for each site (various densities, mixed-use, etc.).
  - iv. Identify and examine strategies to encourage the production of affordable housing on identified sites:
    1. Guide "friendly" 40B and/or LIP developments to suitable sites;
    2. Explore and examine alternative strategies to produce affordable housing, (rezoning, overlays, mixed-use

- developments, etc.);
3. Examine the suitability of adopting 40R and/or 40S programs in Wellesley; and
  4. Offer recommendations on how to successfully market affordable housing opportunities to Town constituent groups.
- v. Prepare a timeline for housing production to meet goals and secure certification.
  - vi. Present preliminary findings at a joint meeting of the Boards for public discussion.
  - vii. Refine preliminary findings.

#### **Task 4: Prepare and Present a Housing Production Plan**

The Consultant shall prepare and present a final HPP to a joint meeting of the Boards (with prior distribution of materials to all boards at least three days in advance of the meeting). Following this presentation, the Board of Selectmen shall consider approval of the HPP (at this meeting, or a subsequent meeting where the Consultant may need to be available for discussion and questions). Upon approval, the Consultant shall work with the Town to submit the approved HPP to DHCD. After submission to DHCD, the Consultant shall, in consultation with the Board of Selectmen, prepare any revisions to the HPP as recommended by DHCD.

#### **4.0 PROJECT SCHEDULE**

The Boards have prioritized and endeavor to complete the development of an HPP as soon as possible given the escalating interest expressed by private developers in pursuing 40B projects in Town, and the need to secure safe harbor protection from 40B projects that are inconsistent with local needs. It is preferred that the Consultant is able to complete its work within twenty-eight (28) weeks from the notice to proceed. However, each respondent must address the issue of project schedule in its response to this RFP and indicate if an alternative schedule is warranted and/or possible.

#### **5.0 DELIVERABLES**

The Consultant shall provide the following deliverables to the Town:

- PowerPoint presentations for each of the public meetings identified above; and

- Twenty bound copies of the HPP, including a separate stand-alone Executive Summary, in both written and electronic format.

## **6.0 PROPOSAL CONTENTS**

### **6.1 PRICE PROPOSALS**

The Consultant shall submit an estimated cost summary, **not to exceed \$35,000**, to provide the services required to fully complete the project. The Consultant must provide a breakdown of the cost estimate, either on an itemized basis (travel charges, hourly rates, responding to emails/phone calls, attending meeting, etc.) or on a per-report basis.

The Cost Proposal shall identify costs per task, including the fully burdened hourly rate of each individual assigned to each task. If modifications are proposed to the Scope of Services, the costs of said modifications should be clearly identified.

### **6.2 NON-PRICE PROPOSALS**

Consultants must respond in writing to all requirements of this RFP in the order of the items listed below. The Boards reserve the exclusive right to select or reject the Consultant(s) that it deems to be in the best interest to accomplish the project. Responses should reflect detailed consideration of the issues and opportunities presented. Any additional information that is believed to be relevant by the Consultant, but does not apply to the categories listed, should be added after the items listed below.

- a. Statement of Project Requirements.** State in succinct terms the Consultant's understanding of what is required by this RFP. This includes the Consultant's understanding of the needs, objectives and goals to be achieved, and the work involved.
- b. Response to RFP.** Describe in narrative form the Consultant's approach and technical plan for accomplishing the work listed in Section 3.0 Scope of Services. The Consultant shall provide a detailed summary of how the project will be accomplished in accordance with Section 3.0.
- c. Similar Experience.** Provide details of experience and past performance of the Consultant in the development of HPPs.
- d. Staff Experience.** If the Consultant anticipates utilizing staff (including in-house and subcontract personnel), please describe in detail the staff that will be involved in this project, including each person's name,

education, experience, and expected amount of time they will be working on this project.

- e. **Expected Time for Delivery.** Consultant shall discuss the estimated time anticipated to produce identified deliverables.
- f. **Competing Commitments.** Consultants shall discuss the means by which adequate and timely attention to this engagement will be assured.
- g. **References.** Provide the names, titles, and telephone numbers of three persons who can substantiate the Consultant's summary of qualifications and experience relevant to this project. Indicate the linkage between the persons listed and the work mentioned in the "Similar Experience" section.

## 7.0 EVALUATION OF PROPOSALS

The Boards will use the following chart to rank each Consultant:

### Statement of Project Requirements

Highly Advantageous	Consultant has a clear understanding of needs, objectives, and goals to be achieved, and work involved. Content is well presented and easy to understand.
Advantageous	Consultant does not make clear one or more details about the needs, objectives, and goals to be achieved, and work involved for this project.
Not Advantageous	Consultant does not clearly understand the needs of this project.

### Response to RFP

Highly Advantageous	Consultant details their process, from beginning to end, and addresses each area of concern in Section 3.0 in a manner that is easily understandable. Consultant addresses potential areas of concern with a well thought-out plan.
Advantageous	Consultant addresses everything required in Section 3.0.
Not Advantageous	Consultant does not address one or more items in Section 3.0.

**Similar Experience**

Highly Advantageous	Consultant responds to all aspects of this section while providing summaries of past projects with much similarity to the subject project.
Advantageous	Consultant addresses everything required in section while providing some similar examples of past projects.
Not Advantageous	Consultant does not address all areas in this section or does not indicate comparable past projects.

**Expected Time of Delivery**

Highly Advantageous	The Consultant agrees to present the HPP to the Board of Selectmen for approval within 28 weeks following commencement of the project.
Advantageous	The Consultant agrees to present the HPP to the Board of Selectmen for approval within 28 to 40 weeks following commencement of the project.
Not Advantageous	The Consultant agrees to present the HPP to the Board of Selectmen for approval more than 40 weeks following commencement of the project.

**References**

Highly Advantageous	Consultant provides three or more references that are able to provide examples of the quality of services the Consultant provided to them.
Advantageous	The Consultant provides up to two references that are able to provide examples of the quality of service the Consultant provided to them.
Not Advantageous	The Consultant provides no references OR one or more references was not favorable to the Consultant.

The Boards reserve the right to approve any and all consultants under subcontract. Selection will be made on criteria set forth in this RFP. A contract will be negotiated with the selected Consultant. Should agreement not be reached, the Boards may then elect to negotiate with the remaining consultants in order of their ranking until a suitable agreement could be reached.

The Boards reserve the right to discontinue the selection process at any time prior to the awarding of a contract. There will be no reimbursement to any candidate, for any reason, if selection is terminated. The Boards will determine the proposal that is most advantageous within 90 days of the due date.

## **8.0 PRE-AWARD CONFERENCE**

The selected Consultant shall attend a pre-award conference with the Planning Director within two weeks after contingent selection as the successful Consultant. Contract documentation and the selected Consultant's proposal shall be reviewed to assure precise understanding of contract requirements and to review the selected Consultant's proposal to accomplish all tasks.

## **9.0 PROPOSAL SUBMISSION**

Price and non-price proposals must be in separate sealed envelopes as required by M.G.L. c. 30B. Please mark the price proposal with, "Price Proposal Housing Production Plan" and the non-price proposal with "Non-Price Proposal Housing Production Plan." Please submit ten (10) copies of each proposal and one CD or flash drive with digital copies of the Price Proposal and Non-Price Proposal.

Consultants must also fill out the Certificate of Non-Collusion and Bidder Information Response form at the end of this RFP and submit a copy with each non-price proposal.

The Non-Price Proposals will be opened and available for examination at **3:00 p.m. on October 13, 2017**. The pricing information will be opened by the Boards after the Non-Price Proposal evaluation as required by M.G.L. c. 30B.

The Boards maintain the authority to waive any minor informalities pertaining to proposal submissions by Consultants.

## **10.0 TOWN'S REPRESENTATIVE**

The Town's coordinator responsible for coordinating actions and for responding to all questions will be Michael Zehner. His contact information is as follows:

**Michael Zehner, Planning Director**  
**(T) 781-431-1019 x2234; (E) [mzehner@wellesleyma.gov](mailto:mzehner@wellesleyma.gov)**

## **11.0 DUE DATE**

Ten (10) copies of the proposals and one digital copy on CD or flash drive are required, to be delivered on or before **October 13, 2017 at 3:00 p.m.** to:

**Michael Zehner, Planning Department**  
**Town Hall, Ground Floor**  
**525 Washington Street**  
**Wellesley, MA 02482**

## **12.0 OWNERSHIP OF INFORMATION PROVIDED**

All information provided by the Town to the Consultant and all material developed for this project shall be returned or delivered to the Town before final payment and will not be used by the Consultant for other purposes or released to others without permission of the Town.

The Consultant releases all rights to the deliverables to the Town and acknowledges that these research reports will be made available by the Town in the public domain.

**CERTIFICATE OF NON-COLLUSION**

The undersigned certifies under penalties of perjury that this bid or proposal has been made and submitted in good faith and without collusion or fraud with any person. As used in this certification, the word "person" shall mean any natural person, business, partnership, corporation, union, committee, club, or other organization, entity, or group of individuals.

---

Signature of person signing proposal

Date

---

Printed Name and Title

---

Name of Business

**Bidder Information Response**  
***Development of Housing Production Plan***

Legal Name of the Bidder: \_\_\_\_\_

Company Name: \_\_\_\_\_

Company Address: \_\_\_\_\_

City State Zip: \_\_\_\_\_

Company Web Address: \_\_\_\_\_

Company Telephone: \_\_\_\_\_ Company Fax Number: \_\_\_\_\_

State of Incorporation (Date): \_\_\_\_\_

If the bidder is a partnership, give full names and addresses of all partners; and if an individual, give residential address if different from business address.

**Company Contacts - Required**

**Individual Submitting the Bid:**

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

**Individual to be contacted about the Bid:**

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax number: \_\_\_\_\_

Email Address: \_\_\_\_\_

Best Times to Contact: \_\_\_\_\_



135 Great Plain Avenue 40B Application:

Secondly, included in your packets is a copy of a letter drafted regarding the 40B proposal that has been made to develop 44 units of housing at 135 Great Plain Avenue by Northland Corporation. This project would replace the 12-unit single family home subdivision that Northland had previously been permitted to build. The company has determined that the permitted project is cost prohibitive, and as a result have decided to propose a condominium development, of which 11 of the units would be deed restricted as affordable units. As we have done with the other 40B projects, we anticipate that the Board will provide staff with their feedback on this initial draft and we anticipate comments from residents at the meeting that will be combined into a final draft to be considered at the November 7<sup>th</sup> meeting. The draft of the letter has been posted online, sent out via news and announcements, and has been distributed to abutters via email. (Those we have addresses for).

**Move** to dissolve the joint meeting of the Board of Selectmen, Planning Board and Wellesley Housing Development Corporation.

**NO MOTION**



TOWN OF WELLESLEY



MASSACHUSETTS

## BOARD OF SELECTMEN

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

ELLEN F GIBBS, CHAIR  
JACK MORGAN, VICE CHAIR  
MARJORIE F. FREIMAN, SECRETARY  
BETH SULLIVAN WOODS  
THOMAS H. ULFELDER

FACSIMILE: (781) 239-1043  
TELEPHONE: (781) 431-1019 x2201  
[WWW.WELLESLEYMA.GOV](http://WWW.WELLESLEYMA.GOV)  
BLYTHE C. ROBINSON  
EXECUTIVE DIRECTOR OF GENERAL GOVERNMENT

October XX, 2017

Michael Busby  
Massachusetts Housing Partnership  
160 Federal Street  
Boston, MA 02110

RE: 135 Great Plain Avenue, Wellesley, MA Site Eligibility Response

Dear Mr. Busby:

On behalf of the Town of Wellesley Board of Selectmen and Planning Board, please find the following comments with respect to the Comprehensive Permit Site Approval Application recently submitted by Northland Residential for the construction of 44 condominium units on just over 12 acres of land in Wellesley, Massachusetts. It should be noted that 2.46 acres of the site contains wetland and is located within a Flood Plain Zone A.

### Previous Projects

As MassHousing will see from the submittal documents, the developer worked closely with the Town to have approved a 12 lot subdivision. The Town Departments and Planning Board worked continuously with the developers to maintain open space, significant trees, to engage in natural resource protection, and to mitigate impacts to directly abutting neighbors and their privacy. The Town continuously stressed the desire to mitigate stormwater in a Low Impact Design (LID) methods and BMPs. Subsurface infiltration was the only solution palatable to the developer. The developers are now before the Town with a project that will increase the density by over 3 times the previous proposal, so the Town continues to encourage the new design to embrace the maintenance of open space, retention of significant trees, natural resource protection, and alternative stormwater mitigation with LID techniques.

### Traffic

The Town originally vetted traffic study for the proposed 12-unit subdivision, anticipated 150 vehicles daily. The increase in density will increase the volume significantly to approximately 450-525 vehicle trips a day. The Great Plain Avenue corridor lacks pedestrian and bicycle accommodations and the community through the Unified Plan has been encouraging design to improve health and access.

Access to the site will have challenges including turning left into the site, while heading northwest on Route 135 (Great Plain Avenue). A turning lane should be added to improve access. A deceleration land should also be added heading southeast on 135 to allow for the flow of traffic to continue. The Town has concerns that stacking and queuing will be considerable on site. Additionally, the Town notes that the a warrant

analysis has been conducted for the Town's Recycling and Disposable Facility (RDF) located approximately 700 feet to the southeast and is being considered for signalization. The Town is also working on the redesign of the Wellesley Avenue/Great Plain Avenue rotary/intersection to improve safety. This intersection has been found to have the highest number of crash incidents in Town and averages approximately 15 crashes a year. Additional volume will increase safety concerns in this area.

### **Site Design**

The proposed architecture is of nice design, qualify, and is consistent with the quality of construction in the area. The Town encourages consideration be given to shared driveways, particularly in the tier II area to reduce impervious cover and to improve the aesthetics and view of the tier III properties which will front the rear of the structures. The dense triplex townhouses in the front of the site and the uniform nature of the design are inconsistent with the land use pattern in the development corridor. The Town would recommend a more diverse pattern in the entire site layout, which would seek to improve setbacks from abutting properties. Given the size of the site, side yard setbacks should be increased from 16-20 feet particularly directly abutting existing homes. The access into the site, with parallel parking immediately present upon entering the site is a concern given the anticipated volume of vehicles accessing the property. The Town encourages all of the on street parallel parking spaces (guest parking areas) to be reconsidered. Turning access is limited in the triplex areas, and there is concern that vehicles on the end units, let alone fire trucks, will not be able to exit or turnaround given the limited turning space.

The Town notes the density the site, which will house a variety of residents, offers no active recreational amenities. The project site is fairly removed from other Town amenities, excluding access to the Sudbury Aqueduct, and it is recommended that consideration be given to play structures or sports courts (i.e. tennis courts, basketball). The plan notes gathering spaces, the Town also encourages additional gathering amenities to allow for communal outdoor activities (benches, fire pit).

### **Pedestrian/Bicycle Amenities**

The sidewalk and paths interior to the site, and connecting to the Sudbury Aqueduct are appreciated and should be widened to truly facilitate a multi-modal universal path that should be accessible to the public. The site is located approximately 1 mile to Wellesley Square, and a  $\frac{1}{4}$  of a mile to the High School. Sidewalk connections are lacking on Great Plain Avenue, and it is recommended that a multi-modal connection from the site to Wellesley Avenue along Great Plain Avenue be installed. At a minimum, a multimodal connection should be installed from the site to Brook Street along Great Plain Avenue.

### **Stormwater Management**

The submitted plans currently do to include stormwater information. The developer has made comments that the same system previously permitted as part of the 12-unit subdivision would be used. The Town is unsure whether the proposed subsurface infiltration system will be sized properly given the significant increase in impervious area under the new project proposal. As such, the increased impervious cover within an area with high groundwater will continue to be a primary concern. The Town suggests that the proposal seek ways to increase the low impact development (LID) techniques on the site to include BMPs for rainwater recapture, open drainage systems, bio retention and pervious pavement.

### **Wetlands**

The proposed project appears to be outside of the wetlands buffers and the FEMA Flood Plain Zone A. The Town seeks clarification whether the proposed grading and construction, particularly of the units on the western property line will have grading within the riverfront area or whether there will be any discharge that will impact resources protected by the State Wetlands Protection Act and local wetlands bylaw and regulations. Given the topography of the site and the changes to grade with extensive tree removal, sedimentation and erosion should be considered and evaluated. The applicants are encouraged to

file a RDA or NOI if it appears that any potential impact to the existing wetlands is possible. The Town further notes that the existing ORAD will expire on June 15, 2018, so the applicant may want to have ORAD updated or extended.

### **Landscape**

The Town prides itself on being conscience of efforts to improve sustainability, preserve substantial and significant trees and vistas, and past and continued efforts have been recognized through the Tree City USA program, the EPA, Green Communities, etc. It is unclear from the current plans what trees, if any, outside of the protected Flood Plain and wetlands areas will be retained. The Town asks the developer to identify protected trees. The previous subdivision plan had areas where significant tree retention was planned. The Town encourages preservation of significant trees and encourages the replanting of a diverse array of native species including trees, understory plantings, and shrubs. It is also noted that any alteration or removal of public shade trees, per MGL c. 87 along the frontage of the property will require approval.

### **Water and Sewer**

The site is located in an area of Wellesley where there is a mix of public utility services. The Town requests that existing septic systems be identified on plans to evaluate potential impact. Additionally, given the size and scale of the property, the abutting properties not currently on sewer or Town water, should be given the opportunity to connect in the future if Title V fails, so stubbed connection should be available to abutting properties not currently on sewer.

The Town notes there is concern over sewer capacity in the area. There is no information to analyze capacity, but the sewer connection shall be required to extend the existing gravity sewer in Great Plain Avenue to the easterly side of the property. The Town would like to maintain gravity sewer where possible, but given the grades of the site, ejector pumps will be needed in some locations that shall be privately owned and operated. The Town at present believes there is suitable capacity for water service, but must analyze data on projected water use once received.

### **Fire**

A fire hydrant will be required at the front and likely the rear of the site. The site layout prevents maneuverability around the site with two dead end access points in the triplex (tier I) section of the property. Information on the turning radii for the proposed access roadway to the tier II and tier III sections of the site has not been provided. Any on street parking (not in designated parking spaces); given the 22 foot width of the roadway could cause access issues. Guest parking, greater than be accommodated in driveways, should be restricted on the access drives.

### **Wellesley's Progress on Affordable Housing**

As you are more than aware, the Town has recently been inundated with 40B Site Eligibility notices. The Town has not met its 10% threshold; but would like to convey the efforts it has continually made to increase the Town's affordable housing inventory. The Town of Wellesley has been making steady progress over the last 15 years in increasing the Subsidized Housing Inventory and consistently passing zoning provisions to assist with affordable housing as redevelopment opportunities in Wellesley's commercial districts occur. The Town as of August 24, 2017 is at 6.3% of its 10% goal, with upwards of 38 units in the process of being added to the Subsidized Housing Inventory within the next several months. Below are the Town's actions that have supported development of affordable housing:

- The 2007-2017 Comprehensive Plan was adopted in 2007 with actions for affordable housing.
- The Inclusionary Zoning Bylaw (IZB) was adopted in 2004 which requires residential projects in commercial districts to provide 20% affordable housing, and commercial projects over 10,000 square feet to provide 2% affordable housing (1 unit for every 50,000 square feet constructed).

- 2004: the Town's Community Preservation Committee funded \$65,000 in addition to HUD funds to create a DMR house at 4 Marshall Road (SHI).
- 2005: the IZB was modified to require subdivisions having more than 5 lots to comply with the Bylaw at 20% threshold.
- 2007: the definition of Floor Area Ratio in the Zoning Bylaw was modified to exclude affordable units developed under the IZB from being included in the FAR to increase density and increase opportunities for affordable housing units in commercial districts.
- 2007: the Linden Square project was completed, wherein 7 affordable housing units were created under the IZB (Units have recently been found to be missing from the Town's SHI, but are being added now).
- 2007/2008: permitting began for projects at 978 Washington Street and the former Wellesley Inn site at 576 Washington Street in Wellesley Square; these projects were delayed due to the recession, but both have now been completed, resulting in 7 SHI-eligible units at 978 Worcester and 5 SHI-eligible units at 576 Washington Street. Both projects were developed under the Town's Zoning and subject to the IZB; 978 Worcester St. also resulted in payment in-lieu funds for 1 unit.
- 2009: the permitting of a CVS resulted in the payment of in-lieu funds under the IZB.
- 2011: a 40B project was approved at 65-71 Washington Street resulting in 1 SHI-eligible unit.
- 2012: a project was permitted at 27 Washington Street, resulting in the development of 82 SHI-eligible units, as well as 7 assisted living units not SHI-eligible but permanently deed restricted to be affordable.
- 2012: the Wellesley Housing Development Corporation purchased a two-family dwelling at Peck Ave and a single-family dwelling at 6 Mellon Road, renovating the homes and creating 3 affordable units; at this time the Town also purchased 9 Highland Road, although it is not on SHI, but it is affordable due to deed restriction not complying with DHCD requirements (Must wait to add on resale per DHCD).
- 2013/2014: a 40B project was approved at 139 Linden Street providing 2 SHI units (Added to SHI in October 2017).
- 2013: Wellesley Square Zoning District was amended to create a special permit to increase density; this benefited and allowed the previously stalled Wellesley Inn project to proceed.
- 2016: the Planning Board approved a Definitive Subdivision plan for 135 Great Plain Ave. that included a payment in-lieu for 2.4 units.
- 2016 to present: the Town is developing a new Comprehensive Plan; known as the Unified Plan, the Plan is combining typical land use planning with all aspects of the Town's government to serve as a master strategic plan for the Town. The Plan is expected to be adopted in the Winter/Spring 2018. [www.wellesleyunifiedplan.com](http://www.wellesleyunifiedplan.com)
- July 2016 to present: the Planning Board, Board of Selectmen, and Housing Development Corporation, have aggregated \$35,000 for the creation of a Housing Production Plan for the Town. An RFP was released September 25, 2017.

More affordable housing opportunities are necessary in the Town of Wellesley and the Town is currently working on a Housing Production Plan as noted above.

For reference, 40B projects currently in Project Eligibility are:

1. 680 Worcester Street (20 Units)- ~ 2 miles from proposed project
2. 16 Stearns Road (36 Units) ~2 miles from proposed project
3. 148 Weston Road (55 Units) ~ 1.8 feet from proposed project
4. Delanson Circle (90 Units) ~ 1.4 miles from proposed project

Other 40B projects being considered in Wellesley

1. 136 Worcester Street (44 Units) ~3 miles from proposed project

Sincerely,

Sincerely,

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Ellen F. Gibbs, Chair

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Jack Morgan, Vice Chair

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Marjorie R. Freiman

---

Beth Sullivan Woods

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Thomas Ulfelder

DRAFT



## **Comprehensive Permit Site Approval Application/Homeownership**

[www.masshousing.com](http://www.masshousing.com) | [www.masshousingrental.com](http://www.masshousingrental.com)

## Comprehensive Permit Site Approval Application/Homeownership

Attached is the Massachusetts Housing Finance Agency ("MassHousing") application form for Project Eligibility/Site Approval ("Site Approval") under the state's comprehensive permit statute (M.G.L. c. 40B, Sections 20-23 enacted as Chapter 774 of the Acts of 1969) known as "Chapter 40B". Developers seeking a comprehensive permit to construct affordable housing under Chapter 40B and intending to use a MassHousing financing program or financing through the New England Fund ("NEF") program must receive Site Approval from MassHousing. This approval (also referred to as "project eligibility approval") is a required component of any comprehensive permit application to be submitted to the local Zoning Board of Appeals of the municipality in which the development is to be located.

As part of its review of your application, MassHousing will conduct an inspection of the site and will solicit comments from the relevant municipality. MassHousing will consider any relevant concerns that the municipality might have about the proposed project or the developer. The applicant is encouraged, therefore, to make contact with the municipality prior to submitting the Site Approval application in order to ensure that the applicant understands any concerns that the municipality may be likely to raise regarding the proposed development.

In order for a project to receive Site Approval, MassHousing must determine that (i) the applicant has sufficient legal control of the site, (ii) the applicant is a public agency, non-profit organization or limited dividend organization, and (iii) the applicant and the project are generally eligible under the requirements of the MassHousing program selected by the applicant, subject to final eligibility review and approval. Furthermore, MassHousing must determine that the site of the proposed project is generally appropriate for residential development (taking into consideration municipal actions previously taken to meet affordable housing needs) and that the conceptual project design is generally appropriate for the site. In order for MassHousing to be able to make these findings (required by 760 CMR 56.04 (4)), it is important that you answer all questions in the application and include all required attachments.

Please note that MassHousing requires that all applicants meet with a member of our 40B Department staff before submitting their application. Applications for any projects that have not been the subject of a required pre-application meeting will not be accepted or processed.

Upon completion of its analysis, MassHousing will either issue a Site Approval Letter that approves, conditionally approves or denies the application. If the application is approved, the applicant should apply to the Zoning Board of Appeals within two years from the date of the Site Approval Letter (unless MassHousing extends such term in writing).

Please note that Site Approval from MassHousing does not constitute a loan commitment by MassHousing or any other financing program. All potential MassHousing financing is subject to further review and underwriting by MassHousing's Rental Lending Department.

Please be sure you have familiarized yourself with all of the applicable requirements set forth in the Chapter 40B regulations and guidelines, which can be found at

<http://www.mass.gov/hed/economic/eohed/dhcd/legal/regs/760-cmr-56.html> and  
[www.mass.gov/hed/docs/dhcd/legal/comprehensivepermitguidelines.pdf](http://www.mass.gov/hed/docs/dhcd/legal/comprehensivepermitguidelines.pdf).

Instructions for completing the Site Approval Application are included in the application form which is attached. The completed application form and all additional documentation should be sent, after your pre-application meeting has been held, to:

Gregory Watson, Manager of Comprehensive Permit Programs  
MassHousing, One Beacon Street, Boston, MA 02108

We look forward to working with you on your proposed development. Please contact Gregory Watson at 617-854-1880 or [gwatson@masshousing.com](mailto:gwatson@masshousing.com) to discuss scheduling your pre-application meeting or if there is any assistance that we can provide in the meantime to make your application process a smooth and efficient one.

### Our Commitment to You

MassHousing recognizes that applicants seek some measure of predictability regarding the timeframe for our processing of their applications. Our staff will endeavor to adhere to the following schedule for reviewing applications for site approval:

Within two (2) business days of receipt of your application (provided that you have attended a required pre-application meeting) a member of our staff will notify you of any of the items listed on the checklist at the end of the application form that were missing from your application package. Please note that our acknowledgement of receipt of an item does not indicate that any substantive review has yet taken place.

If your application package is missing any of the items indicated on the checklist by an asterisk, we will not be able to continue processing your application until such items are received.

If we have received the information which is crucial to the commencement of our review process, we will proceed to (i) give the municipality a period of thirty (30) days in which to submit comments relating to your proposal, (ii) schedule and conduct a site visit, and (iii) solicit bids for and commission and review an "as is" appraisal of your site.

If during our review of your application package we determine that additional information or clarification is needed, we will notify you as soon as possible. Depending on when we receive such additional information, this may affect the amount of time required for MassHousing to complete the site approval process.

Assuming that your application package was complete and that you respond in a timely manner to requests for additional information or clarification, we would expect to issue or deny your site approval within 60 days of our receipt of your application package.



**Application for Chapter 40B Project Eligibility/Site Approval  
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**  
*Please be sure to answer ALL questions. Indicate "N/A", "None" or "Same" when necessary.*

**Section 1: GENERAL INFORMATION** (also see Required Attachments listed at end of Section 1)

Name of Proposed Project: Fieldstone Way

Municipality: Wellesley, Massachusetts

Address of Site: 135 Great Plain Avenue, Wellesley, MA

Cross Street (if applicable): NA

Zip Code: 02482

Tax Parcel I.D. Number(s) (Map/Block/Lot): 68-1

Name of Proposed Development Entity (typically a single purpose entity): Wellesley Residential, LLC

Entity Type: Limited Dividend Organization  Non-Profit\*  Government Agency

\* If the Proposed Development Entity is a Non-Profit, please contact MassHousing regarding additional documentation that must be submitted.

Has this entity already been formed? Yes  No

Name of Applicant (typically the Proposed Development Entity or its controlling entity or individual): Northland Residential LLC

Applicant's Web Address, if any: www.northlandresidential.com

Does the Applicant have an identity of interest with any other member of the development team or other party to the Proposed Project? Yes  No  If yes, please explain: Northland Construction is affiliated

**Primary Contact Information (required)**

Name of Individual: Peter D. Crabtree

Relationship to Applicant: VP, Acquisitions & Development

Name of Company (if any): Northland Residential Corporation

Street Address: 80 Beharrell Street

City/Town/Zip: West Concord, MA 01742

Telephone (office and cell) and Email: (781) 229-4706 (w)/(617) 797-6706 (c) pcrabtree@northlandresidential.com

**Secondary Contact Information (required)**

Name of Individual: John C. Dawley

Relationship to Applicant: President & CEO

Name of Company (if any): Northland Residential Corporation

Street Address: 80 Beharrell Street

City/Town/Zip: West Concord, MA 01742

Telephone (office and cell) and Email: (781) 229-4704 (w)/(617) 797-6704 (c) jdawley@northlandresidential.com

**Additional Contact Information (optional)**

Name of Individual: \_\_\_\_\_  
Relationship to Applicant: \_\_\_\_\_  
Name of Company (if any): \_\_\_\_\_  
Street Address: \_\_\_\_\_  
City/Town/Zip: \_\_\_\_\_  
Telephone (office and cell) and Email: \_\_\_\_\_

**Anticipated Financing:** MassHousing \_\_\_\_\_ NEF Bank   
Name of NEF Bank: Middlesex Savings Bank

Total Number of Units 44.00 # Affordable Units 11.00 # Market Rate Units 33.00  
Age Restricted? Yes  No  If Yes, 55+  or 62+

**Brief Project Description (150 words or less):**

Northland Residential LLC is proposing to develop Fieldstone Way, a new residential for-sale condominium community in Wellesley, MA. Fieldstone Way will consist of 44 townhouses: (33) market-rate & (11) moderate-income units. The parcel totals 12.05 acres in size with wetlands consisting of 1.97 acres. The 44 townhouses will be in 18 buildings: (8) triplexes and (10) duplexes. The living area in the homes will range from approximately 1,750 sf to 2,800 sf. Each home will feature a 2-car garage and/or dedicated parking for 2 vehicles. Additional guest parking will be available spread throughout the site. Fieldstone Way will be serviced by town water & sewer, natural gas and underground electricity. All utilities are currently available in Great Plain Avenue. The sewer system for the community will include a private pump station to pump the sewerage up grade to Great Plain Avenue. The new community will be designed to have a common town green. Mail will be delivered to a renovated antique stone outbuilding that the developer has preserved. Due to the parcel's connection to the abutting Sudbury Aqueduct Walking Trail, a pedestrian pathway will be created to allow the neighborhood easy access to this popular walking & bike trail. There will be a Homeowner's Association established for the maintenance of the common areas. The site is located approximately 1.2 miles from Wellesley Square and 2.0 miles from Needham Center.

**Required Attachments Relating to Section 1**

**1.1 Location Map**

Provide a USGS or other form of map clearly marked to show the site's location, and an approximate property boundary.

**1.2 Tax Map**

Provide a copy of municipal tax map (assessor's plan) with subject parcels and parcel ID #'s clearly identified.

**1.3 Directions**

Provide detailed written directions to the site, noting the entrance to the site, relevant boundaries and any prominent landmarks that can be used for identification purposes.

## Application for Chapter 40B Project Eligibility/Site Approval for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects

### Section 2: EXISTING CONDITIONS / SITE INFORMATION (also see Required Attachments listed at end of Section 2)

*In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the site is generally appropriate for residential development.*

Name of Proposed Project: Fieldstone Way

Buildable Area Calculations	Sq. Feet/Acres (enter "0" if applicable—do not leave blank)
Total Site Area	12.05
Wetland Area	1.97
Flood/Hazard Area	0.50
Endangered Species Habitat (animal and/or plant)	0.00
Conservation/Article 97 Land	0.00
Protected Agricultural Land	0.00
Other Non-Buildable (Describe)	0.00
Total Non-Buildable Area	2.47
Total Buildable Site Area	9.58

Current use of the site and prior use if known:

Our research indicates the property was undeveloped until c. 1900 when a single-family house and outbuildings were constructed. The house was re-modeled several times over the years and continued to be used as a single-family house. Absent the small stone outbuilding which is intended to be renovated for use within the Project, Northland razed the structures in May, 2017.

Is the site located entirely within one municipality? Yes  No

If not, in what other municipality is the site located? not applicable

How much land is in each municipality? (the Existing Conditions Plan must show the municipal boundary lines) not applicable

Current zoning classification and principal permitted uses:

Single Residence District with a minimum lot size of 20,000 Sq. Ft. Principal permitted uses include: one-family dwellings, Educational or Religious Purposes, Child Care Facility, Club, Agriculture and Home Occupations.

Previous Development Efforts

Please list (on the following page) any previous applications pertaining to construction on or development of the site, including (i) type of application (comprehensive permit, subdivision, special permit, etc.); (ii) application filing date; (iii) date of denial, approval or withdrawal. Also indicate the current Applicant's role, if any, in the previous applications.

*Note that, pursuant to 760 CMR 56.03 (1), a decision of a Zoning Board of Appeals to deny a Comprehensive Permit, or (if the Statutory Minima defined at 760 CMR 56.03 (3) (b or c) have been satisfied) grant a Comprehensive Permit with conditions, shall be upheld if a related application has previously been received, as set forth in 760 CMR 56.03 (7).*

The current Applicant filed a Definitive Subdivision Application for a 12-Lot Single-Family subdivision in accordance with the Natural Resource Protection (NRP) Development Zoning Bylaw on July 2, 2015. The aforementioned subdivision was approved by the Planning Board on June 6, 2016 and filed with the Town Clerk on June 21, 2016. No appeals were filed. The subdivision approval documents and the subdivision plan have been recorded at the Norfolk County Registry of Deeds.

To the best of your knowledge, has this site ever been rejected for project eligibility/site approval by another subsidizing agency or authority? No.

Existing Utilities and Infrastructure	Yes/No	Description
Wastewater- private wastewater treatment	No	
Wastewater - public sewer	Yes	Public sewer is available in Great Plain Avenue
Storm Sewer	No	The Storm Water will be handled on-site.
Water-public water	Yes	Public Water is available in Great Plain Avenue
Water-private well	No	The existing private well has been decommissioned.
Natural Gas	Yes	Natural Gas is available in Great Plain Avenue
Electricity	Yes	Underground electricity is available in G.P.A.
Roadway Access to Site	Yes	The parcel has frontage on Great Plain Avenue.
Sidewalk Access to Site	Yes	A public sidewalk exists along the frontage.
Other		

**Describe surrounding land use(s):**

The immediate surrounding land uses are predominantly single-family residences. Approximately 700 feet down Great Plain Avenue to the southeast is the entrance for the Town of Wellesley Recycling & Disposal Facility (169 Great Plain Avenue). Almost directly across from the RDF is the entrance to the Babson Hockey Rink & Boston Sports Club Facility (150 Great Plain Avenue). Olin College is located approximately 0.4 miles to the west along Great Plain Avenue in the town of Needham.

Surrounding Land Use/Amenities	Distance from Site	Available by Public Transportation?
Shopping Facilities	1.2 miles	Wellesley Council on Aging bus
Schools	0.8 miles	School bus
Government Offices	1.2 miles	Wellesley Council on Aging bus
Multi-Family Housing	1.0 miles	Wellesley Council on Aging bus
Public Safety Facilities	1.3 miles	Wellesley Council on Aging bus
Office/Industrial Uses	1.2 miles	Wellesley Council on Aging bus
Conservation Land	abutting property	walkable
Recreational Facilities	abutting property	walkable
Houses of Worship	1.1 miles	Wellesley Council on Aging bus
Other	1.4 miles	Wellesley Square Commuter Rail Station

List any public transportation near the Site, including type of transportation and distance from the site:

The Wellesley Square Commuter Rail Station is 1.4 miles from the subject property. The Needham Center Commuter Rail Station is 2.0 miles from the subject property. The Wellesley Council on Aging (COA) offers door-to-door bus transportation services for seniors residing in Wellesley. The COA bus will pick them up at their home and take them anywhere within Wellesley, or a neighboring town and deliver the senior back home when their task (such as shopping or a medical appointment) is concluded.

#### Site Characteristics and Development Constraints

*Please answer "Yes", "No" or "Unknown" to the following questions. If the answer is "Yes" please identify on Existing Conditions Plan as required for Attachment 2.1 and provide additional information and documentation as an attachment as instructed for Attachment 2.4, "Documentation Regarding Site Characteristics/Constraints."*

Are there any easements, rights of way or other restrictions of record affecting the development of the site? No

Is there any evidence of hazardous, flammable, or explosive material on the site? No

Is the site, or any portion thereof, located within a designated flood hazard area? Yes

Does the site include areas designated by Natural Heritage as endangered species habitat? No

Are there documented state-designated wetlands on the site? Yes

Are there documented vernal pools on the site? No

Is the site within a local or state Historic District or listed on the National Register or Historic Places? No

Has the site or any building(s) on the site been designated as a local, state or national landmark? No

Are there existing buildings and structures on site? No

Does the site include documented archeological resources? No

Does the site include any known significant areas of ledge or steep slopes? No

## Required Attachments Relating to Section 2

### 2.1 Existing Conditions Plan

Please provide a detailed Existing Conditions Plan showing the entire site, prepared, signed and stamped by a Registered Engineer or Land Surveyor. Plans should be prepared at a scale of 1"=100' or 1"=200' and should include the following information:

- a. Reduced scale locus map
- b. Surveyed property boundaries
- c. Topography
- d. Wetland boundaries (if applicable)
- e. Existing utilities (subsurface and above ground).
- f. Natural features including bodies of water, rock outcroppings
- g. Existing easements and/or rights of way on the property
- h. Existing buildings and structures, including walls, fences, wells
- i. Existing vegetated areas
- j. Existing Site entries and egresses

### 2.2 Aerial Photographs

Please provide one or more aerial photograph(s) of the Site (such as those available on-line) showing the immediate surrounding area if available. Site boundaries and existing site entrance and access points must be clearly marked.

### 2.3 Site/Context Photographs

Please provide photographs of the Site and surrounding physical and neighborhood context, including nearby buildings, significant natural features and land uses. Please identify the subject and location of all photographs.

### 2.4 Documentation Regarding Site Characteristics/Constraints

Please provide documentation of site characteristics and constraints as directed including narratives, summaries and relevant documentation including:

- Flood Insurance Rate Map (FIRM) showing site boundaries
- Wetlands delineation
- Historic District Nomination(s)

### 2.5 By-Right Site Plan (*if available*)

MassHousing will commission, at your expense, an "as-is" appraisal of the site in accordance with the Guidelines, Section B (1). Therefore, if there is a conceptual development plan which would be permitted under current zoning and which you would like the appraiser to take into consideration, or if permits have been issued for alternative development proposals for the site, please provide two (2) copies of a "by-right" site plan showing the highest and best use of the site under current zoning, and copies of any existing permits. These will assist the appraiser in determining the "as is" value of the Site without any consideration being given to its potential for development under Chapter 40B.

## Application for Chapter 40B Project Eligibility/Site Approval for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects

### Section 3: PROJECT INFORMATION (also see Required Attachments listed at end of Section 3)

*In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the proposed project appears generally eligible under the requirements of the housing subsidy program and that the conceptual project design is generally appropriate for the site.*

Name of Proposed Project: Fieldstone Way

Project Type (mark both if applicable): New Construction  Rehabilitation  Both

Total Number of Dwelling Units: 44.00

Total Number of Affordable Units: 11.00

Number of 50% AMI Affordable Units: 0.00

Number of 80% AMI Affordable Units: 11.00

Unit Mix: Affordable Units *(see attached chart)*

Unit Type	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Number of Units					
Number of Bathrooms					
Square Feet/Unit					

Unit Mix: Market Rate

Unit Type	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Number of Units					
Number of Bathrooms					
Square Feet/Unit					

Percentage of Units with 3 or More Bedrooms\*: 0.82

\* Note that the January 17, 2014 Interagency Agreement Regarding Housing Opportunities for Families with Children requires that at least 10% of the units in the project must have three (3) or more bedrooms. Evidence of compliance with this requirement must be provided at Final Approval.

Number of Handicapped Accessible Units: 0.00 Market Rate: 0.00 Affordable: 0.00

Gross Density (units per acre): 3.65

Net Density (units per buildable acre): 4.61

## Section 3: Project Information

### Unit Mix: Affordable Units

<b>Unit Type</b>	<b>Studio</b>	<b>1 Bedroom</b>	<b>2 Bedroom</b>	<b>3 Bedroom</b>	<b>4 Bedroom</b>
<b>Number of Units</b>	0	0	7	4	0
<b>Number of Bathrooms</b>	0	0	1.5	1.5 - 2.5	0
<b>Square Feet/Unit</b>	0	0	1,776	2,144 - 2,202	0

### Unit Mix: Market Units

<b>Unit Type</b>	<b>Studio</b>	<b>1 Bedroom</b>	<b>2 Bedroom</b>	<b>3 Bedroom</b>	<b>4 Bedroom</b>
<b>Number of Units</b>	0	0	1	32	0
<b>Number of Bathrooms</b>	0	0	1.5	2.5	0
<b>Square Feet/Unit</b>	0	0	1,776	2,144 - 2,766	0

### Residential Building Information

Building Type and Style (single family detached, townhouse, multi-family)	Construction or Rehabilitation	Number of Stories	Height	GFA	Number Bldgs. of this type
Tier 1 - Townhouse - triplex	New Construction	2.50	35'	6,096	12.00
Tier 2 - Townhouse - duplex #1	New Construction	2.50	35'	5,532	3.00
Tier 3 - Townhouse - duplex #2	New Construction	2.50	35'	7,070	7.00

### Non-Residential Building Information

Building Type and Style	Construction or Rehabilitation	Number of Stories	Height	GFA	Number Bldgs. of this type
Antique Fieldstone Outbuilding	Rehabilitation	1.00	15'	200 sf	1.00

Will all features and amenities available to market unit residents also be available to affordable unit residents?  
If not, explain the differences.

The common amenities in the community will be available to all residents. The interior features of the market rate units will differ from the affordable units. The exterior of the buildings will be substantially indistinguishable.

### Parking

Total Parking Spaces Provided: 139.00

Ratio of Parking Spaces to Housing Units: 3.2

Lot Coverage (Estimate the percentage of the site used for the following)

Buildings: 16.4%

Parking and Paved Areas: 13.9%

Usable Open Space: 53.4%

Unusable Open Space: 16.3%

Lot Coverage: 30.3%

Does project fit definition of "Large Project" (as defined in 760 CMR 56.03 (6))? Yes/No No

## Required Attachments Relating to Section 3

### 3.1 Preliminary Site Layout Plan(s)

Please provide preliminary site layout plans of the entire Site prepared, signed and stamped by a registered architect or engineer. Plans should be prepared at a scale of 1"=100' or 1" =200', and should show:

- Proposed site grading
- Existing lot lines
- Easements (existing and proposed)
- Access to a public way must be identified
- Required setbacks
- Proposed site circulation (entrances/egresses, roadways, driveways, parking areas, walkways, paths, trails)
- Building and structure footprints (label)
- Utilities (existing and proposed)
- Open space areas
- Schematic landscaping and screening
- Wetland and other restricted area boundaries and buffer zones

Please provide one (1) set of full size (30"x40") plans along with one (1) set of 11"x17" reproductions and one (1) electronic set of plans. Please note that MassHousing cannot accept USB flash drives.

### 3.2 Graphic Representations of Project/Preliminary Architectural Plans

- Typical floor plans
- Unit plans showing dimensions, bedrooms, bathrooms and overall unit layout
- Exterior elevations, sections, perspectives and illustrative rendering.

### 3.3 Narrative Description of Design Approach

Provide a narrative description of the approach to building massing, style, and exterior materials; site layout, and the relationship of the project to adjacent properties, rights of way and existing development patterns. The handbook called Approach to Chapter 40B Design Reviews prepared by the Cecil Group in January 2011 may be helpful in demonstrating the nature of the discussion that MassHousing seeks in this narrative.

### 3.4 Tabular Zoning Analysis

Zoning analysis in tabular form comparing existing zoning requirements to the waivers that you will request from the Zoning Board of Appeals for the proposed project, showing required and proposed dimensional requirements including lot area, frontage, front, side and rear setbacks, maximum building coverage, maximum lot coverage, height, number of stories, maximum gross floor area ratio, units per acre, units per buildable acre; number of parking spaces per unit/square foot and total number of parking spaces (proposed and required).

### 3.5 Completed Sustainable Development Principles Evaluation Assessment Form (see attached form)

## Application for Chapter 40B Project Eligibility/Site Approval for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects

### Section 4: SITE CONTROL (also see Required Attachments listed at end of Section 4)

*In order to issue Site Approval, MassHousing must find (as required by 760 CRM 56.04 (4)) that the Applicant controls the site.*

Name of Proposed Project: Fieldstone Way

Describe current ownership status of the entire site as shown on the site layout plans (attach additional sheets as necessary if the site is comprised of multiple parcels governed by multiple deeds or agreements):

Owned (or ground leased) by Development Entity or Applicant

Under Purchase and Sale Agreement \_\_\_\_\_

Under Option Agreement \_\_\_\_\_

*Note: The Grantee/Buyer on each document must be either the Applicant or the Proposed Development Entity, or you must attach an explanation showing direct control of the Grantee/Buyer by the Applicant or the Proposed Development Entity.*

Grantor/Seller: G. Lawrence Langford

Grantee/Buyer: Wellesley Residential, LLC

Grantee/Buyer is (check one):

Applicant \_\_\_\_\_ Development Entity \_\_\_\_\_ Managing General Partner of Development Entity \_\_\_\_\_

General Partner of Development Entity \_\_\_\_\_ Other (explain) \_\_\_\_\_

Are the Parties Related? The Parties are not related.

#### For Deeds or Ground Leases

Date(s) of Deed(s) or Ground Lease(s): December 17, 2014

Purchase Price: \$6,500,000.00

#### For Purchase and Sale Agreements or Option Agreements

Date of Agreement: not applicable

Expiration Date: not applicable

If an extension has been granted, date of extension: not applicable

If an extension has been granted, new expiration date: not applicable

Purchase Price: not applicable

Will any easements or rights of way over other properties be required in order to develop the site as proposed?

Yes \_\_\_\_\_ No

If Yes, please describe current status of easement: not applicable

Owned (or ground leased) by Development Entity or Applicant not applicable

Under Purchase and Sale Agreement not applicable

Under Option Agreement not applicable

*Note: The Grantee/Buyer on each document must be either the Applicant or the Proposed Development Entity, or you must attach an explanation showing direct control of the Grantee/Buyer by the Applicant or the Proposed Development Entity.*

Grantor/Seller: not applicable

Grantee/Buyer: not applicable

Are the Parties Related? not applicable

**For Easements**

Date(s) of Easement(s): not applicable

Purchase Price: not applicable

**For Easement Purchase and Sale Agreements or Easement Option Agreements**

Date of Agreement: not applicable

Expiration Date: not applicable

If an extension has been granted, date of extension: not applicable

If an extension has been granted, new expiration date: not applicable

Purchase Price: not applicable

**Required Attachments Relating to Section 4**

**4.1 Evidence of Site Control (required)**

Copies of all applicable, fully executed documents (deed, ground lease, purchase and sale agreement, option agreement, land disposition agreement) showing evidence of site control, including any required easements, along with copies of all amendments and extensions. Copies of all plans referenced in documents must be included.

## Application for Chapter 40B Project Eligibility/Site Approval for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects

### Section 5: FINANCIAL INFORMATION – Site Approval Application Homeownership 40B

*In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that an initial pro forma has been reviewed and that the Proposed Project appears financially feasible and consistent with the Chapter 40B Guidelines, and that the Proposed Project is fundable under the applicable program.*

Name of Proposed Project: Fieldstone Way

Initial Capital Budget (*please enter “0” when no such sales/revenue or cost is anticipated*)

#### Sales / Revenue

Market	<u>50,395,000.00</u>
Affordable	<u>2,390,000.00</u>
Related Party	<u>0.00</u>
Other Income	<u>0.00</u>
Total Sales/Revenue	<u>52,785,000.00</u>

#### Pre-Permit Land Value, Reasonable Carrying Costs

Item	Budgeted
Site Acquisition: pre-permit land value (to be determined by MassHousing commissioned appraisal) plus reasonable carrying costs.	<u>9,000,000.00</u>

#### Costs

Item	Budgeted
------	----------

#### Acquisition Cost

Site Acquisition: pre-permit land value (to be determined by MassHousing Commissioned Appraisal) plus reasonable carrying costs	<u>9,000,000.00</u>
Subtotal Acquisition Costs	<u>9,000,000.00</u>

#### Construction Costs-Residential Construction (Hard Costs)

Building Structure Costs	<u>21,767,550.00</u>
Hard Cost Contingency	<u>1,088,378.00</u>
Subtotal – Residential Construction (Hard Costs)	<u>22,855,928.00</u>

**Costs****Item****Budgeted****Construction Costs-Site Work (Hard Costs)**

Earth Work	473,750.00
Utilities: On Site	617,000.00
Utilities: Off-Site	250,000.00
Roads and Walks	250,000.00
Site Improvement	553,500.00
Lawns and Planting	880,000.00
Geotechnical Condition	75,000.00
Environmental Remediation	0.00
Demolition	40,000.00
Unusual Site Conditions/Other Site Work	0.00
<b>Subtotal –Site Work (Hard Costs)</b>	<b>3,139,250.00</b>

**Construction Costs-General Conditions,  
Builders Overhead and Profit (Hard Costs)**

General Conditions	1,559,771.00
Builder's Overhead	519,904.00
Builder's Profit	1,559,711.00
<b>Subtotal – General Conditions Builder's Overhead and Profit (Hard Costs)</b>	<b>3,639,386.00</b>

**General Development Costs (Soft Costs)**

Appraisal and Marketing Study (not 40B "as is" appraisal)	7,500.00
Lottery	0.00
Commissions/Advertising-Affordable	71,700.00
Commissions/Advertising-Market	2,771,725.00
Model Unit	250,000.00
Closing Costs (unit sales)	297,900.00
Real Estate Taxes (during construction)	360,000.00
Utility Usage (during construction)	50,000.00
Insurance (during construction)	220,000.00
Security (during construction)	20,000.00
Inspecting Engineer	25,000.00
Fees to Others	0.00
Construction Loan Interest	1,200,000.00
Fees to Construction Lender	125,000.00
Architectural	150,000.00
Engineering	250,000.00
Survey, Permits, Etc.	264,000.00
Clerk of the Works	0.00
Construction Manager	0.00

Item	Budgeted
<b>General Development Costs (Soft Costs) - Continued</b>	
Bond Premiums ( <i>Payment/Performance/Lien Bond</i> )	<u>120,000.00</u>
Legal	<u>301,000.00</u>
Title ( <i>including title insurance</i> ) and Recording	<u>10,000.00</u>
Accounting and Cost Certification ( <i>incl. 40B</i> )	<u>43,000.00</u>
Relocation	<u>0.00</u>
40B Site Approval Processing Fee	<u>6,320.00</u>
40B Technical Assistance/Mediation Fund Fee	<u>5,000.00</u>
40B Land Appraisal Cost ( <i>as-is value</i> )	<u>7,500.00</u>
40B Final Approval Processing Fee	<u>2,500.00</u>
40B Subsidizing Agency Cost Certification	
Examination Fee	<u>5,000.00</u>
40B Monitoring Agent Fees	<u>5,000.00</u>
40B Surety Fees	<u>25,000.00</u>
Other Financing Fees	<u>50,000.00</u>
Development Consultant	<u>5,000.00</u>
Other Consultants ( <i>describe</i> )	<u>0.00</u>
Other Consultants ( <i>describe</i> )	<u>0.00</u>
Soft Cost Contingency	<u>332,407.00</u>
Other General Development (Soft) Costs	<u>0.00</u>
Subtotal – General Development Costs (Soft Costs)	<u>6,980,552.00</u>
 <b>Developer Overhead</b>	
Developer Overhead	<u>168,000.00</u>
Subtotal – Developer Overhead	<u>168,000.00</u>
 <b>Summary of Subtotals</b>	
Sales/Revenue	<u>52,785,000.00</u>
Site Acquisition	<u>9,000,000.00</u>
Residential Construction	<u>22,855,928.00</u>
Site Work	<u>3,139,250.00</u>
Builder's Overhead, Profit and General Conditions	<u>3,639,386.00</u>
General Development Costs	<u>6,980,552.00</u>
Developer Overhead	<u>168,000.00</u>
 <b>Summary</b>	
Total Sales/Revenue	<u>52,785,000.00</u>
Total Development Costs (TDC)	<u>45,783,116.00</u>
Profit (Loss) from Sales/Revenue	<u>7,001,884.00</u>
Percentage of Profit (Loss) Over the Total Development Costs	<u>15.29%</u>

(See Attached Charts)

Initial Unit/Sales Price

	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Affordable Units					
Number of Units					
Number of Sq. Ft					
Sales Price					
Condo / HOA Fee					

	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Affordable Units	see attached chart				
Number of Units					
Number of Sq. Ft					
Sales Price					
Condo / HOA Fee					

Describe your approach to calculating any additional fees relating to Condominium Association or a Homeowners Association.

No additional fees are known at this time.

## Section 5: Financial Information

### Initial Unit Sales Prices: Affordable Units

	Studio	1 Bedroom	2 Bedroom	3 Bedroom					4 Bedroom
Affordable Units			Tier 1 TH B	Tier 1 TH A	Tier 1 TH C	Tier 2 Duplex A	Tier 3 Duplex B	Tier 3 Duplex C	
Number of Units	0	0	7	1	2	1	0	0	0
Number of Sq. Ft.			1,776	2,176	2,144	2,202			
Sales Price			210,000	230,000	230,000	230,000			
Condo/HOA Fee			100	120	120	120			

### Initial Unit Sales Prices: Market Units

	Studio	1 Bedroom	2 Bedroom	3 Bedroom					4 Bedroom
Market Units			Tier 1 TH B	Tier 1 TH A	Tier 1 TH C	Tier 2 Duplex A	Tier 3 Duplex B	Tier 3 Duplex C	
Number of Units	0	0	1	7	6	5	7	7	0
Number of Sq. Ft.			1,776	2,176	2,144	2,766	2,538	2,588	
Sales Price			995,000	1,175,000	1,175,000	1,575,000	1,875,000	1,875,000	
Condo/HOA Fee			474	613	613	822	978	978	

## Required Attachments Relating to Section 5

### 5.1 New England Fund Lender Letter of Interest

Please attach a Letter of Interest from a current Federal Home Loan Bank of Boston (FHLBB) member bank regarding financing for the proposed development. The letter of interest must include, at a minimum, the following:

- Identification of proposed borrower, and brief description of the bank's familiarity with the borrower;
- Brief description of the Proposed Project
- Confirmation that the bank is a current FHLBB member bank and that the bank will specifically use NEF funds for the proposed development.

*NOTE: Binding Financing Commitments (or evidence of closed loans) will be required at the time you apply for Final Approval from MassHousing.*

### 5.2 Market Sale Comparables (required)

Please provide a listing of market sales being achieved in properties comparable to the proposed project.

### 5.3 Market Study (if requested)

MassHousing may require a market study for projects located in areas where the need or demand for the type of housing being proposed cannot be clearly demonstrated.

## Application for Chapter 40B Project Eligibility/Site Approval for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects

### Section 6: APPLICANT QUALIFICATIONS, ENTITY INFORMATION, AND CERTIFICATION

*In order to issue Site Approval MassHousing must find (as required by 760 CRM 56.04 (4)) that the applicant is either a non-profit public agency or would be eligible to apply as a Limited Dividend Organization and meets the general eligibility standards of the program.*

Name of Proposed Project: Fieldstone Way

#### Development Team

Developer/Applicant: Northland Residential LLC/Wellesley Residential, LLC

Development Consultant (if any): Consultant - none. Attorney: Peter Tamm (Goulston & Storrs) & David Himmelberger, Esq.

Attorney: See above

Architect: Union Studio, 140 Union Street, Providence, RI 02903

Contractor: Northland Residential Construction, LLC, 80 Beharrell Street, Concord, MA 01742

Lottery Agent: SEB, LLC, 165 Chestnut Hill Avenue, Unit #2, Brighton, MA 02135

Management Agent: unknown at this time

Other (specify): Affordability Monitoring Agent - MetroWest Collaborative Development, Inc. 79-B Chapel Street, Newton, MA 02458

Other (specify): Civil Engineer - Vanasse Hangen Brustlin, Inc., 101 Walnut Street, Watertown, MA 02471

#### Role of Applicant in Current Proposal

Development Task	Developer/Applicant	Development Consultant (identify)
Architecture and Engineering	Northland - active role	Arch.-Union Studio; Engineering - VHB
Local Permitting	Northland - active role	Attorney-Peter Tamm (Goulston & Storrs) & David Himmelberger
Financing Package	Northland	none
Construction Management	Northland/Northland Construction	none
Other	Northland - active role	Landscape Architecture-Ryan Associates, Inc.

#### Applicant's Ownership Entity Information

Please identify for each of (i) the Applicant and, if different (ii), the Proposed Development Entity, the following (collectively with the Applicant and the Proposed Development Entity, the "Applicant Entities"): the Managing Entities, Principals, Controlling Entities and Affiliates of each.

*Note: For the purposes hereof, "Managing Entities" shall include all persons and entities (e.g. natural persons, corporations, partnerships, limited liability companies, etc., including beneficiaries of nominee trusts) who are managers of limited liability companies, general partners of limited partnerships, managing general partners of limited liability partnerships, directors and officers of corporations, trustees of trusts, and other similar persons and entities which have the power to manage and control the activities of the Applicant and/or Proposed Development Entity.*

*"Principal or Controlling Entities" shall include all persons and entities (e.g. natural persons, corporations, partnerships, limited liability companies, etc., including beneficiaries of nominee trusts) that shall have the right to:*

- (i) approve the terms and conditions of any proposed purchase, sale or mortgage;*
- (ii) approve the appointment of a property manager; and/or*
- (iii) approve managerial decisions other than a decision to liquidate, file for bankruptcy, or incur additional indebtedness.*

*Such rights may be exercisable either (i) directly as a result of such person's or entity's role within the Applicant or the Proposed Development Entity or the Managing Entities of either or (ii) indirectly through other entities that are included within the organizational structure of the Applicant and/or Proposed Development Entity and the Managing Entities of either.*

*In considering an application, MassHousing will presume that there is at least one Principal or Controlling Entity of the Applicant and of the Proposed Development Entity. Any person or persons who have purchased an interest for fair market value in the Applicant and/or Proposed Development Entity solely for investment purposes shall not be deemed a Principal or Controlling Entity.*

*"Affiliates" shall include all entities that are related to the subject organization by reason of common control, financial interdependence or other means.*

### **1. Applicant**

Name of Applicant: Northland Residential LLC

Entity Type (limited liability company, limited partnership, limited liability partnership, corporation, trust, etc.):  
Limited Liability Company

State in which registered/formed: Massachusetts

List all Managing Entities of Applicant (you must list at least one):  
Northland Residential Corporation

List all Principals and Controlling Entities of Applicant and (unless the Managing Entity is an individual) its Managing Entities (use additional pages as necessary):

John C. Dawley - Northland Residential Corporation  
Richard A. Thomas - Northland Residential Corporation

List all Affiliates of Applicant and its Managing Entities (use additional pages as necessary):  
see attached sheet

**Proposed Development Entity**

Name of Proposed Development Entity: Wellesley Residential, LLC

Entity Type (*limited liability company, limited partnership, limited liability partnership, corporation, trust, etc.*):  
Limited Liability Company

State in which registered/formed: Massachusetts

List all Managing Entities of Proposed Development Entity (*you must list at least one*):

Northland Residential Limited Liability Company  
Northland Residential Corporation

List all Principals and Controlling Entities of Proposed Development Entity and (*unless the Managing Entity is an individual*) its Managing Entities (*use additional pages as necessary*):

John C. Dawley - Northland Residential Corporation  
Richard A. Thomas - Northland Residential Corporation

List all Affiliates of Proposed Development Entity and its Managing Entities (*use additional pages as necessary*):  
see attached sheet

## Section 6: Entity Information

The following is a list of the Affiliates of the Applicant (Northland Residential LLC) and its Managing Entities.

The following is also a list of the Affiliates of the Proposed Development Entity (Wellesley Residential, LLC) and its Managing Entities.

### Managing Entities

Northland Residential Corporation  
Northland Residential Limited Liability Company  
Northland Residential Development Fund II, LLC

### Affiliate Entities

374 Brook Road Milton LLC  
Brookside Residential, L.L.C.  
Cranberry Cove Residential, LLC  
Dorset Park, LLC  
Duxbury Residential LLC  
Hanover NRC, LLC  
Milton NRC, LLC  
Northland Residential Advisory Group LLC  
Northland Residential Construction L.L.C.  
Village Management L.L.C.  
Wellesley Residential, LLC  
Wellesley NRC, LLC  
Weston Residential, LLC  
Wolcott Residential, LLC

### **Certification and Acknowledgment**

I hereby certify on behalf of the Applicant, *under pains and penalties of perjury*, that the information provided above for each of the Applicant Entities is, to the best of my knowledge, true and complete; and that each of the following questions has been answered correctly to the best of my knowledge and belief:

*(Please attach a written explanation for all of the following questions that are answered with a "Yes". Explanations should be attached to this Section 6.)*

Is there pending litigation with respect to any of the Applicant Entities? Yes  No

Are there any outstanding liens or judgments against any properties owned by any of the Applicant Entities? Yes  No

Have any of the Applicant Entities failed to comply with provisions of Massachusetts law related to taxes, reporting of employees and contractors, or withholding of child support? Yes  No

Have any of the Applicant Entities ever been the subject of a felony indictment or conviction? Yes  No

During the last 10 years, have any of the Applicant Entities ever been a defendant in a lawsuit involving fraud, gross negligence, misrepresentation, dishonesty, breach of fiduciary responsibility or bankruptcy? Yes  No

Have any of the Applicant Entities failed to carry out obligations in connection with a Comprehensive Permit issued pursuant to M.G.L. c. 40B and any regulations or guidelines promulgated thereunder (whether or not MassHousing is or was the Subsidizing Agency/Project Administrator) including, but not limited to, completion of a cost examination and return of any excess profits or distributions? Yes  No

Have any of the Applicant Entities ever been charged with a violation of state or federal fair housing requirements? Yes  No

Are any of the Applicant Entities not current on all existing obligations to the Commonwealth of Massachusetts, and any agency, authority or instrument thereof? Yes  No

I further certify that the information set forth in this application (including attachments) is true, accurate and complete as of the date hereof to the best of my/our knowledge, information and belief. I further understand that MassHousing is relying on this information in processing the request for Site Approval in connection with the above-referenced project.

I further certify that we have met with a representative of the 40B Department at MassHousing and understand the requirements for a) completing this application and b) the procedures if and when Site Approval is granted, including the requirement for (i) the use of the standard MassHousing Regulatory Agreement, and (ii) submission to MassHousing, within one hundred eighty (180) days after substantial completion or, if later, within ninety (90) days of the date on which all units are sold, of a cost certification examined in accordance with AICPA attestation standards by an approved certified public accountant.

I hereby acknowledge our commitment and obligation to comply with requirements for cost examination and limitations on profits and distributions, all as found at 760 CMR 56.04(8) and will be more particularly set forth in the MassHousing Regulatory Agreement.

I hereby acknowledge that it will be required to provide financial surety, by means of bond, cash escrow and a surety escrow agreement or letter of credit with the agreement that it may be called upon or used in the event that the Developer fails either to (i) complete and submit the Cost Examination as required by 760 CMR 56.04(8) and the MassHousing Regulatory Agreement, or (ii) pay over to the Municipality any funds in excess of the limitations on profits and distributions as required by 760 CMR 56.04(8) and as set forth in the MassHousing Regulatory Agreement.

Signature: John C. Dawley  
Name: John C. Dawley  
Title: President & CEO  
Date: 9/11/2017

## Required Attachments Relating to Section 6

### 6.1 Development Team Qualifications

Please attach resumes for principal team members (Applicant, consultant, attorney, architect, general contractor, management agent, lottery agent, etc.) and list of all relevant project experience for 1) the team as a whole and 2) individual team members. Particular attention should be given to demonstrating experience with (i) projects of a similar scale and complexity of site conditions, (ii) permitting an affordable housing development, (iii) design, and (iv) financing. The development team should demonstrate the ability to perform as proposed and to complete the Project in a competent and timely manner, including the ability to pursue and carry out permitting, financing, marketing, design and construction.

*(If the Applicant (or, if the Applicant is a single purpose entity, its parent developer entity) has received financing from MassHousing within the past five (5) years for a development of comparable size and complexity to the Proposed Project, no resume or list of project experience need be submitted for the Applicant or, as applicable, its parent developer entity. Information regarding the other team members still will be required.)*

### 6.2 Applicant Entity 40B Experience

Please identify every Chapter 40B project in which the Applicant or any Applicant Entity has or had an interest. For each such project, state whether the construction has been completed and whether cost examination has been submitted.

### 6.3 Applicant's Certification

Please attach any additional sheets and any written explanations for questions answered with "yes" as required for Certification.

Application for Chapter 40B Project Eligibility/Site Approval  
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects

**Section 7: NOTIFICATIONS AND FEES**

Name of Proposed Project: Fieldstone Way

**Notice**

Date(s) of meetings, if any, with municipal officials prior to submission of application to MassHousing:

6/7/17 & 6/23/17

Date copy of complete application sent to chief elected office of municipality:

9/11/2017

Date notice of application sent to DHCD:

9/11/2017

**Fees (all fees should be submitted to MassHousing)**

MassHousing Application Processing Fee (\$2500) Payable to MassHousing:

\$2,500.00

Chapter 40B Technical Assistance/Mediation Fee Payable to Massachusetts Housing Partnership:

a. Base Fee:  
(*Limited Dividend Sponsor \$2500, Non-Profit or Public Agency Sponsor \$1,000*)

\$2,500.00

b. Unit Fee:  
(*Limited Dividend Sponsor \$50 per unit, Non-Profit or Public Agency Sponsor \$30 per unit*)

\$2,200.00

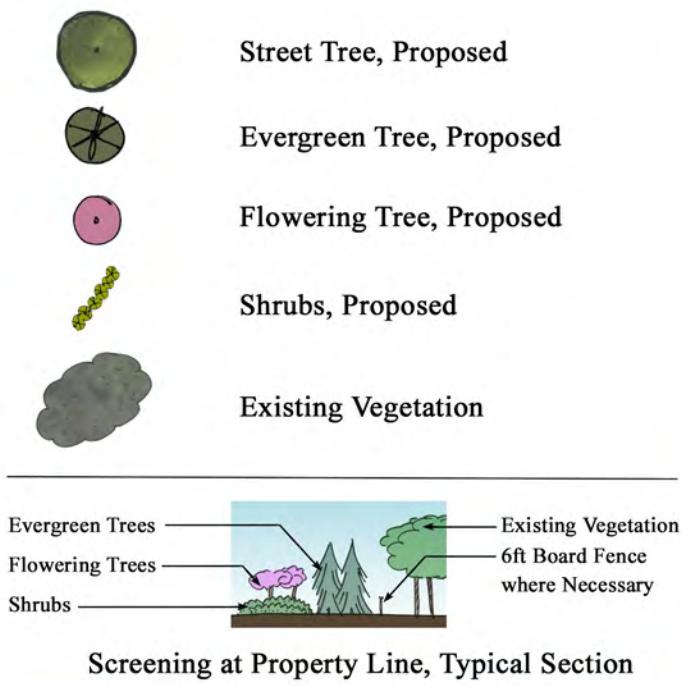
**Land Appraisal Cost**

*You will be required to pay for an "as-is" market value appraisal of the Site to be commissioned by MassHousing. MassHousing will contact you once a quote has been received for the cost of the appraisal.*

## Required Attachments Relating to Section 7

- 7.1 Narrative describing any prior correspondence and/or meetings with municipal officials
- 7.2 Evidence (such as a certified mail receipt) that a copy of the complete application package was sent to the Chief Elected Official of Municipality (may be submitted after the application is submitted to MassHousing)
- 7.3 Copy of notice of application sent to DHCD
- 7.4 Check made out to MassHousing for Processing Fee (\$2500)
- 7.5 Check made payable to Massachusetts Housing Partnership for Technical Assistance/Mediation Fee
- 7.6 W-9 (Taxpayer Identification Number)

## Legend



## 135 GREAT PLAIN AVE, WELLESLEY

Schematic Landscaping and Screening Plan

September 6, 2017

SCALE: 1"=100'-0"  
0 50' 100' 150' 200' 250' 300'



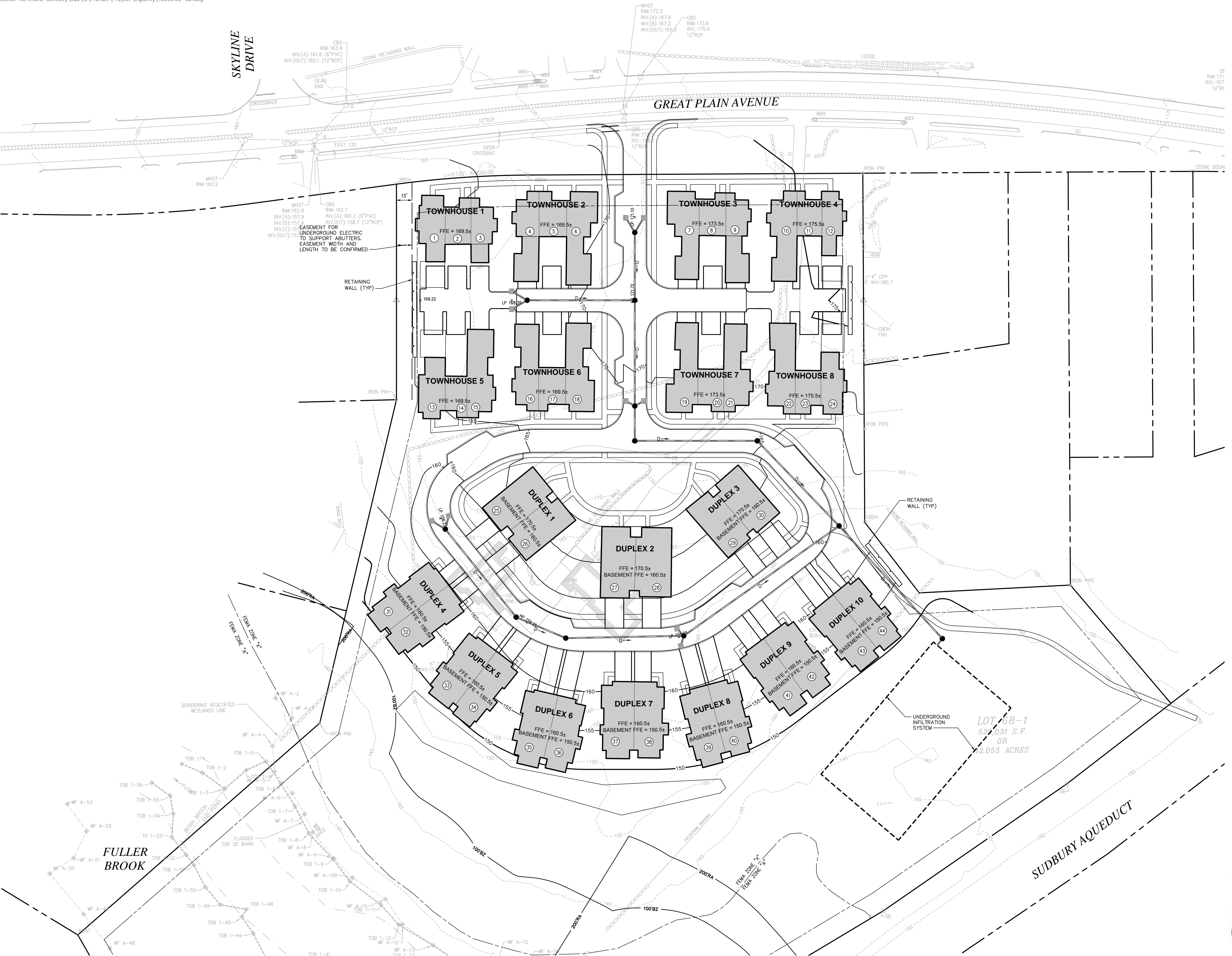


101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

C-2

2 3

Project Number  
**13936.00**



**135 Great Plain Avenue  
Wellesley, Massachusetts**

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No.	Revision	Date	Appvd.
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Designed by **WNM** Checked by **CRQ**

Issued for **Project Eligibility** Date **September 8, 2017**

## Not Approved for Construction

# Concept Grading and

## Drainage Plan

© 2013 Pearson Education, Inc.

Drawing Number

A circular seal for the Commonwealth of Massachusetts. The outer ring contains the words "THE COMMONWEALTH OF MASSACHUSETTS" in a circular pattern. In the center, the name "CURTIS P." is written vertically.

CONVIS R.  
QUITZAU  
CIVIL  
No. 42693  
STS. S. D. 1. 1900

Sheet **2** or **3**

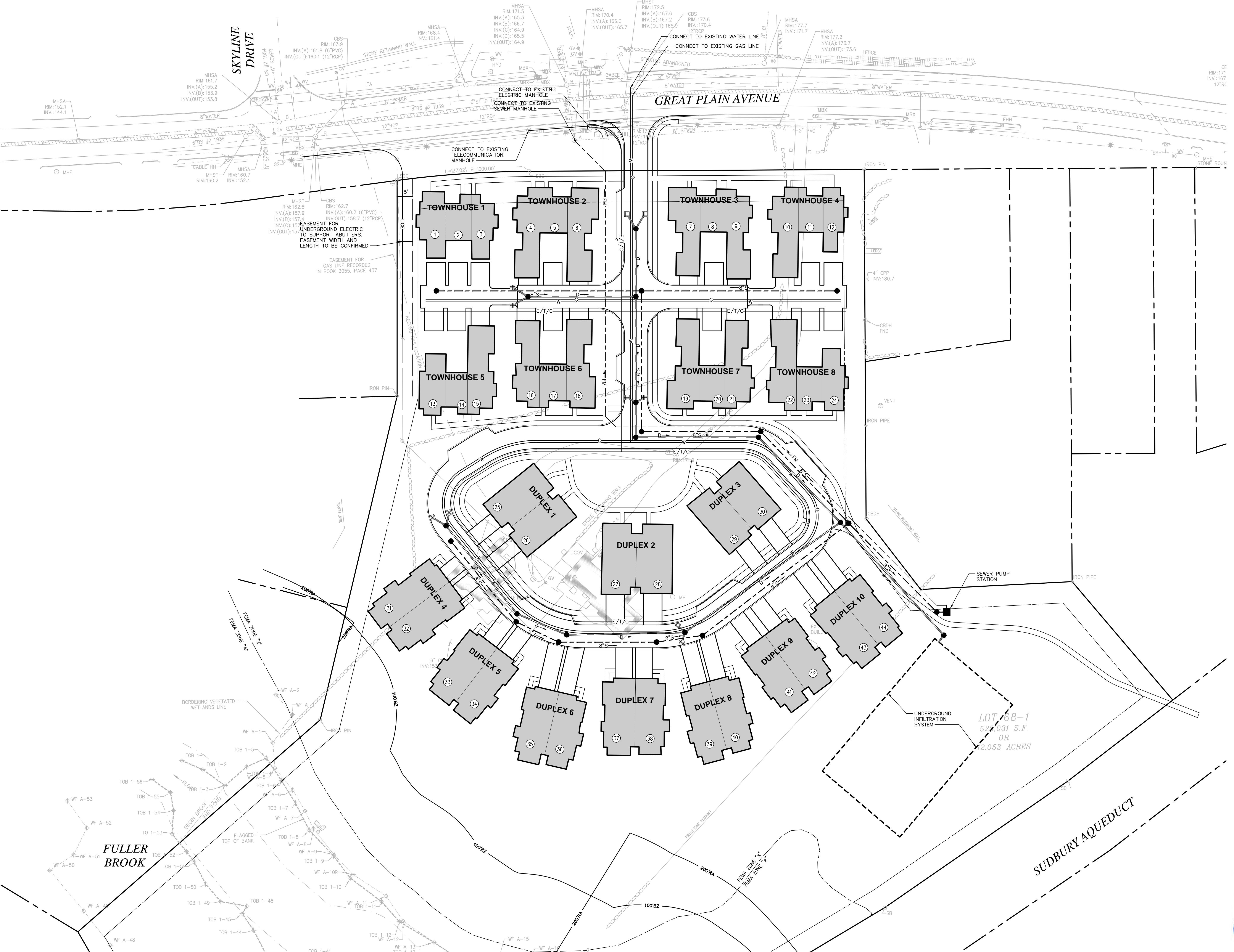
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Project Number

13936.00



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



135 Great Plain Avenue  
Wellesley, Massachusetts

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No.	Revision	Date	Appvd.
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Designed by **WNM** Checked by **CRQ**

## Not Approved for Construction

## Concept Utility Plan

## Concept Unity + 10

THE INFLUENCE OF THE CULTURE OF THE PARENTS ON THE CHILD'S LANGUAGE 11

THE INFLUENCE OF THE CULTURE OF THE PARENTS ON THE CHILD'S LANGUAGE 11

Drawing

... a few more steps.

THE COMMONWEALTH OF MASSACHUSETTS

CURTIS R.  
QUITZAU

CIVIL  
No. 42693

A circular seal with the words "PROFESSIONAL ENGINEERS ONTARIO" around the perimeter and "REGISTERED" in the center.

100

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Project N

1393

C-3

3 of 3

Object Number

6936.00



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LOT 68-4  
N/F  
JOAN B. DIGIANDO TRUST  
BK. 30666, PG. 455

FOR REGISTRY USE ONLY

MATCH LINE SEE SHEET 1

LOT 78-17  
N/F  
TOWN OF WELLESLEY  
BK. 3663, PG. 234

WF A-1

WF A-2 142

BORDERING VEGETATED WETLANDS LINE

FOR REGISTRY USE ONLY

MATCH LINE SEE SHEET 1

LOT 68-4  
N/F  
JOAN B. DIGIANDO TRUST  
BK. 30666, PG. 455

LOT 69-5  
N/F  
ALBERT L. SKINNER &  
DONNA FUREY SKINNER  
BK. 11884, PG. 511

LOT 69-3  
N/F  
RONALD & MARY A.  
HAIGH  
BK. 23871, PG. 546

LOT 68-1  
525,031 S.F.  
OR  
12.053 ACRES

LOT 78-17  
N/F  
TOWN OF WELLESLEY  
BK. 3663, PG. 234

LOT 79-2  
N/F  
JEFFREY T. WARD &  
MICHELLE THOMAS WARD  
BK. 13981, PG. 387

LOT 79-3  
N/F  
ROBERT L. HUGHES &  
JACQUELINE B. FINARD-HUGHES  
BK. 22374, PG. 114

LOT 79-4-A  
N/F  
CHARLES R. PIERCE  
BK. 9649, PG. 655

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TOB 1-527

TOB 1-528

TOB 1-529

TOB 1

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS, AND THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP, AND THE LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

C W  
NORMAN I. LIPSITZ PLS# 28446

DATE: 1/1/15

LOT 69-5  
N/F  
ALBERT L. SKINNER &  
ONNA FUREY SKINNER  
BK. 11884, PG. 511

LOT 69-3  
N/F  
DONALD & MARY A.  
HAIGH  
K. 23871, PG. 546

ed For:  
ORTHLAND RESIDENTIAL CORP.  
20 BURLINGTON MALL ROAD  
SUITE 220  
BURLINGTON MA 01803

The logo consists of the letters 'CHA' in a bold, black, sans-serif font. The 'C' and 'H' are stacked vertically, with the 'A' positioned to the right of the 'H'. A thick, horizontal red bar is positioned below the 'A', extending slightly beyond its right side.

NORTHLAND RESIDENTIAL CORP.  
135 GREAT PLAIN AVENUE  
WELLESLEY, MA

---

EXISTING CONDITIONS PLAN

SHEET 2 OF 2

ed For:  
ORTHLAND RESIDENTIAL CORP.  
20 BURLINGTON MALL ROAD  
SUITE 220  
BURLINGTON, MA 01803

		
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135 GREAT PLAIN AVENUE  
WELLESLEY, MA

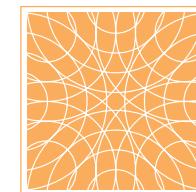
EXISTING CONDITIONS PLAN

SHEET 2 OF 2

135 GREAT PLAIN AVE, WELLESLEY

CONCEPT ARCHITECTURE

AUGUST 28, 2017



UNION STUDIO

ARCHITECTURE & COMMUNITY DESIGN

[www.unionstudioarch.com](http://www.unionstudioarch.com)

140 Union Street Providence, RI 02903

t 401.272.4724 f 401.272.4825

**TIER I**  
**TOWNHOUSE TYPE A**  
 3BR + OFFICE, 3.5BA

1st FLOOR 1,354 S.F.  
 2ND FLOOR 822 S.F.  
 TOTAL 2,176 S.F.



FIRST FLOOR PLAN



SECOND FLOOR PLAN

**CONCEPT ARCHITECTURE**

GREAT PLAIN AVENUE - WELLESLEY, MA  
 August 28, 2017

SCALE: 3/32"=1'-0"

0 1' 2' 4' 10' 20' 40'



**TIER I**  
**TOWNHOUSE TYPE B**

2BR, 1.5BA

1st FLOOR 974 S.F.  
2ND FLOOR 802 S.F.  
TOTAL 1,776 S.F.

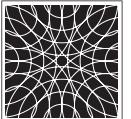


**CONCEPT ARCHITECTURE**

GREAT PLAIN AVENUE - WELLESLEY, MA  
August 28, 2017

SCALE: 3/32"=1'-0"

0 1' 2' 4' 10' 20' 40'



**TIER I**  
**TOWNHOUSE TYPE C**

3BR + OFFICE, 2.5BA

1st FLOOR 1,222 S.F.  
2ND FLOOR 922 S.F.  
TOTAL 2,144 S.F.



FIRST FLOOR PLAN



SECOND FLOOR PLAN

**CONCEPT ARCHITECTURE**

GREAT PLAIN AVENUE - WELLESLEY, MA

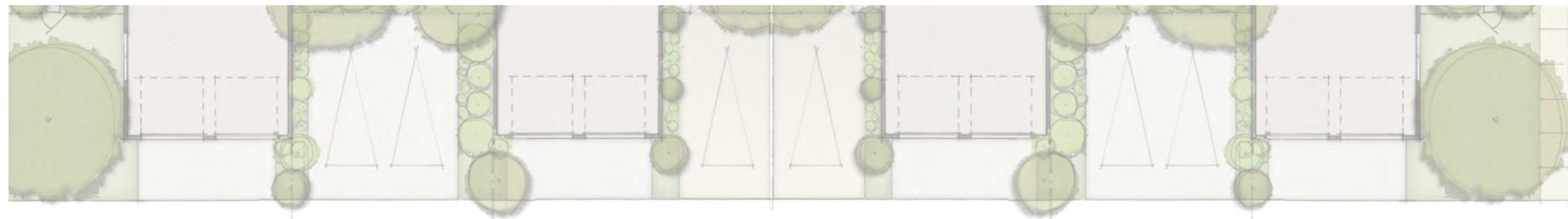
August 28, 2017

SCALE: 3/32"=1'-0"

0 1' 2' 4' 10' 20' 40'



**TIER I**  
**TOWNHOUSES TYPE A-B-C**



ALLEY



FIRST FLOOR BLOCK PLAN



SECOND FLOOR BLOCK PLAN

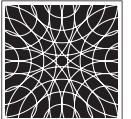
# CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA

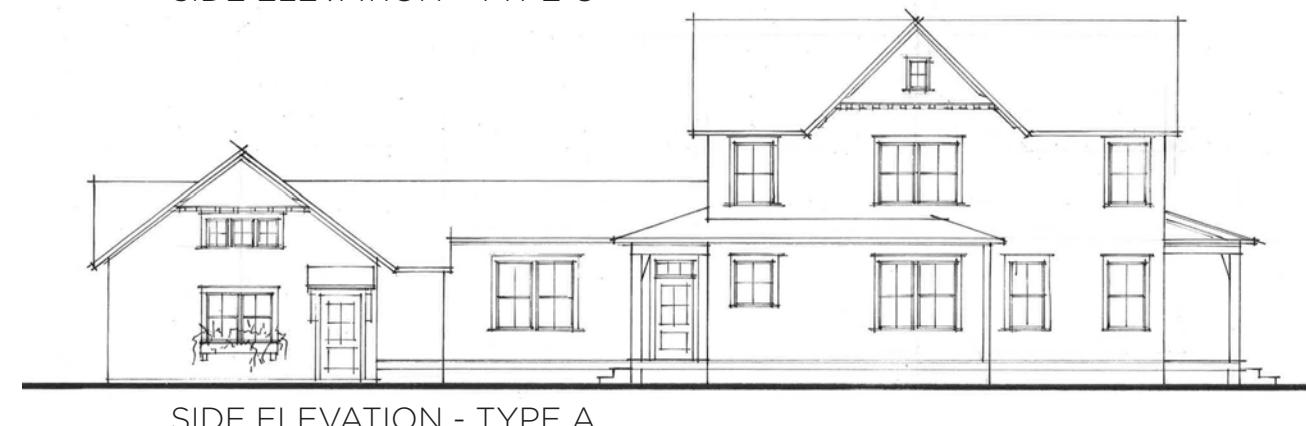
August 28, 2017

SCALE: 3/64"=1'-0"

0 4' 8' 16' 40' 80'



**TIER I**  
**TOWNHOUSE TYPES A-B-C**



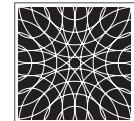
# CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA

August 28, 2017

SCALE: 1/8"=1'-0"

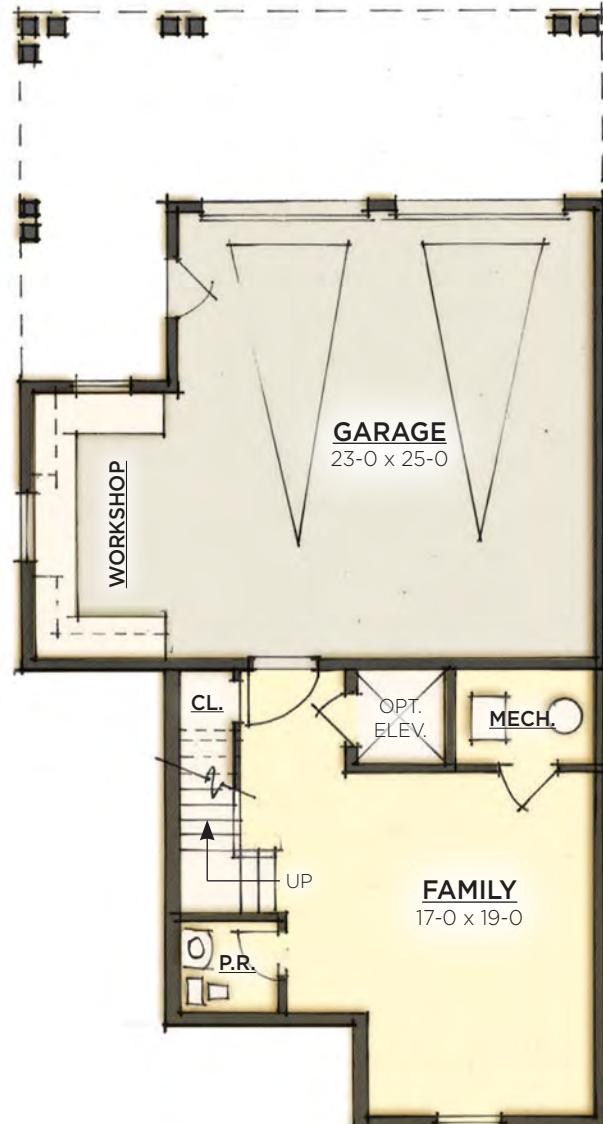
0' 1' 2' 4' 8' 16' 32'



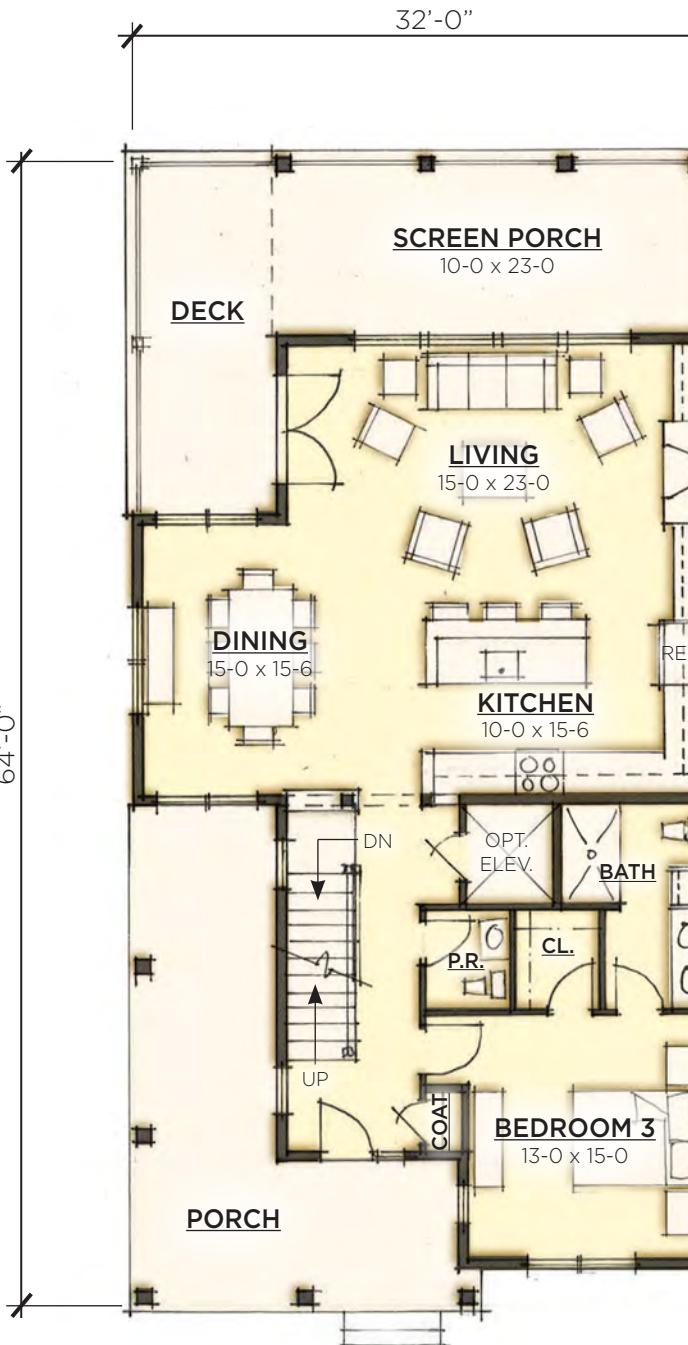
**TIER II**  
**DUPLEX TYPE A**

3BR, 3 + 2 HALF BA

LOWER LEVEL	564 S.F.
1st FLOOR	1,316 S.F.
2ND FLOOR	886 S.F.
<b>TOTAL</b>	<b>2,766 S.F.</b>



LOWER LEVEL PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

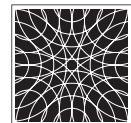
# CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA

August 28, 2017

SCALE: 3/32"=1'-0"

0 1' 2' 4' 10' 20' 40'



**TIER II**  
**DUPLEX TYPE A-A**



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

---

**CONCEPT ARCHITECTURE**

GREAT PLAIN AVENUE - WELLESLEY, MA

August 28, 2017

SCALE: 1/8"=1'-0"

0' 1' 2' 4' 8' 16' 32'

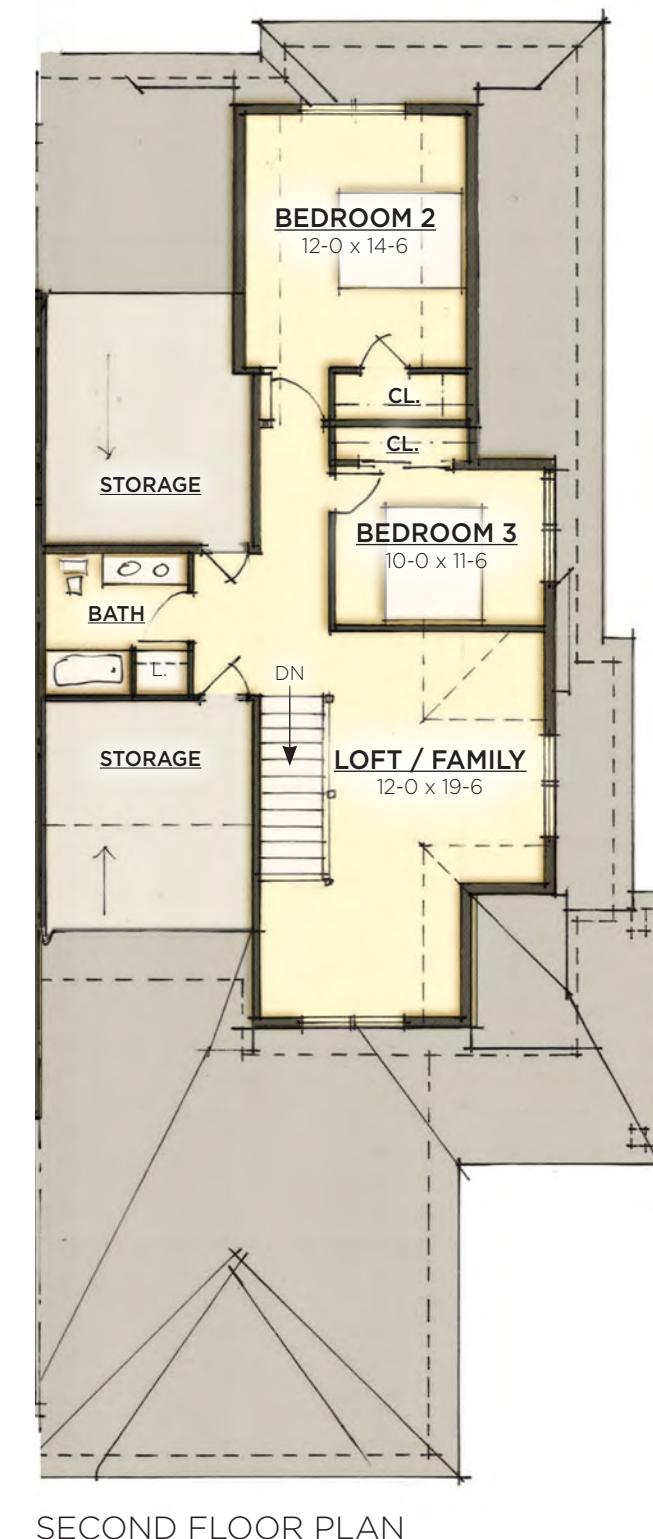
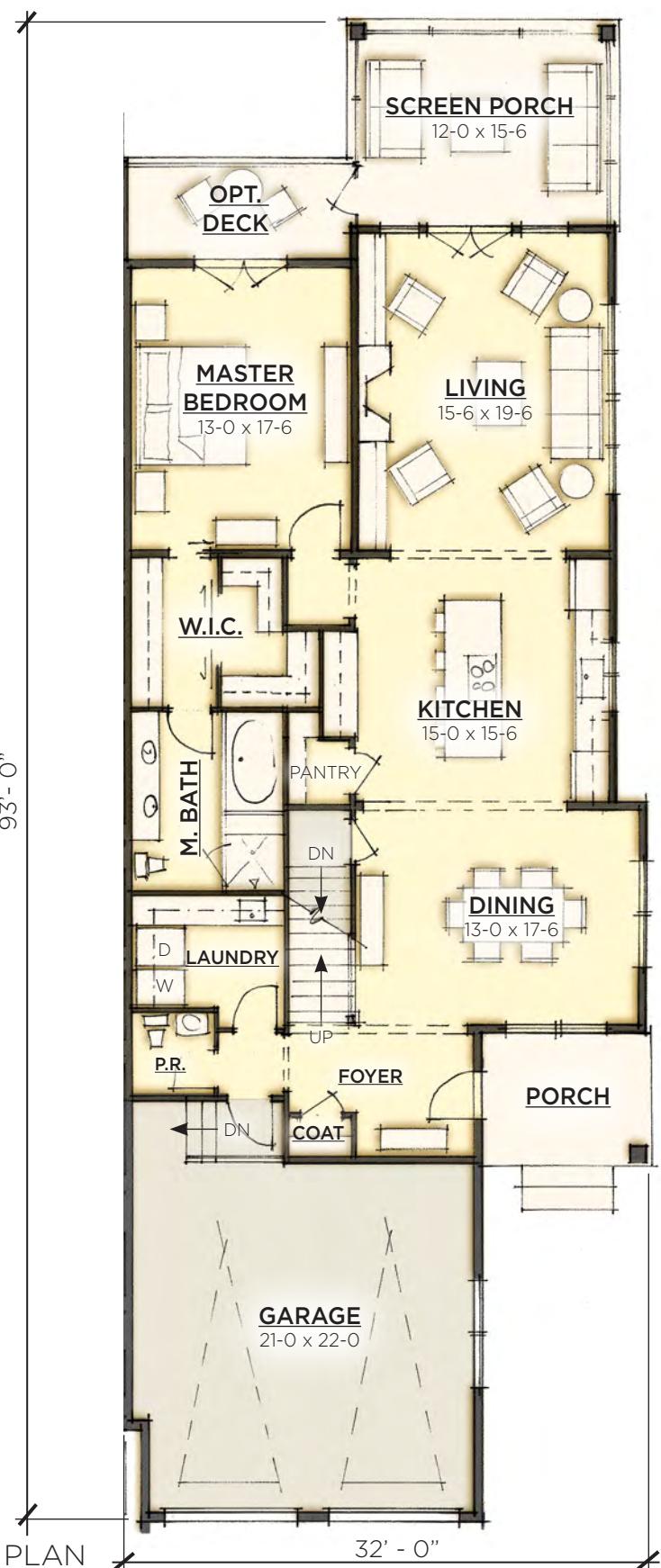
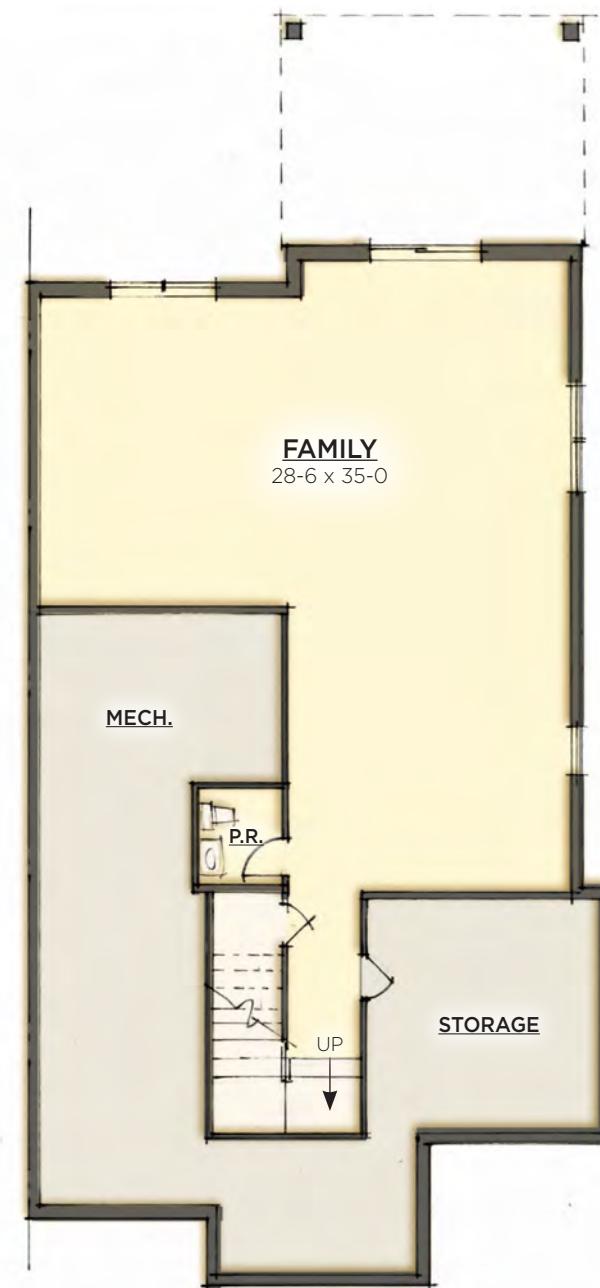


**TIER III**  
**DUPLEX TYPE B**

3BR, 2.5BA

1st FLOOR 1,634 S.F.  
2ND FLOOR 904 S.F.  
TOTAL 2,538 S.F.

LOWER LEVEL 932 S.F.



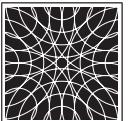
# CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA

August 28, 2017

SCALE: 3/32"=1'-0"

0 1' 2' 4' 10' 20' 40'



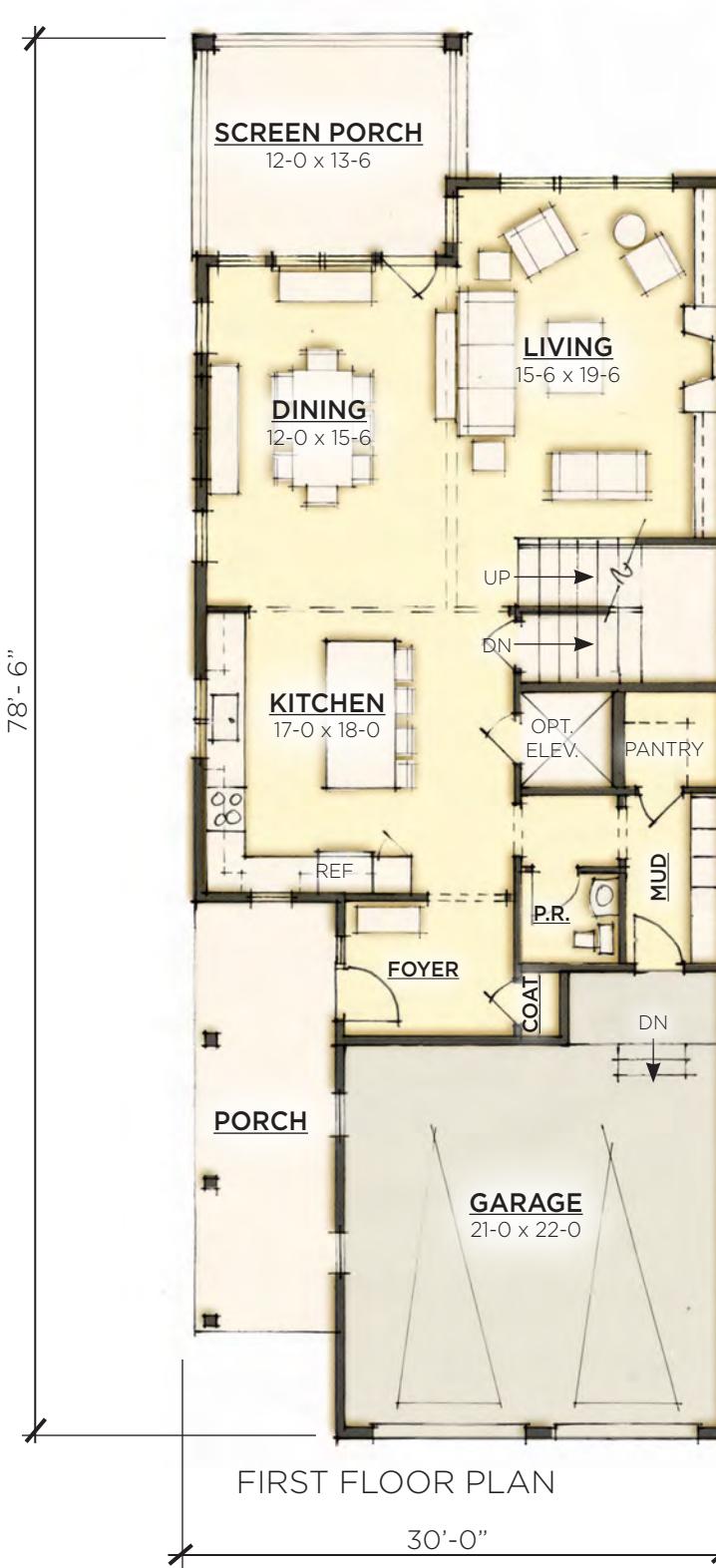
**TIER III**  
**DUPLEX TYPE C**  
 3BR, 2.5BA

1st FLOOR 1,288 S.F.  
 2ND FLOOR 1,276 S.F.  
**TOTAL 2,588 S.F.**

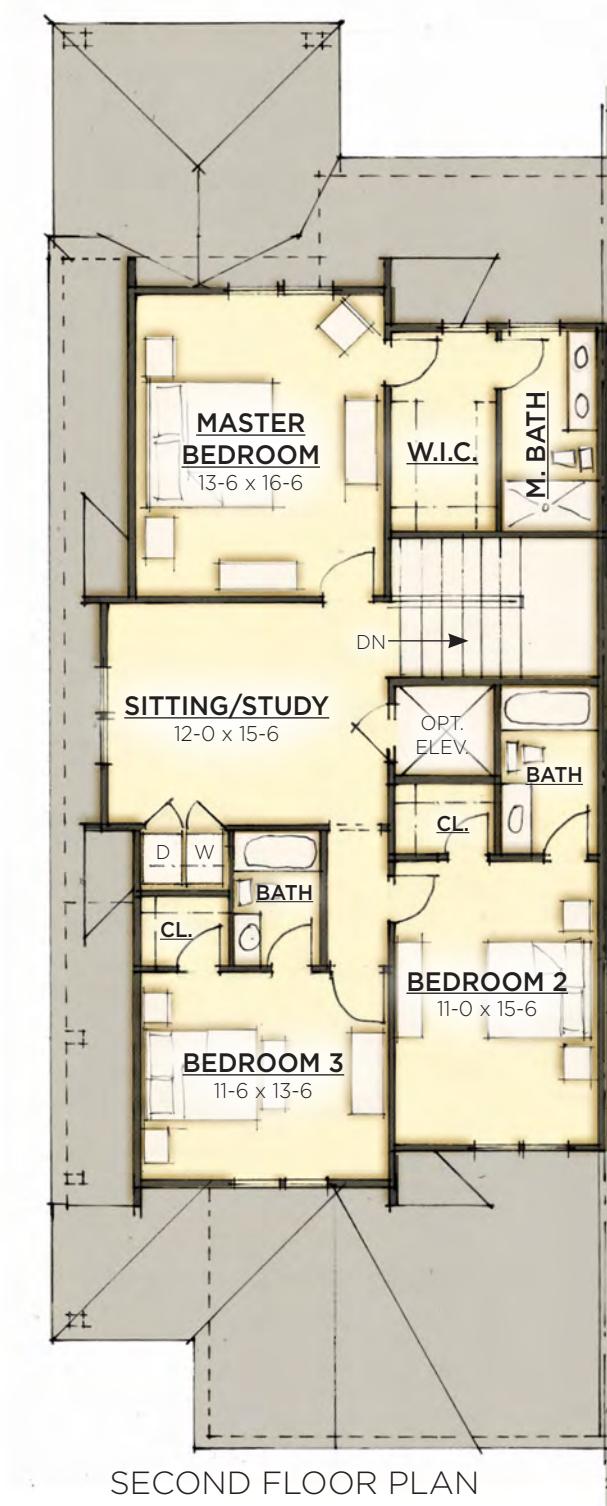
LOWER LEVEL 1,012 S.F.



LOWER LEVEL PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

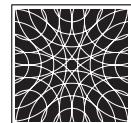
# CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA

August 28, 2017

SCALE: 3/32"=1'-0"

0 1' 2' 4' 10' 20' 40'



**TIER III**  
**DUPLEX TYPE C-C**



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

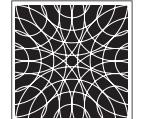
# CONCEPT ARCHITECTURE

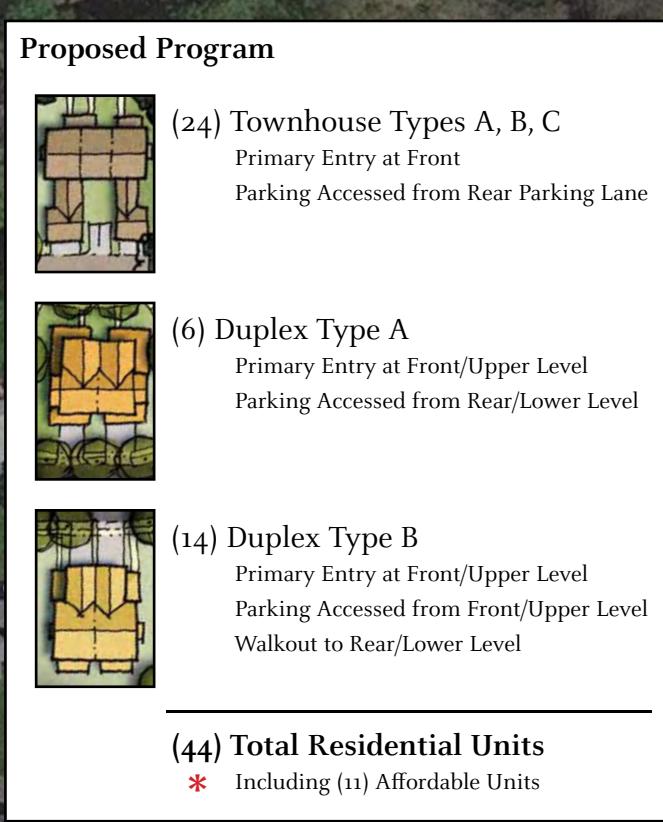
GREAT PLAIN AVENUE - WELLESLEY, MA

August 28, 2017

SCALE: 1/8"=1'-0"

0' 1' 2' 4' 8' 16' 32'





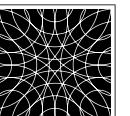
135 GREAT PLAIN AVE, WELLESLEY

PRELIMINARY SITE LAYOUT

AUGUST 28, 2017

SCALE: 1"=100'-0"

0 50' 100' 150' 200' 250' 300'





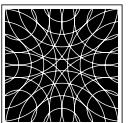
# 135 GREAT PLAIN AVE, WELLESLEY

PRELIMINARY SITE LAYOUT - PARKING

AUGUST 28, 2017

SCALE: 1"=100'-0"

0 50' 100' 150' 200' 250' 300'



135 Great Plain Avenue  
Comments for PB and BoS

### **Vehicular access and parking**

- There is little concern about parking.
- Vehicular access: The entrance to the property will be at approximately 164 elevation, which is essentially what was planned when the property was permitted as a subdivision in 2016/17. The primary concern would be that this is northwest of the peak elevation on Great Plain Avenue (170) so that left turns from the site would be blind to traffic heading northwest from the Wellesley/Needham line, the RDF facility, and the Babson Sports Center.
- At the time the subdivision was permitted, the consideration was for 11 single family houses (22 cars, plus utility vehicles, plus visitors) rather than 44 units (88 cars, plus utility vehicles, plus visitors). This needs further study.
- For example, is there a need for a traffic light or a blinking traffic light to alert northwest bound cars on 135 that there may be cars entering “from the left”, exiting 135 Great Plain Avenue? Or would a sign suffice?
- The Town might appreciate coordinating a loop of the MWRT #8 bus to serve this area of Great Plain Avenue at least twice a day: morning and evening commute.

### **Pedestrian Site Circulation**

- Pedestrian traffic would flow northwest, towards Wellesley Square. The Town would want to address sidewalks on the west side of Great Plain Avenue and, to address a concern of neighbors, a cross walk on GPA to facilitate access to the opposite side of Great Plain Avenue with a push button crossing light to stop traffic.
- Within the site, there seems to be a sidewalk on one side of the access roadway, facilitating a pedestrian route to the aqueduct/trail system. Would there be parking for the cars of people who want access to the aqueduct/trail?

### **Strom water Management**

- There are few concerns about storm water management if the UG system is employed and Engineering is satisfied that the impermeable surfaces are properly channeled into it.
- Note, there are wetlands and buffer zones at the rear of the property with a dammed tributary to Fuller Brook that must be maintained by the HOA in perpetuity.
- Should the Town recommend that the maintenance of the wetlands be transferred to the Conservation Commission?

### **Building Design**

- In that the units are “cottage style”, they are more compatible with single-family residences in Wellesley than a monolithic apartment-style structure.

- The issue becomes one of mass and scale.
- Per the applicant, the site has been divided into three tiers of units: Tier I, triplexes grouped at the east side of the site, at approximately elevation 160 (24 units); Tier II, duplexes near the “Common”, at approximately elevation 150 (6 units); Tier III, duplexes at the rear of the site, at approximately elevation 140 (14 units).
- The units in Tier I represent the greatest density. They form a monolithic wall separating the site from Great Plain Avenue, essentially cutting the site off from the rest of the town or blockading Wellesley from the units at the rear. 10 of the 11 affordable units are in Tier I.
- The units in Tier II are the most desirable. There are only 6 and all have rear-facing garages on the basement level, presenting a front elevation without a garage. They also face the “Common”, with the historic playhouse refurbished as a meeting place/mail delivery center. Only 1 of the affordable units is in Tier II, as the end unit on the left.
- The units in Tier III overlook the rear of the lot with its meadow and the wetlands. There are no affordable units in this tier. All have walk-out basement living space.

There are two issues with the design of the site:

1. It is static, lacking imagination and a “fit” with the topography. 135 Great Plain Avenue is a magical site, which is forested and dynamic. As designed, the building/units are arranged with military precision that has each tier set according to its own topography, but without regard for the integrity of the site as a whole.
2. All of the units are essentially the same size (some in Tier I lack garages and have parking pads), but importantly are the same height (36 feet to the ridge, per Wellesley zoning). There are NO neighborhoods in Wellesley that exhibit this level of conformity: the same size houses with the exact same height. Not a single one. In fact, especially with Tier I, the effect of this uniformity is to blockade the site from the Town. This is the antithesis of the goal of affordable housing, namely to incorporate affordability into the neighborhood character of Wellesley.

There are many solutions to this problem, which would make 135 Great Plain Avenue a great addition to Wellesley and to affordability in the town instead of a “near miss”:

1. Remove several units from Tier I, the triplex unit. This would allow varying the specific locations of the buildings, separating this group from the neighboring homes, fitting better with the topography at the 160 elevation and potentially keeping more of the tree canopy. Staggered buildings would mirror the frontages of the single-family houses that flank the site along Great Plain Avenue. There would be less of a blockading wall of buildings, holding the rest of the site hostage.

2. To keep the same number of units, however, just change the size and/or ridge height of the units within the triplexes. The mass and scale would be more interesting, less daunting, and probably more marketable.
3. A final question: Why are the affordable units clustered in Tier I? It seems that one of the goals to which Mass Housing subscribes is to intersperse affordable units with all others. Wellesley would appreciate this.

### **Affordability**

I have no comments on this, but I am sure others do.

Catherine Johnson

Planning Board

October 15, 2017

## Jop, Meghan

---

**From:** Zehner, Michael  
**Sent:** Monday, October 23, 2017 6:29 PM  
**To:** Munchak, Anthony J.  
**Cc:** Jop, Meghan  
**Subject:** RE: Wellesley's Charm and Character

Anthony and Amy,

Thank you for your message, I will be sure to forward your thoughts to the Planning Board. Please note, I anticipate that the Planning Board and Board of Selectmen will be meeting jointly the evening of Monday, October 30 to discuss this application. Please also consider that as a 40B project, the Town has limited ability to reject this and other similar proposals outright. Please let me know if you would like to discuss further.

Best,  
Michael

**Michael D. Zehner, AICP, LEED Green Assoc.**  
Planning Director

Town of Wellesley - Planning Department  
525 Washington Street, Wellesley, MA 02482  
Phone: 781.431.1019 x2234 - Email: [mzehner@wellesleyma.gov](mailto:mzehner@wellesleyma.gov)

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**From:** Munchak, Anthony J. [mailto:[Anthony\\_Munchak@invesco.com](mailto:Anthony_Munchak@invesco.com)]  
**Sent:** Friday, October 20, 2017 9:53 AM  
**To:** Zehner, Michael <[mzehner@wellesleyma.gov](mailto:mzehner@wellesleyma.gov)>  
**Subject:** Wellesley's Charm and Character

**Hello Michael,**

**As new residents in Wellesley, we have great concerns about the proposed 40B project on Great Plain Avenue.**

**Moving from Newton, our family chose Wellesley over another home in Newton, Needham or Natick because Wellesley was different.**

**What we saw happening in those three border towns was overdevelopment, crowded schools, increased traffic as 40Bs were being inserted into the oddest of places.**

**Those towns were/are becoming less “small town” and more “urban-lite”.**

**A good question we can all ask ourselves is what are the negatives that we have been hearing about the recent changes in Needham and Natick?**

**I think the answer is not all too different than the Great Plain proposal that you have on your desk.**

**I would hate to see Wellesley become indistinct from those nearby towns and lose its charm and character.**

**Keep the 40Bs somewhat together and near major thoroughfares – perhaps expand Barton Road.**

**It is clear that Northland is trying to pull a bait-and-switch here with its original proposal and now this 40B option.**

**They found they couldn't "make enough money" with their original plans, and now they want a bailout from you and the town of Wellesley.**

**Even if it is just out of principle, please don't let Northland walk all over us.**

**Thank you for your time and attention.**

**We know your job here is not an easy one.**

**Anthony & Amy Munchak  
16 Wildon Road  
Wellesley, MA 02482**

\*\*\*\*\*

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\*\*\*\*\*

## Jop, Meghan

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**From:** Elaine Gillim <elaine.gillim@gmail.com>  
**Sent:** Sunday, October 08, 2017 9:23 AM  
**To:** DL: Board of Selectmen; Zehner, Michael; Schelling, Lynda; Jop, Meghan  
**Cc:** Pakstis, Mike  
**Subject:** Groundwater Run Off- 135 Great Plain Ave Development

Members of the Planning Board and Board of Selectmen,

We have been residents at 16 Fuller Brook Road for 23 years. Our backyard abuts the Fuller Brook.

We are writing to express our serious concerns about the proposed development at 135 Great Plain Ave and its impact on groundwater, drainage and the water level of the Fuller Brook.

The elevation of our house and surrounding neighbors is at least 20 feet lower than that of 135 Great Plain Ave. We have all experienced flooding basements in the past.

What will be the effect on our homes if acres of vegetation are cleared and soil disturbed for the proposed development at 135 Great Plain Ave? **We urge you to pay detailed attention to the impact of water run off as you review the current plans.**

In September of 2016 we contacted Mike Pakstis as the Brook was not flowing at all. A beaver dam was cleared and now there appears to be a very small flow. However, the Brook is filled with vegetative debris which is impacting the ability for water movement. **Currently, the Fuller Brook behind our home is at its highest level we have ever seen, before the impact of the proposed development.**

What is the plan with the new proposed development for a system to capture storm water runoff? Will the Brook be cleared of vegetation before any development of 135 Great Plain Ave proceeds?

We look forward to hearing your feedback on this issue.

Elaine & Jonathan Gillim

## Jop, Meghan

---

**From:** Hanron, Nanci C. <NHANRON@PARTNERS.ORG>  
**Sent:** Wednesday, October 25, 2017 8:13 AM  
**To:** Zehner, Michael; Schelling, Lynda  
**Cc:** MBusby@masshousing.com; Jop, Meghan  
**Subject:** Proposed development @ 135 Great Plain Ave, Wellesley

Good morning,

As the abutting neighbor to the east of this land since 1993, I wish to express some initial safety concerns on this project.

1. The number of cars entering and exiting the property will add to an already difficult, sometime treacherous, traffic flow entering and exiting GPA.
2. The units, take up so much space there does not seem to be any area for children to play. I think this would encourage the children to play in the open space behind the units which have access to the pond. This would be a safety concern. Perhaps a playground or play area in the center of the project would be useful. I'm also concerned that children bike riding around the development may be unsafe due to the density of the units.
3. If the trail is still going to be accessible to GPA, it's important to consider the width due to the increased amount of all terrain style biking that is occurring on the trail.
4. Children and other residents heading up Brook St to access the neighborhoods or walk to the library really need the sidewalk to be completed from GPA to Fuller Brook Road.

Finally, one non safety concern I have is the side yard setback next to my property is insufficient.

I look forward to your thoughts, and will plan to attend the October 30<sup>th</sup> meeting.

Thank you,

Nanci Hanron, RN BSN  
Permanent Charge Nurse  
Partners Reproductive Medicine Center at Newton-Wellesley Hospital  
2014 Washington St.  
Newton, MA 02462  
Phone 617-243-5661  
Fax 617-243-5027

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## **Jop, Meghan**

---

**From:** Susan Lyman <[susano.lyman@gmail.com](mailto:susano.lyman@gmail.com)>  
**Sent:** Thursday, October 19, 2017 8:25 PM  
**To:** Zehner, Michael; Jop, Meghan  
**Subject:** 135 Great Plain Avenue

As an abutter, I am fully supportive of a 40B development at 135 Great Plain Avenue. It is time we have town home alternatives to our single family options. In fact, I may like to move from our current home to this development. The dearth of land in Wellesley and lack of smaller homes for seniors like my husband and me make this a very attractive alternative. I think it is time for Wellesley to approve such a cluster community. I look forward to the meeting on October 30.

On another note Michael, you did a great job last night. While I am not fond of Wellesley's new tear down law (Our home of 40 years was built in 1938 and has seen better days!) I know that I have only the Historical Committee to blame. I don't like someone telling me what I can and cannot do with my property.

My vote is yes for 40B at Great Plain Avenue.

**Susan Lyman**

Susan O. Lyman, Realtor/Certified Appraiser  
The Teri Adler Group  
Pinnacle Residential Properties  
555 Washington Street  
Wellesley, MA 02482  
781.799.3449 (Cell)  
[susano.lyman@gmail.com](mailto:susano.lyman@gmail.com)

## **Henderson, Heidi**

---

**From:** Susan Mucci <susanmucci@comcast.net>  
**Sent:** Thursday, October 26, 2017 9:33 PM  
**To:** DL: Board of Selectmen; Jop, Meghan; Zehner, Michael  
**Cc:** Al Mucci; MBusby@masshousing.com  
**Subject:** Serious concerns about 135 Great Plain Ave

**Categories:** FNM

Dear Board of Selectmen, Ms. Jop and Mr. Zehner,

As abutters, we are very concerned about the prospect of a 44-unit complex at 135 Great Plain Avenue for a number of reasons:

- A large multi-unit housing complex should not be constructed in a neighborhood zoned for single-family homes on substantial, wooded lots; this development will not fit in with the surrounding area.
- A complex of this magnitude would result in the removal of a great deal of vegetation, which the town should fight to preserve.
- This construction would cause ground water displacement problems, which would exacerbate high water levels in the brook and puddling at the intersection of Brook Street and 135, potentially flooding abutting properties.
- 44 new units would bring traffic and congestion to the neighborhood, as well as burden local schools.
- The lack of sidewalks in the area would make walking dangerous for residents.

The town should not allow profit-driven developers to build a 44-unit housing complex in a quiet Wellesley neighborhood. This project would destroy the natural beauty and serenity of the area, negatively impacting the neighboring community as well as potentially lowering property values.

We will see you on October 30th. Thank you for your consideration.

Best,  
Susan and Al Mucci



**5. Update on Hardy, Hunnewell, and Upham Swing Space -**

While the Town awaits the outcome of the MSBA process to determine which communities will be invited into their program, a subcommittee of the SBC has been meeting regularly to investigate options for a swing space school. Selectmen Morgan plans to bring the board up to date on this topic. Enclosed two items on this point, a document entitled Choosing by Advantages, and a matrix spreadsheet that is proposed to be used to evaluate the options and choose a site.

Separately, Selectman Morgan had asked our office for information about the requirements of financing the start of the next phase of the project, whether it be for the MSBA program (feasibility and schematic design), Town only proof of concept/feasibility) or some combination thereof. Enclosed is a short memo from me outlining advice from the Finance Director and our Financial Advisor.

**NO MOTION**



*A collaborative presentation from over a dozen experienced Lean IPD practitioners.*

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[www.leanconstruction.org](http://www.leanconstruction.org)

# Choosing by Advantages



“WE BELIEVE THAT SOUND-  
DECISIONMAKING SKILLS  
ARE IMPORTANT FOR  
EVERYONE; AND, THAT SOUND-  
DECISIONMAKING SKILLS  
ARE ESPECIALLY IMPORTANT  
FOR PEOPLE WHO MAKE  
DECISIONS THAT AFFECT  
OTHER PEOPLE.”

*| Jim Suhr |*



Choosing By Advantages Study of: Heating Hot Water System		
	Attribute 1	Attribute 2
Factor: Square feet of Mechanical Space Required	Central Plant Heating Hot Water System Attribute: 1200 sq ft for 1380 Sq Ft.	Distributed Heating Hot Water Attribute: 5100 sq ft required 17 rooms
Factor: Access for Maintenance	Attribute: Outside secure perimeter Advantage: Outside either than in	Attribute: Inside secure perimeter
Factor: Quantity of Boilers & Standby	Attribute: 3 day plus standby Advantage: Less total boilers	Attribute: 20 day +7 Standby
Factor: Ability to do Boiler Stack Heat Recovery	Attribute: 10% increase in boiler efficiency Advantage: Reduction X times	Attribute: Not required
Factor: Pumping Energy	Attribute: More required due to long distribution run Advantage: Less required due to shorter piping runs	Attribute: 10000 KWH per year
Factor: Construction Schedule	Attribute: Longer due to site distribution Advantage: Shorter - no site distribution required	Attribute: 2 weeks
Total Importance	19	11
Capital Cost		

## 1.0 Why

## 2.0 What

Language

Four Principles

## 3.0 How

Preparation

Elements

Tips

## References/ Sources

*The Choosing by Advantages Decisionmaking System, Jim Suhr*

One can become a Certified Masters of CBA through Jim Suhr's training program offered periodically.

## 1.0 Why

When applied appropriately, Choosing by Advantages (CBA) allows for visual and transparent decision making. It also aligns with the desired values and culture of Lean/IPD and allows teams to emphasize a project's value to its stakeholders (customers and clients). With CBA, decision makers can reach consensus, focus on outcomes, and understand all of the factors considered during the decision-making process.

## 2.0 What

Many decision-making methods or systems are flawed, and can thus lead to poor decision making.

CBA is a decision-making system that acknowledges all decisions are essentially subjective – but then guides the participants towards basing the subjectivity on objectively discovered and documented facts.

Jim Suhr, the creator of CBA, explains: “First, we teach people how to use correct data. Second, we teach them how to use data correctly.”

Within the CBA system, language is very important. Five major CBA terms are defined as:

- Alternatives are people, things, or plans from which one will be chosen.
- An attribute is a characteristic, quality, or consequence of one alternative – one person, one thing, or one plan.
- An advantage is a difference between the attributes of two alternatives.
- Factors are parts of a decision – such as a canoe-weight, stability, or color. Factors contain data that are required for making a decision. (A factor is not the same as an attribute).
- A criterion is a standard, rule, or test on which a judgment or decision can be based. A criterion is a decision that guides further decision making. The meaning of the word criterion is not the same as the meaning of the word factor. (They are also not attributes or advantages.)

CBA is based upon the following four principles:

1. The foundation principle of sound decision making: Sound methods base decisions on the importance of prospective differences among the alternatives—not factors, criteria, goals, roles, categories, objectives, attributes, pros and cons, and so forth. (This principle was recognized and validated at least three centuries ago.)
2. The fundamental rule of sound decision making: Sound methods base decisions on the importance of advantages—not advantages and disadvantages. (An advantage is a difference between the attributes of two alternatives.)
3. The principle of anchoring: Sound methods anchor decisions to the relevant facts. (In the CBA vocabulary, methods that do not base decisions on the relevant facts are called unsound methods.)
4. The pivotal (critically important) sound-decision-making principle: Engineers, architects, leaders in organizations, and so forth are professional decision makers. They need to learn and skillfully use sound methods of decision making.

## 3.0 How



**CAUTION!** CBA must be **facilitated** by someone trained and practiced in CBA. The process can appear to be deceptively simple, but if it is applied incorrectly it will yield unsound results.

The facilitator and participants should be aware of and guard against gaming the system to railroad a decision into a predetermined outcome.

It is recommended that active participants in a CBA effort attend a one-hour introduction to CBA session that is facilitated by an expert user of the system.



An example that is often used in CBA workshops to illustrate these definitions is the choice between two canoes: Canoe C and Canoe K. In the canoe-weight factor, the attribute of C is 65 Pounds. In this same factor, the attribute of K is 75 Pounds.

In this factor, the stakeholders (those who will be using the canoe) established the following criterion: **Lighter is better.**

CBA is often used when multiple variables need to be considered to make an informed decision. This may mean multiple solutions exist but a team can't determine the best outcome. This process is often useful when various constituents are focusing on their individual needs and not those of other stakeholders. CBA often leads to alternatives previously not considered as participants gain a deeper understanding of the attributes, factors, criteria, and advantages. This is an excellent tool to document the reasons behind decisions, particularly if parties not involved in the process need justification for these critical decisions.

CBA offers multiple ways to reach both simple and complex decisions. To be effective and sustainable, CBA should be applied to any decision facing a team. Teams that frequently use CBA readily build a trust and familiarity with the system.

CBA works well when teams are assessing mutually exclusive alternatives (for example, different HVAC systems or structural frame types for a building). It also works well when prioritizing resource allocation such as how to best apply labor resources or which value-add options should be adopted to generate the most savings.







TOWN OF WELLESLEY



MASSACHUSETTS

## BOARD OF SELECTMEN

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

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BLYTHE C. ROBINSON  
EXECUTIVE DIRECTOR OF GENERAL GOVERNMENT

### MEMORANDUM

DATE: October 27, 2017  
TO: Board of Selectmen  
FROM: Blythe C. Robinson, Executive Director  
SUBJECT: HHU - Short Term Financing Information

---

As we await the outcome of the decision by the MSBA to invite the Town into their program for one or two schools, and if not then financing the next steps of the project on our own, Selectman Morgan asked for some information regarding our options for financing the proof of concept/feasibility phase or that as well as schematic design. The suggested budgets range from \$2.5M to finance proof of concept/feasibility on our own, up to as much as \$10.0M if we were invited in for two schools and the initial work included schematic design. I have posed these questions to Sheryl Strother and our Financial Advisor for their guidance.

In short, MGL Chapter 44, Section 7 (21) allows Towns to borrow for architectural services for plans and specifications for School Building construction for **five years, if issued before any other debt related to that project**. Typically, we have issued short term financing for the feasibility/planning piece of the school projects and have then rolled it into the debt exclusion (once approved). If the Town **didn't** ultimately approve the debt exclusion, the planning/specification debt would need to be paid down **inside the levy over the five years**. So not having an approved exclusion potentially risks the inside the levy budgets, and the numbers become large big quickly.

We typically use level principal and 4% interest when modelling. The first year impact (highest) upon inside the levy resources at various funding levels is shown below:

\$2,500,000	\$600,000/year	Town only - proof of concept/feasibility
\$4,000,000	\$960,000/year	Town & MSBA - one school feasibility/schematic design

\$10,000,000      \$2,400,000/year Town & MSBA – two schools' feasibility schematic design

If we were to do a BAN for any of the above scenarios, and budget interest only until a debt exclusion was approved, the interest costs on those same dollar thresholds are as follows:

\$2,500,000	\$62,500
\$4,000,000	\$100,000
\$10,000,000	\$250,000

It is important to note that the length of the BAN counts towards the five years (if applicable), meaning that principal on a project that had a failed debt exclusion would be amortized over less than five years. This would have a significant impact on the Town's budget and would lead to an alignment of the budget in order to pay off the debt within the specified amount of time.

Should you have any further questions please do let me know.

## **6. Review FY18 Work Plan**

It is almost six months since the Board set up its work plan for this fiscal year. While a number of items have been completed and more are well underway, it seems like a good time to revisit what was planned and determine the priorities going forward. A copy of the plan has been updated. I would recommend that we focus the conversation on the section entitled bylaw updates. These are items that would be presented at Town Meeting in late March and thus need sufficient time to draft the articles, go through the review process with Advisory and potentially others, and have motions ready. Some are underway, and others have not been started.

**NO MOTION**



## Selectmen's Office Work Plan - FY18 - October, 2017

				BOS	Staff	Completion
Project	Issue or Current Status	Next Steps	Resources Required	Liaison	Assigned	Date
<b>MAJOR PROJECTS</b>						
HHU - School Bldg Comm.	Awaiting MSBA Program Decision	RFP ready, swing space being studied	\$\$ for Proof of Concept/Feasibility	Jack	SC & BOS	
Unified Plan	Draft Plan received, review beginning	Meet with Steering Comm. about draft		Marjorie/Ellen	Meghan, Michael	ATM - 2018
900 Worcester	PSI Process complete, at ZBA for site plan	complete ZBA and wetlands approvals	Review by Planning, MassDOT	Tom	Meghan, Blythe	Fall, 2018
North 40 Plan	Phase II Landfill closure testing complete	Review Phase II Findings - Estab. Comm.	\$75K approved for closure work	Marjorie	Blythe, DPW	Dec. 2017
Town Hall Envelope Repair	Design underway	Periodic review with PBC, other boards	Request Const funding at ATM		Joe	March, 2018
Wellesley Media	Expand Locations for filming public mtgs	Complete TPC this month, Warren Bldg '18	Wellesley Media funding upgrades	Tom		Aug. 2017
Route 9/Kingsbury Upgrade	Install new traffic signal	Project delayed, compl.date November?		Ellen	Meghan	Aug. 2017
40B Housing Projects	5 projects pending, 1 anticipated	HPP RFP Advertised, responses due 10/13	Funding approved, staff time	Marjorie/Ellen	Meghan, Michael	
<b>OTHER PROJECTS -</b>						
Transportation Adv. Group	Form working group to outline a charge			Ellen, Deb	Meghan	
Town Hall Interior Visioning	Dev. process for vision, study space needs	Committee Formed - RFP in process	Budget approved	Marjorie	Blythe, Joe	
DPW Work for Others	Program not transparent, value??	Meeting held on August 16th	N/A	Tom	Blythe, DPW	
Inter-Board Meetings	Ellen, Jack, Blythe, Meghan to discuss	Schedule meetings in February & May				
<b>POLICIES/REGULATIONS:</b>						
BOS Handbook/Manual	Update/expand current policy manual	Marjorie has developed a new draft 10/2		Marjorie		
BYOB Regulatons	Recommend a policy				Meghan	
Financial Policies/Proced.	Develop some policies, update existing	Review & then meet with Advisory			Sheryl, Blythe	
Health Insurance Policy	Town needs policy on ins. Eligibility	Draft policy for BOS & SC review			Blythe, Scott	
HR Manual/Handbook	Rough draft in process by HR Board				Scott	
PILOT Agreements	Develop policy for tax exempt properties	Data/info gathered, meet w/Ellen		Beth	Blythe	
Plowing of Private Ways	Town doesn't follow state law, dev. policy	Review DPW list of roads to eliminate		Beth	Blythe, M. Pakstis	June, 2018
<b>BYLAW UPDATES:</b>						
Alcohol in Town Buildings	Explore regulations to allow this	Move ahead or hold off for a year?	Info from Town Boards, T. Counsel	Jack/Beth		Fall, 2017
Animal Control	Existing bylaw does not meet State law	BOS to discuss draft Bylaw 10/16/17	Town Counsel assistance		Blythe, Meghan	ATM- 2018
Budget Process	Review existing bylaw & update				Blythe, Sheryl	
Recreational Marijuana Bylaw	Establish bylaw to prohibit shops	Discuss topic with depts & boards		Jack	Meghan, Michael	March, 2018
SEC - Re-evaluate	Re-evaluate structure, charge	Possible Bylaw Update		Tom		
<b>STAFF MANAGED PROJECTS</b>						
Bldg Dept. Staffing	Monitor & coach re - admin. Staff				Blythe, Mike	
Community Compact	RFP - Digitizing public records drafted	Soliciting quotes	\$15,000 in State funding		Blythe	
Communications Plan	Draft Plan from state, waiting for revisions	Next mtg w/the group Nov. 6th	Hire a Comm. Mgr in BOS Office		Blythe, Brian	July, 2018

				BOS	Staff	Completion
Project	Issue or Current Status	Next Steps	Resources Required	Liaison	Assigned	Date
Electronic Permitting	Investigate options for Town	RFP will be advertised Oct. 31st			Blythe, Brian	
Health Ins. Plan Changes	Develop Plan Alternatives & Strategy	First Negotiating Session - Nov. 2nd	Special Labor Counsel retained		Marc, Scott, Blythe	Sept. 2017
Land Availability Inventory						
Union Negotiations	Police Patrol & Supervisory contracts	Meetings with both unions underway	Town Meeting Appropriation		Scott, Meghan	Sept, 2017
<b>OTHER:</b>						
Bicycle Safety						
Great Hall Cleanup	Reduce # of offices, relocate files	Bldg dept plans removed, PBC by 7/30	Support from FMD to declutter		Blythe, Joe	6/30/2017
Town Counsel/Special Counsel	Discuss when outside counsel is needed					
PSI Follow Up Studies						

#### FUTURE PROJECTS/PROJECTS WITH OTHERS

Town Parking Lot capacity	Discuss as part of HHU process					
War Memorial/Great Hall	Discuss with Town Hall Interior Vision					
Board Engagement						
Planning Board						
School Comm. Relations						
Revenue Gener. Opportunities	Table for now					
Community Dev. Department	Table for now					
Granite Street	Table for now					
Mass Bay	Table for now					
Housing Policy	Housing Production Plan RFP	Merge with UP findings				
Tax Classification Review	Revisit keeping single tax rate	Cancelled for this year		Tom	Donna	

#### COMPLETED PROJECTS

Hawkers & Peddlers	Revised version approved by BOS	Counsel has revised, BOS 2nd review			Blythe, Jack P.	6/5/2017
PBC/FMD Reorganization	MOU executed by BOS & PBC	Hiring for new positions underway	Funding in FMD budget	Marjorie	Blythe, Joe	6/26/2017
Veteran's District Reorg.	State Appr District Reord, Asst Dir Laidoff	Adjust work flow to remaining positions	N/A		Blythe, Sarada	6/30/2017
Website Redesign	Website went live on August 7th	Make ongoing refinements	Completed!		Brian	8/7/2017
FMD 5 Year Review	Review progress, next five years	Presented at 8/22/17 Meeting	Name change - Fac. Mgmt Dept		Joe	8/22/2017
Aqueduct Leases	All five leases executed	Completed on schedule			Terry	August, 2017
Budget Process Design	Budget Manual complete for FY19	Distributed, monitor input for future manual	N/A		Blythe, Sheryl	Sept. 2018
<b>NEW PROJECTS/NOT ON ORIGINAL WORKPLAN</b>						
Appointments Policy	Policy to guide how BOS appts are made	Approved at 9/11/17 Meeting	Completed	Ellen/Jack	Blythe	9/11/2017
Modifications to Alcohol Regs	Eliminated 10 bar seat max	Completed 9/11/17	Completed			9/11/2017

**7. Discuss Licensing Alcohol in Town Building Proposal**

One of the items on the work plan for this year is discussion on a possible bylaw to allow there to be alcohol served and consumed in the Town's buildings. Included in your packet is an email from Selectman Morgan outlining the work that he and Selectman Sullivan Woods have begun on this topic. They would like to review this with the Board and have further discussion which may result in an amendment to the Town's bylaws proposed at the March annual town meeting.

**NO MOTION**



## **Henderson, Heidi**

---

**From:** Robinson, Blythe  
**Sent:** Thursday, October 26, 2017 9:46 AM  
**To:** Henderson, Heidi  
**Subject:** FW: Alcohol

**Categories:** FNM

Heidi,

Please save this as a PDF for the FNM for the 30<sup>th</sup> – alcohol in town buildings.

Blythe

Blythe C. Robinson  
Executive Director- General Government  
Town of Wellesley  
525 Washington Street  
Wellesley, MA 02482  
P – 781-431-1019, ext. 2200  
brobinson@wellesleyma.gov

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**From:** Jack Morgan  
**Sent:** Wednesday, October 25, 2017 3:29 PM  
**To:** Ellen Gibbs <egibbs@wellesleyma.gov>; Robinson, Blythe <brobinson@wellesleyma.gov>; Jop, Meghan <mjop@wellesleyma.gov>  
**Cc:** Beth Sullivan Woods <bsullivanwoods@wellesleyma.gov>  
**Subject:** Alcohol

Ellen, Blythe, and Meghan,

Beth and I met to discuss potential approaches to consideration of the Alcohol in Town Buildings question. As background, Meghan, Beth, another WFL Trustee, and I had a meeting with Tom Harrington on the subject in or around May of 2016. The two key points taken away from that conversation were 1) many Towns allow for provision of alcohol on Town property. There are certainly insurance, TIPS and other considerations which need to be provided for but in the end it is a policy decision of the Town; and 2) by MGL only the Board of Selectmen in their discretion can issue an alcohol license - by laws cannot grant this authority to another board in Town, even with regard to property under the control of that board.

It seems to us that the model of the special licenses we grant routinely to the Colleges and, as I recall, occasionally to other entities, works well. So we basically suggest allowing the BOS to issue special licenses for events / functions on Town property.

Beth and I suggest the following approach

1) We have started with a rough draft which would leave it completely up to the Board of Selectmen to adopt and amend the regulations, as well as to issue actual licenses. See Potential Motion language at the end of

this email. Arguably we should limit the scope to buildings, and exclude exterior spaces but our inclination is to start with a broad scope and get feedback from there.

2) We check in with the full BOS in either next week's meeting or the Nov 7th meeting.

3) Assuming the board is comfortable with a process to obtain feedback from this starting point Beth and I would then check in with

4) Chief Pilecki

5) The two boards which might want to exclude specific properties either in the by law or in the ultimate regulations - Schools and the NRC (with respect to park land)

6) Discuss with Town Counsel, including the reactions from the Chief, Schools, and NRC

7) Re-engage with the BOS in a subsequent meeting including a presentation from Town Counsel, Beth and my recommendation, and proposed next steps to engage with other interested Boards (Health, Rec, Library, and Advisory for sure).

Obviously we can't have deliberation except in an open meeting, but we have framed this email such that you could include the text in the FNM if you think appropriate.

### **Potential Motion Language for Alcohol By-Law Modification**

To amend the Town by-laws, Article 48 Police Regulations Section 49-19 Possession and Use of Alcoholic Beverages by amending the first paragraph by adding the following phrase: "except subject to special licenses issued by the Board of Selectmen". The amended paragraph to read as follows:

49.19 Possession and Use of Alcoholic Beverages. No person shall consume an alcoholic beverage as defined by General Laws Chapter 138, Section 1, as amended, or possess an open container of such beverage, within the limits of any park, playground, public building, or any public land (but not including public way) owned or under the control of the Town of Wellesley, *except subject to special licenses issued by the Board of Selectmen*, nor shall any person consume an alcoholic beverage, as defined in said Section 1, on any public way or way to which the public has a right of access as invitees or licensees, including any person in a motor vehicle while it is in, on or upon any public way or any way to which the public has a right of access to aforesaid, within the limits of the Town of Wellesley, and no person shall consume any alcoholic beverages, as previously defined, in, on, or upon any private land or place without the consent of the owner or person in control of such private land or place.

Jack Morgan  
*Board of Selectmen*  
617.775.4852

***Please use this [jmorgan@wellesleyma.gov](mailto:jmorgan@wellesleyma.gov) address for communicating with me on Board of Selectmen related items***

## **8. New Business & Correspondence**

Other Documents: The Board will find documents the staff is not seeking action on, but is for informational purposes only. Please find the following:

- ❖ Letter from Town Counsel to Rep. Alice Peisch – Public Records Law
- ❖ Monthly parking revenue report – September, 2017
- ❖ Memo re 2018 Boston Marathon entry award schedule
  - Draft Press Release
  - Draft Charity Application
- ❖ TEFRA Notice of Public Hearing- Partners Healthcare Systems 11.7.17
- ❖ Letter to National Grid RE: Endorsement of National Grid's MA 2018 Community Initiative
- ❖ Memo: Commendation from Deputy Chief James O'Neil, Milton Police Dept.
- ❖ Wellesley Historical Society "Steam Titans" Event postcard



J. Raymond Miyares  
Thomas J. Harrington  
Christopher H. Heep  
Donna M. Brewer  
Jennie M. Merrill

Rebekah Lacey  
Ivria Glass Fried  
Eric Reustle  
Blake M. Mensing  
Katherine E. Stock

October 23, 2017

Representative Alice Peisch  
State House  
24 Beacon St Room 473G  
Boston, MA 02133

***RE: Ronald Alexander Public Records Requests***

Dear Representative Peisch,

As we have discussed, Ronald Alexander has a long history of filing public records requests with the Town of Wellesley. You have asked for a brief summary of that history, as well as the status of any appeals from the Town's responses. Below is a general outline of the requests and subsequent appeals.

**I. Background on Public Records Requests**

Mr. Alexander has submitted a significant number of requests. Since 2013, Mr. Alexander has submitted approximately one hundred and eighty one (181) requests to the School Department and School Committee, approximately one hundred and ten (110) of which have been filed since August of 2016. Mr. Alexander has also submitted approximately 50 requests to the Board of Selectmen, or employees under its supervision since August of 2016, and approximately seventeen (17) requests to the Police Department since January of 2016. Accordingly, Mr. Alexander's total number of public records requests now exceeds two hundred (200).<sup>1</sup>

**A. Targeting of Employees and Residents**

Mr. Alexander had established a pattern of utilizing the *Public Records Law* to target and harass specific employees. In each case, Mr. Alexander has followed a similar pattern: a Town employee or office has taken an action of which Mr. Alexander disapproved and Mr. Alexander has responded by filing numerous public

<sup>1</sup> Notably, these estimates of total submitted records requests does not capture the fact that Mr. Alexander regularly engages in back and forth email communications with Town staff related to his requests and the Town's responses.

# Miyares and Harrington LLP

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Representative Alice Peisch  
October 23, 2017  
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records requests targeting that employee or office. For example, Mr. Alexander has requested, among other things, the School Superintendent's resume,<sup>2</sup> qualifications,<sup>3</sup> license,<sup>4</sup> attendance records,<sup>5</sup> vacation accruals,<sup>6</sup> employment contract,<sup>7</sup> performance evaluations,<sup>8</sup> performance evaluation dates,<sup>9</sup> calendar,<sup>10</sup> and personnel file.<sup>11</sup> Mr. Alexander has targeted other employees as well, including public school teachers,<sup>12</sup> the School Athletic Director, Labor Counsel, and Town Counsel. With respect to Town Counsel, Mr. Alexander requested the licenses of all attorneys in Town Counsel's office,<sup>13</sup> and began submitting regular requests for legal invoices after Town Counsel began assisting Town employees in responding to his numerous records requests.

Mr. Alexander has also utilized the *Public Records Law* to target non-Town employees, including Nan Alexander,<sup>14</sup> Celeste Hedequist,<sup>15</sup> Eli Burstein,<sup>16</sup> and

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<sup>2</sup> Requested October 15, 2013, and again on April 5, 2014.

<sup>3</sup> Requested November 8, 2013.

<sup>4</sup> Requested November 25, 2013.

<sup>5</sup> Requested August 11, 2014.

<sup>6</sup> Requested August 11, 2014.

<sup>7</sup> Requested August 15, 2014, and again on October 26, 2016.

<sup>8</sup> Requested August 15, 2014, and again on September 17, 2014.

<sup>9</sup> Requested August 21, 2014; August 26, 2014; and again on September 10, 2014.

<sup>10</sup> Requested November 9, 2016; November 28, 2016; January 3, 2017; and January 5, 2017.

<sup>11</sup> Requested March 20, 2017, and August 17, 2017.

<sup>12</sup> A significant number of requests were filed against the Performing Arts Director. Related requests include October 15, 2013 (resume), November 25, 2013 (license), April 5, 2014 (resume), August 11, 2014 (emails), August 11, 2014 (vacation accruals), August 15, 2014 (employment contracts), August 15, 2014 (performance evaluations), and August 21 and 26, 2014 (performance evaluation dates).

<sup>13</sup> Requested December 9, 2016.

<sup>14</sup> Requested September 7, 2017.

<sup>15</sup> Requested October 16, 2017.

<sup>16</sup> Requested July 20, 2017.

# Miyares and Harrington LLP

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Representative Alice Peisch  
October 23, 2017  
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Michael Shuckerow.<sup>17</sup> Recently, Mr. Alexander has requested information regarding an individual who has been the subject of identity fraud.

## B. Frivolous and Harassing Requests

Many of Mr. Alexander's prior requests are either frivolous or meant to harass Town staff, both in the substance of the request and in the form in which they have been submitted. For instance, prior to the effective date of the new *Public Records Law* and Regulations, records custodians were permitted to charge reasonable fees for responding to records requests, but required custodians to first provide a fee estimate to the requester. Mr. Alexander regularly submitted requests, then declined to pay the fee estimate provided,<sup>18</sup> or declined the opportunity to inspect responsive documents at no charge.<sup>19</sup> These fee estimates require staff time to collect and assess the information and the time spent is not reimbursable. Mr. Alexander also schedules times to inspect records, fails to appear, and later sends an email that he would like to view the documents at another time.<sup>20</sup> This pattern of behavior forces the Town to incur significant costs for no purpose other than drafting responses and fee estimates.

Mr. Alexander has also submitted duplicative requests. Specifically, he asked for the following documents on multiple occasions:

- Labor Counsel's job description. On September 7, 2016, Mr. Alexander first requested Labor Counsel's job description. Mr. Hans Larsen responded to this request on September 16, 2016, informing him that no such document exists. On January 18, 2017, Mr. Alexander submitted an identical request. The Town again responded that no such document exists.

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<sup>17</sup> Requested July 21, 2017.

<sup>18</sup> For example, on October 8, 2016, Mr. Alexander requested all notes and correspondence from when the Board of Selectmen made the decision to employ Miyares and Harrington LLP. Mr. Hans Larsen provided Mr. Alexander with a fee estimate on October 17, 2016, but Mr. Alexander has failed to respond to this fee estimate. Likewise, on October 26, 2016, Mr. Alexander filed a request for bullying complaints received by the School Superintendent. Mr. Alexander was provided with a fee estimate of \$67.34 to respond to the request. Mr. Alexander refused to pay the fee and instead waiting until the new *Public Records Law* went into effect to re-file his request in an attempt to avoid fees.

<sup>19</sup> On December 9, 2016, Mr. Alexander requested to inspect the licenses of all of the attorneys who work for Miyares and Harrington LLP. Mr. Alexander was offered the opportunity to do so free of charge, but declined to do so.

<sup>20</sup> This has occurred twice. Most recently on April 14, 2017.

# Miyares and Harrington LLP

Representative Alice Peisch  
October 23, 2017  
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- Labor Counsel's contract. Mr. Alexander requested Labor Counsel's contract on October 2, 2016. Mr. Larsen responded to Mr. Alexander on October 7, 2017, clearly stating that the Town does not have a contract with Labor Counsel and that no such document exists. On January 18, 2017, Mr. Alexander submitted an identical request despite previously being informed that the Town does not have such a contract.
- Labor Counsel's supervisor. On September 7, 2016, Mr. Alexander first requested the name of the board to which Labor Counsel reports. Mr. Larsen provided Mr. Alexander with a copy of the relevant Town Bylaw, the only document responsive to his request, at no charge. On January 18, 2017, Mr. Alexander submitted an identical request.
- Family Educational Rights and Privacy Act annual notifications. On January 26, 2015, Mr. Alexander requested copies of the FERPA Annual Notices which are provided to all parents (including himself) for the following school years: 2012-2013, 2013-2014, and 2014-2015.<sup>21</sup> On October 3, 14, and 29, 2016, he again requested the 2014-2015, the 2013-2014, and the 2012-2013 FERPA notices, respectively.
- Athletic Survey. In October of 2016, Mr. Alexander requested all responses to the School Department's Athletic Survey. The Department provided him with the majority of the survey responses unredacted and a fee estimate for reviewing and redacting the remainder of the survey responses. Mr. Alexander ignored the fee estimate. In May of 2017, Mr. Alexander again asked for all the survey responses.

These duplicative requests show his intention to harass Town employees and create additional work.

Mr. Alexander has also requested documents that he created. For example, Mr. Alexander requested copies of all public records requests filed with the School Department and the Department's responses to those requests. On December 8, in an attempt to reduce the volume of responsive documents by eliminating documents Mr. Alexander created and already had in his possession, the Department asked Mr. Alexander to clarify whether he would "like copies of all public records requests filed by [him] and responses, records, and related communications sent to [him] by the Department." He responded that he wanted all records for all requesters, including his own. At that time, he had filed approximately 133 requests with the Department,

<sup>21</sup> The School Department provided Mr. Alexander with an estimate of fees to produce these records. He never paid the fee.

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Representative Alice Peisch  
October 23, 2017  
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approximately sixty-two (62) of which had been submitted since August. His refusal to narrow his request is another example of his intention to harass the Department's staff and cause additional work and stress. Furthermore, even after the Department had provided him with access to such records, on September 6, 2017, he again requested copies of all public records requests filed with the Department during the same time period.

Mr. Alexander structures his requests to create confusion and increase the potential for accidental violations of the law. For example, Mr. Alexander regularly files multiple requests on a single day all pertaining to the same matter. On March 28, 2017, Mr. Alexander emailed six (6) public records requests to the Department, all of which related to one document – the Town Meeting book. The manner in which the requests were segmented appears to be a calculated attempt to maximize work for Town staff.

Mr. Alexander also frequently divides his requests for minutes; sending one request for open session minutes and another for executive session minutes for a meeting that occurred on the same day.<sup>22</sup> Filing these requests in this manner creates bookkeeping challenges for the Town, and appears designed to harass Town staff and increase the likelihood that the Town will make a misstep, which Mr. Alexander will use to complain that the Town has failed to comply with the law.

Mr. Alexander also requests School Committee open session minutes within a few days of a meeting.<sup>23</sup> The School Committee generally posts minutes online

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<sup>22</sup> September 17, 2014 (two requests for September 16, 2014 minutes); September 25, 2014 (two requests for September 24, 2014 minutes); November 7, 2014 (two requests for November 6, 2014 minutes); December 5, 2014 (two requests for November 24, 2014 minutes); December 31, 2014 (nine separate requests for December 2014 open session and executive session minutes, many of which meetings occurred on the same day); January 16, 2015 (five separate requests for January 2015 meeting minutes, two of which occurred on the same day); January 23, 2015 (two requests for January 21, 2015 minutes); March 12, 2015 (two requests for January 29, 2015 minutes); January 12, 2017 (two requests for January 10, 2017 minutes); January 25, 2017 (two requests for January 23, 2017 minutes).

<sup>23</sup> Below is a chart of such requests:

<u>Date of Request</u>	<u>Open Session Minutes Requested</u>
September 15, 2014	September 11, 2014
September 17, 2017	September 16, 2014
September 25, 2014	September 24, 2014
October 2, 2014	September 30, 2014
October 10, 2014	October 9, 2014
October 15, 2014	October 14, 2014
December 5, 2014	November 24, 2014
December 31, 2014	December 11, 15, 16, 23, and 29, 2014
January 16, 2015	January 9, 12, and 16 2015
January 23, 2015	January 21, 2015

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within a few weeks of the meeting, a fact of which Mr. Alexander is well aware.<sup>24</sup> Accordingly, filing these public records requests demonstrates his intent to cause additional stress and pressure on the School Committee and its staff.

Mr. Alexander requests executive session minutes with the same frequency, and has developed a pattern of requesting executive session minutes the same day the Committee is scheduled to meet.<sup>25</sup> The *Open Meeting Law* requires public bodies to review requested minutes “not later than the body’s next meeting or 30 days, whichever first occurs.”<sup>26</sup> By requesting the minutes immediately prior to the meeting, the School Committee is forced to hold an emergency executive session or violate the *Open Meeting Law*. The Town strongly believes that Mr. Alexander is taking such actions for the sole purpose of harassment.<sup>27</sup>

## II. Background on Appeals

Mr. Alexander has filed approximately forty-eight (48) appeals since 2014, forty-one (41) of which were filed after August of 2016.<sup>28</sup>

The Town has faced significant challenges working with the Supervisor’s office in processing these appeals. First, the Supervisor’s office does not assign all of Mr. Alexander’s appeals to one investigator. Dividing the work amongst the various investigators creates additional work for the Town when trying to address all

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January 12, 2017	January 10, 2017
January 25, 2017	January 23, 2017
March 23, 2017	March 2, 20, and 21, 2017
March 27, 2017	March 24, 2017
May 10, 2017	May 4, 2017

<sup>24</sup> Mr. Alexander’s request for March 2, 2017 minutes was made after the Committee had already posted these minutes online.

<sup>25</sup> For example, Mr. Alexander filed a request on March 21, 2017, which forced the Committee to call an emergency executive session to review its February 27, 2017 executive session minutes at its meeting that night. Likewise, on March 23, he requested March 21 executive session minutes, and on March 27, he requested the March 24 executive session minutes.

<sup>26</sup> M.G.L. c.30A, §22(g)(2).

<sup>27</sup> Mr. Alexander filed fewer requests than usual in early 2017. During that period, Mr. Alexander ran for School Committee and refrained from filing public records requests during his campaign.

<sup>28</sup> Approximately 23 of these appeals have been decided against the Town.

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pending appeals at once. Furthermore, investigators call frequently without referencing the appeal number or the nature of the appeal. This may be efficient when a Town only has one appeal pending, but where Mr. Alexander often has multiple appeals outstanding at one time, the lack of specificity leads to additional confusion.

Second, the Supervisor requires the Town to provide an incredible amount of detail and specificity when providing even a fee estimate. Town Counsel is therefore required to assist in the preparing of these responses. Although it may be expected that Town Counsel participate in responding to a request when documents are withheld, the statute did not contemplate such a detailed and intricate fee estimate response.

Until recently, the Town has also been unsuccessful in advancing the position that Mr. Alexander's appeals are designed to harass. For example, on April 24, 2017, the School Department filed a harassment petition arguing that Mr. Alexander had developed a pattern of filing public records request with the sole purpose to harass the Town. The Town sought relief from responding to six pending requests (all filed on the same day) on this basis. The Supervisor disagreed, finding that the six requests in question did not demonstrate a "series of contemporaneous requests" that are designed to harass.

However, recently, the Supervisor issued a decision in the Town's favor on a harassment petition. On September 21, 2017, the Supervisor found that Mr. Alexander's third request for document sets primarily comprised of his own public records requests was part of "a series of contemporaneous requests that are frivolous or designed to intimidate or harass." SPR17-1282. In this case, Mr. Alexander had previously requested the documents at issue, which the Supervisor found informative of his intent.

This decision is encouraging in that the Supervisor may be more open to considering whether a series of requests were filed with the intent to harass or intimidate the Town or an individual. At the same time, the Town is weary. The Supervisor's prior statements make clear that the request itself must not only demonstrate an intent to harass, but the request must be part of a series of contemporaneous requests, all of must be designed to intimidate or harass.<sup>29</sup>

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<sup>29</sup> For example, Mr. Alexander recently requested copies of phone recordings of an identified individual with the Police Department. The Town filed a harassment petition arguing that the sole purpose of the request was to intimidate the individual in question. The Supervisor denied the petition because the Town could not demonstrate that the request (which was a one off request) was part of a "series of contemporaneous requests." SPR17-1278. When the Town refused again to provide the documents, and Mr. Alexander appealed, the Supervisor, who is not bound by the requirement that the requests be part of a series when reviewing an appeal, denied to review the appeal because she found it to have been filed with the intent to harass. SPR17-1390.

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Representative Alice Peisch  
October 23, 2017  
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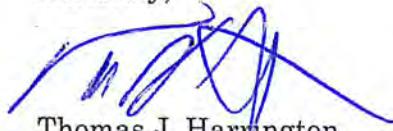
Furthermore, because the sheer volume of requests does not rise to the level of harassment, an intelligent requester, like Mr. Alexander, can continue to file numerous requests on various subjects to avoid a finding that his requests are part of a "series."

### III. Conclusion

The Town works diligently to respond to all of Mr. Alexander's requests. However, it is evident that Mr. Alexander's requests are designed to create work for the Town and to harass its employees and residents, rather than as a tool to obtain information of interest to him.

The Town is grateful for all the support and help that you have given over the past year. As we move forward, we hope to be able to continue an open dialoged with your office and welcome any suggestions for resolving this matter that you can share.

Sincerely,

  
Thomas J. Harrington

cc: B. Robinson  
M. Jop  
D. Lussier  
J. Belliveau

## PARKING METER COLLECTIONS

Passport Parking System  
implemented February 2017  
(included in totals above)

\*DUNBAR COLLECTIONS  
^REPUBLIC PARKING TOOK  
OVER

\$12,553.75



TOWN OF WELLESLEY



MASSACHUSETTS

## BOARD OF SELECTMEN

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

ELLEN F GIBBS, CHAIR  
JACK MORGAN, VICE CHAIR  
MARJORIE R. FREIMAN, SECRETARY  
BETH SULLIVAN WOODS  
THOMAS H. ULFELDER

FACSIMILE: (781) 239-1043  
TELEPHONE: (781) 431-1019 x2201  
[WWW.WELLESLEYMA.GOV](http://WWW.WELLESLEYMA.GOV)  
BLYTHE C. ROBINSON  
EXECUTIVE DIRECTOR OF GENERAL GOVERNMENT

**DATE:** October 27, 2017

**TO:** Board of Selectmen

**FROM:** Terry Connolly

**SUBJECT:** 2018 Boston Marathon Entry Award Schedule

Based on a request by a Wellesley based charity to Marjorie, we are proposing moving the Boston Marathon Invitation Entry award process forward by one week. Allowing the awarded charities to issue their invitational entries earlier, will enable the runners not chosen to seek other opportunities.

Attached is the updated 2018 press release and charity application.  
We have moved the date of the press release and application deadline forward by 1 week.

The applications available October 30, 2017.

Application submittal deadline Wednesday, November 15, 2017.



TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

**FOR IMMEDIATE RELEASE – October 30, 2017**

## **2018 Boston Marathon Invitational Entries**

The 122nd Boston Marathon will be held on Monday, April 16, 2018. As in prior years, the Town has received a limited number of invitational entries for distribution to local charities, based on guidelines established by the Board of Selectmen. Effective immediately, the Board of Selectmen is accepting requests from charities for an allocation of such entries. At an upcoming meeting, the Board will review the applications and designate certain charities to receive a specified number of entries.

Charities interested in receiving invitational entries should complete the attached application and return it to the Selectmen's office by **Wednesday, November 15, 2017**. Please note that we have asked each charity to indicate on the application how many runners the charity representatives expect they can recruit by December 31<sup>st</sup>.

Individual runners who are interested in obtaining an invitational entry are welcome to either; (a) encourage a charity of their choice to submit an application; or, (b) submit their name to the Selectmen's office to be kept apprised of the charities designated to receive entries.

In designating the charities to receive an allocation of entries, the Selectmen will give preference to charities that benefit Wellesley residents and programs. Charities that receive invitational entries are similarly encouraged to give preference to Wellesley residents. Each charity must report the actual amount of funds raised through this initiative.

An individual runner who subsequently receives an invitational entry from one of the designated charities will be expected to raise a minimum of \$4,000 for the charity. Prior to receiving their entry, each runner will be expected to provide a credit card number evidencing their commitment to raise this amount. Following confirmation from the relevant charity that the fundraising commitment has been met, this credit card information will be destroyed.

***Applications should be sent to and any questions directed to:***

**Selectmen's Office  
Wellesley Town Hall  
525 Washington Street  
Wellesley, MA 02482  
781-431-1019 x2201  
sel@wellesleyma.gov**

## **2018 Boston Marathon**

### **Charitable Organization Application for Invitational Entry**

Charitable organizations must provide the information outlined below in order to be eligible for consideration by the Board of Selectmen. Applications must be received in the Selectmen's Office in person or via email ([sel@wellesleyma.gov](mailto:sel@wellesleyma.gov)) by Wednesday, November 15, 2017. The Board will review the applications and select the charities that will receive an allocation of invitational entries. Charities will be notified as soon thereafter as possible.

Name of Organization:

Address:

Contact person:

Email address and phone number:

Legal status of organization:

Sources of funding:

Mission of organization:

What services does your organization provide?

Who benefits from your organization?

How many people benefit?

What percentage of funds is committed to the organization's mission vs. administration?

How will your organization specifically use the funds you receive through the Boston Marathon fundraising?

How will the Town of Wellesley and/or Wellesley residents benefit from this fundraising?

How many runners could your organization recruit for the 2018 Boston Marathon?

*(Until the Selectmen deliberate on the number of entries to be allotted to each charity, we are unable to provide any assurances in this regard.)*

Additional comments:

Signature:

Date:



## Henderson, Heidi

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**From:** TEFRA Hearing Info <TEFRAHearingInfo@Massdevelopment.com>  
**Sent:** Wednesday, October 25, 2017 5:00 PM  
**To:** 'townmanager@amherstma.gov'; 'selectboard@amherstma.gov';  
gbrougham@belchertown.org; 'selectmen@belchertown.org'; pmarshall@belmont-  
ma.gov; selectmen@belmont-ma.gov; 'city.council@boston.gov'; 'mayor@boston.gov';  
'Michelle.Wu@boston.gov'; mkleckner@brooklinema.gov;  
nwishinsky@brooklinema.gov; 'dsimmons@cambridgema.gov';  
'council@cambridgema.gov'; tambrosino@chelseama.gov; pcasino@chelseama.gov;  
sbartha@mail.danvers-ma.org; 'danielcbennett@verizon.net';  
'townhall@townofsandwich.net'; 'selectmen@townofsandwich.net';  
'mayor@easthampton.org'; 'jmccoy@easthampton.org';  
mayorcarlo.demaria@ci.everett.ma.us; Councilors@ci.everett.ma.us;  
bkeegan@foxboroughma.gov; dfeldman424@gmail.com; mkeegan@hadleyma.org;  
admin@hadleyma.org; 'townadministrator@townofhatfield.org';  
'selectmen@townofhatfield.org'; 'townmanager@lexingtonma.gov';  
selectmen@lexingtonma.gov; 'tyoung@lynmma.gov'; 'jkrol@lynmma.gov';  
'mcginnj@marblehead.org'; 'wileyk@marblehead.org'; 'mayor@marlborough-ma.gov';  
'citycouncil@marlborough-ma.gov'; 'townmanager@nantucket-ma.gov';  
'dhillholdgate@nantucket-ma.gov'; 'swarren@newtonma.gov';  
'slennon@newtonma.gov'; 'mayor@northhamptonma.gov'; 'bdwight@comcast.net';  
'rwhritenour@oakbluffsma.gov'; 'gbarmakian@oakbluffsma.gov'; mayor@peabody-  
ma.gov; tim.spanos@peabody-ma.gov; revere\_mayor@revere.org;  
revere\_clerk@revere.org; 'jgiannino@revere.org'; 'mayor@salem.com';  
emiloatlarge@gmail.com; mayor@somervillema.gov; cityclerk@somervillema.gov;  
BoardofAldermen@somervillema.gov; 'townhall@townofsandwich.net';  
'selectmen@townofsandwich.net'; 'wfoxmyn@town.deerfield.ma.us';  
'dfinn@townofdeerfield.ma.us'; 'csness@townofdeerfield.ma.us';  
'msullivan@southhadleyma.gov'; 'selectboard@southhadleyma.gov';  
'townadministrator@townofsouthampton.org'; 'selectmen@townofsouthampton.org';  
'mayor@city.waltham.ma.us'; 'jvizard@city.waltham.ma.us'; Robinson, Blythe; DL: Board  
of Selectmen; mayor@cityofwestfield.org; b.bean@cityofwestfield.org;  
'vanderclock.d@westonmass.org'; 'selectmen@westonmass.org';  
'mjaillet@townhall.westwood.ma.us'; 'selectmen@townhall.westwood.ma.us';  
'townclerk@worthington-ma.us'; 'selectboard@worthington-ma.us'  
Boyce, Deborah; 'turner@mvcommission.org'; tbrennan@pvpc.org;  
'mdraisen@mapc.org'; 'pniedzwecki@capecodcommission.org'; 'avorce@nantucket-  
ma.gov'; CLMartin@mintz.com  
**Subject:** TEFRA Hearing at MassDevelopment - re: Partners Healthcare Systems, Inc. -  
November 7, 2017  
**Attachments:** TEFRA Notice - Partners Healthcare System 11-7-17.pdf  
**Importance:** High  
**Categories:** FNM



Good afternoon.

MassDevelopment is considering approval of a conduit bond financing for a project being undertaken by Partners Healthcare Systems, Inc. in the cities listed on the attached notice. By having MassDevelopment issue the bonds, they can be sold to investors at a lower interest rate because interest on the bonds is exempt from federal income tax.

In connection with the proposed financing, MassDevelopment is holding a public hearing, as required by Section 147(f)(2)(B)(i) of the Internal Revenue Code, on November 7, 2017. The hearing is solely for the purpose of receiving comments, if any, from interested parties, and there will be no presentation on the project. Comments may also be provided to the Agency in writing prior to the meeting. A copy of the public hearing notice is attached.

For additional information, please do not hesitate to contact the borrower directly or the undersigned at (617) 330-2000.

As the Commonwealth's finance and development authority, MassDevelopment helps municipalities with a variety of programs that promote economic development, including financing and real estate programs. Should you or any of your colleagues have interest in reviewing these programs, my colleagues and I would be pleased to meet with you.

Sincerely,

Deborah Boyce  
First Vice President

## NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be conducted by the Massachusetts Development Finance Agency (“MDFA”) on November 7, 2017, at 10:00 a.m. at its offices located at 99 High Street, Boston, Massachusetts. If MDFA’s offices are closed on November 7, 2017 due to unforeseen circumstances, including adverse weather conditions, the public hearing will be held on the next business day on which MDFA’s offices are open at the same time and location. The purpose of the hearing will be the proposed issuance of qualified 501(c)(3) bonds, as defined in Section 145 of the Internal Revenue Code of 1986, as amended, in an aggregate principal amount not to exceed \$1,495,000,000 (the “Bonds”), for a plan of financing for Partners HealthCare System, Inc. (“Partners”) to finance and refinance healthcare facilities owned and/or operated or to be owned and/or operated by Partners or its affiliates described herein and related working capital expenditures at the addresses noted herein, including, but not limited to:

- I. Financing new costs of healthcare facilities in an overall aggregate principal amount not to exceed \$250,000,000 and to be allocated in whole or in part, at one or more of the locations in Massachusetts as follows:
  - A. construction of the Brigham Building for Transformative Medicine by The Brigham and Women’s Hospital (“Brigham”) and underground parking spaces, located at 60 Fenwood Road, Boston, in aggregate principal amount not to exceed \$100,000,000;
  - B. renovation of a neonatal intensive care unit and construction of a special care nursery for Brigham located at 75 Francis Street, Boston, in aggregate principal amount not to exceed \$20,000,000;
  - C. construction of a building and renovation of an existing building, on the main campus of North Shore Medical Center, Inc.’s Salem Hospital located at 81 Highland Avenue, Salem, in aggregate principal amount not to exceed \$100,000,000;
  - D. renovation of the Shaughnessy-Kaplan Rehabilitation Hospital facility located at 1 Dove Avenue, Salem, in aggregate principal amount not to exceed \$100,000,000;
  - E. construction of a medical services building located at 100 Brigham Way, Westwood, in aggregate principal amount not to exceed \$30,000,000; and
  - F. development and implementation of a system-wide common revenue processing and clinical application system, called Partners eCare and other routine capital expenditures located or to be located at all locations of Partners and its affiliates (collectively, the “Partners Locations”) including (1) Brigham Health, Inc., Brigham, and Brigham & Women’s Faulkner Hospital, Inc. facilities at 60 and 75 Fenwood Road, 5, 15, 45, 48, 70, 75, 80 and 90 Francis Street, 181 and 221 Longwood Avenue, 500 Brookline Avenue, Richardson Fuller Building Parking, 10 Vining Street, 116 Huntington Avenue, 20 Shattuck Street, 41-45 and 77 Avenue Louis Pasteur in Boston, 830 and 850 Boylston Street in Brookline, 20 Patriot Place in Foxborough, 640, 1133 and 1153 Centre Street and 3297 Washington Street in Jamaica Plain, 100 Brigham Way in Westwood, and 1832 Centre Street in West Roxbury; (2) The Massachusetts General Hospital and The General Hospital Corporation facilities at 16, 30, 40, 40R, 60, 66, 80, 90 and 100 Blossom Street, 165, 175, 185, 275 and 316 Cambridge Street, 215, 255, 265, 267, 273 and 275 Charles Street, 30, 32, 45 and 55 Fruit Street, 12 Garden Street, 1 and 3 Hawthorne Place, 99 and 125 Nashua Street, 10, 15 and 40 Parkman Street, 25 North Anderson Street, 2, 4, 10, and 36 North Grove Street, 10 Whittier Place, 0, 2, 5 and 10 Emerson Place, 1 Bowdoin Square, 294

Washington Street, 332 Hanover Street, 388 Commonwealth Avenue in Boston, 36 1st Avenue, 62, 75, 199 and 149 13th Street, 114 16th Street, 73 High Street and 76 Monument Street in Charlestown, 80, 100 and 151 Everett Avenue in Chelsea, 102 and 104 Endicott Street in Danvers, 19 Norwood Street in Everett, 1 Maguire Road in Lexington, 300 Broadway and 300 Ocean Avenue in Revere, 10, 40 and 52 Second Avenue in Waltham; (3) Martha's Vineyard Hospital at One Hospital Road, 26 and 31 Windemere Rd, 12 Beach Rd, and 124 Skiff Ave, Condo H12 in Oak Bluffs; (4) Nantucket Cottage Hospital at 57 Prospect Street, 1 and 3 Surfside Road, 1A, 1B, 1C, 10, and 20 Vesper Lane, 24 and 26 Atlantic Ave, 24, 24R, 26 and, 26R Young's Way, and 17 Williams Street in Nantucket; (5) Newton-Wellesley Hospital facilities at 1977 1985, 1997, 2011, 2019, and 2081 Beacon Street, 11, 14, and 16 Bonaire Circle, 77-79 Faxon St, Dartmouth St, 1974, 2000, 2014, 2055, and 2072 Washington Street in Newton, 9 Hope Avenue in Waltham, 25 Washington Street in Wellesley and 45 Colpitts Road in Weston; (6) North Shore Medical Center facilities at 104 Endicott Street in Danvers, 480, 490, 496 and 500 Lynnfield Street and 694 Western Avenue in Lynn, 1 Widger Road in Marblehead, 6 Essex Center Drive in Peabody, 108 Jefferson Avenue, 55, 57, 79 and 81 Highland Avenue in Salem; (7) The McLean Hospital Corporation facilities at 115 Mill Street and 127 Pleasant Street in Belmont, 15 Homer Avenue, 5 and 7 Spruce Avenue in Cambridge, 5 Old Cambridge Turnpike, 16 and 22 Bypass Road in Lincoln, 162 Mountain Road in Princeton, and 23 Isaac Street in Middleborough; (8) Spaulding Nursing and Therapy Center North End facilities at 70 Fulton Street in Boston; (9) The Spaulding Hospital-Cambridge, Inc. facilities at 1575 Cambridge Street in Cambridge; (10) The Spaulding Rehabilitation Hospital Corporation at 300 1<sup>st</sup> Avenue in Charlestown; (11) Rehabilitation Hospital of the Cape and Islands, Inc. facilities at 311 Service Road in East Sandwich and 290 Route 130 in Sandwich; (12) FRC, Inc. facilities at 100 North Beacon Street in Allston, and 1245 Centre Street in West Roxbury; (13) Shaughnessy-Kaplan Rehabilitation Hospital, Inc. facilities at 1 Dove Avenue in Salem; (14) Partners facilities at 100 Endicott Street in Danvers, 128 1<sup>st</sup> Avenue in Needham, 251 and 255 Grand Union Blvd, and 399 Revolution Drive in Somerville; and (15) Cooley Dickinson Health Care Corp. facilities at 170 University Drive, 313 Northampton Road and 150 Infirmary Way in Amherst, 10 and 40 Main Street and in Florence, 232-234 and 380 Russell Street in Hadley, 4 West Street in Hatfield, 38 Mulberry Street, 30 and 193 Locust Street, 25 Graves Avenue, 168 Industrial Drive, 1 and 9 Denniston Place, 2 and 90 Conz Street, 8 and 22 Atwood Drive in Northampton, and 21 Elm Street in South Deerfield, 84 Willimansett Street in South Hadley, 10 College Hwy in Southampton, 14 Williams Street in Williamsburg and 58 Old North Road in Worthington, in aggregate principal amount not to exceed \$150,000,000 at each of the Partners Locations;

- II. Refinancing existing completed healthcare facilities in an aggregate principal amount not to exceed \$1,245,000,000 and to be allocated to the redemption, in whole or in part, of one or more of the following series of outstanding bonds:
- A. Massachusetts Health and Educational Facilities Authority (MHEFA) Revenue Bonds, Partners HealthCare System Issue, Series G-5 and G-6 (2007) which financed and refinanced healthcare facilities at the Partners Locations, with not more than \$229,075,000 aggregate principal amount of the Bonds allocated to projects at each of the Partners Locations, including a maximum aggregate principal amount of \$83,000,000 at 70 Francis Street, Boston, \$47,000,000 at 55 Fruit Street, Boston, \$51,500,000 at 165 and 175 Cambridge Street, Boston, \$3,300,000 at 10, 15 and 40 Parkman Street, Boston, \$9,500,000 at 81 Highland Avenue, Salem, \$22,000,000 at 100 Endicott Street, Danvers, and \$14,500,000 at each of the other Partners Locations;
- B. MHEFA Revenue Bonds, Partners HealthCare System Issue, Series I-2 and I-3 (2009) which financed and refinanced healthcare facilities at the Partners Locations, with not more than \$162,943,000 aggregate principal amount of the Bonds allocated to projects at each of the

Partners Locations, including a maximum aggregate principal amount of \$24,000,000 at 1 Patriot Place, Foxborough, \$71,000,000 at 55 Fruit Street, Boston, \$1,000,000 at 10, 15 and 40 Parkman Street, Boston, \$23,000,000 at 100 Endicott Street, Danvers, \$5,000,000 at 81 Highland Avenue, Salem, \$17,000,000 at 1974, 2000, 2014, 2055, and 2072 Washington Street, Newton, and \$27,000,000 at each of the other Partners Locations;

- C. MDFA Revenue Bonds, Partners HealthCare System Issue, Series J-1 (2010) which financed and refinanced healthcare facilities at the Partners Locations, with not more than \$353,331,000 aggregate principal amount of the Bonds allocated to projects at each of the Partners Locations, including a maximum aggregate principal amount of \$35,000,000 at 70 and 75 Francis Street, Boston, \$205,000,000 at 55 Fruit Street, Boston, \$20,000,000 at 165 and 175 Cambridge Street, Boston, \$3,000,000 at 10, 15 and 40 Parkman Street, Boston, \$8,000,000 at 100 Endicott Street, Danvers, \$10,000,000 at 81 Highland Avenue, Salem, \$29,000,000 at 1575 Cambridge Street, Cambridge, \$10,000,000 at 300 1<sup>st</sup> Avenue, Charlestown, and \$45,000,000 at each of the other Partners Locations;
- D. MDFA Revenue Bonds, Partners HealthCare System Issue, Series K-5 and K-6 (2011) which financed and refinanced healthcare facilities at the Partners Locations, with not more than \$97,174,000 aggregate principal amount of the Bonds allocated to projects at each of the Partners Locations, including a maximum aggregate principal amount of \$65,000,000 at 15, 45, 70 and 75 Francis Street and 77 Avenue Louis Pasteur, Boston, \$75,000,000 at 165, 175, 185, 275 and 316 Cambridge Street, 215, 255, 265, 267, 273 and 275 Charles Street, 30, 32, 45 and 55 Fruit Street, Boston, \$20,000,000 at 300 1<sup>st</sup> Avenue, Charlestown, and \$20,000,000 at each of the other Partners Locations;
- E. MDFA Revenue Bonds, Partners HealthCare System Issue, Series L (2012) which financed and refinanced healthcare facilities at the Partners Locations, with not more than \$275,000,000 aggregate principal amount of the Bonds allocated to projects at each of the Partners Locations, including a maximum aggregate principal amount of \$1,500,000 at 75 Francis Street, Boston, \$5,500,000 at 60 and 75 Fenwood Road, Boston, \$17,000,000 at 15 Francis Street, Boston, \$43,000,000 at 45 Avenue Louis Pasteur, Boston, \$25,000,000 at 25 Washington Street, Wellesley, \$105,000,000 at 300 1<sup>st</sup> Avenue, Charlestown, and \$90,000,000 at each of the other Partners Locations; and
- F. MDFA Revenue Bonds, Partners HealthCare System Issue, Series M-3 and M-5 (2014) which financed and refinanced healthcare facilities at the Partners Locations, with not more than \$156,112,000 aggregate principal amount of the Bonds allocated to projects at each of the Partners Locations, including a maximum aggregate principal amount of \$65,000,000 at 15, 45, 70 and 75 Francis Street and 77 Avenue Louis Pasteur, Boston, \$150,000,000 at 165, 175, 185, 275 and 316 Cambridge Street, 215, 255, 265, 267, 273 and 275 Charles Street, 30, 32, 45 and 55 Fruit Street, Boston, and \$8,000,000 at each of the other Partners Locations.

The Bonds do not and will not constitute a debt or pledge of the faith and credit of The Commonwealth of Massachusetts or MDFA. Interested persons wishing to express their views on the projects or the issuance of the Bonds to finance and refinance such projects will be given the opportunity to do so at the public hearing or may, prior to the time of the public hearing, submit their views in writing to MDFA at 99 High Street, Boston, Massachusetts 02110.

FINANCE AGENCY

72759299v.6

TOWN OF WELLESLEY



MASSACHUSETTS

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EXECUTIVE DIRECTOR OF GENERAL GOVERNMENT

October 24, 2017

Kim Grant  
National Grid  
Community Marketing/Community Programs  
40 Sylvan Road, E1.590  
Waltham, MA 02451

The Town of Wellesley through its Municipal Light Plant ("MLP") is committed to offering programs that empower our residents to conserve and manage their energy use through energy efficiency incentives and energy assessments. The MLP staff promotes cost-effective energy conservation initiatives and makes its best effort to promote and implement programs that result in measureable energy efficiencies.

During 2018 the MLP will use its position and resources as a Town Department to actively promote a Town-wide campaign to encourage all residential homeowners to sign-up for a home energy assessment. The MLP will participate in the funding of marketing costs and pay for any assessments for those homes not heated with natural gas. In addition, an internal committee has been established to work with community organizations such as the Girl Scouts to increase energy conservation awareness and allow the Girl Scouts to earn their "Energy Badge". In 2013 the MLP and National Grid participated in a very successful joint campaign to promote residential assessments. We very much look forward to renewing this partnership and combining our resources to promote an even more successful follow-up campaign.

Please accept this correspondence as the Town of Wellesley and MLP's endorsement of National Grid's Massachusetts 2018 Community Initiative. We look forward to promoting household energy reduction.

Very truly yours,

Blythe C. Robinson, Executive Director  
Town of Wellesley

BCR:adh





<b>TOWN OF WELLESLEY</b>	<b>POLICE DEPARTMENT</b>
WELLESLEY, MA 02482	JACK PILECKI
Telephone 781-235-1212	Chief of Police

## MEMORANDUM

**TO:** OFFICER TIMOTHY GOVER  
**FROM:** JACK PILECKI  
CHIEF OF POLICE  
**SUBJECT:** COMMENDATION FROM DEPUTY CHIEF JAMES O'NEIL,  
MILTON POLICE DEPARTMENT  
**DATE:** OCTOBER 13, 2017

I was pleased to receive a letter sent to me by Deputy Chief James O'Neil of the Milton Police Department. In his letter, he wanted to thank you for your participation with their police-community partnership event held on August 24, 2017.

He went on to say you were professional, patient and courteous to everyone that inquired or took a tour of the command vehicle. It was important for him to bring your dedication and acumen to my attention.

The comments of Deputy Chief O'Neil are indicative of the level of professional services provided by the Wellesley Police Department and it is a reflection of your personal commitment.

A copy of this correspondence will be maintained in your department personnel file.

AUTHORIZED:

*Chad Pilecki*  
JACK PILECKI  
CHIEF OF POLICE

**cc:** Board of Selectmen  
Bulletin Board  
Personnel File



MILTON POLICE DEPARTMENT  
40 HIGHLAND STREET  
MILTON, MASSACHUSETTS 02186-3873  
PHONE: (617) 693-3800  
FAX: (617) 698-3015

JOHN E. KING  
CHIEF OF POLICE

October 5, 2017

Chief Jack Pilecki  
Wellesley Police Department  
485 Washington Street  
Wellesley, MA 02482

Dear Chief Pilecki,

I would like to personally thank and commend one of your officers, Timothy Gover, who assisted with a community event hosted by the Milton Police Department two months ago. On August 24, 2017, the Milton Police Department hosted an event designed to promote police-community partnership. It was an opportunity for police and neighbors to come together under positive circumstances. Without the participation of Officer Gover, I don't believe the festival would have been so successful.

This event is modeled after National Night Out. Aside from providing guests with traditional summertime cuisine, refreshments, balloon animals, dunk tank, bounce houses, gaming trucks, etc., we also rely on our regional law enforcement partners. Supporting us were the DCR Mounted Unit, Norfolk County Sheriff's Office and MetroLec. MetroLec provided its mobile command post to be an exhibit and was staffed by a Norfolk Police dispatcher and Officer Gover. Timothy was professional, patient and courteous to everyone that inquired of or took a tour of the command vehicle. As you may know, Tim grew up in Milton and it was great for me personally to reconnect with him and his family, who also attended. It was important for me to bring his dedication and acumen to your attention.

Chief, there is no way for me to adequately thank Officer Gover for his support of the Milton Police Department in this

letter. However, please recognize that we fully appreciate his and your partnership and cooperation.

Thank you,



James A. O'Neil  
Deputy Chief  
617-698-4816

JAO:abc  
d-465



The Wellesley Historical Society and

the Wellesley Free Library

*Present*

## **“Steam Titans”**

William Fowler, Professor of History at Northeastern University, will discuss his latest book, *Steam Titans*, about the battle between the United States and Great Britain to dominate commerce in the North Atlantic. The two nations and their shipping companies competed from the early days of steam right up until the American Civil War to see who would be “bigger, better and faster.”

**Sunday, October 29, 2017 2:00 p.m.**

Wakelin Room, Wellesley Free Library, 530 Washington Street

[www.wellesleyhistoricalsociety.org](http://www.wellesleyhistoricalsociety.org) (781) 235-6690

Sponsored By:

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