

HAWKEY RESIDENCE

48 Livermore Road, Wellesley, Massachusetts

Large House Review - November 28, 2025



ENERGY COMPLIANCE

ALL CONSTRUCTION WILL BE IN COMPLIANCE WITH THE 2023 MASS. STRETCH ENERGY CODE, AMENDED FROM THE 2021 IECC (225 CMR). ALL INSULATION WILL MATCH ENERGY COMPLIANCE CERTIFICATE SUPPLIED BY ARCHITECT. INSULATION MINIMUM VALUES TO FOLLOW TABLE R402.1.3 WHERE: BASEMENT WALLS TO BE MIN. R-15c1 OR R-19; WOOD FRAMED WALLS TO BE MIN. R-30/20+5c1 (5" FIBERGLASS BATT & 1" CLOSED CELL); ALL FLOORS & CEILINGS ADJACENT TO UNCONDITIONED SPACES TO BE MIN. R-30; ALL ROOFS TO BE MIN. R-60; ALL GLAZING TO BE MAX. U-0.30. (SEE TABLE R402.1.3 FOR ADDITIONAL DESCRIPTIONS) HOUSEWRAP WILL BE INSTALLED PER MANUFACTURERS INSTRUCTION. ALL OPENINGS WILL BE SEALED IN COMPLIANCE WITH THE 2023 MASS. STRETCH ENERGY CODES.

PROJECT DIRECTORY

OWNER:	Nicole and Sam Hawkey 48 Livermore Road Wellesley, MA 02481 T. (312) 498-5616 Contact: Nicole Hawkey
ARCHITECT:	Duckham Architecture 53 Central Avenue Needham, MA 02494 T. (781) 449-4109 Contact: Kent Duckham
CIVIL/SITE SURVEY:	The Jillson Company, inc. 35 Main Street Wayland, MA 01778 T. (508) 653-1001 Contact: Kevin O'leary
LANDSCAPE ARCHITECT	Marc Mazzarelli Associates LLC 284 Concord Avenue Cambridge, MA 02138 USA T. (617) 460-7913 Contact: Marc Mazzarelli
GENERAL CONTRACTOR:	
STRUCTURAL ENGINEER:	

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GENERAL NOTES

- ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, AND MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE AND THE LATEST REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE AND THE APPLICABLE CITY OR TOWNSHIP, ALL LOCAL AND STATE HANDICAP AND FEDERAL REQUIREMENTS, AND GENERAL CONDITIONS PER AIA DOCUMENT #A205 AND OWNER/CONTRACTOR AGREEMENT DOCUMENT #A105.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER AND THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH THE INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE ARCHITECT FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO NEGLIGENCE OR WHICH COULD HAVE BEEN REASONABLY FORESEEN BY PRIOR INSPECTION OF EXISTING CONDITIONS.
- PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWINGS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
- DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECTS FOR CLARIFICATION AND/OR SIMILAR DETAIL.
- THE SCOPE OF WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED OR PROVIDE A COMPLETE AND FINISHED PRODUCT WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, SHALL BE PERFORMED BY THE CONTRACTOR AND BE INCLUDED IN THE BID. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNER'S VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATIONS, HEREIN. ANY DAMAGED ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED, SHALL BE REPORTED TO THE ARCHITECT PROMPTLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS MATERIALS AND FINISHES WITH THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIALS AT THE CONTRACTOR'S OWN COST AND EXPENSE.
- THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL THE WORK THAT MAY BE INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED PROFESSIONALS AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC.), WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGN-OFFS.
- THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES, SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL MOUNTED FIXTURES, FINISHES AND EQUIPMENT, AND FOR ALL HANGING FIXTURES, BLINDS, ETC.
- CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND/OR RECOMMENDATIONS.

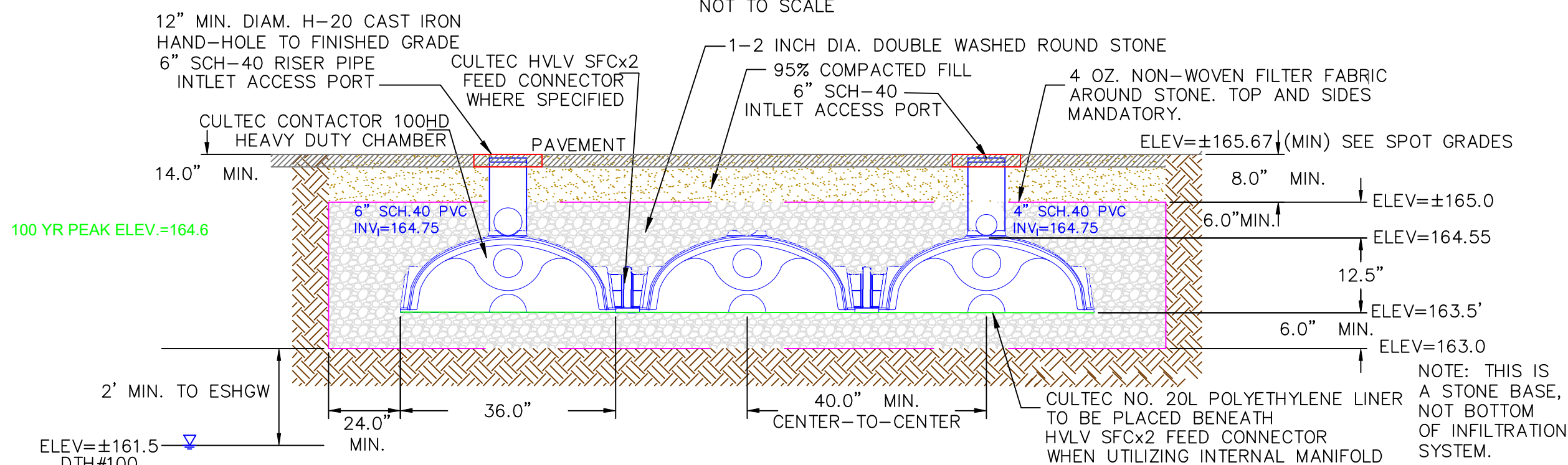
- CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S EMPLOYEES, SUBCONTRACTOR OR THEIR WORK.
- CONTRACTOR SHALL ASSIST DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR/FINISHES FOR ARCHITECT'S APPROVAL ON ANY DEVIATION/SUBSTITUTION FROM CONTRACT DOCUMENTS.
- CONTRACTOR TO VERIFY ALL FIXTURE COUNTS, AS APPLICABLE TO THEIR CONTRACT, WITH OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSEOUT, PRIOR TO FINAL PAYMENT, INCORPORATING ALL STANDARD GUARANTIES AND WARRANTIES AND ORIGINALS OF ALL APPLICABLE CERTIFICATES OF TESTING, INSPECTION, TEMPORARY FINAL CERTIFICATE OF OCCUPANCY, COORDINATE WITH OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST; WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINETRY. ALL FLOORS MUST BE MOPPED CLEAN.
- CONTRACTOR TO PROVIDE 3 COPIES OF AS BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTIES AND WARRANTIES.
- CONTRACTOR TO KEEP A SET OF THE MOST CURRENT DRAWINGS ON SITE AT ALL TIMES.



NOTES

1. THIS PLAN SHALL NOT BE RECORDED OR USED TO ESTABLISH PROPERTY LINES.
2. THIS PLAN REFERS TO THE TOWN OF WELLESLEY ASSESSOR'S MAP 56, LOT 25.
3. ZONING CLASSIFICATION: SR20-SINGLE RESIDENCE.
4. ALL ELEVATIONS SHOWN HEREON REFER TO N.A.V.D. OF 1988. ADD 6.22 TO NAVD88 TO CONVERT TO WELLESLEY TOWN DATUM.
5. THE PLANIMETRIC SITE FEATURES SHOWN HEREON ARE BASED ON FIELD SURVEY WORK PERFORMED IN DECEMBER 2023.
6. ANY EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY THE TOWN AND FIELD SKETCHES AND SHALL BE CONSIDERED APPROXIMATE. FURTHERMORE, THE TOTAL EXTENT OF THE UNDERGROUND UTILITIES IS UNKNOWN.
7. FOR DRIVEWAY OPENING SEE WELLESLEY ENGINEERING DEPT. "SINGLE WIDTH RESIDENTIAL DRIVEWAY STANDARDS" DETAIL SHEET DATED 1/18/02, REVISED 1/27/11. MIN. "9" COMPACTED SUB GRADE (MASS. HIGHWAY SPECIFICATION M 1.03.0 RTPE B)" UNDER ALL PAVED DRIVEWAY AREAS.
8. SEE LATEST LANDSCAPE DESIGN PLAN BY MARC MAZZARELLI, LA (MARC MAZZARELLI ASSOCIATES LLC).
9. PERMIT SET-NOT FOR CONSTRUCTION

CULTEC 100HD STORMWATER CHAMBERS



GENERAL NOTES
CONTACTOR 100HD BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 3.84 CF/FT PER DESIGN UNIT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS

WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS, ALL CONTACTOR 100HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL CONTACTOR 100 CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

SOIL TESTING DATA

DATES OF TESTING: MAY 29, 2025
TEST BY: KEVIN O'LEARY, PE, SE/JILLSON COMPANY, INC.
WITNESSED BY: N/A

DEEP TEST HOLE DATA

5/29/25		DTH#100		ELEV=164.0	
DEPTH FROM SURFACE	SOIL HORIZON	SOIL COLOR	DESCRIPTION	PARENT MATERIAL	TILL
0.0'-1.0'	FILL			DEPTH TO BEDROCK:	>7.7'
1.0'-1.5'	A	10YR2/2	LOAM	DEPTH TO GROUNDWATER:	N/A
1.5'-2.5'	B	10YR3/4	SANDY LOAM	MOTTLES:	3"
2.5'-3.7'	C ₁	10YR3/6	COARSE SAND	STANDING:	2.5'
3.7'-10.0'	C ₂	2.5Y5/4	FINE SAND	ESHOW:	161.5

5/29/25		DTH#101		ELEV=163.7	
DEPTH FROM SURFACE	SOIL HORIZON	SOIL COLOR	DESCRIPTION	PARENT MATERIAL	TILL
0.0'-1.8'	A	10YR2/1	LOAM	DEPTH TO BEDROCK:	>6.8'
1.8'-2.8'	B	10YR4/2	SANDY LOAM	DEPTH TO GROUNDWATER:	N/A
2.8'-10.0'	C ₁	2.5Y4/4	SANDY LOAM	MOTTLES:	2.3"
				STANDING:	1.7'
				ESHOW:	162.0'



"SITE DEVELOPMENT PLAN"
48 LIVERMORE ROAD
LAND IN
WELLESLEY, MASS.

PREPARED FOR: SAM & NICOLE HAWKEY
48 LIVERMORE ROAD
WELLESLEY, MA 02481

SCALE: 1" = 10' DATE: 30 OCTOBER 2025

PREPARED BY: THE JILLSON COMPANY, INC.

35 MAIN STREET, S-4B
WAYLAND, MA 01778
(508) 653-1001
www.JILLSONCOMPANY.com

ZONING DISTRICT - SR20 SINGLE RESIDENCE
MIN. AREA = 20,000 S.F.
MIN. FRONTAGE = 60'
FRONT YARD SETBACK = 30.2'*
SIDE YARD SETBACK = 20'
REAR YARD SETBACK = 20'
*PER 500' RULE

LOT COVERAGE

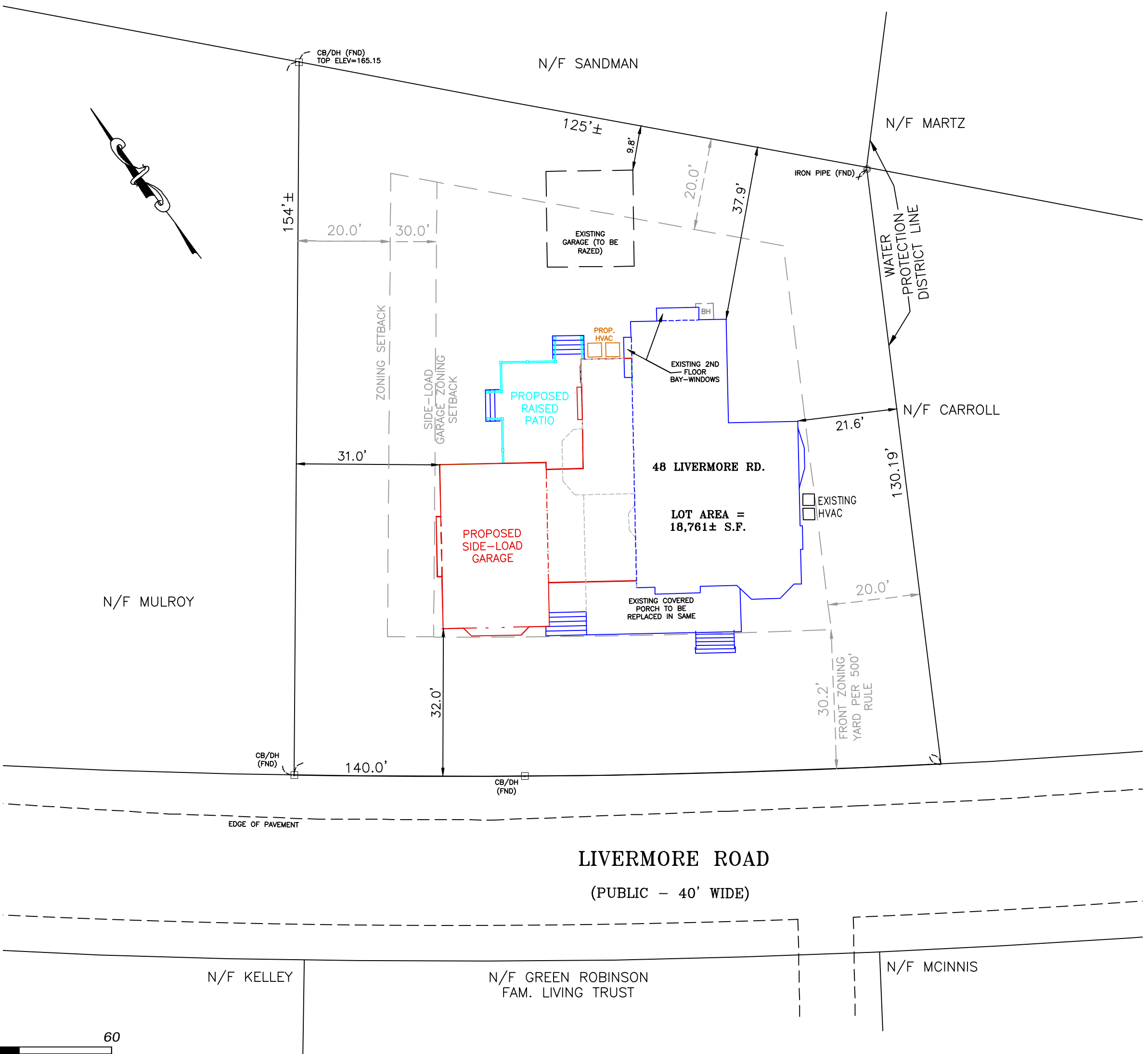
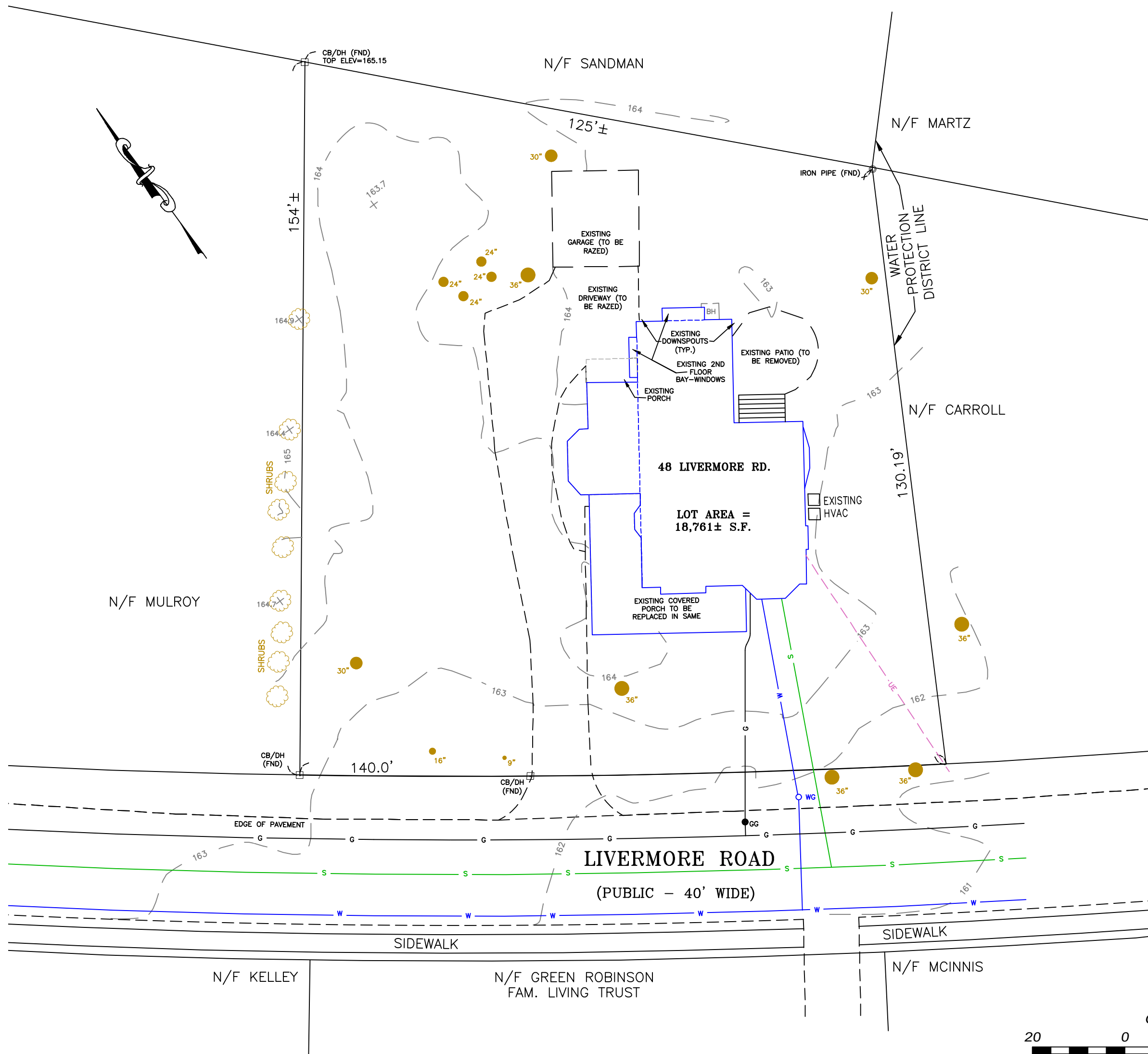
ALLOWED = 20.0% / 3,752± S.F.
EXISTING = 16.5% / 3,099± S.F.
PROPOSED = 19.9% / 3,748± S.F.

NOTES

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2. THIS PLAN REFERS TO THE TOWN OF WELLESLEY ASSESSOR'S MAP 56, LOT 25.
3. ALL ELEVATIONS SHOWN HEREON REFER TO N.A.V.D. OF 1988. ADD 6.22 TO NAVD88 TO CONVERT TO WELLESLEY TOWN DATUM.
4. THE PLANIMETRIC SITE FEATURES SHOWN HEREON ARE BASED ON FIELD SURVEY WORK PERFORMED IN DECEMBER 2023.
5. THIS PROPERTY IS NOT WITHIN THE WATER PROTECTION DISTRICT (PER GIS).
6. PERMIT SET-NOT FOR CONSTRUCTION

"EXISTING CONDITIONS"

"PLOT PLAN"



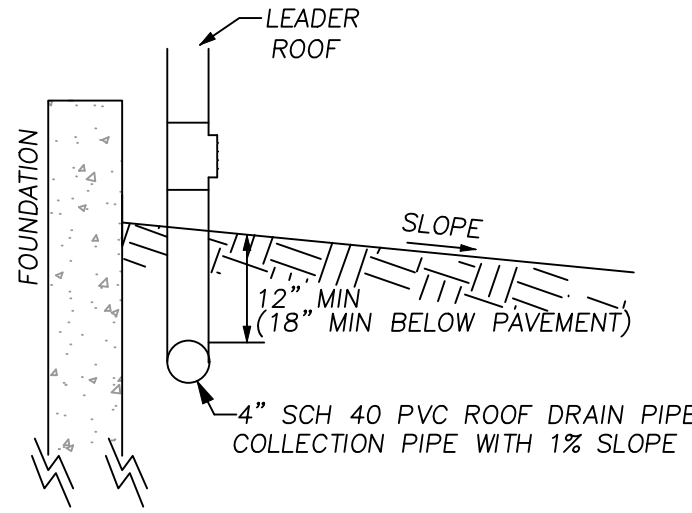
"EXISTING CONDITIONS
& PLOT PLAN"
#48 LIVERMORE ROAD
LAND IN
WELLESLEY, MASS.

PREPARED FOR: SAM & NICOLE HAWKEY
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WELLESLEY, MA 02481
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NOTES

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2. THIS PLAN REFERS TO THE TOWN OF WELLESLEY ASSESSOR'S MAP 56, LOT 25.
3. ZONING CLASSIFICATION: SR20-SINGLE RESIDENCE.
4. ALL ELEVATIONS SHOWN HEREON REFER TO N.A.V.D. OF 1988. FOR CONVERTING TO WELLESLEY TOWN BASE ADD 6.22.
5. THE PLANIMETRIC SITE FEATURES SHOWN HEREON ARE BASED ON FIELD SURVEY WORK PERFORMED IN DECEMBER 2023.
6. ANY EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY THE TOWN AND FIELD SKETCHES AND SHALL BE CONSIDERED APPROXIMATE. FURTHERMORE, THE TOTAL EXTENT OF THE UNDERGROUND UTILITIES IS UNKNOWN.
7. ANY EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY THE TOWN AND FIELD SKETCHES AND SHALL BE CONSIDERED APPROXIMATE. FURTHERMORE, THE TOTAL EXTENT OF THE UNDERGROUND UTILITIES IS UNKNOWN.
8. FOR ADDITIONAL INFORMATION REGARDING THE PROPOSED HOUSE SHOWN HEREON, SEE THE LATEST ARCHITECTURAL PLAN PROVIDED BY D.MICHAEL COLLINS ARCHITECTS.
9. UNLESS OTHERWISE NOTED HEREON, ALL CONSTRUCTION METHODS AND INSPECTIONS SHALL COMPLY WITH THIS PLAN AND ANY APPROVAL CONDITIONS OF THE TOWN OF WELLESLEY AND ANY AND ALL OTHER STANDARDS OR REQUIREMENTS OF ANY AND ALL PUBLIC OR PRIVATE UTILITY AGENCIES OR COMPANIES.
10. PRIOR TO ANY DEWATERING, THE SITE CONTRACTOR SHALL CONTACT THE TOWN DPW AND THE DESIGN ENGINEER TO ENSURE PROPER LOCATION/FUNCTIONING OF THE DEWATERING SYSTEM.
11. THE CONCRETE WASHOUT AREA SHALL BE USED BY THE CONCRETE TRUCKS INVOLVED IN THE BUILDING FOUNDATION WORK. THE DESIGNATED AREA SHALL CONSIST OF A BEST MANAGEMENT PRACTICE FOR CONCRETE WASHOUTS AND SHALL BE USED TO CONTAIN OR TREAT THESE CONCRETE MATERIALS.
12. PERMIT SET-NOT FOR CONSTRUCTION

ROOF DRAIN
COLLECTION SYSTEM
(NOT TO SCALE)

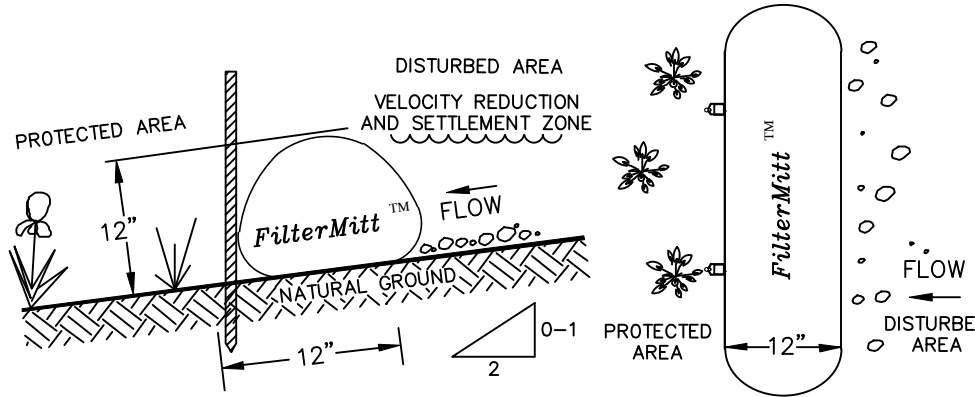


EROSION CONTROL BARRIER

FILTERMITT OR EQUIVALENT
(NOT TO SCALE)

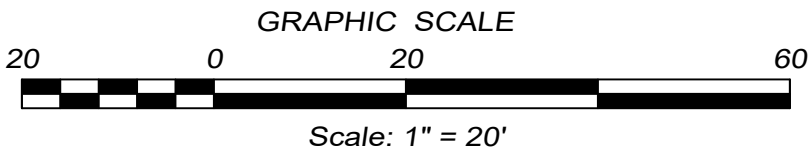
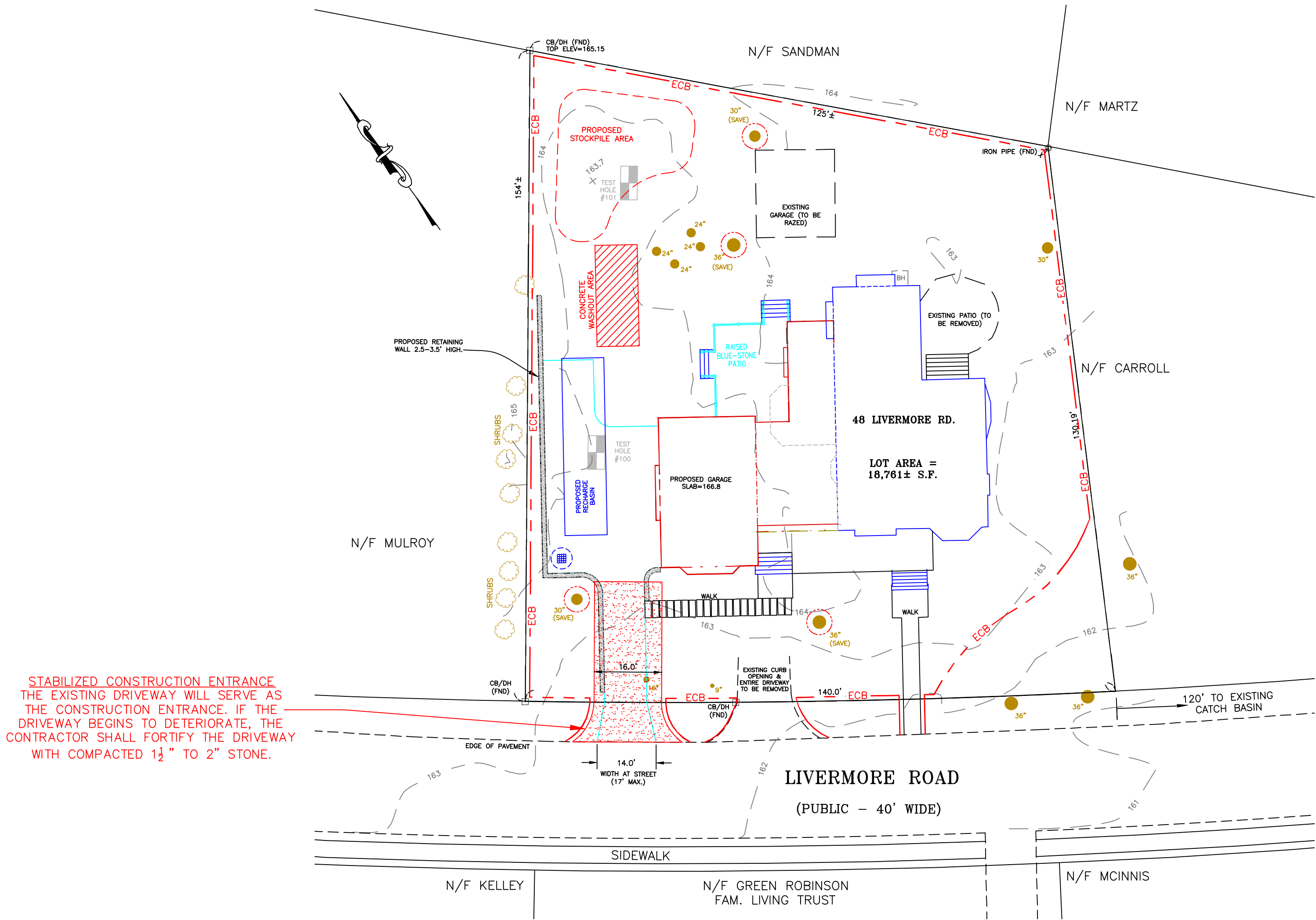
SECTION END VIEW

SECTION TOP VIEW



FILTERMITT NOTES

1. THE EROSION CONTROL BARRIER SHALL BE INSTALLED ON THE DOWN-GRADIENT SIDE(S) OF ALL EXCAVATION & GRADING AREAS. IT SHALL BE MAINTAINED IN PLACE THROUGHOUT CONSTRUCTION & REMOVED ONLY WHEN ALL DISTURBED AREAS ARE FULLY VEGETATED & STABILIZED.
2. THE EROSION CONTROL BARRIER(S) MEASURES SHALL BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION.
3. SEE JILLSON CO. "CONSTRUCTION MANAGEMENT PLAN" FOR PLACEMENT.



"CONSTRUCTION
MANAGEMENT PLAN"
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PREPARED FOR: SAM & NICOLE HAWKEY
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SCALE: 1" = 20' DATE: 30 OCTOBER 2025

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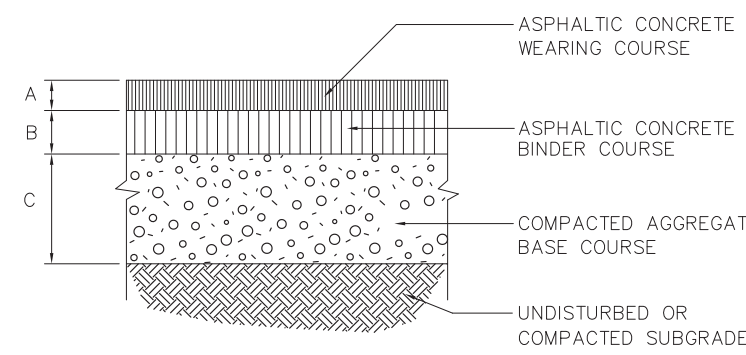
35 MAIN STREET, S-4B
WAYLAND, MA 01778
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AT THE COMPLETION OF EACH CONSTRUCTION DAY, THE SITE CONTRACTOR SHALL SWEEP OLD ARNOLD ROAD ALONG THE PROJECT SITE TO ENSURE THE STREET IS CLEAN OF TRACKED DIRT AND SEDIMENT FROM CONSTRUCTION VEHICLES.

ANY EXISTING CATCHBASINS SHALL HAVE HIGH FLOW SILT SACKS INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT AND SHALL BE CLEANED A MINIMUM OF ONE TIME PER WEEK

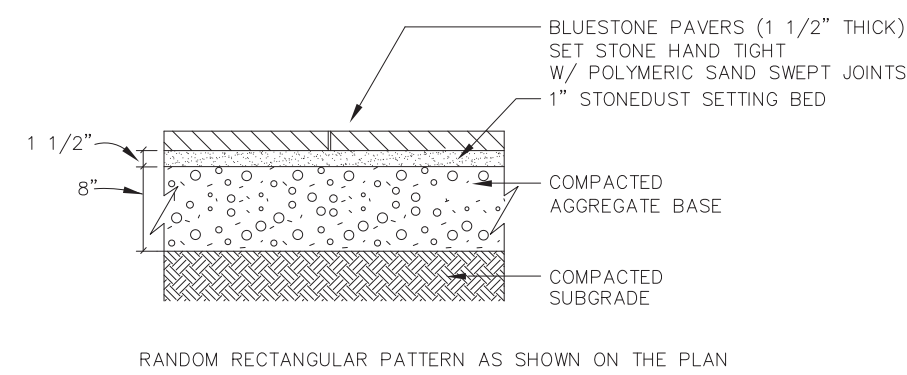
ALL DISTURBED AREAS SHALL BE STABILIZED WITH LOAM & SEED, OR EQUIVALENT, AT THE COMPLETION OF CONSTRUCTION. DEPENDING ON WEATHER CONDITIONS, THE SITE MAY REQUIRE EITHER MULCH, STRAW/WOODCHIPS OR HAY WITH A TACKIFIER/BINDER OR A ROLLED EROSION CONTROL PRODUCT (i.e. JUTE NETTING). THE CONTRACTOR SHALL VERIFY WITH THE DESIGN ENGINEER PRIOR TO STABILIZATION.

DATE

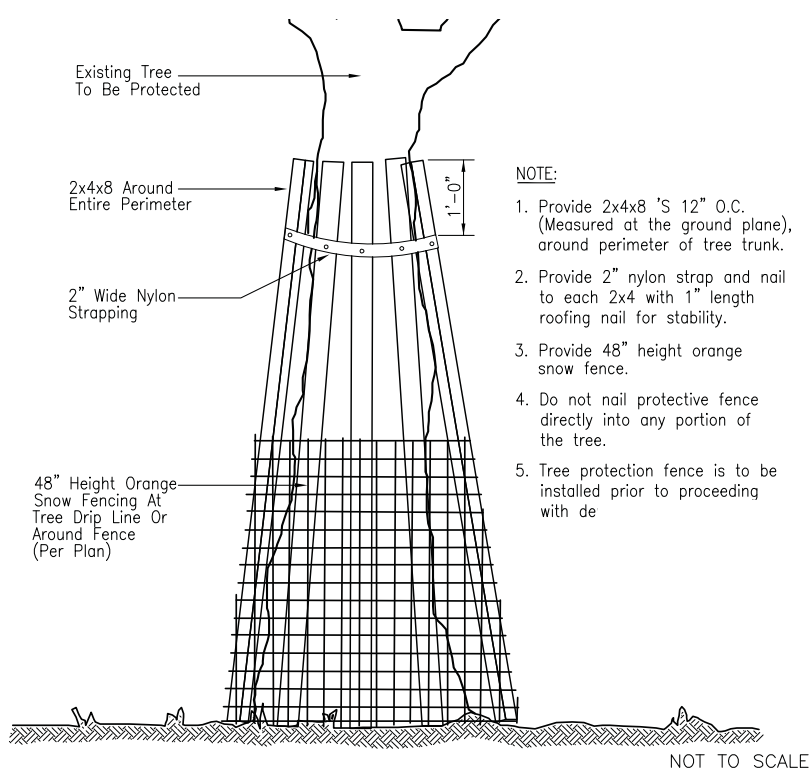


	THICKNESS (INCHES)	WALKS	ROADS & DRIVES
A	N/A	1 1/2"	
B	N/A	2 1/2"	
C	N/A	8"	

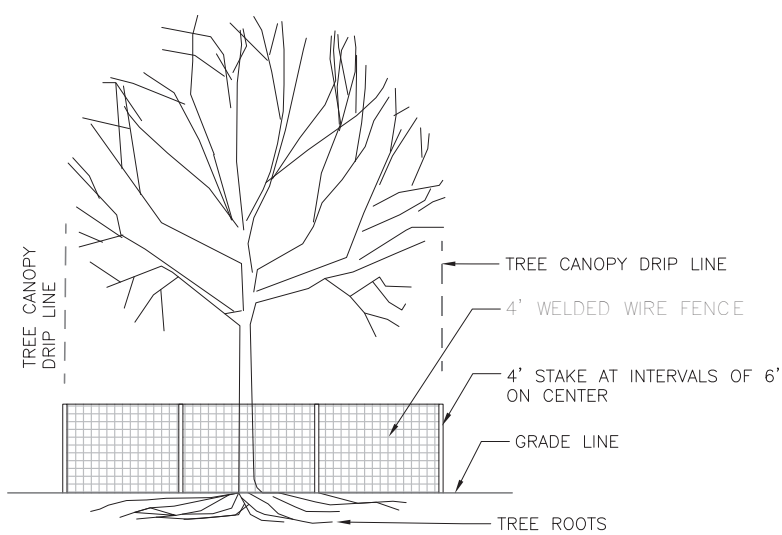
Section Asphalt



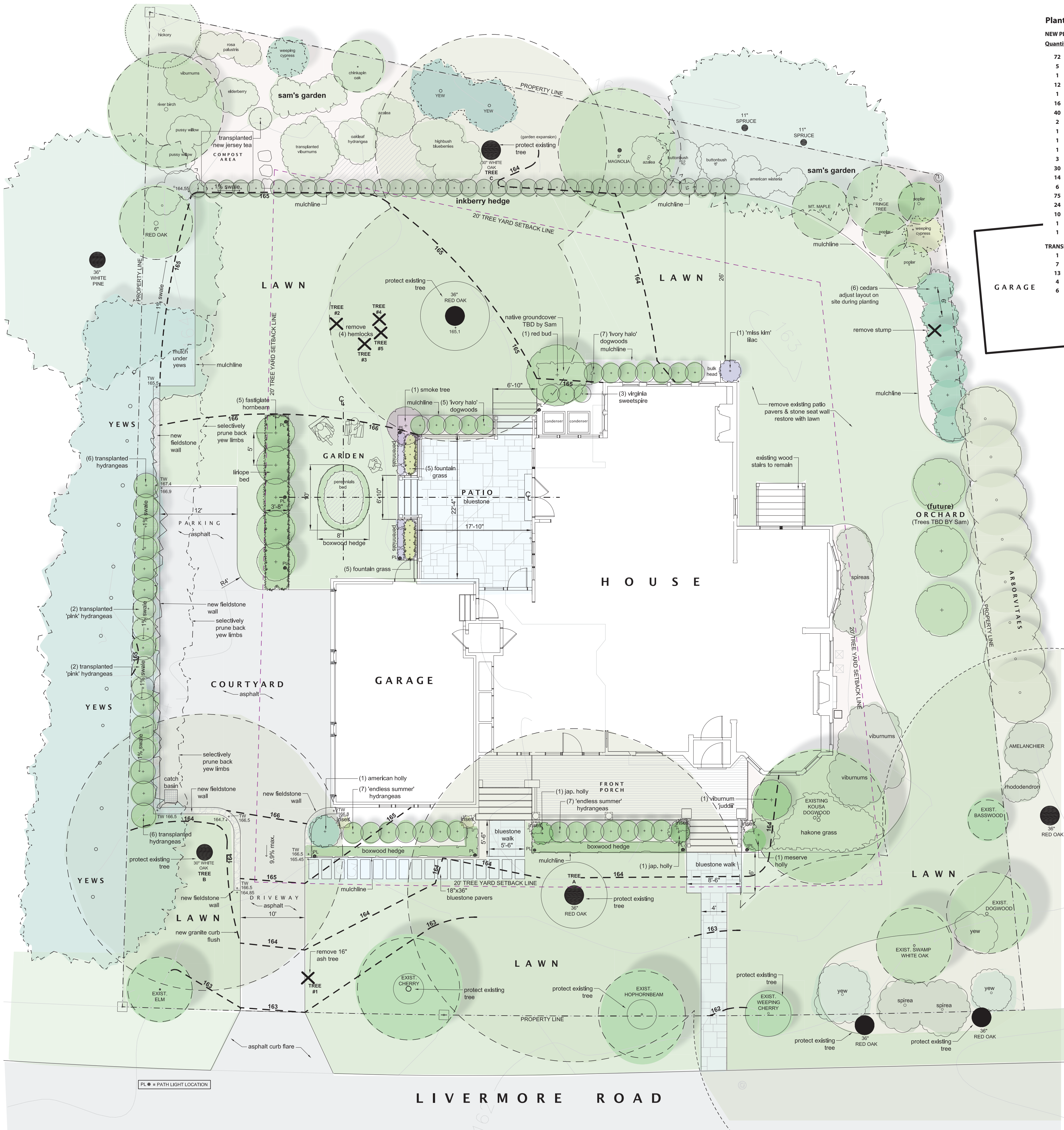
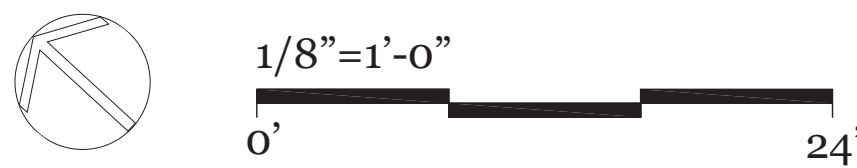
Paver Section Stone



Protection Detail



Tree Protection Fence



Plant List

NEW PLANTS

Quantity	Botanical Name	Common Name	Size	Notes
72	Buxus x 'Green Velvet'	Green Velvet Boxwood	16"-18" HT	Space 12" on center
5	Carpinus betulus 'Fastigiata'	Fastigate Hornbeam	2" caliper	B&B, 14'-16" HT. min. size, matched trees
1	Cercis canadensis	Red Bud Tree	2" caliper	B&B, multistem
12	Cornus x 'Ivory Halo'	Ivory Halo Dogwood	7 Gallon	
1	Cotinus coggygria 'Royal Purple'	Purple Smoke Tree	2" caliper	B&B, multistem
16	Hemerocallis x 'Fulva'	Tall Daylily	2 Quart	Plant behind front box hedge between hydrangeas
40	Ilex glabra 'Compacta'	Compact Inkberry	7 Gallon	Adjust layout on site
2	Ilex crenata 'Convexa'	Japanese Holly	3" HT./3" wide	Specimen plant, matched
1	Ilex opaca	American Holly	8' HT.	B&B
1	Ilex x meservae 'Blue Princess'	Blue Princess Holly	5'-6" HT.	B&B
1	Iris x 'Caesar's Brother'	Caesar's Brother Iris	2 Quart	Plant at interstitial gaps at front plant bed
3	Itea virginica	Virginia Sweetspire	3 Gallon	
30	Hakonechloa macra 'Aureola'	Aureola Hakone Grass	2 Quart	Plant under Kousa dogwood at front
14	Hydrangea x 'Endless Summer'	Endless Summer Blue Hydrangeas	5 Gallon	
6	Juniperus chinensis 'Keteleeri'	Keteleeri Cedar	8'-10' HT.	B&B
75	Liropia 'Big Blue'	Big Blue Lilyturf	1 Gallon	Space 12" on center under hornbeams
24	Nepeta x 'Blue Wonder'	Blue Wonder Catmint	2 Quart	Plant at edge of 'Nicole's' garden
10	Pennisetum x 'Red Head'	Dwarf Fountain Grass	3 Gallon	
1	Syringa x 'Miss Kim'	Miss Kim Lilac	7 Gallon	
1	Viburnum x 'Juddii'	Judd Viburnum	4'-5' HT.	B&B

TRANSPLANTS

1	Ceanothus americanus	New Jersey Tea	4' HT.	move to Sam's garden
7	Hosta	Hosta	2' HT.	TBD on site
13	Hydrangea 'White'	Hydrangea	4' HT.	move to courtyard edge
4	Hydrangea	Hydrangea	4' HT.	move to courtyard edge
6	Viburnum	Viburnum	4' HT.	along existing driveway move to Sam's garden

Protected Trees

Tree	Botanical Name	Common Name	DBH	Notes
A	Quercus robur	Red Oak	36" caliper	60' height
B	Quercus alba	White Oak	30" caliper	60' height
C	Quercus alba	White Oak	30" caliper	60' height

Protected Trees to be Removed

Tree #	Botanical Name	Common Name	DBH	Notes
1	Fraxinus species	Ash	13" caliper	Ash blight. Choked by invasive wisteria vine. Exempt?

Unprotected Trees to be Removed Outside of Tree Yard

Tree #	Botanical Name	Common Name	DBH	Notes
2	Tsuga canadensis	Hemlock	24" caliper	Exempt. Outside Tree Yard Setback Lines. Woolly adelgid
3	Tsuga canadensis	Hemlock	24" caliper	Exempt. Outside Tree Yard Setback Lines. Woolly adelgid
4	Tsuga canadensis	Hemlock	24" caliper	Exempt. Outside Tree Yard Setback Lines. Woolly adelgid
5	Tsuga canadensis	Hemlock	24" caliper	Exempt. Outside Tree Yard Setback Lines. Woolly adelgid

Total DBH for Compensation = 13" caliper inches

Compensation for Protected Tree Removal

New Plants	Quantity	Botanical Name	Common Name	Caliper In.	Notes
1	1	Cercis canadensis	Red Bud	2" caliper	B&B, Multistem
1	1	Cotinus coggygria	Smoke Tree	2" caliper	Composite multi-stem
5	5	Carpinus betulus 'Fastigiata'	Merrill Magnolia	2" caliper	B&B, Matched specimen trees 14' HT. Min.

Proposed Compensation = 14" caliper inches

Required Compensation = 6.5" caliper inches

B-K LIGHTING MADE IN THE USA 555-432-8800 INFO@BKLIGHTING.COM BKLIGHTING.COM

ISQUADE DATE PROJECT TYPE IP66 RATED

CATALOG NUMBER LOGIC

Example: SQ-LT-12-LED-672-B2P-F-PP18B-SF

MATERIAL

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

Series

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Series

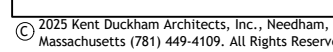
Series

Series

Series

Series





NOVEMBER 28, 2025

2
3

Checked by : Drawn by :

ABUTTERS DIAGRAM

Date Issued:
11/28/2025





LARGE HOUSE REVIEW SET

NOVEMBER 28, 2025

Issues		
Number	Date	Description

[illegible]

Revisions		
Number	Date	Description

Checked by :

Drawn by :

Hawkey Residence
48 Livermore Road
Wellesley, MA

EXISTING HOUSE IMAGES

Drawing Scale:

Project Number:
202427

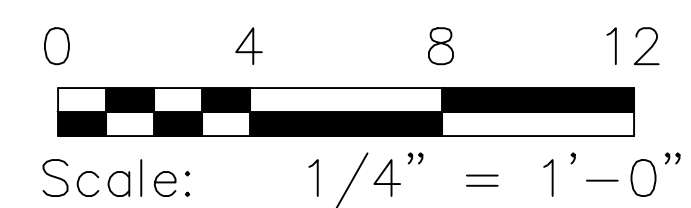
Date Issued:
11/28/2025

A001b



Scale: $1/4" = 1'-0"$

Gross Area Schedule	
Level	Area
Basement	815 SF
Level 1	1793 SF
Level 2	2086 SF
Level 2	1737 SF
Total	6432 SF



48 Livermore
Road

Wellesley, MA

EXISTING CONDITIONS

Start Accurate. Stay Accurate.™

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Phone: 617.247.9161
Email: info@existingconditions.com
Website: www.existingconditions.com

All projects are measured using the most advanced laser measuring equipment and our best standards and practices. All work will be field verified by client prior to design or construction or other use.

General Notes:

- It is expressly understood by client that Existing Conditions Surveys, Inc. ("ECI") is not an architectural or engineering entity. None of the documents prepared by ECI client shall have any force or effect or constitute a contract or any other legal instrument. This is not a structural or MEP analysis or due diligence model. Visible and accessible elements are modeled for location and size. Further structural or MEP analysis could be necessary by others.
- STANDARD OF PRACTICE:** Services performed by ECI under this Agreement will be in accordance with the professional level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar circumstances. No representation is made by ECI that any warranty or guarantee is included or intended in this Agreement, or in any report, opinion, document or otherwise. Client shall be solely responsible for determining the appropriateness of the work and for any decisions made or actions taken thereon.
- These drawings are for the intended purposes listed in the scope of work at the time of scope and should not be used for any other reasons. See scope of work provided to client for further information.
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Laser Scanning Notes:

1. Visit navis.com and leica-geosystems.com for 3D laser scanner tolerances, range information and product specifications.
2. Laser scanning equipment uses light waves to measure distances, unforeseen site conditions such as dust, moisture, vibration, surface reflectivity, surface roughness, temperature, humidity, ferromagnetic materials, building configuration etc. may impact registration between scan locations.
 - a. Accurate registration is critical to ensure the quality of the client provides survey benchmarks prior to scanning in order to reference the laser scan data into a coordinate system.
 - b. The Revit file contains the most complete alignment of point cloud data. All laser scans are aligned to the same coordinate system. Laser scans completed on multiple days may be tied into previous laser scans by use of site specific features and targets. Point cloud adjustments are made in Revit for a final verification.

Project Number: 18705017896

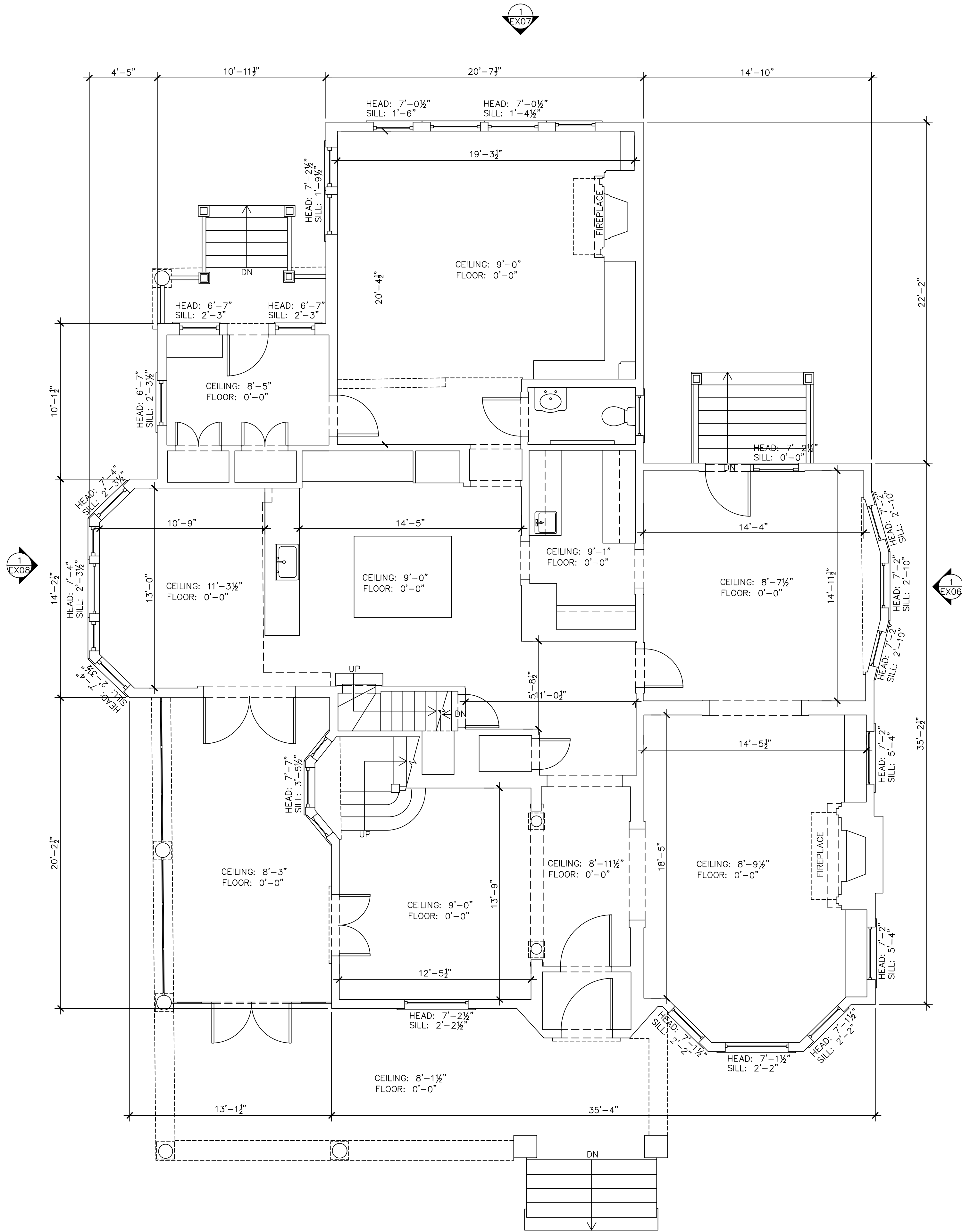
Existing Basement Floor Plan

Date:	6/3/2024
-------	----------

Scale: 1/4" = 1'-0"

Created By: KC

EX01



1 First Floor Plan
Scale: 1/4" = 1'-0"

Gross Area Schedule	
Level	Area
Basement	815 SF
Level 1	1793 SF
Level 2	2086 SF
Level 2	1737 SF
Total	6432 SF



48 Livermore
Road

Wellesley, MA

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3. Accuracy over long distances can be improved if the client provides survey benchmarks prior to scanning in order to reference the laser scan data into a coordinate system.
4. The Revit file contains the most complete alignment of point cloud data. All laser scanning by default is in a localized coordinate system. Laser scans completed on multiple days may be tied into previous laser scans by use of site specific features and targets. Point cloud adjustments are made in Revit for a final verification.

Project Number: 18705017896

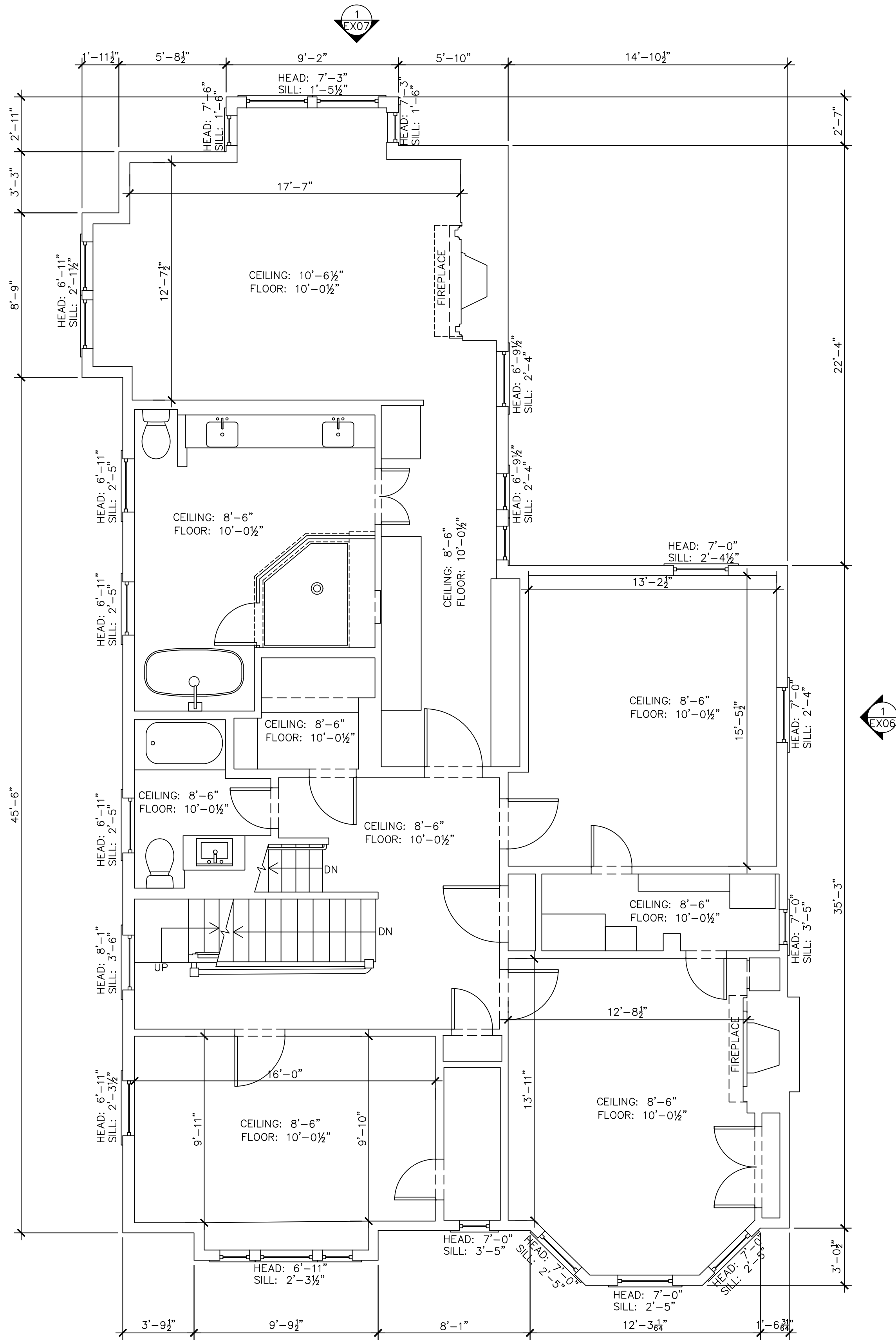
Existing First
Floor Plan

Date: 6/3/2024

Scale: 1/4" = 1'-0"

Created By: KC

EX02



Gross Area Schedule	
Level	Area
Basement	815 SF
Level 1	1793 SF
Level 2	2086 SF
Level 2	1737 SF
Total	6432 SF



1 Second Floor Plan
Scale: 1/4" = 1'-0"

48 Livermore
Road

Wellesley, MA

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- Laser Scanning Notes:
- Visit navis.com and leica-geosystems.com for 3D laser scanner tolerances, range information and product specifications.
 - Laser scanning equipment uses light waves to measure distances; unforeseen site conditions such as dust, moisture, vibration, surface reflectivity, lighting conditions, temperature, humidity, ferromagnetic materials, building configuration etc. may impact registration between scan locations.
 - Accuracy over long distances can be improved if the client provides survey benchmarks prior to scanning in order to reference the laser scan data into a coordinate system.
 - The Revit file contains the most complete alignment of point cloud data. All laser scanning by default is in a localized coordinate system. Laser scans completed on multiple days may be tied into previous laser scans by use of site specific features and targets. Point cloud adjustments are made in Revit for a final verification.

Project Number: 18705017896

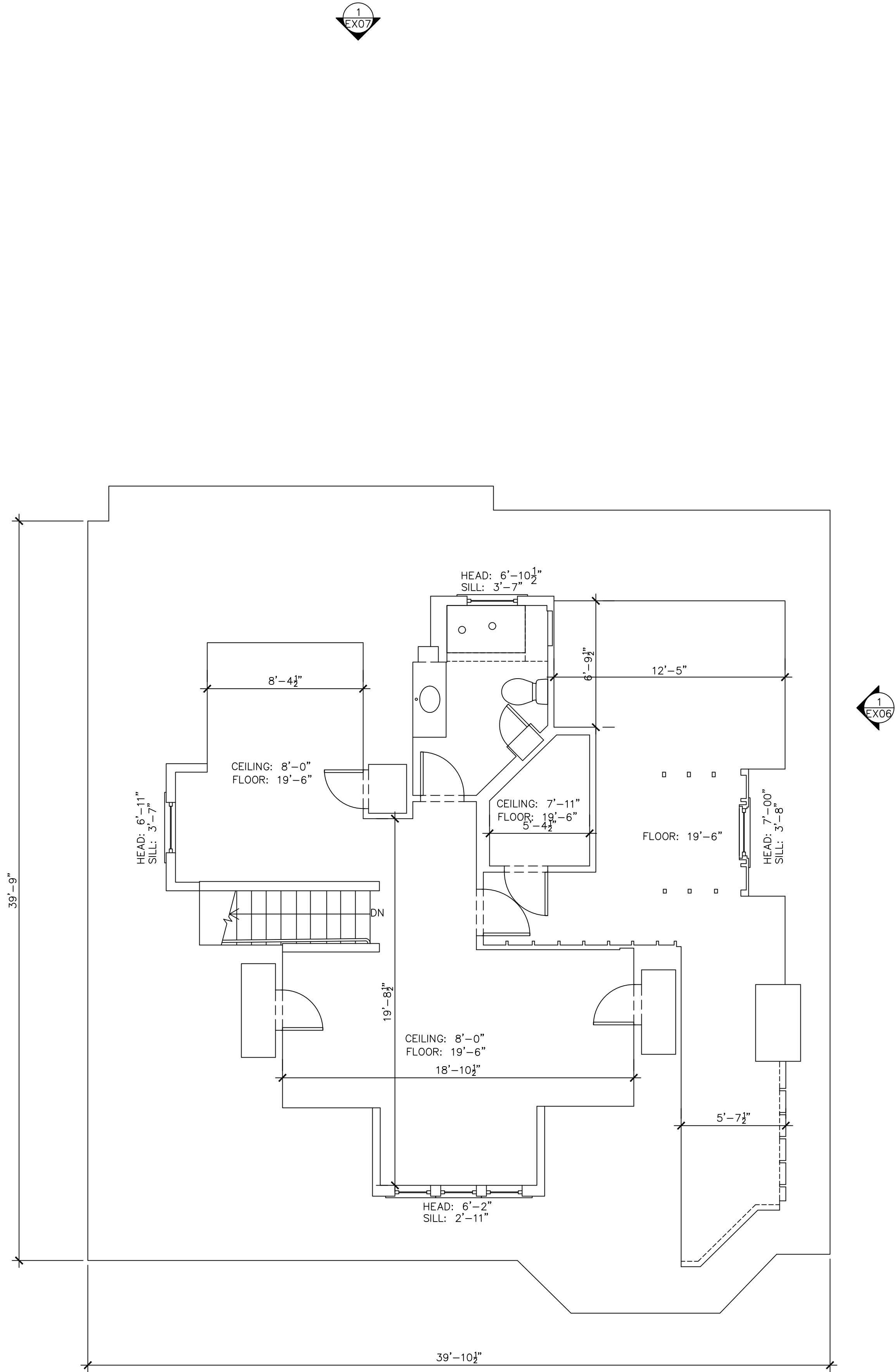
Existing Second
Floor Plan

Date: 6/3/2024

Scale: 1/4" = 1'-0"

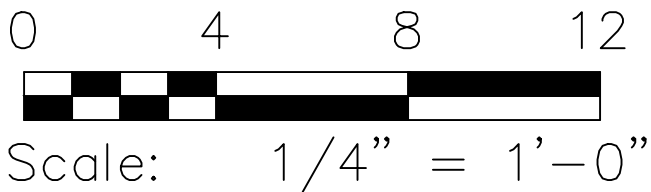
Created By: KC

EX03



1 Third Floor Plan
Scale: 1/4" = 1'-0"

Gross Area Schedule	
Level	Area
Basement	815 SF
Level 1	1793 SF
Level 2	2086 SF
Level 2	1737 SF
Total	6432 SF



48 Livermore
Road

Wellesley, MA

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Laser Scanning Notes:

- Visit navis.com and leica-geosystems.com for 3D laser scanner tolerances, range information and product specifications.
- Laser scanning equipment uses light waves to measure distances, unobscured line conditions such as dust, moisture, vibration, surface reflectivity, lighting conditions, temperature, humidity, ferromagnetic materials, building configuration etc. may impact registration between scan locations.
- Accuracy over long distances can be improved if the client provides survey benchmarks prior to scanning in order to reference the laser scan data into a coordinate system.
- The Revit file contains the most complete alignment of point cloud data. All laser scanning by default is in a localized coordinate system. Laser scans completed on multiple days may be tied into previous laser scans by use of site specific features and targets. Point cloud adjustments are made in Revit for a final verification.

Project Number: 18705017896

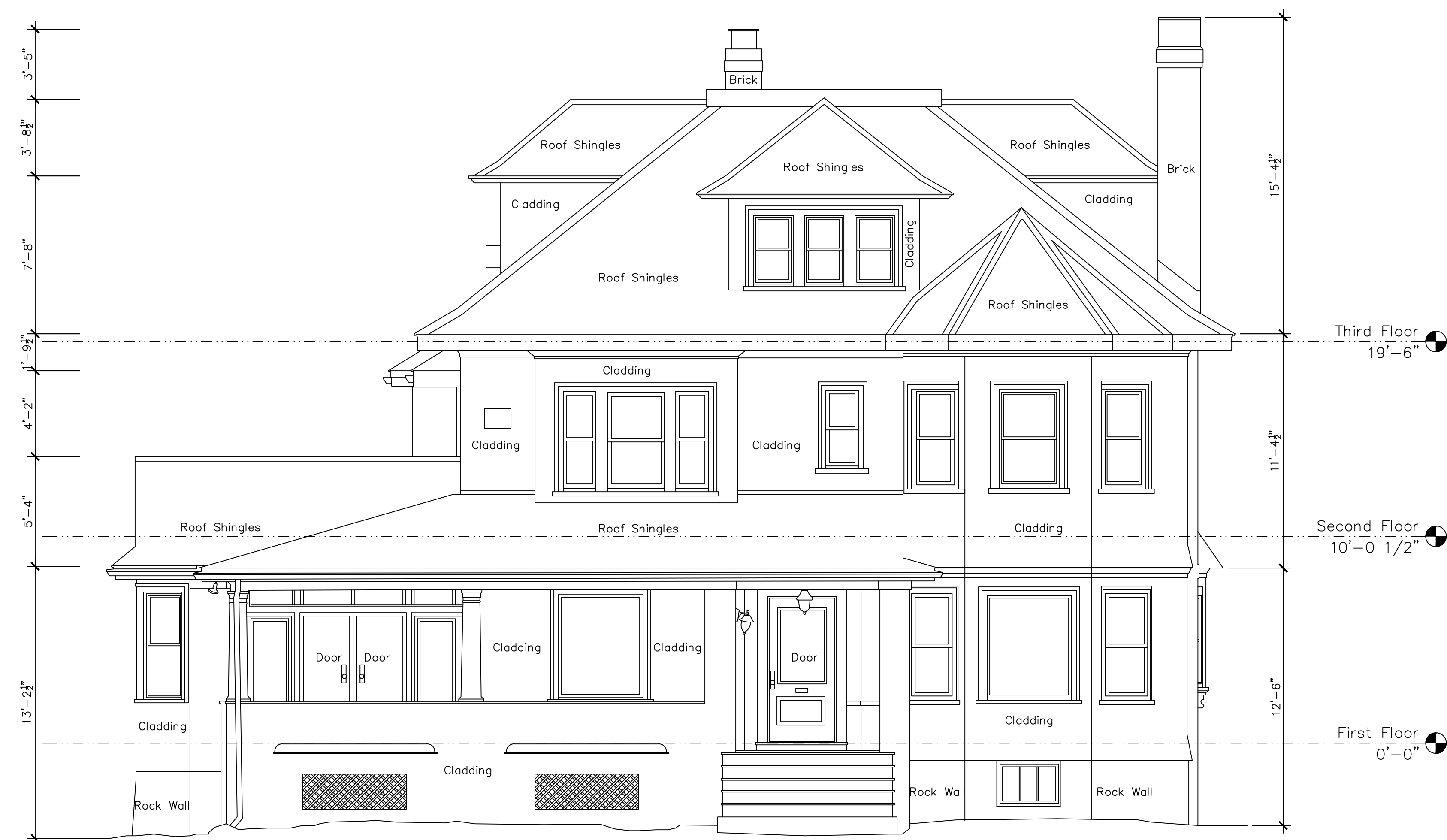
Existing Third
Floor Plan

Date: 6/3/2024

Scale: 1/4" = 1'-0"

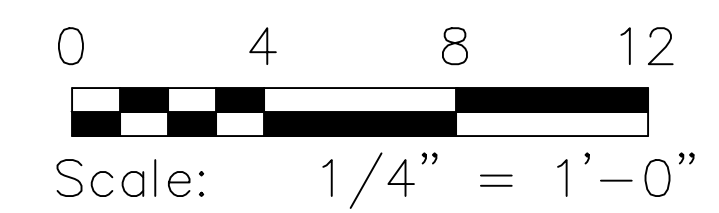
Created By: KC

EX04



1 South Exterior Elevation

Scale: $1/4" = 1'-0"$



48 Livermore
Road

Wellesley, MA

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- Drawings are for the intended purposes listed in the scope of work at the time of survey and should not be used for any other purposes. See scope of work provided to client for further information.**
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Laser Scanning Notes:

1. Visit navis.com and leica-geosystems.com for 3D laser scanner tolerances, range information and product specifications.
2. Laser scanning equipment uses light waves to measure distances, unforeseen site conditions such as dust, moisture, vibration, surface reflectivity, temperature, humidity, ferromagnetic materials, building configuration etc. may impact registration between scan locations.
 - Accuracy over long distances may be improved if the client provides survey benchmarks prior to scanning in order to reference the laser scan data into a coordinate system.
 - The Revit file contains the most complete alignment of point cloud data. All laser scanning data is imported into the coordinate system. Laser scans completed on multiple days may be tied into previous laser scans by use of site specific features and landmarks. Point cloud adjustments are made in Revit for a final verification.

Project Number: 18705017896

Existing South Exterior Elevation

Date:	6/3/2024
-------	----------

Scale: 1/4" = 1'-0"

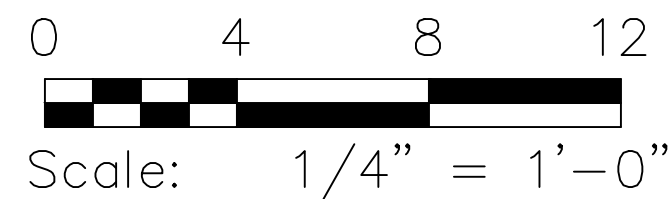
Created By: KC

EX05



1 East Exterior Elevation

Scale: 1/4" = 1'-0"



48 Livermore
Road

Wellesley, MA

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Project Number: 18705017896

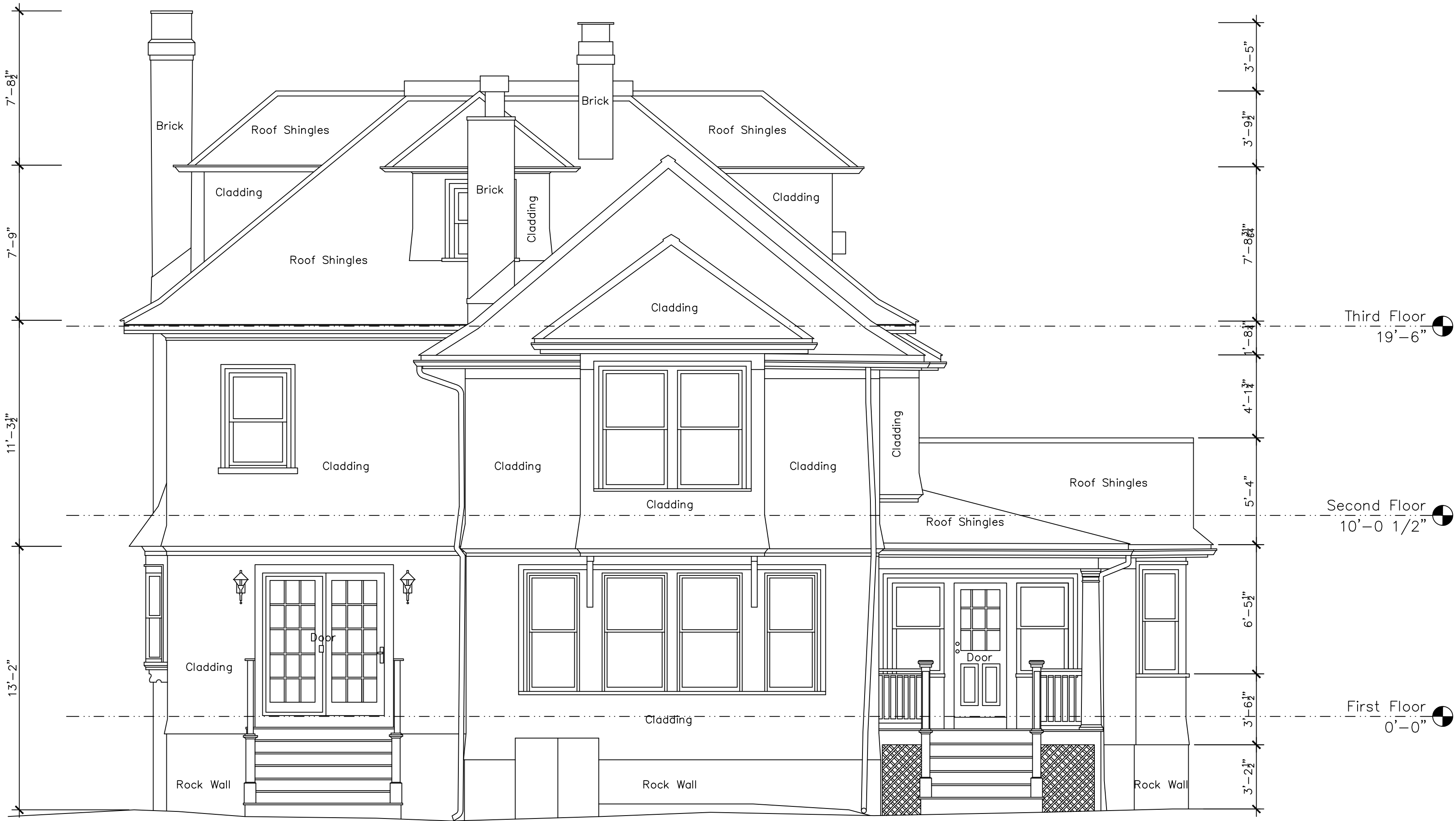
Existing East
Exterior Elevation

Date: 6/3/2024

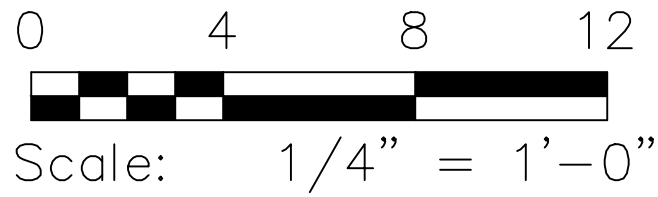
Scale: 1/4" = 1'-0"

Created By: KC

EX06



1 North Exterior Elevation
Scale: 1/4" = 1'-0"



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Project Number: 18705017896

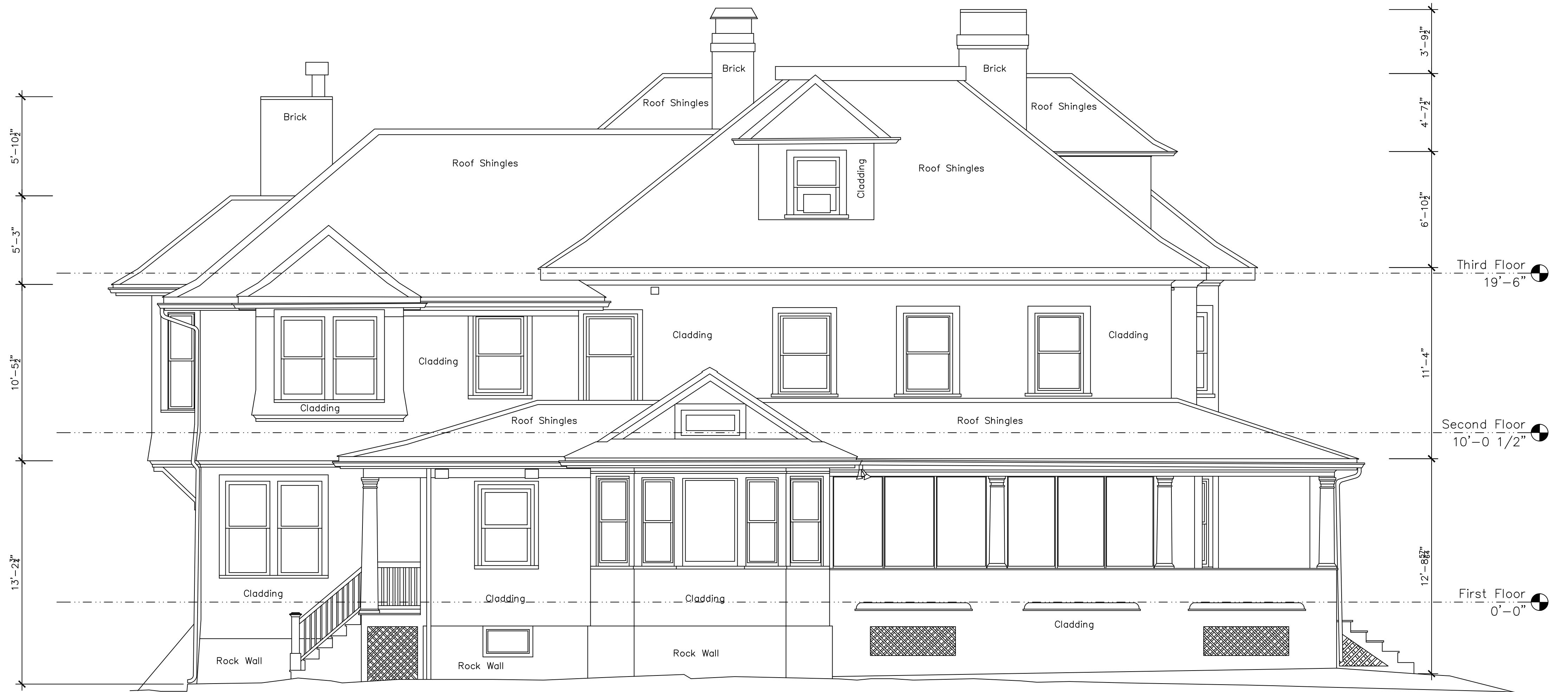
Existing North
Exterior Elevation

Date: 6/3/2024

Scale: 1/4" = 1'-0"

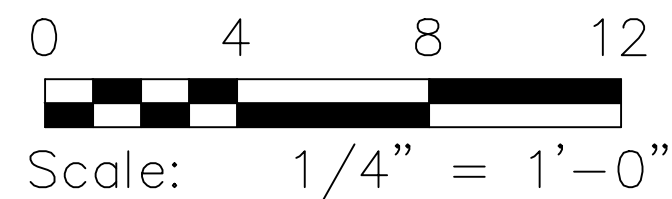
Created By: KC

EX07



1 West Exterior Elevation

Scale: 1/4" = 1'-0"



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Project Number: 18705017896

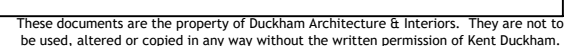
Existing West
Exterior Elevation

Date: 6/3/2024

Scale: 1/4" = 1'-0"

Created By: KC

EX08



NOVEMBER 28, 2025

[illegible][illegible]

GROSS FLOOR AREA/ TLAG CALCULATIONS

Date Issued:
11/28/2025

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NOVEMBER 28, 2025

[illegible]

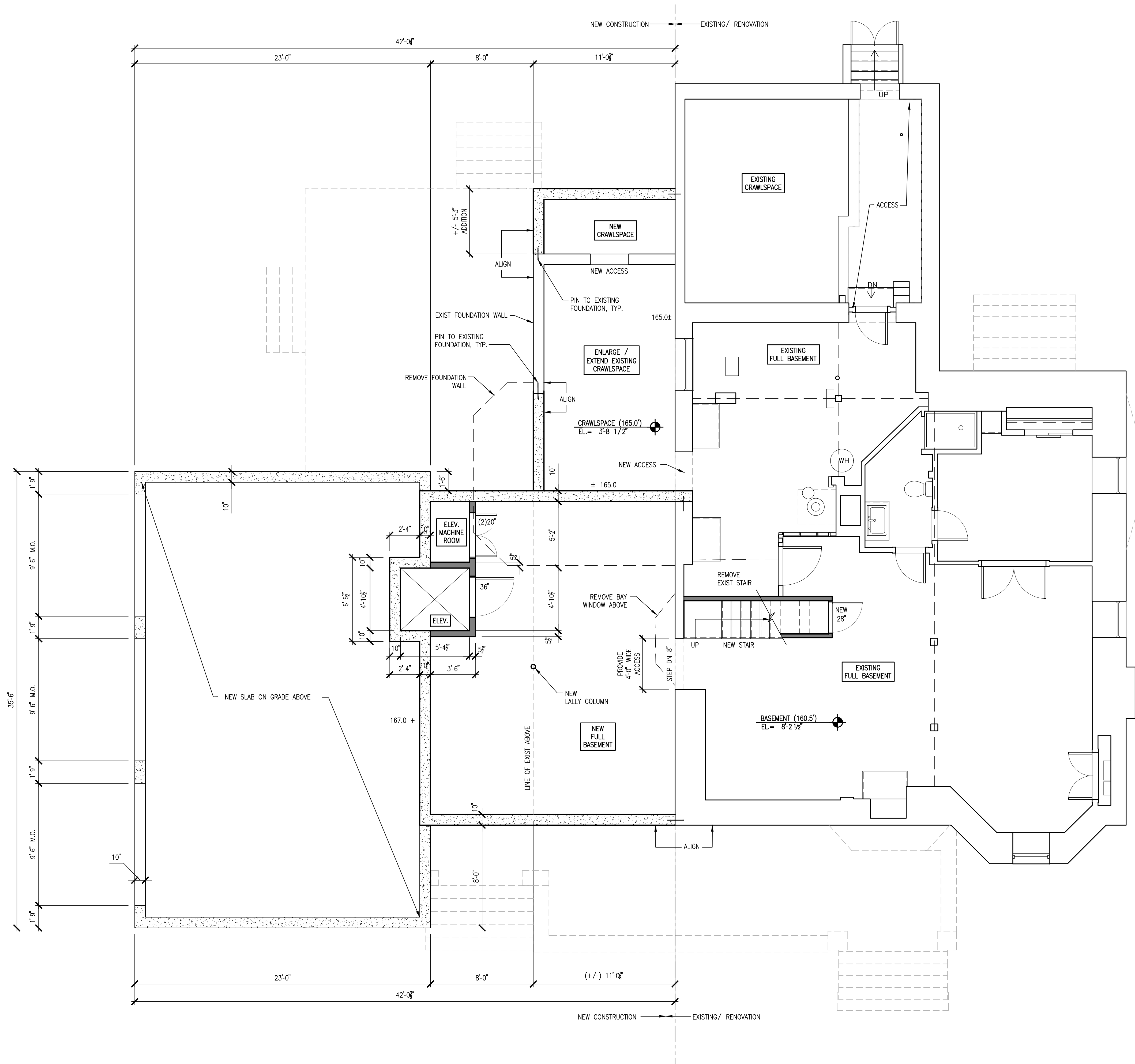
Drawn by : _____

Hawkey Residence
48 Livermore Road
Wellesley, MA

PROPOSED BASEMENT PLAN

Project Number:
202427

Date Issued:
11/28/2025



LARGE HOUSE REVIEW SET

NOVEMBER 28, 2025

Issues
Number Date Description

Revisions
Number Date Description

Checked by :

Drawn by :

Hawkey Residence
48 Livermore Road
Wellesley, MA

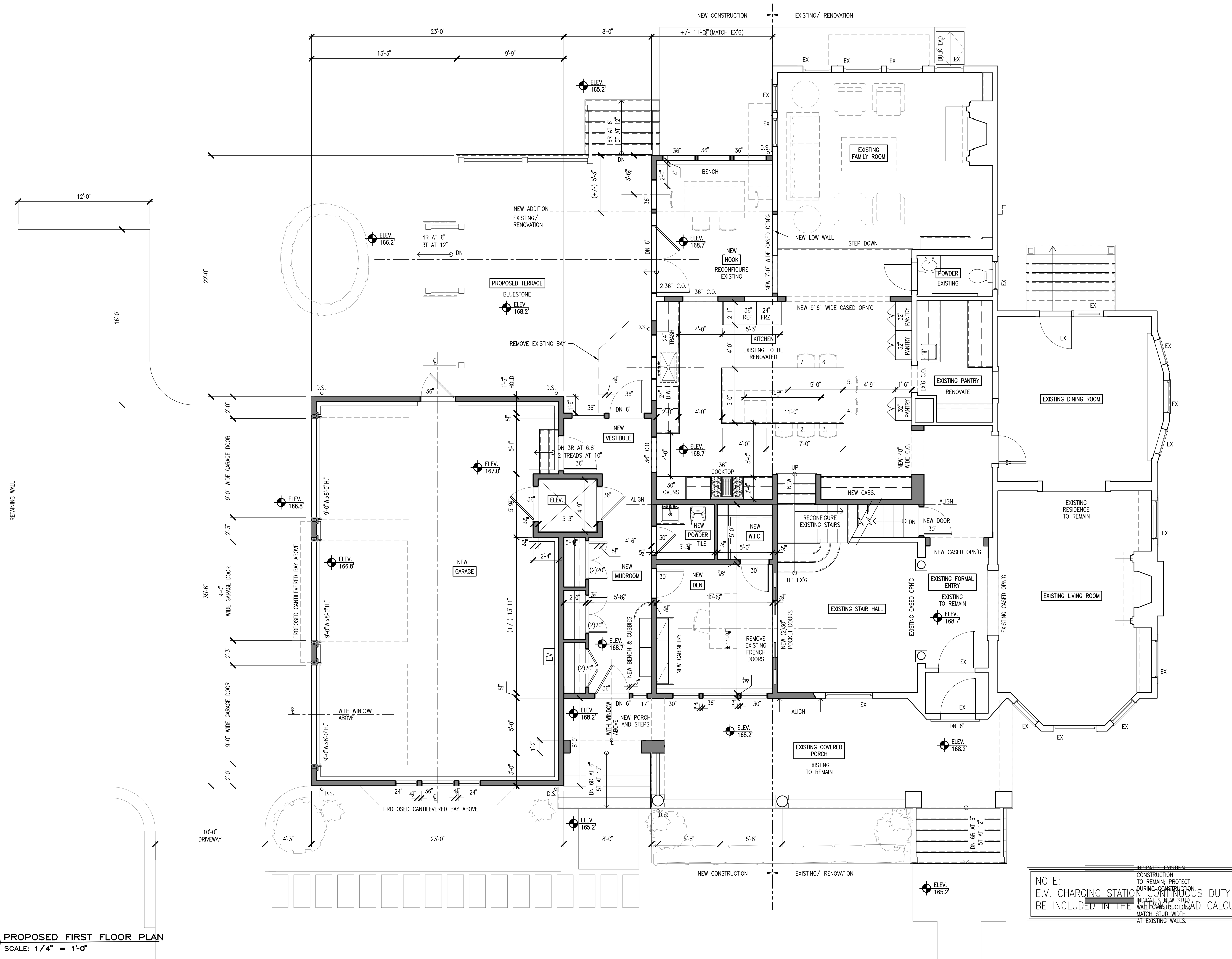
PROPOSED FIRST FLOOR PLAN

Drawing Scale:
1/4" = 1'-0"

Project Number:
202427

Date Issued:
11/28/2025

A101

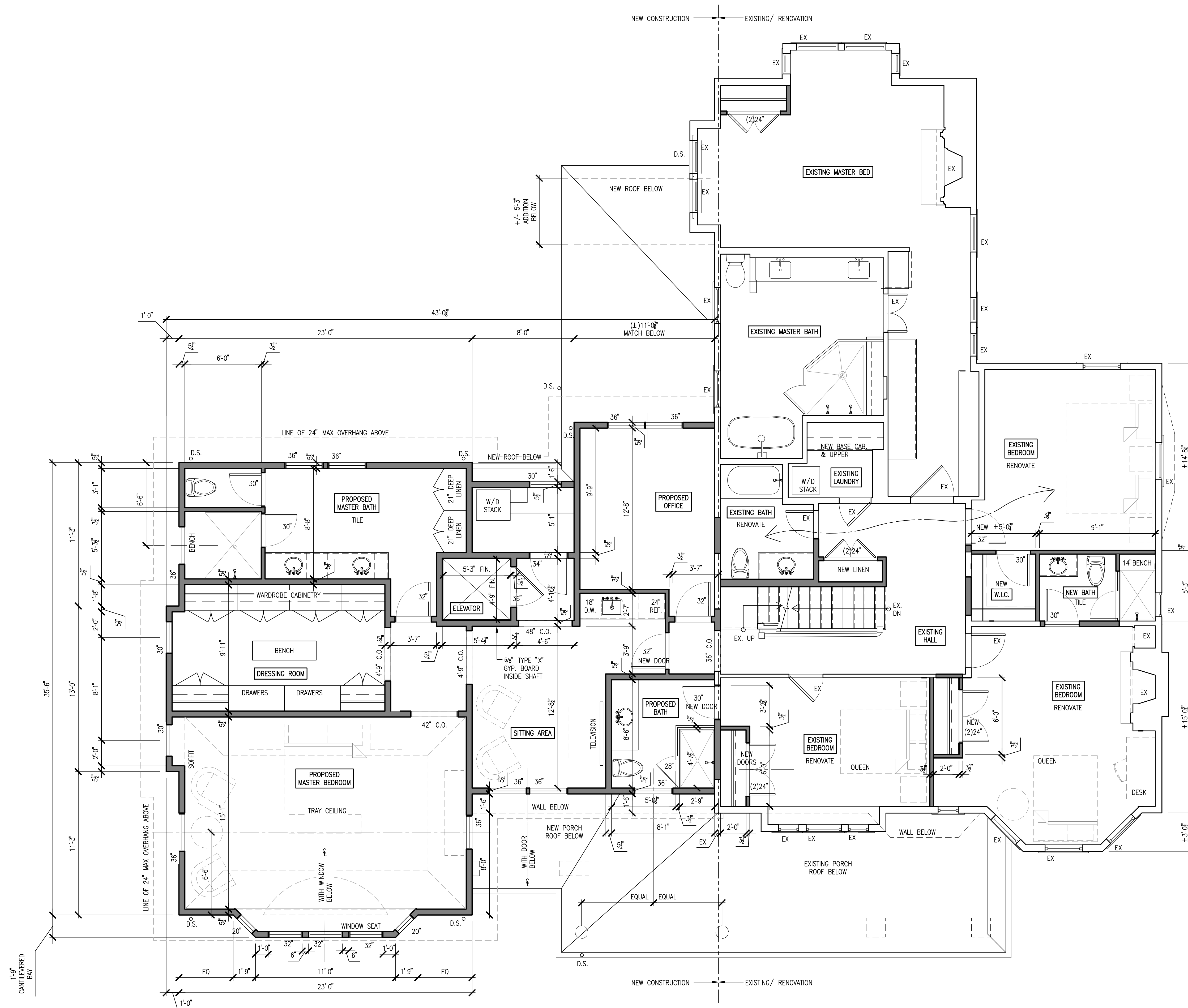


Issues		
Number	Date	Description

[illegible][illegible]

Hawkey Residence
48 Livermore Road
Wellesley, MA

Date Issued:
11/28/2025



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

INDICATES EXISTING CONSTRUCTION TO REMAIN; PROTECT DURING CONSTRUCTION.

INDICATES NEW STUD WALL CONSTRUCTION; MATCH STUD WIDTH AT EXISTING WALLS.

SOLAR READY AREA
-ROOF AREA ORIENTED BETWEEN 110 AND 270 DEGREES OF TRUE NORTH
-SHALL BE FREE OF OBSTRUCTIONS

LARGE HOUSE REVIEW SET

NOVEMBER 28, 2025

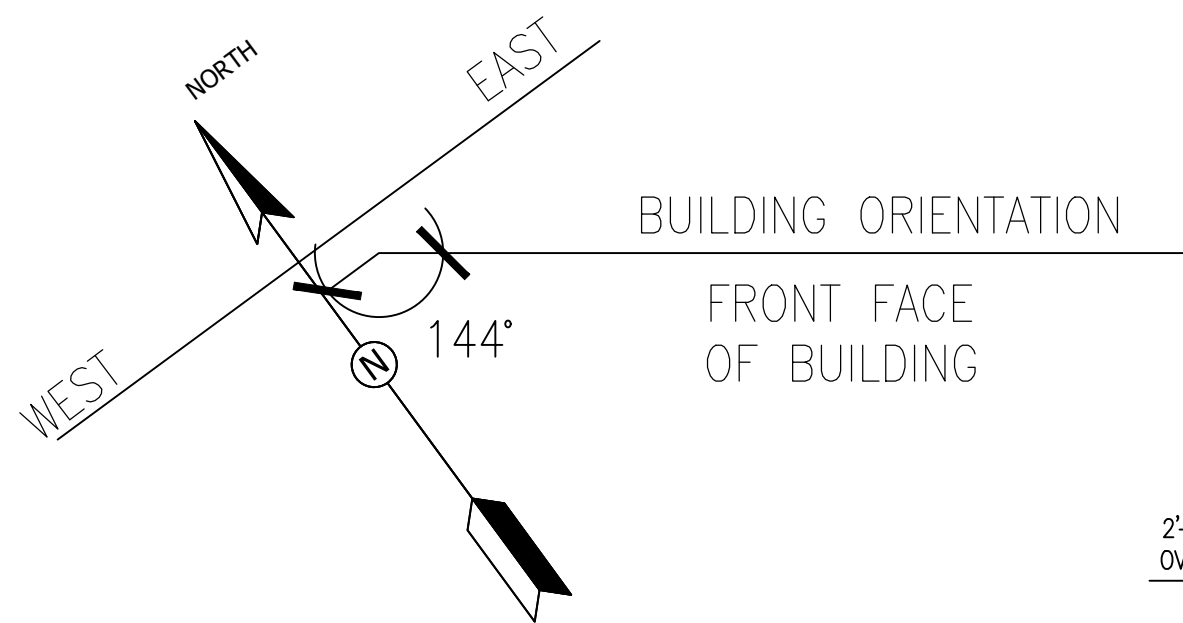
[illegible][illegible]

Hawkey Residence
48 Livermore Road
Wellesley, MA

PROPOSED ROOF/
SOLAR READY PLAN

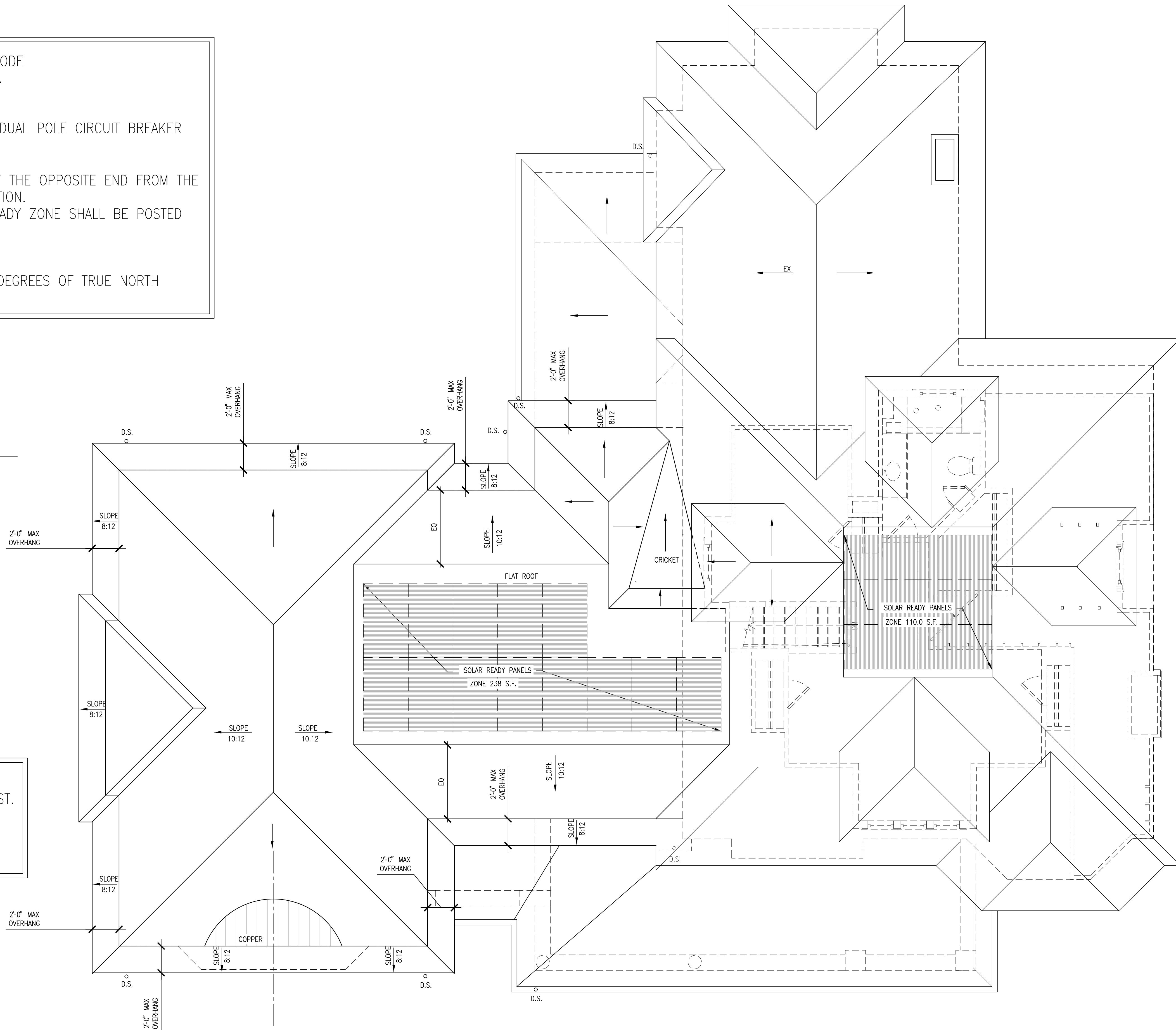
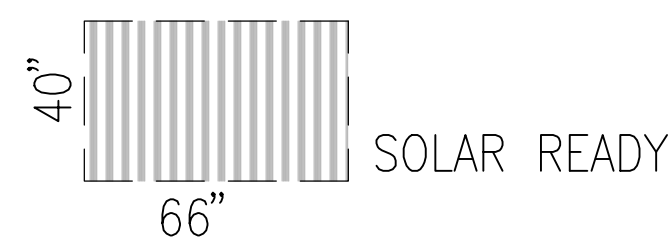
Date Issued:
11/28/2025

A104



NOTE:
(19) 66"x40" ROOFTOP MOUNTED SOLAR PANELS EST.
2 KWH PER DAY EACH
(19 PANELS x 2 KWK) x 365 DAYS = 13,870 KWH
EST. ANNUAL PRODUCTION

NOTE:
HATCHED AREA DESIGNATES SOLAR
READY ROOF AREA PER APPENDIX
RB OF THE MA AMENDMENTS TO
THE 2015 IRC.



1 PROPOSED ROOF FLOOR PLAN
SCALE: 1/4" = 1'-0"

Date Issued:
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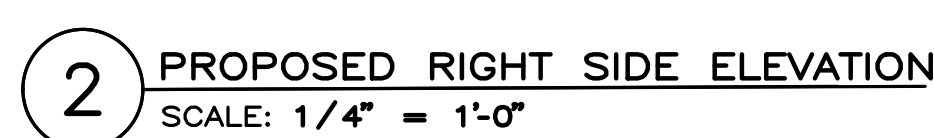
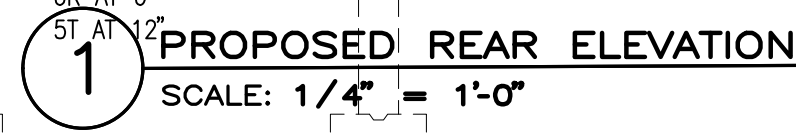


NOVEMBER 28, 2025

[illegible]

Hawkey Residence
48 Livermore Road
Wellesley, MA

Date Issued:
11/28/2025



[illegible]

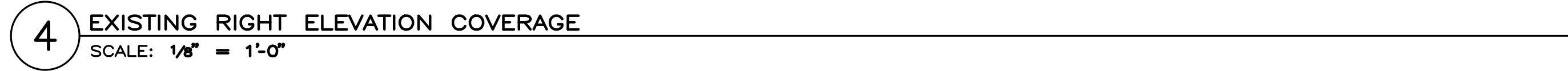
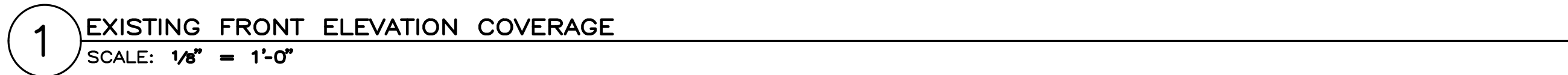
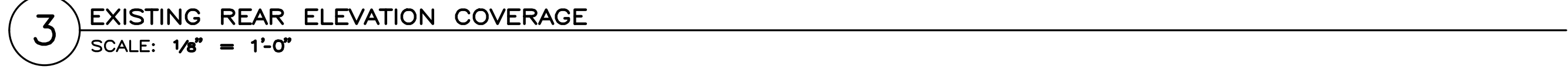
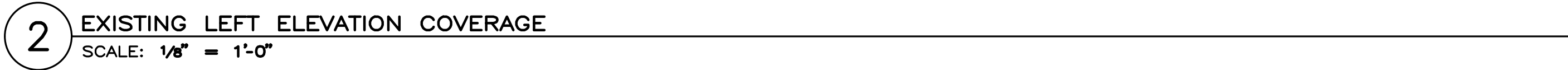
EXISTING EXTERIOR
ELEVATIONS COVERAGE/
DEMOLITION WORK SHEET

Drawing Scale:
1/8" = 1'-0"

Project Number:
202427

Date Issued:
11/28/2025

D200





48 LIVERMORE ROAD
FRONT ELEVATION

DAI
1/4" = 1'-0"

