



WELLESLEY PLANNING BOARD
APPLICATION FORM FOR REVIEW OF A
PROJECT OF SIGNIFICANT IMPACT

DATE: 01/16/2026

ADDRESS OF PROPERTY: 26 WASHINGTON ST PRECINCT D

NAME OF OWNER OF RECORD: FIRST CITIZENS BANK & TRUST COMPANY

signature

EXISTING USE OF

LAND/BUILDINGS: EQUIPMENT RENTAL / VACANT

PRESENT ZONING: LOWER FALLS VILLAGE COMMERCIAL DISTRICT

PROPOSED USE OF

LAND/BUILDINGS: BANK

FLOOR AREA OF BUILDING(S) NOW EXISTING ON THE

SITE: 8,862 SF SQUARE FEET.

TOTAL FLOOR AREA OF BUILDING(S) PROPOSED ON THE

SITE: 15,343 SF SQUARE FEET.

AGGREGATE TOTAL FLOOR AREA OF PROPOSED NEW CONSTRUCTION

ONLY 15,343 SF SQUARE FEET.

(IF RESIDENTIAL) NUMBER OF DWELLING UNITS N/A

AREA OF LOT OR DEVELOPMENT SITE 35,374 SF SQUARE FEET.

CONSULTANT(S) FOR IMPACT ANALYSIS SETH ANDERSON

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KIMLEY-HORN & ASSOCIATES

This portion to be completed by Planning Department

APPLICATION FORM AND IMPACT ANALYSIS AS REQUIRED BY PLANNING BOARD
RECEIVED BY

signature

date

REVIEW COMPONENTS WAIVED BY PLANNING BOARD

date of vote

date of vote

date of vote

date of vote

SUBMISSION FEE RECEIVED \$

date

IMPACT ANALYSIS TRANSMITTED TO REVIEW DEPARTMENTS

date

IMPACT ANALYSIS APPROVED BY:

Board of Selectmen

date

Board of Public Works

date

Fire Chief

date

Special Permit Approved by Planning Board date.

WELLESLEY PLANNING BOARD

DEFINITIVE SUBMISSION - PROJECT PLAN SPECIFICATIONS

PROJECT OF SIGNIFICANT IMPACT

The Definitive Submission Project Plan shall be drawn to a scale of 1"=40' and shall show:

- a. Title and North arrow;
- b. Name of owner of record;
- c. Name of applicant (if different than owner);
- d. Names of all abutters as they appear on the most recent tax list;
- e. The general topography including an indication of open and wooded areas, permanent monuments, natural objects such as waterways, drainage courses, large boulders or ledge outcroppings, stone walls and the like;
- f. Proposed location of building(s) and structures, roads, drives, and parking areas, with the proposed rough layout of storm drains, water supply, sewage disposal system and necessary easements;
- g. The general relation of the proposed driveway(s), water, sewer and drainage systems and easements to adjoining properties and ways.

Should the plan be submitted on more than one sheet, all sheets shall be of the same size.

Short Narrative for the Municipal Systems Impact Analysis:

The proposed redevelopment at 26 Washington Street in Wellesley, Massachusetts involves the demolition of the existing equipment rental facility and the construction of a new $\pm 15,000$ -square-foot bank building on the 0.85-acre parcel.

The site is currently occupied by two buildings and largely covered with pavement, with retaining walls along the northern, eastern, and southern boundaries. Under existing conditions, the site is almost entirely impervious and lacks any stormwater treatment facilities. Runoff is either collected within an onsite drainage network and discharged untreated through an existing 12-inch storm drain connection to Washington Street, or conveyed as sheet flow into the roadway gutter. The existing composite Curve Number (CN) of 97 reflects the highly impervious character of the site. The proposed redevelopment improves site hydrology by increasing pervious area, reducing the CN to 93, and lowering runoff volumes and peak discharge rates for all modeled storm events. A new closed drainage system will capture approximately 0.68 acres of onsite runoff and convey it to Washington Street through a new properly covered 12-inch storm drain connection, replacing the current pipe which does not meet minimum cover requirements. An additional 0.17 acres will continue to sheet flow toward the Washington Street gutter, but the contributing area and runoff rates will be reduced from existing conditions. Stormwater quality will be significantly enhanced by the introduction of a bioretention area located in the rear parking lot. This rain garden will treat roughly 0.30 acres of adjacent impervious area through engineered soils, vegetation, and infiltration, providing pollutant removal, peak-flow attenuation, and improved groundwater recharge. Additional planted and pervious areas distributed throughout the site further contribute to water-quality improvement and stormwater volume reduction, marking a substantial upgrade to current conditions and reducing the impact on municipal storm drain infrastructure.

Regarding municipal utilities, the proposed bank building will connect to the existing water, sewer, storm drain, and electrical systems located in Washington Street. The project consists of typical commercial building functions and is expected to use standard utility connections comparable to similar developments. All final utility connections and service requirements will be coordinated with the Town and applicable utility providers during permitting and construction. Stormwater utility impacts are addressed through the site's redesigned drainage system, which reduces discharge rates compared to current conditions. The project does not include unusual equipment, industrial processes, or atypical demands that would place unique strain on municipal utilities.

Traffic impacts associated with the redevelopment have been evaluated in the project's completed Traffic Impact and Access Study. The findings and conclusions of that study should be referenced for a full assessment of existing and future traffic operations, site access, and projected trip activity associated with the proposed bank use.

The project maintains existing pedestrian connections along Washington Street and includes appropriate accommodations to support safe and efficient access for all users. Refuse disposal for the project will be minimal. Bank operations generate very limited solid waste consisting primarily of office paper, packaging, and small quantities of everyday employee waste. The majority of the paper waste will be shredded and disposed of by a private third party disposal company. The project is not expected to impose any meaningful burden on the Town's refuse disposal or recycling systems.

Overall, the proposed redevelopment represents a substantial improvement over existing site conditions. The development will modernize an underutilized and fully impervious commercial parcel, resulting in a safer, more efficient, and environmentally improved site with minimal municipal impacts.

26 WASHINGTON ST, WELLESLEY, MA 02481

| Sheet Number | Sheet Title |
|--------------|---|
| C-000 | COVER SHEET |
| C-001 | GENERAL NOTES |
| C-100 | ALTA SURVEY |
| C-101 | ALTA SURVEY |
| C-120 | DEMOLITION PLAN |
| C-200 | INITIAL EROSION CONTROL PLAN |
| C-201 | FINAL EROSION CONTROL PLAN |
| C-210 | EROSION CONTROL GENERAL NOTES |
| C-220 | EROSION CONTROL DETAILS |
| C-300 | SITE PLAN |
| C-320 | SITE DETAILS |
| C-321 | SITE DETAILS |
| C-400 | GRADING AND DRAINAGE PLAN |
| C-410 | PRE-DA MAP |
| C-411 | POST-DA MAP |
| C-412 | INLET-DA MAP |
| C-500 | UTILITY PLAN |
| C-520 | UTILITY DETAILS |
| L-100 | HARDSCAPE PLAN |
| L-101 | HARDSCAPE DETAILS |
| L-102 | HARDSCAPE DETAILS |
| L-300 | LANDSCAPE PLANS |
| L-301 | LANDSCAPE NOTES AND DETAILS |
| A1 | PRELIMINARY ARCHITECTURAL AND MEP SITE PLAN |
| A2 | FIRST FLOOR FURNISHING PLAN |
| A3 | SECOND FLOOR FURNISHING PLAN |
| A4 | EXTERIOR ELEVATIONS |
| A5 | EXTERIOR ELEVATIONS |

Plotted By: Kate, Kite, Sheet: FCB-WELLESLEY, Layout: C-001, January 20, 2025, 08:38:48am, Z:\RAL\LD-EV00FCB01\1737473 - wellesley.ma - 28 washington st\plan\phase\10 - c01\general notes.dwg
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GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL STATE AND LOCAL REQUIREMENTS RELATED TO SITE CONSTRUCTION ACTIVITIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM AS APPLICABLE TO THESE GOVERNING STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE BEGINNING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ANY AND ALL CHANGES RELATED TO FIELD CONDITIONS, INCLUDING AREAS OF REIN EXCAVATION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS PREPARED BY A MASSACHUSETTS LICENSED LAND SURVEYOR SHOWING AND LOCATING ALL FEATURES OF THE WORK AS INSTALLED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF MASSACHUSETTS PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE OWNER WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE DRAWINGS DO NOT INTERFERE WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILL SHALL BE INCLUDED IN THE PRICES PAID FOR THE VARIOUS ITEMS OF WORK. THE ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES WILL BE CHECKED BY THE PUBLIC WORKS INSPECTOR AND THE ENGINEER. IF IN THE OPINION OF THE INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRAVITY FLOW PIPELINES TO BE LAID UPGRADING FROM THE LOWEST POINT STARTING AT THE END OF EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH TOWN STANDARD SPECIFICATIONS.
- WORK OF THIS CONTRACT IS TO INCLUDE, BUT NOT LIMITED TO, DEMOLITION OF EXISTING BUILDING FOUNDATIONS, EXISTING OLD UTILITY SYSTEMS, SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO UTILITIES, UTILITY STRUCTURES, ASPHALT AND CONCRETE PAVEMENT, CONCRETE PAVERS, CONCRETE AND GRANITE CURBING, DRIVEWAY APRONS, CONCRETE AND ASPHALT RAMPS, SIGNAGE, FENCING, RAILINGS, SIGNAGE, SITE LIGHTING, RETAINING WALLS AND MISCELLANEOUS STRUCTURES.
- HOURS OF CONSTRUCTION ACTIVITY MUST COMPLY WITH THE TOWN OF WELLESLEY CODE.
- PRIOR TO STARTING CONSTRUCTION ALL ACTIVE UTILITIES SHOULD BE IDENTIFIED, MARKED OUT IN THE FIELD, AND SECURED AS NECESSARY.
- CONTRACTOR IS ALSO TO FAMILIARIZE HIMSELF WITH THE SUBSURFACE EXPLORATIONS AND GEOTECHNICAL REPORTS APPLICABLE TO THE PROJECT, ASSUMED PROVIDED BY OTHERS.
- INFORMATION GIVEN IN THE SUBSURFACE EXPLORATIONS AND GEOTECHNICAL ENGINEERING REPORTS WAS OBTAINED FOR USE BY THE OWNER IN EXECUTION OF DESIGN. THE SUBSURFACE CONDITIONS DESCRIBED IN THE REPORTS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. THE SUBSURFACE STRATEGY SHOWN IN THE REPORTS ARE BASED ON NECESSARY INTERPOLATIONS BETWEEN BORINGS AND MAY OR MAY NOT REPRESENT ACTUAL SUBSURFACE CONDITIONS. THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS MADE FROM THE DATA IN THE REPORTS BY THE CONTRACTOR.
- CONDUCT A PRE-CONSTRUCTION CONFERENCE AT THE PROJECT SITE A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING ANY WORK OF THIS CONTRACT. THE MEETING WILL BE ARRANGED BY THE OWNER UPON NOTIFICATION OF THE CONTRACTOR AND IS TO BE ATTENDED BY REPRESENTATIVES OF THE CONTRACTOR, OWNER, CONSTRUCTION MANAGER, GEOTECHNICAL ENGINEER, SITE/CIVIL ENGINEER AND REPRESENTATIVES OF THE TOWN OF BRIDGEWATER.
- ADJOINING PROPERTY OWNERS WILL CONTINUE TO OCCUPY THEIR FACILITIES IMMEDIATELY ADJACENT TO THE PROJECT SITE AND DEMOLITION AREAS. THUS, THE CONTRACTOR MUST CONDUCT HIS OPERATIONS IN SUCH A MANNER AND MAKE ANY ARRANGEMENTS NECESSARY SO THAT THE ADJOINING PROPERTY OWNERS USE OF THEIR FACILITIES WILL NOT BE DISRUPTED DURING THE COURSE OF THE WORK.
- PROVIDE NOT LESS THAN SEVENTY-TWO (72) HOURS' NOTICE TO THE OWNER AND ADJACENT PROPERTY OWNERS OF ACTIVITIES THAT WILL AFFECT THEIR RESPECTIVE USE OF THEIR PROPERTY.
- MAINTAIN ACCESS TO EXISTING WALKWAYS, EXITS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- DO NOT CLOSE OR OBSTRUCT WALKWAYS, EXITS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION OR THE AFFECTED PROPERTY OWNER.
- IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE CONDUCT OF THE WORK. HOWEVER, IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY THE OWNER AND CONSTRUCTION MANAGER. HAZARDOUS MATERIALS WILL BE REMOVED BY THE OWNER AND/OR CONTRACTOR UNDER A SEPARATE CONTRACT.
- REVIEW PROJECT RECORD DOCUMENTS OF EXISTING CONSTRUCTION PROVIDED BY OWNER. OWNER DOES NOT GUARANTEE THAT EXISTING CONDITIONS ARE SAME AS THOSE INDICATED IN PROJECT RECORD DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENGAGING A PROFESSIONAL ENGINEER TO PERFORM AN ENGINEERING SURVEY OF THE CONDITION OF ANY REMAINING BUILDING STRUCTURE OR FOUNDATION SYSTEM TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THAT STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION OPERATIONS.
- PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- EXISTING UTILITIES: MAINTAIN ACTIVE UTILITY SERVICES INDICATED TO REMAIN AND PROTECT

THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.

- DO NOT INTERRUPT EXISTING UTILITIES SERVING BOTH ON SITE AND OFF SITE ADJACENT OCCUPIED OR OPERATING FACILITIES UNLESS AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
- PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO AUTHORITIES HAVING JURISDICTION.
- PROVIDE AT LEAST SEVENTY-TWO (72) HOURS' NOTICE TO OWNER IF SHUTDOWN OF SERVICE IS REQUIRED DURING CHANGEOVER.
- TEMPORARY PROTECTION: ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION AND AS INDICATED.
- PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
- PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND BUILDING DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF ADJACENT BUILDINGS AND STRUCTURES.
- GENERAL: DEMOLISH ALL ITEMS, AS EITHER INDICATED ON THE PLANS OR ENCOUNTERED IN THE FIELD DURING THE WORK, COMPLETELY. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS.
- DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
- MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
- LOCATE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND OTHER MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING OF ADJOINING STRUCTURES.
- ENGINEERING SURVEYS: PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS THAT MAY RESULT FROM BUILDING DEMOLITION ACTIVITIES.
- SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, WALKWAYS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL-PROTECTION REGULATIONS. ALL WATER USED FOR DUST CONTROL MUST BE TRUCKED IN, USE OF MUNICIPAL WATER SOURCES FOR DUST CONTROL IS PROHIBITED. DO NOT USE WATER WHEN IT MAY DAMAGE ADJACENT CONSTRUCTION OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING, AND POLLUTION.
- REMOVE STRUCTURES AND OTHER SITE IMPROVEMENTS INTACT WHEN PERMITTED BY AUTHORITIES HAVING JURISDICTION.
- CONCRETE: CUT CONCRETE FULL DEPTH AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS.
- MASONRY: CUT MASONRY AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.
- CONCRETE SLABS-ON-GRADE: SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, THEN BREAK UP AND REMOVE.
- EQUIPMENT: DISCONNECT EQUIPMENT AT NEAREST FITTING CONNECTION TO SERVICES, COMPLETE WITH SERVICE VALVES. REMOVE AS WHOLE UNITS, COMPLETE WITH CONTROLS.
- BELOW-GRADE CONSTRUCTION: DEMOLISH EXISTING FOUNDATIONS AND FOOTINGS, FOUNDATION WALLS ON THE BELOW-GRADE CONSTRUCTION THAT IS WITHIN TEN (10) FEET OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION. ABANDON BELOW-GRADE CONSTRUCTION OUTSIDE THIS AREA.
- REMOVE BELOW-GRADE CONSTRUCTION TO DEPTHS INDICATED ON THE PLANS.
- EXISTING BELOW-GRADE CONSTRUCTION SHOULD BE REMOVED ENTIRELY FROM BELOW PROPOSED FOUNDATIONS AND THEIR ZONES OF INFLUENCE (IF DETERMINED BY THE TOWN OF WELLESLEY). AT LEAST ONE (1) FOOT Laterally BEYOND FOOTING EDGES FOR EACH VERTICAL FOOT OF DEPTH) AND EXCAVATED TO AT LEAST TWO (2) FEET BELOW PROPOSED CONSTRUCTION SUBGRADE LEVELS ELSEWHERE.
- FOUNDATION AND SLABS MAY REMAIN IN PLACE BELOW THESE DEPTHS BELOW GROUND SUPPORTED SLABS, PAVEMENTS AND LANDSCAPED AREAS, PROVIDED THEY ARE APPROVED BY THE GEOTECHNICAL ENGINEER AND DO NOT INTERFERE WITH FUTURE CONSTRUCTION (INCLUDING UTILITIES); HOWEVER, IF EXISTING SLAB OR STRUCTURE TO REMAIN SHOULD BE THOROUGHLY BROKEN TO ALLOW VERTICAL DRAINAGE OR INFILTRATION WATER.
- EXISTING UTILITIES: ABANDON EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES. CUT UTILITIES FLUSH WITH GRADE.
- EXISTING UTILITIES: DEMOLISH EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES THAT ARE WITHIN TEN (10) FEET OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION. ABANDON UTILITIES OUTSIDE THIS AREA.
- FILL ABANDONED UTILITY STRUCTURES AND PIPING WITH EITHER LEAN CONCRETE OR SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
- EXISTING UTILITIES: DEMOLISH AND REMOVE EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES.
- SITE DRAINAGE: SITE SOILS MAY SOFTEN WHEN EXPOSED TO WATER. EVERY EFFORT MUST BE MADE TO MAINTAIN DRAINAGE OF SURFACE WATER RUNOFF AWAY FROM CONSTRUCTION AREAS AND OPEN EXCAVATIONS BY GRADING AND LIMITING THE EXPOSURE OF EXCAVATIONS AND PREPARED SUBGRADES TO RAINFALL.
- BELOW-GRADE AREAS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM BUILDING DEMOLITION OPERATIONS WITH SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER AND/OR GEOTECHNICAL ENGINEER.
- SITE GRADING: UNIFORMLY ROUGH GRADE AREA OF DEMOLISHED CONSTRUCTION TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
- SEPARATE RECYCLABLE DEMOLISHED MATERIALS FROM OTHER DEMOLISHED MATERIALS TO THE MAXIMUM EXTENT POSSIBLE. SEPARATE RECYCLABLE MATERIALS BY TYPE.
- PROVIDE CONTAINERS OR OTHER STORAGE METHOD APPROVED BY ARCHITECT FOR CONTROLLING RECYCLABLE MATERIALS UNTIL THEY ARE REMOVED FROM PROJECT SITE.
- STOCKPILE PROCESSED MATERIALS ON-SITE WITHOUT INTERMIXING WITH OTHER MATERIALS. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
- STOCKPILE MATERIALS IN DESIGNATED AREAS SHOWN ON THE PLANS OR AS APPROVED IN THE FIELD BY THE OWNER OR CONSTRUCTION MANAGER.
- IF RECYCLABLE MATERIAL CANNOT BE USED ON-SITE, THE CONTRACTOR SHALL TRANSPORT THE RECYCLABLE MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH THE SWP.
- DEMOLITION MATERIAL: FREE OF ENVIRONMENTAL CONCERNS, AND APPROVED BY MASSEP, MAY BE USED AS FILL MATERIAL. PROVIDED THE MATERIAL IS PROPERLY SEGREGATED AND PROCESSED AS FOLLOWS AND APPROVED FOR REUSE ON THE SITE BY THE GEOTECHNICAL ENGINEER.
- CONCRETE MASONRY MATERIALS SHOULD BE CRUSHED TO A WELL GRADED BLEND WITH A MAXIMUM SIZE OF THREE (3) INCHES IN DIAMETER, PER EARTHWORK SPECIFICATIONS.
- MILLED OR RECYCLED ASPHALT PAVEMENT (RAP) MAY BE REUSED AS GRANULAR BASE MATERIAL FOR PAVEMENTS PROVIDED THAT THE RAP PARTICLE SIZE MEETS THE MASSACHUSETTS STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR GRANULAR BASE AND NO MORE THAN FIFTY (50) PERCENT OF THE PAVEMENT GRANULAR BASE CONTAINS RAP.
- OTHER ASPHALTIC MATERIALS AND DELETERIOUS BUILDING MATERIALS SUCH AS WOOD, INSULATION, METAL, SHINGLES, ETC. SHOULD NOT BE USED AS GENERAL STRUCTURAL FILL MATERIAL.
- EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL.
- REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- BURNING: ON SITE BURNING OF RUBBISH AND OTHER DEMOLITION DEBRIS WILL NOT BE PERMITTED.
- DISPOSAL: TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND PROVIDE FOR THE LEGAL OFF SITE DISPOSAL OF THE MATERIAL IN ACCORDANCE WITH THE SWP.

- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY BUILDING DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS BEGAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER WITH A SURVEY PREPARED BY A MASSACHUSETTS LICENSED LAND SURVEYOR SHOWING THE LOCATION AND THE ELEVATIONS TO WHICH THE DEMARCATION BARRIER IS INSTALLED.
- THE CONTRACTOR IS TO NOTE THAT THE WORK OF THIS CONTRACT WILL INCLUDE WORK BY OTHERS AND THE CONTRACTOR SHALL COORDINATE HIS WORK AND MAKE EVERY REASONABLE EFFORT TO PERMIT THE EXECUTION OF SUCH WORK BY OTHERS WITHOUT DELAY.
- IF TEMPORARY UTILITY SERVICES ARE REQUIRED THE CONTRACTOR SHALL SEE TO IT THAT THEY ARE PROVIDED AT NO ADDITIONAL COST TO THE OWNER AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SUCH TEMPORARY FACILITIES FOR THE DURATION OF THEIR WORK.
- ALL WORK OF THIS CONTRACT SHALL CONFORM TO THESE CONTRACT DRAWINGS AND SPECIFICATIONS AS WELL AS TO THE APPLICABLE REQUIREMENTS OF THE TOWN OF BRIDGEWATER BUILDING, PUBLIC WORKS, AND FIRE DEPARTMENTS, AS WELL AS THE COGNIZANT PUBLIC UTILITY COMPANIES.
- ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF MASSACHUSETTS STATE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL RULES, LAWS, AND REGULATIONS.
- ALL PROJECT RELATED LINES AND GRADES ARE TO BE ESTABLISHED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF MASSACHUSETTS.
- SIZES OF EXISTING UTILITY LINES ARE TO BE VERIFIED IN THE FIELD BY CAREFUL TEST EXCAVATIONS BY THE CONTRACTOR PRIOR TO STARTING THE WORK. ANY SUBSTANTIVE VARIATIONS FROM THE SURVEY DATA ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER SO THAT APPROPRIATE DESIGN MODIFICATIONS MAY BE MADE.
- THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING DRAINAGE OR UTILITY SYSTEMS WITHIN OR ADJACENT TO THE WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL IMMEDIATELY BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE AND TO THE SATISFACTION OF THE OWNER OR UTILITY COMPANY INVOLVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES REQUIRED BY THE CONTRACT WORK AND SHALL OBTAIN ALL REQUIRED BONDS, PERMITS, ETC. REQUIRED FOR THE EXECUTION OF THE WORK AND CONFORM TO ALL APPLICABLE CODES, RULES AND REGULATIONS OF THE GOVERNING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO COMMENCING ANY EXCAVATION WORK AND SHALL NOTIFY THE "DIG SAFE" HOTLINE @ (888) 344-7233 OR 811 PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
- SAFE AND ADEQUATE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW SHALL BE MAINTAINED AT ALL TIMES TO THE ADJACENT BUILDINGS WHILE THE WORK IS PROGRESSING. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL OF THE OWNER A CONSTRUCTION SEQUENCE SCHEDULE AND PLAN FOR PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
- ALL UNPAVED AREAS WITHIN THE WORK AREAS AND ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE STABILIZED IN ACCORDANCE WITH THE MASSEP APPROVED STORMWATER POLLUTION PREVENTION PLAN. UNLESS OTHERWISE DIRECTED BY THE OWNER, TURBED AREAS DISTURBED BY REGRADING AND OTHER WORK OF CONTRACTOR, SHALL BE BROUGHT TO THE PROPER SUBGRADE ELEVATION, TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES SHALL BE PLACED AND, LIMING, FERTILIZING AND SEEDING ACCOMPLISHED, AS SPECIFIED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE SEEDED AREAS UNTIL THEY HAVE BECOME WELL ESTABLISHED.
- EXISTING PAVEMENT WHICH IS TO REMAIN AND WHICH IS REMOVED OR DAMAGED DURING THE CONSTRUCTION WORK OF THIS CONTRACT IS TO BE RESTORED TO ITS ORIGINAL CONDITION.
- UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL MATCH THE MATERIALS, TYPES, THICKNESS AND QUALITY OF EXISTING BITUMINOUS CONCRETE PAVEMENTS, WALKWAYS AND CURBS WITHIN THE PUBLIC RIGHT-OF-WAY WHICH ARE TO BE REPLACED.
- AT NO TIME, SHALL ANY EXCAVATED AREAS BE LEFT UNATTENDED UNLESS APPROPRIATE MARKING AND BARRICADING IS EMPLOYED.
- WITH REGARD TO EXISTING UTILITIES TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING UTILITY VALVES, MANHOLE FRAMES, COVERS, RIMS, INVERTS AND HYDRANTS TO MEET NEW FINISH GRADE OR AS OTHERWISE REQUIRED TO FUNCTION PROPERLY.
- CONTRACTOR SHALL REVIEW PLANS FROM SITE PREPARATION AND SITE PACKAGE CONTRACT AND FAMILIARIZE THEMSELVES WITH PREVIOUS SCOPE OF WORK.
- CONTRACTOR SHALL LIMIT ACTIVITIES IN AREAS OF DEVELOPMENT THAT ARE OCCUPIED.

PAVING, GRADING AND DRAINAGE NOTES

- CONTRACTOR SHALL MAINTAIN GRADES AT ENTRANCES TO PHASE 2 CONSTRUCTION.
- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTIONS' RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR MASSACHUSETTS STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND REPAIRED TO EXISTING CONDITION OR BETTER.
- TRAFFIC CONTROL ON ALL MASSDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE COVERED WITH TOPSOIL AND SEED AS INDICATED ON THE LANDSCAPE PLAN.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVED SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT TO A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT TO A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- DEWATERING DISCHARGE WILL NOT BE PERMITTED TO DISCHARGE ONTO OPEN GROUND. IT SHALL BE TREATED AND DISCHARGED INTO THE TOWN SEWER. PERMIT TO BE COORDINATED BY THE OWNER.
- STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE TOWN OF WELLESLEY.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE STABILIZED BY MEANS AND METHODS APPROVED BY THE TOWN OF WELLESLEY. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE COVERED WITH ROCK OR MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSPORTING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE GOVERNING CODE.
- EXPOSED SLOPES SHOULD BE STABILIZED WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID

DISCHARGES.

- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE REQUIRED PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY GOVERNING JURISDICTIONS.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

BUILDING AND SAFETY DIVISION NOTES

- FILL TO BE COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557.
- FIELD DENSITY WILL BE DETERMINED BY THE SAND-CONE METHOD A.S.T.M. 1556-07 AND/OR NUCLEAR DENSITY GAUGE METHOD A.S.T.M. 2922/3017. IN FINE GRAINED, COHESIVE SOILS, FIELD DENSITY MAY BE DETERMINED BY THE DRIVE-CYLINDER METHOD D2937 A.S.T.M. PROVIDED NOT LESS THAN 20% OF THE REQUIRED DENSITY TESTS, UNIFORMLY DISTRIBUTED, ARE BY THE SAND-CONE METHOD. THE METHOD OF DETERMINING FIELD DENSITY SHALL BE SHOWN IN THE COMPACTION REPORT. OTHER METHODS MAY BE USED IF RECOMMENDED BY THE SOILS ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL.
- NOT LESS THAN ONE FIELD DENSITY TEST WILL BE MADE FOR EACH TWO-FOOT VERTICAL LIFT OF FILL NOR LESS THAN ONE SUCH TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.
- NO FILL TO BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS AND INSTALLATION OF SUBDRAINS (IF ANY) HAS BEEN INSPECTED AND APPROVED BY THE SOILS ENGINEER.
- NO ROCK OR SIMILAR MATERIAL GREATER THAN 8" IN DIAMETER WILL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE BUILDING OFFICIAL.
- FINISH GRADING WILL BE COMPLETED AND APPROVED BEFORE OCCUPANCY OF BUILDINGS.
- SEE GRADING PLANS FOR EARTHWORK VOLUMES.
- FILL SLOPES SHALL NOT BE STEEPER THAN 3:1.
- DENSITY TESTS WILL BE MADE AT POINTS APPROXIMATELY ONE FOOT BELOW THE FILL SLOPE SURFACE. ONE TEST WILL BE MADE FOR EACH 1,000 SQ. FT. OF SLOPE SURFACE, BUT NOT LESS THAN ONE TEST FOR EACH 10 FT. VERTICAL OF SLOPE HEIGHT UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.
- ALL PADS AT ROUGH GRADING WILL HAVE A MINIMUM SLOPE OF 1% TOWARDS THE STREET OR DESIGNED DRAINAGE OUTLET.
- APPROVAL OF THIS PLAN BY THE TOWN OF BRIDGEWATER DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES WITHIN THE LIMITS OF THIS PROJECT.
- FILLS SHALL BE BENCHMARKED IN ACCORDANCE WITH APPROVED GEOTECHNICAL REPORT
- ALL TRENCH BACKFILLS SHALL BE TESTED AND CERTIFIED BY THE SITE SOILS ENGINEER PER THE GRADING CODE.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND NECESSARY TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY, IT WILL BE DESIGNED BY THE ENGINEERING GEOLOGIST. THE SOILS ENGINEER WILL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER WILL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- THE SOILS ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND TAKE ADEQUATE RECORDS OF GRADING AND CONSTRUCTION TO PROVIDE CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW.
- THE DESIGN CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING AND CONSTRUCTION FOR CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THIS PURVIEW.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

INFILTRATION NOTES

SUBGRADE PREPARATION

- EXISTING SUBGRADE UNDER BED AREAS SHALL NOT BE COMPACTED OR SUBJECT TO CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO GEOTEKITE AND RETENTION LAYER PLACEMENT.
- CONTRACTOR SHALL DETERMINE SUBGRADE PERMEABILITY IN ACCORDANCE WITH ASTM D 3385 BEFORE CONCRETE PLACEMENT. CONTRACTOR SHALL PROVIDE PERMEABILITY TESTING FOR SUBGRADE TO CONFIRM THAT SUBGRADE PERMEABILITY MEETS REQUIREMENTS OF CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PREPARE SUBGRADE AS SPECIFIED IN THE CONTRACT DOCUMENTS, INSURING THE BOTTOM OF THE RETENTION LAYER IS AT LEVEL GRADE.
- CONTRACTOR SHALL KEEP ALL TRAFFIC OFF OF THE SUBGRADE DURING CONSTRUCTION TO THE MAXIMUM EXTENT PRACTICAL. CONTRACTOR SHALL REGRADE AND RE-COMPACT SUBGRADE DISTURBED BY RETENTION LAYER DELIVERY VEHICLES OR OTHER CONSTRUCTION TRAFFIC, AS NEEDED.
- CONTRACTOR SHALL CONSTRUCT SUBGRADE TO ENSURE THAT THE REQUIRED PAVEMENT THICKNESS IS OBTAINED IN ALL LOCATIONS.
- CONTRACTOR SHALL SCARIFY SUBGRADE TO A MINIMUM DEPTH OF TWELVE (12) INCHES PRIOR TO PLACING THE NON-WOVEN GEOTEXTILE MATERIAL.
- RETENTION LAYER NOTES**
 - WHERE SPECIFIED, CONTRACTOR SHALL PREPARE RETENTION LAYER IN ACCORDANCE WITH CONTRACT DOCUMENTS.
 - THE NON-WOVEN GEOTEXTILE AND RETENTION LAYER AGGREGATE SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION, ANY ACCUMULATION OF DEBRIS OR SEDIMENT WHICH HAS TAKEN PLACE AFTER APPROVAL OF SUBGRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF GEOTEXTILE AT NO EXTRA COST TO THE OWNER.
 - PLACE GEOTEXTILE IN ACCORDANCE WITH MANUFACTURERS' STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF GEOTEXTILE SHALL OVERLAP A MINIMUM OF SIXTEEN INCHES (16"). SECURE GEOTEXTILE AT LEAST FOUR FEET (4') OUTSIDE OF BED AND TAKE ANY STEPS NECESSARY TO PREVENT ANY RUNOFF OR SEDIMENT FROM ENTERING THE RETENTION LAYER.
 - INSTALL COARSE AGGREGATE IN 8-INCH MAXIMUM LIFTS. AGGREGATE SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. CONTRACTOR SHALL KEEP EQUIPMENT MOVEMENT OVER RETENTION LAYER AND SUBGRADE TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED IN THE CONTRACT DOCUMENTS.
 - CONSTRUCT RETENTION LAYER TO ENSURE THAT THE REQUIRED PAVEMENT THICKNESS IS OBTAINED IN ALL LOCATIONS.
 - FOLLOWING PLACEMENT OF RETENTION LAYER AGGREGATE, THE GEOTEXTILE SHALL BE FOLDED SCARIFYING ALL BED AREAS TO PROTECT FROM SOILS ENGINEER'S TRACKS AND TO PROTECT BEDS FROM ADJACENT BARE SOIL. THIS EDGE STRIP SHALL BE USED TO PROTECT BEDS FROM ADJACENT BARE SOIL. THIS EDGE STRIP SHALL REMAIN IN PLACE UNTIL ALL BARE SOILS CONTACTING TO BEDS ARE STABILIZED AND VEGETATED. IN ADDITION, TAKE ANY OTHER NECESSARY STEPS TO PREVENT SEDIMENT FROM WASHING OR TRACKING INTO BEDS DURING SITE DEVELOPMENT. WHEN THE SITE IS FULLY STABILIZED, TEMPORARY SEDIMENT CONTROL DEVICES SHALL BE REMOVED.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE THAT MEETS OR EXCEEDS THE GOVERNING REQUIREMENTS, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER.

WATER AND SEWER UTILITY NOTES

- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, CLEANOUTS, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET. THE CONTRACTOR SHALL ALSO SCOPE THE SEWER LINES ON SITE AND RECORD A DVD.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMED AND LOCATED ACCORDING TO THE PLANS.
- ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE GEOLOGIST, IS UNFIT FOR USE, SHALL NOT BE USED. IT UNLESS IT IS UNFIT FOR USE, SHALL BE SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER LINES. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER, AND JURISDICTIONAL AGENCY AS REQUIRED.

RECORD DRAWINGS

- WHERE LOCAL JURISDICTIONS REQUIRE RECORD DRAWINGS, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING. BOTH PREPARED BY A MASSACHUSETTS REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.

PROJECT CLOSEOUT

- CONTRACTOR SHALL PROVIDE THE NECESSARY ITEMS INCLUDING ANY TESTING, REPORTS, OR CERTIFICATION DOCUMENTS REQUIRED BY THE GOVERNING JURISDICTIONS TO PROPERLY CLOSEOUT THE PROJECT BEFORE IT CAN BE DEEMED COMPLETE.

DOCUMENT USE

- THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN & ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN & ASSOCIATES, INC.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MASSDOT STANDARD SHEETS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

GEOTECH NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 08/18/2025.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A

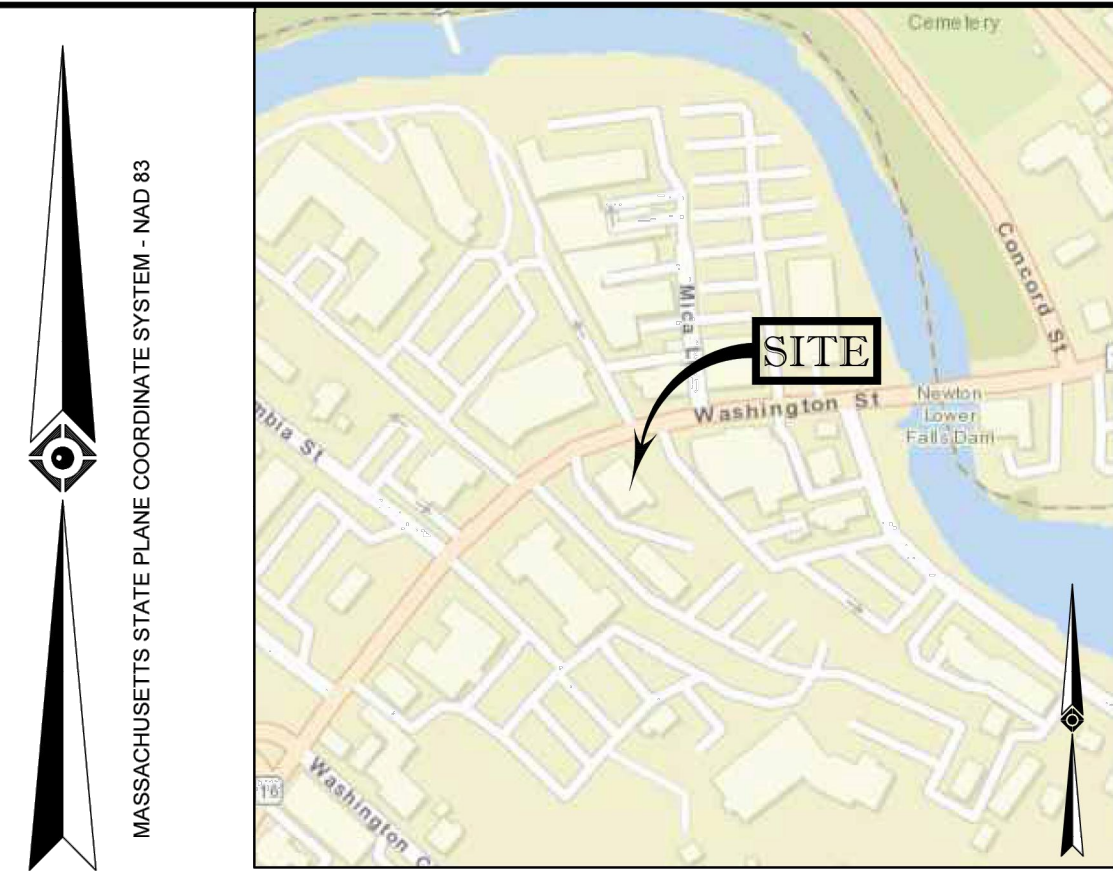
REFERENCES:

1. THE TAX ASSESSOR'S MAP OF TOWN OF WELLESLEY, NORFOLK COUNTY, MAP 34.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, MASSACHUSETTS, (ALL JURISDICTIONS), PANEL 9 OF 430, MAP NUMBER 25021C0009E, EFFECTIVE DATE: JULY 17, 2012.
3. MAP ENTITLED "SUBDIVISION PLAN OF LAND IN WELLESLEY," PREPARED BY A. COLETTI, DATED DECEMBER 4, 1952. RECORDED WITH NORFOLK COUNTY REGISTRY OF DEEDS AS LAND COURT PLAN 20881-C.
4. MAP ENTITLED "PLAN OF LAND 27 WASHINGTON ST. WELLESLEY, MA," PREPARED FOR NATIONAL DEVELOPMENT ACQUISITIONS LLC, PREPARED BY CONECO, DATED OCTOBER 25, 2010. RECORDED WITH NORFOLK COUNTY REGISTRY OF DEEDS AS PLAN 91 OF 2010.
5. MAP ENTITLED "SUBDIVISION PLAN OF LAND IN WELLESLEY," PREPARED BY S. ALBERT KAUFMANN, DATED MAY 1, 1969. RECORDED WITH NORFOLK COUNTY REGISTRY OF DEEDS AS LAND COURT PLAN #20881-D.
6. MAP ENTITLED "26 WASHINGTON STREET, WELLESLEY, MA," PREPARED BY VISIONARY SUBSURFACE SOLUTIONS, DATED JUNE 12, 2025. SUE SKETCH PROJECT NO. 08-250429-00.
7. MAP ENTITLED "VEHICLE EASEMENT, WASHINGTON STREET, WELLESLEY, MASS.," PREPARED BY THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS, DATED APRIL 25, 1983.
8. UNDERGROUND WATER, SEWER & DRAINAGE MAPPING PROVIDED BY THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS.
9. MAP ENTITLED "SUBDIVISION PLAN OF LAND IN WELLESLEY," PREPARED BY GLEASON ENGINEERING COMPANY, DATED OCTOBER 15, 1947. RECORDED WITH NORFOLK COUNTY REGISTRY OF DEEDS AS LAND COURT PLAN 20881-A.
10. TOWN OF WELLESLEY ZONING MAP, DATED DECEMBER 20, 2002. LAST EMENDED AS OF APRIL 2, 2024.
11. REPORT ENTITLED "FCB WELLESLEY, MA, 26 WASHINGTON STREET, WELLESLEY, MASSACHUSETTS 02481, PREPARED FOR: KIMLEY-HORN," PREPARED BY ZONING INFO, INC., DATED JUNE 6, 2025. SITE #87560.

SCHEDULE B, PART II

GENERAL EXCEPTIONS 1 THRU 6 & 9 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS APART OF THIS SURVEY.

7. TOGETHER WITH THE BENEFIT OF THE RIGHT TO USE LAND CONVEYED TO THE INHABITANTS OF THE TOWN OF WELLESLEY AS SET FORTH IN DEED GIVEN BY HAROLD C. WISWALL TO THE INHABITANTS OF THE TOWN OF WELLESLEY DATED OCTOBER 24, 1947, RECORDED IN BOOK 2727, PAGE 199: - **PARCEL II SHOWN HEREON.**
8. ALL MATTERS SHOWN ON LAND COURT PLAN NO. 20881C AND SPECIFICALLY THE "WAY" SHOWN THROUGH SAID LOT NO. 3, - **LOTS 2 & 3, 20' WIDE WAY & WASHINGTON STREET SHOWN HEREON.**



VICINITY MAP
© 2022 ESRI WORLD LIGHT GRAY CANVAS
(NOT TO SCALE)

NOTES:

1. PROPERTY KNOWN AS LOT 10 AS SHOWN ON THE TOWN OF WELLESLEY, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 34.
 2. AREA = 35,375 SQUARE FEET OR 0.812 ACRES.
 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE BASED UPON MARKOUT PROVIDED BY CONTROL POINT ASSOCIATES, INC. USING GROUND PENETRATING RADAR AND ELECTROMAGNETIC DETECTION EQUIPMENT. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE, AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ANY OR ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
- QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
- QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
- QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.

4. THIS PLAN IS BASED ON A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. (THE SURVEYOR). INFORMATION PROVIDED BY THE CLIENT AND OTHER REFERENCE MATERIAL AS LISTED HEREON. CHANGES TO THE PROPERTY AFTER THE FIELD DATE ARE NOT THE RESPONSIBILITY OF THE SURVEYOR.
5. THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 6568871 WITH A COMMITMENT DATE OF MAY 8, 2025. SEE EXCEPTIONS LIST FOR SURVEY RELATED EXCEPTIONS THAT APPEAR IN SCHEDULE B, PART II.

THIS SURVEY DOES NOT ADDRESS OWNERSHIP AND POSSIBLE RIGHTS OF ADJOINING PROPERTIES.

THIS SURVEY IS THE OPINION OF THE SURVEYOR AND IS NOT A LEGAL DECISION REGARDING PROPERTY BOUNDARY OR RIGHTS.

6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADE (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN), PER MAP REF #2.
7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY. SURVEY DOES NOT ADDRESS ENVIRONMENTAL CONDITIONS OR LAND SUITABILITY.
8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83), BASED ON GPS/GNSS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).

TEMPORARY BENCHMARKS SET:

TBM-A: X-CUT SET IN BOLT OVER MAIN OUTLET OF HYDRANT, ELEVATION= 63.11'

TBM-B: MAG NAIL SET IN CONCRETE WALK, ELEVATION= 52.12'

SEVEN (7) DAYS PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SURVEY HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED.

ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION. SURVEYOR IS NOT RESPONSIBLE FOR CONTRACTOR'S FAILURE TO COMPLY.

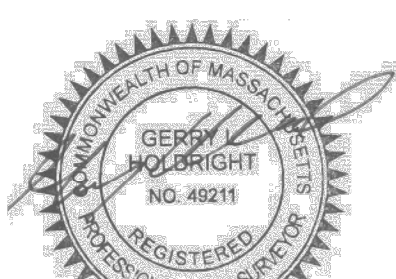
9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
10. ANY DISCREPANCIES FOUND ON THE SURVEY SHOULD BE REPORTED TO THE SURVEYOR IMMEDIATELY.
11. THIS SURVEY WAS PREPARED FOR THE CLIENT, KIMLEY-HORN & ASSOCIATES, INC. AND INTENDED ONLY FOR THE USE BY THE CLIENT AS CONTRACTED FOR THE PROJECT AND THE PURPOSE ORIGINALLY INTENDED. NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED HEREON SHALL RELY ON IT FOR ANY PURPOSE.
12. PROPERTY HAS DIRECT ACCESS TO WASHINGTON STREET (AKA MA ROUTE 16)
13. PARKING COUNT: REGULAR = 12 SPACES
RESERVED = 0 SPACES
TOTAL = 12 SPACES
14. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
15. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION
16. THE LAND SHOWN ON THIS SURVEY IS THE SAME AS THAT DESCRIBED IN A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 6568871, WITH A COMMITMENT DATE OF MAY 8, 2025.
17. NO OFFSITE EASEMENTS OR SERVITUDES REVEALED IN TITLE REPORT.
18. THE CURRENT ZONING CLASSIFICATION ITEM 6(A), 6(B) WAS NOT PROVIDED BY THE CLIENT AS REQUIRED BY THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS
19. THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, SANITARY LANDFILL OR CEMETERY.
20. THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

SEE SHEET 2 OF 2 FOR TOPOGRAPHY & UTILITIES

| 1 | REVISED PER CLIENT COMMENTS | - | R.J.K. | G.L.H. | 9-16-2025 |
|----------------|-----------------------------|--|--------------|----------|-----------|
| No. | DESCRIPTION OF REVISION | FIELD CREW | DRAWN | APPROVED | DATE |
| FIELD DATE | 6-18-2025 | ALTA/NSPS LAND TITLE SURVEY | | | |
| FIELD BOOK NO. | 25-6 | KIMLEY-HORN & ASSOCIATES, INC | | | |
| FIELD BOOK PG. | 37 | 26 WASHINGTON STREET LOT 10, MAP 34 TOWN OF WELLESLEY, NORFOLK COUNTY COMMONWEALTH OF MASSACHUSETTS | | | |
| FIELD CREW | B.S.B. | CONTROL POINT ASSOCIATES, INC. | | | |
| DRAWN: | J.P.M. | 355 TURNBULL ROAD SOUTHBOROUGH, MA 01772 | | | |
| REVIEWED: | R.J.K. | 508.945.3000 WWW.CPASURVEY.COM | | | |
| APPROVED: | G.L.H. | DATE | 9-10-2025 | SCALE | 1"=30' |
| | | FILE NO. | 03-250212-00 | SHEET | 1 OF 2 |

THIS SURVEY IS CERTIFIED TO:
KIMLEY-HORN & ASSOCIATES, INC.
FIRST AMERICAN TITLE INSURANCE COMPANY
FIRST CITIZENS BANK & TRUST COMPANY
LOWMEDES, DROSDICK, DOSTER, KANTOR & REED, P.A.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(b), 13, 14, 16, 17, 18 & 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JUNE 18, 2025.



GERRY L. HOLDRIGHT
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

9-16-2025
DATE

THE TAX ASSESSOR'S MAP OF TOWN OF WELLESLEY, NORFOLK COUNTY, MAP 34.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF NORFOLK, STATE OF MASSACHUSETTS, AND IS DESCRIBED AS FOLLOWS:

PARCEL I (FEE SIMPLE)

THAT CERTAIN PARCEL OF LAND SITUATED IN WELLESLEY IN THE COUNTY OF NORFOLK AND SAID COMMONWEALTH, BOUNDED AND DESCRIBED AS FOLLOWS:

NORTHERLY BY THE SOUTHERLY LINE OF WASHINGTON STREET, ONE HUNDRED SIXTY FIVE AND 56/100 (165.56) FEET;
NORTHEASTERLY BY LAND NOW OR FORMERLY OF BOSTON & ALBANY RAILROAD COMPANY, TWO HUNDRED THIRTY AND 44/100 (230.44) FEET; AND
SOUTHEASTERLY, ONE HUNDRED TWENTY FOUR AND 25/100 (124.25) FEET, AND
SOUTHWESTERLY, TWO HUNDRED EIGHTY THREE AND 21/100 (283.21) FEET, BY LOT NUMBERED 2, SHOWN ON THE PLAN HEREINAFTER REFERRED TO.

SAID PARCEL IS SHOWN ON LOT NO. 3 (EXCEPTING FEE IN WASHINGTON STREET) ON A PLAN DRAWN BY A. COLETTI, SURVEYOR, DATED DEC. 4, 1952, AS APPROVED BY THE LAND COURT, FILED IN THE LAND REGISTRATION OFFICE NO. 20881C, A COPY OF A PORTION OF WHICH IS FILED IN NORFOLK REGISTRY DISTRICT WITH CERTIFICATE NO. 47648 IN BOOK 239. **LOT 3 SHOWN HEREON.**

PARCEL II (EASEMENT)

THERE IS APPURTENANT TO THE ABOVE DESCRIBED LAND THE RIGHT TO USE THE LAND CONVEYED TO THE INHABITANTS OF THE TOWN OF WELLESLEY, AS SET FORTH IN A DEED GIVEN BY HAROLD C. WISWALL TO THE INHABITANTS OF THE TOWN OF WELLESLEY, DATED OCTOBER 24, 1947, DULY RECORDED IN BOOK 2727, PAGE 199, IN COMMON WITH OTHER PERSONS LAWFULLY ENTITLED THERETO, SO FAR AS NOW IN FORCE AND APPLICABLE. **PARCEL II SHOWN HEREON.**

PARCEL III (EASEMENT)

THERE IS APPURTENANT TO SO MUCH OF THE ABOVE DESCRIBED LAND AS IS INCLUDED WITHIN THE LIMITS OF LOT D, PLAN FILED WITH CERTIFICATE NO. 38642, THE RIGHT TO HAVE THE BUILDING WHICH ENCRONES ON THE LOT OF THE INHABITANTS OF THE TOWN OF WELLESLEY, MAINTAINED AS SET FORTH IN SAID DEED GIVEN BY SAID HAROLD C. WISWALL TO THE INHABITANTS OF THE TOWN OF WELLESLEY, DATED OCTOBER 24, 1947, DULY RECORDED IN BOOK 2727, PAGE 199, SO FAR AS IN FORCE AND NOW APPLICABLE. **BUILDING ENCROACHMENT NO LONGER EXISTS. NOTHING TO PLOT.**

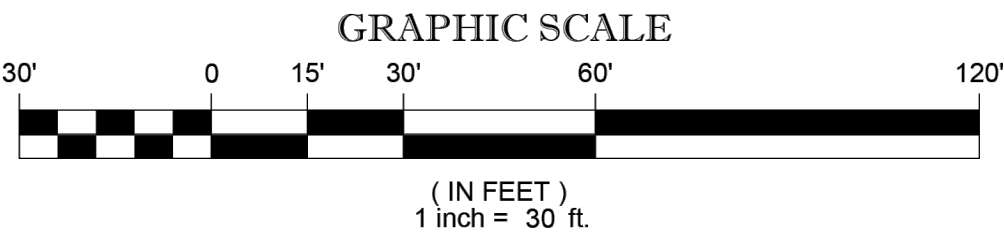
| ITEMS | REQUIRED |
|----------------------|-----------|
| MIN LOT AREA | 10,000 SF |
| MIN FRONTAGE | 60' |
| MIN FRONT YARD | 5' |
| MIN SIDE YARD | 20' * |
| MIN REAR YARD | 20' * |
| MAX BUILDING HEIGHT | 36' |
| MAX FLOOR AREA RATIO | 0.30 |
| MIN PARKING REQUIRED | 29 SPACES |

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON REFERENCE #11 AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

MINIMUM SIDE & REAR SETBACK OF 20' ONLY APPLIES TO ACCESSORY UNITS OVER 100 SQUARE FEET.



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



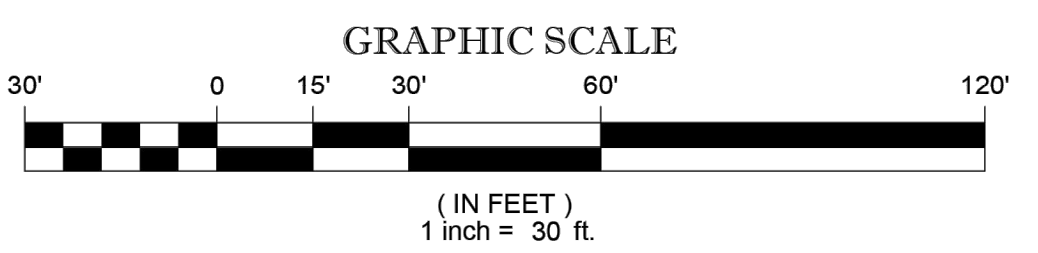
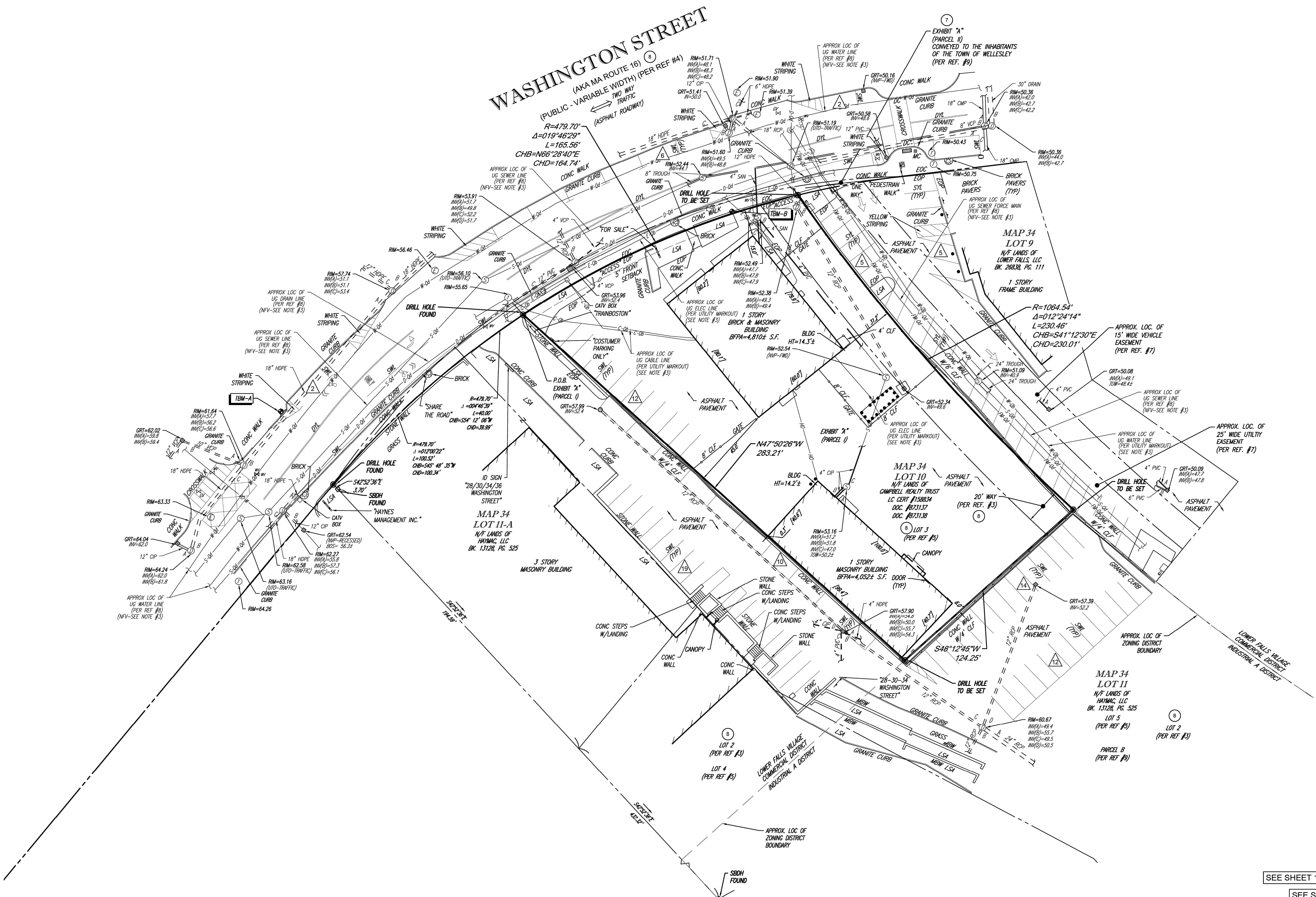
NOTES (CONT.):

21. NO EVIDENCE OF POTENTIAL WETLANDS WERE OBSERVED ON THE SUBJECT PROPERTY AT THE TIME THE SURVEY WAS CONDUCTED. NOR HAVE WE RECEIVED ANY DOCUMENTATION OF ANY WETLAND BEING LOCATED ON THE SUBJECT PROPERTY.
22. FROM A VISUAL INSPECTION ONLY, ALL UTILITIES APPEAR TO ENTER THE SUBJECT PROPERTY FROM A PUBLIC RIGHT-OF-WAY.
23. FROM A VISUAL INSPECTION ONLY, THE SUBJECT PROPERTY APPEARS TO DRAIN INTO PUBLIC RIGHT-OF-WAY.
24. IF THE SUBJECT PROPERTY IS COMPRISED OF MULTIPLE PARCELS, THE PARCELS ARE CONTIGUOUS ALONG THEIR COMMON BOUNDARIES AS SHOWN ON THIS SURVEY, AND THAT THERE ARE NO GAPS, STRIPS OR GORES IN SAID PROPERTIES.
25. THE BOUNDARY LINES OF THE SUBJECT PROPERTY ARE CONTIGUOUS WITH THE BOUNDARY LINES OF ALL ADJOINING STREETS, HIGHWAYS, RIGHT-OF-WAYS AND EASEMENTS, PUBLIC OR PRIVATE, AS DESCRIBED IN THEIR MOST RECENT RESPECTIVE LEGAL DESCRIPTION OF RECORD.
26. THE BOUNDARY LINE DIMENSIONS AS SHOWN ON THIS MAP FORM A MATHEMATICALLY CLOSED FIGURE WITHIN +/- 0.1 FOOT.
27. THERE ARE NO OBSERVABLE PARTY WALLS AND NO OBSERVABLE ABOVE GROUND ENCROACHMENTS EITHER (A) BY THE IMPROVEMENTS ON THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS, ALLEYS, EASEMENTS OR RIGHT OF WAY, OR (B) BY THE IMPROVEMENT ON ANY ADJOINING PROPERTY STREETS OR ALLEYS UPON THE SUBJECT PROPERTY EXCEPT AS OTHERWISE SHOWN HEREON.
28. THERE IS NO OBSERVABLE EVIDENCE OF EASEMENT OR RIGHTS OF WAY ON OR ACROSS THE SURVEYED PROPERTY, OR ON ANY ADJOINING PROPERTY IF THEY APPEAR TO AFFECT THE SUBJECT PROPERTY, EXCEPT AS OTHERWISE SHOWN HEREON.
29. THE SUBJECT PROPERTY DOES NOT APPEAR TO SERVE ANY ADJOINING PROPERTY FOR DRAINAGE, UTILITIES STRUCTURAL SUPPORT, INGRESS OR EGRESS.

Plotted By: Story, Kate Sheet: SstF0CB Wellesley Layout: C-101 January 20, 2026 08:39:12am Z:\RAL_LDE\00FCB\011737173 - wellesley.ma - 26 washington st\planning phase\p10_cad files\plan\sheetC-101 ALTA SURVEY.dwg

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS MAP OR PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

- LEGEND
- OH OVERHEAD WIRES
 - E APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - G APPROX. LOC. UNDERGROUND NATURAL GAS LINE
 - T APPROX. LOC. UNDERGROUND TELEPHONE LINE
 - W APPROX. LOC. UNDERGROUND WATER LINE
 - S APPROX. LOC. UNDERGROUND SANITARY LINE
 - D APPROX. LOC. UNDERGROUND DRAINAGE LINE
 - HYDRANT
 - WATER VALVE
 - GAS VALVE
 - DRAINAGE/STORM MANHOLE
 - ELECTRIC MANHOLE
 - UNKNOWN MANHOLE
 - SANITARY/SEWER MANHOLE
 - TELEPHONE MANHOLE
 - WATER MANHOLE
 - CATCH BASINS
 - PAINTED ARROWS
 - DETECTABLE WARNING PAD
 - METAL COVERS
 - SIGN
 - DOUBLE SIGN
 - BOLLARD
 - METAL GUIDE RAIL
 - PARKING METER
 - AIR CONDITIONING UNIT
 - AREA LIGHT
 - PARKING SPACE COUNT
 - BFA BUILDING FOOTPRINT AREA
 - BLDG BUILDING
 - CLF CHAIN LINK FENCE
 - DYL DOUBLE YELLOW LINE
 - EOC EDGE OF CONC.
 - EOP EDGE OF PAVEMENT
 - HT HEIGHT
 - LSA LANDSCAPED AREA
 - MOW MASONRY BLOCK WALL
 - MC METAL COVER
 - SKL SOLID WHITE LINE
 - SYL SOLID YELLOW LINE
 - TYP TYPICAL
 - PVC POLYVINYL CHLORIDE PIPE
 - HDPE HIGH DENSITY POLYETHYLENE PIPE
 - CIP CAST IRON PIPE
 - RCF REINFORCED CONCRETE PIPE
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - EVIDENCE FOUND
 - UNKNOWN TERMINUS



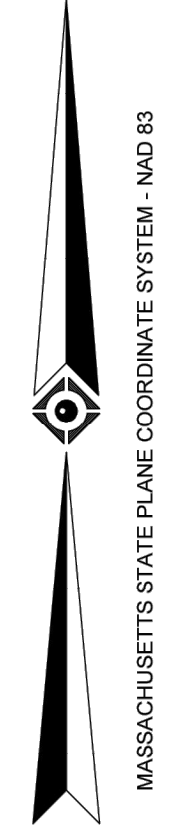
THIS SURVEY IS CERTIFIED TO:
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FIRST AMERICAN TITLE INSURANCE COMPANY
FIRST CITIZENS BANK & TRUST COMPANY
LOWMEDES, DROSDICK, DOSTER, KANTOR & REED, P.A.

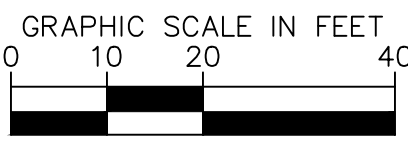
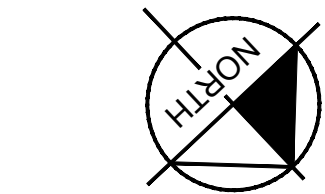
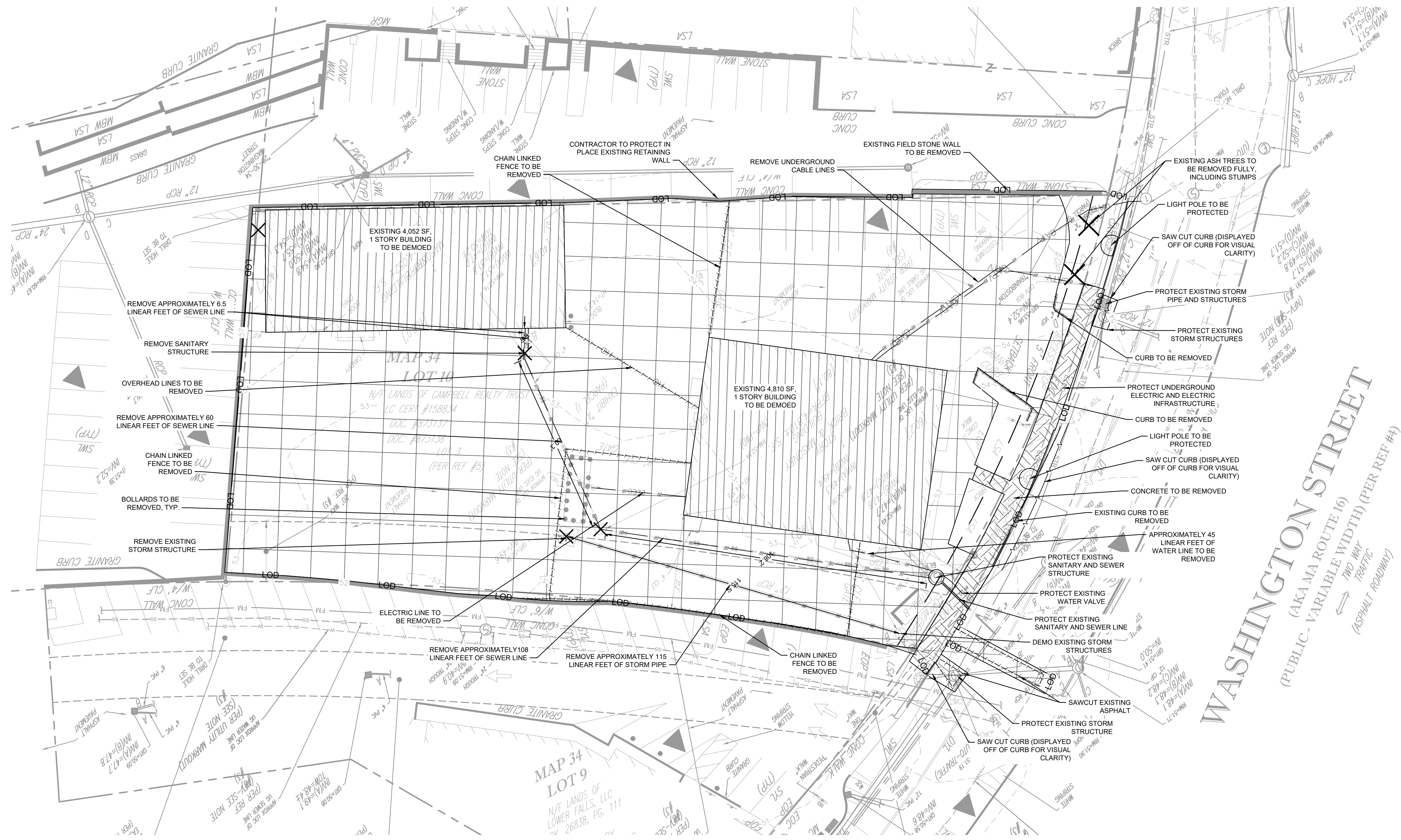
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GERRY L. HOLDRIGHT
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211



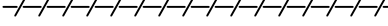
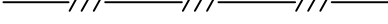



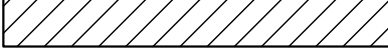




| 1 | REVISED PER CLIENT COMMENTS | - | R.J.K. | G.L.H. | 9-16-2025 |
|----------------|-----------------------------|-----------------------------------|-----------|----------|-----------|
| No. | DESCRIPTION OF REVISION | FIELD CREW | DRAWN | APPROVED | DATE |
| FIELD DATE | 6-18-2025 | ALTANSPS LAND TITLE SURVEY | | | |
| FIELD BOOK NO. | 25-6 | KIMLEY-HORN & ASSOCIATES, INC | | | |
| FIELD BOOK PG. | 37 | 26 WASHINGTON STREET | | | |
| FIELD CREW | B.S.B. | LOT 10, MAP 34 | | | |
| DRAWN: | J.P.M. | TOWN OF WELLESLEY, NORFOLK COUNTY | | | |
| REVIEWED: | R.J.K. | COMMONWEALTH OF MASSACHUSETTS | | | |
| APPROVED: | G.L.H. | DATE | 9-10-2025 | SCALE | 1"=30' |
| FILE NO. | 03-250212-00 | SHEET | 2 | OF | 2 |





DEMOLITION LEGEND

| | |
|---|---|
|  | PROPERTY LINE |
|  | LIMITS OF DISTURBANCE |
|  | DEMOLISH SITE ITEM |
|  | DEMOLISH UNDERGROUND UTILITY |
|  | ABANDON UTILITY IN PLACE |
|  | SAWCUT |
|  | DEMOLISH SITE ITEM/ TREE TO BE REMOVED |
|  | BUILDINGS TO BE REMOVED |
|  | PAVEMENT TO BE REMOVED |
|  | SIDEWALK TO BE REMOVED |

Kimley»»Horn

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#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601



| | | |
|--------------------------|-------------------|----------------|
| KHA PROJECT 011737473 | DATE 1/13/2026 | SCALE AS SHOWN |
| DESIGNED BY | KLS | |
| DRAWN BY | KLS | |
| CHECKED BY | JSA | |

DEMOLITION PLAN

FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY

WELLESLEY
MASSACHUSETTS

SHEET NUMBER
C-120

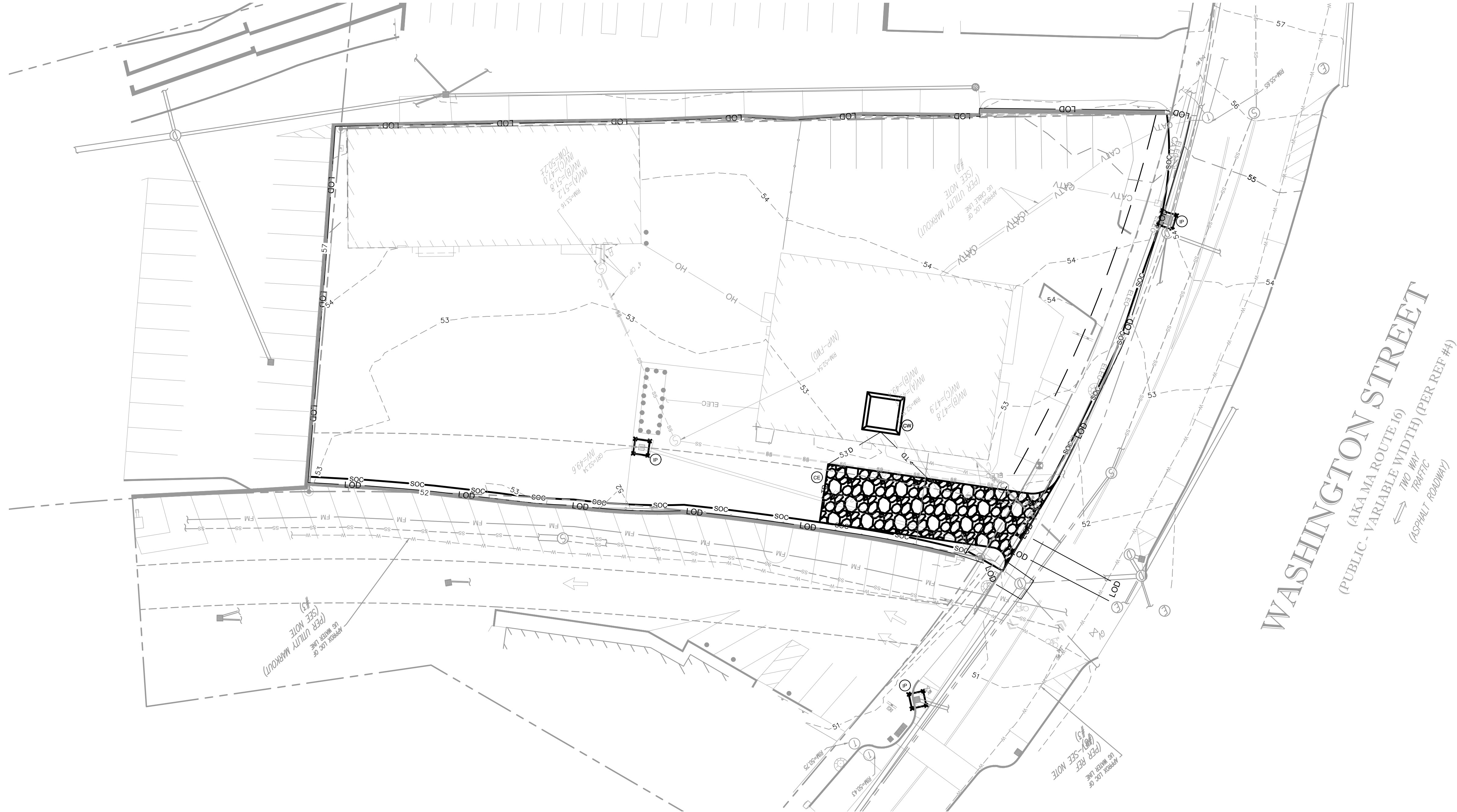
DEMOLITION / LAND DISTURBANCE NOTES:

- | | |
|--|--|
| <p>PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:</p> <ul style="list-style-type: none"> A. ENSURING THAT COPIES OF ALL APPLICABLE PERMITS AND APPROVALS ARE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW. B. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL AND/OR TREE PROTECTION MEASURES PRIOR TO SITE DISTURBANCE. C. LOCATING (VERTICALLY AND HORIZONTALLY) ALL UTILITIES AND SERVICES, INCLUDING, BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. D. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS. E. COORDINATION WITH UTILITY COMPANIES & ADJACENT LANDOWNERS/BUSINESSES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. F. CONTRACTOR IS TO VERIFY EXISTING SITE CONDITIONS AGAINST THE PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR START OF DEMO OR ANY SITE WORK. | <ul style="list-style-type: none"> 5. CONDUCT SITE DISTURBANCE ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY. 6. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEARED OF ALL DUST AND DEBRIS CAUSED BY THE SITE DISTURBANCE OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DISTURBANCE" CONDITION. 7. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME. 8. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY EXISTING ITEMS/CONDITIONS AND REQUIRED SITE DISTURBANCE. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE. 9. NO DEMOLITION WASTES WILL BE GENERATED FROM THIS SITE AS THERE ARE NO EXISTING STRUCTURES TO BE DEMOLISHED, ANY INCIDENTAL DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE, AND SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. 10. ALL PROPOSED STORM INLET OR GRATE STRUCTURES SHALL BE PROTECTED WITH APPROVED INLET PROTECTION MEASURES IMMEDIATELY FOLLOWING INSTALLATION. ALL EXISTING STORM INLET OR GRATE STRUCTURES SHALL BE PROTECTED WITH APPROVED INLET PROTECTION MEASURES PRIOR TO AND DURING SITE DISTURBANCE. 11. ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITH JUTE MESH OR OTHER APPROVED SOIL STABILIZATION FABRIC IMMEDIATELY FOLLOWING DISTURBANCE OF THE SLOPED AREA. 12. SPARE EROSION CONTROL BARRIERS ARE TO BE STORED ON SITE FOR EMERGENCY PURPOSES 13. TEMPORARY STOCKPILES, TRAILER LOCATION, AND CONSTRUCTION PARKING AREA IS SHOWN FOR REFERENCE ON THIS PLAN. CONTRACTOR TO CREATE A STAGING AND STOCKPILING PLAN TO COORDINATE WITH INSPECTOR ON FINAL PLANS. |
| <p>2. NEITHER KIMLEY-HORN & ASSOCIATES, INC. NOR THE OWNER IS RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.</p> | |
| <p>3. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING FEATURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES.</p> | |
| <p>4. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS - OF - WAY.</p> | |

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SOUTHBOROUGH, MA, 01772, PHONE: (508) 948-3000. CONTRACTOR
SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING
INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND
REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.





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| EROSION CONTROL LEGEND | |
|------------------------|------------------------------|
| | PROPERTY LINE |
| | LOD LIMITS OF DISTURBANCE |
| | SILT FENCE |
| | SILT SOCK FENCE |
| | TD TEMPORARY DIVERSION DITCH |
| | PUMP DISCHARGE HOSE |
| | EXISTING CONTOUR |
| | PROPOSED CONTOUR |
| | DRAINAGE AREA BOUNDARY |
| | CONSTRUCTION ENTRANCE |
| | CW CONCRETE WASHOUT STATION |
| | IP INLET PROTECTION |

FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
WELLESLEY
MASSACHUSETTS

SHEET NUMBER
C-200

INITIAL EROSION
CONTROL PLAN

| | | | | | |
|--------------------------|-------------------|-------------------|--------------------|-----------------|-------------------|
| KHA PROJECT 011737473 | DATE 1/13/2026 | SCALE AS SHOWN | DESIGNED BY KLS | DRAWN BY KLS | CHECKED BY JSA |
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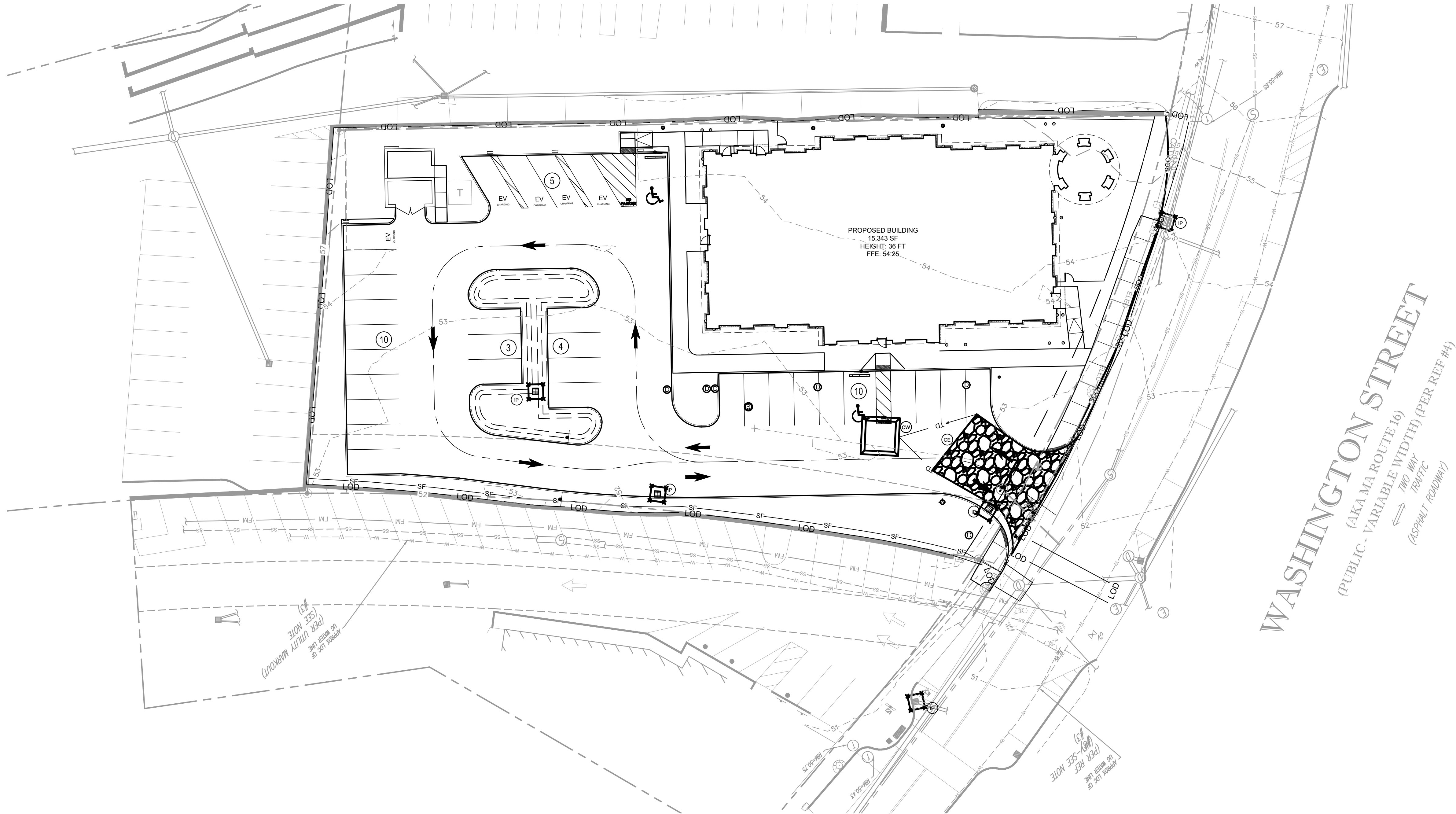
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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

| No. | Revisions | By | Date |
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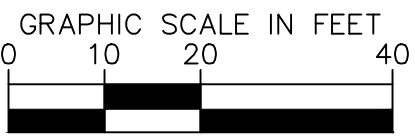
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| EROSION CONTROL LEGEND | |
|------------------------|---------------------------|
| --- | PROPERTY LINE |
| --- | LIMITS OF DISTURBANCE |
| --- | SILT FENCE |
| --- | SILT SOCK FENCE |
| --- | TEMPORARY DIVERSION DITCH |
| --- | PUMP DISCHARGE HOSE |
| --- | EXISTING CONTOUR |
| --- | PROPOSED CONTOUR |
| --- | DRAINAGE AREA BOUNDARY |
| --- | CONSTRUCTION ENTRANCE |
| --- | CONCRETE WASHOUT STATION |
| --- | INLET PROTECTION |

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WELLESLEY
MASSACHUSETTS

SHEET NUMBER
C-201

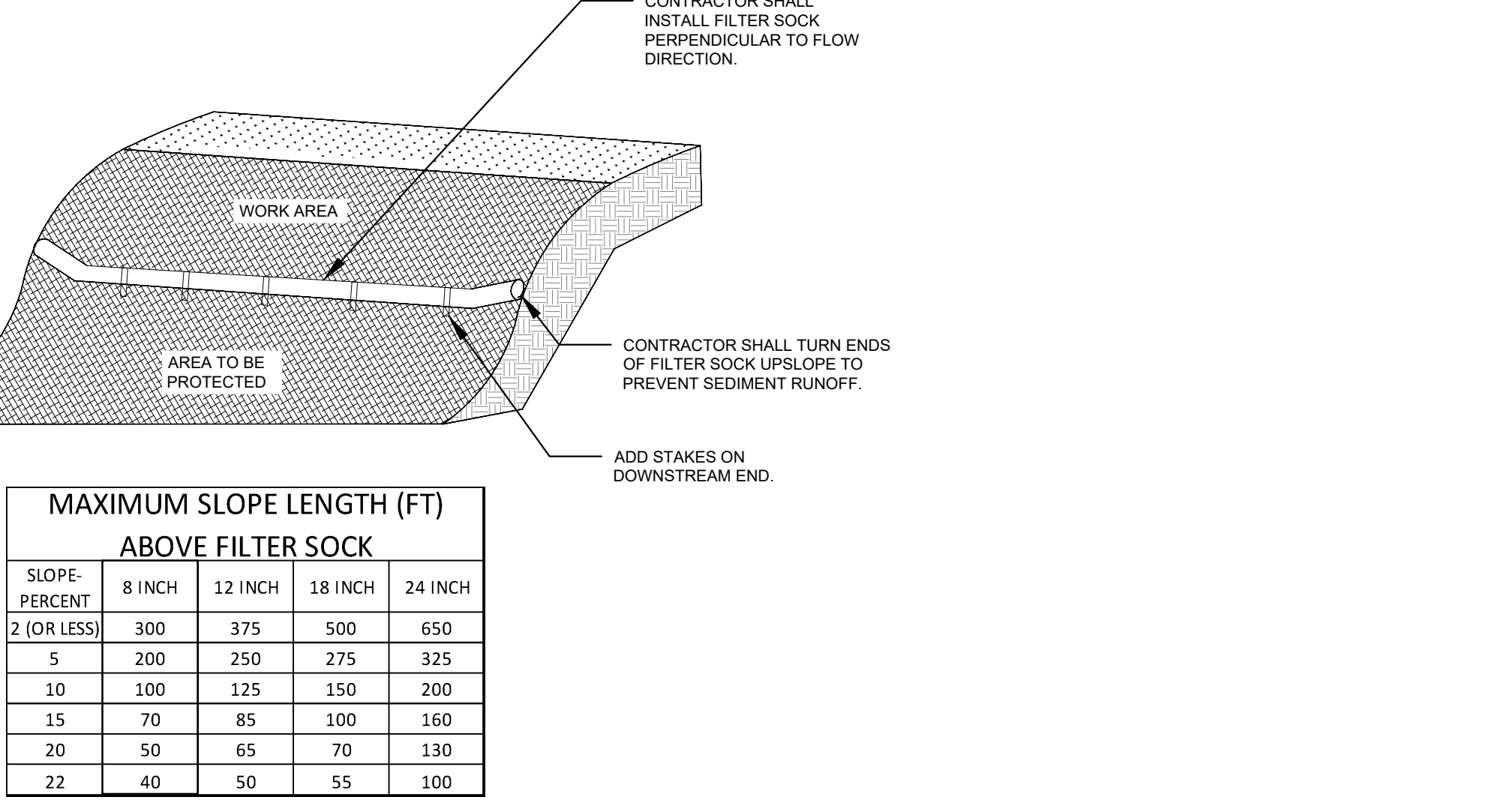
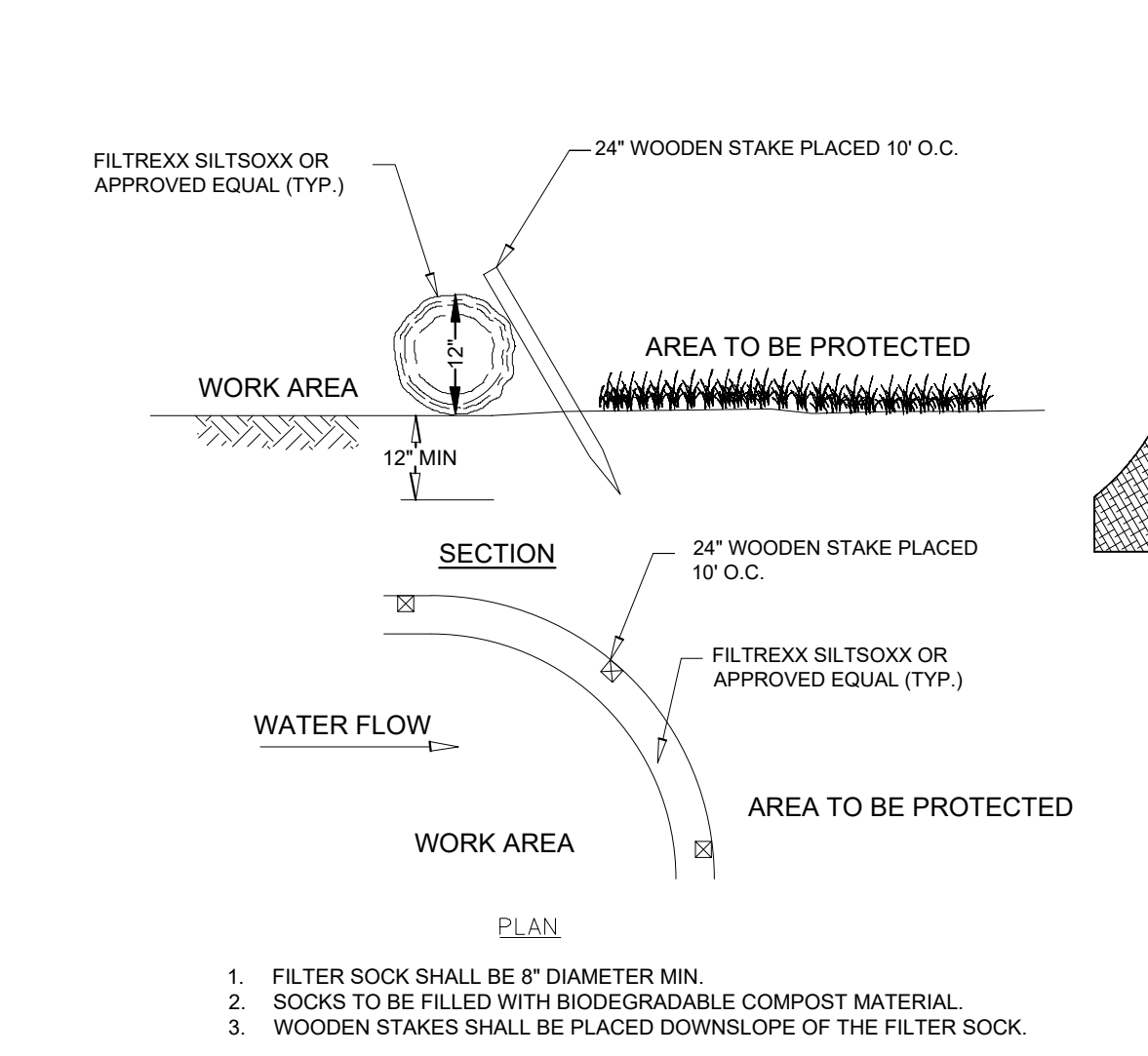
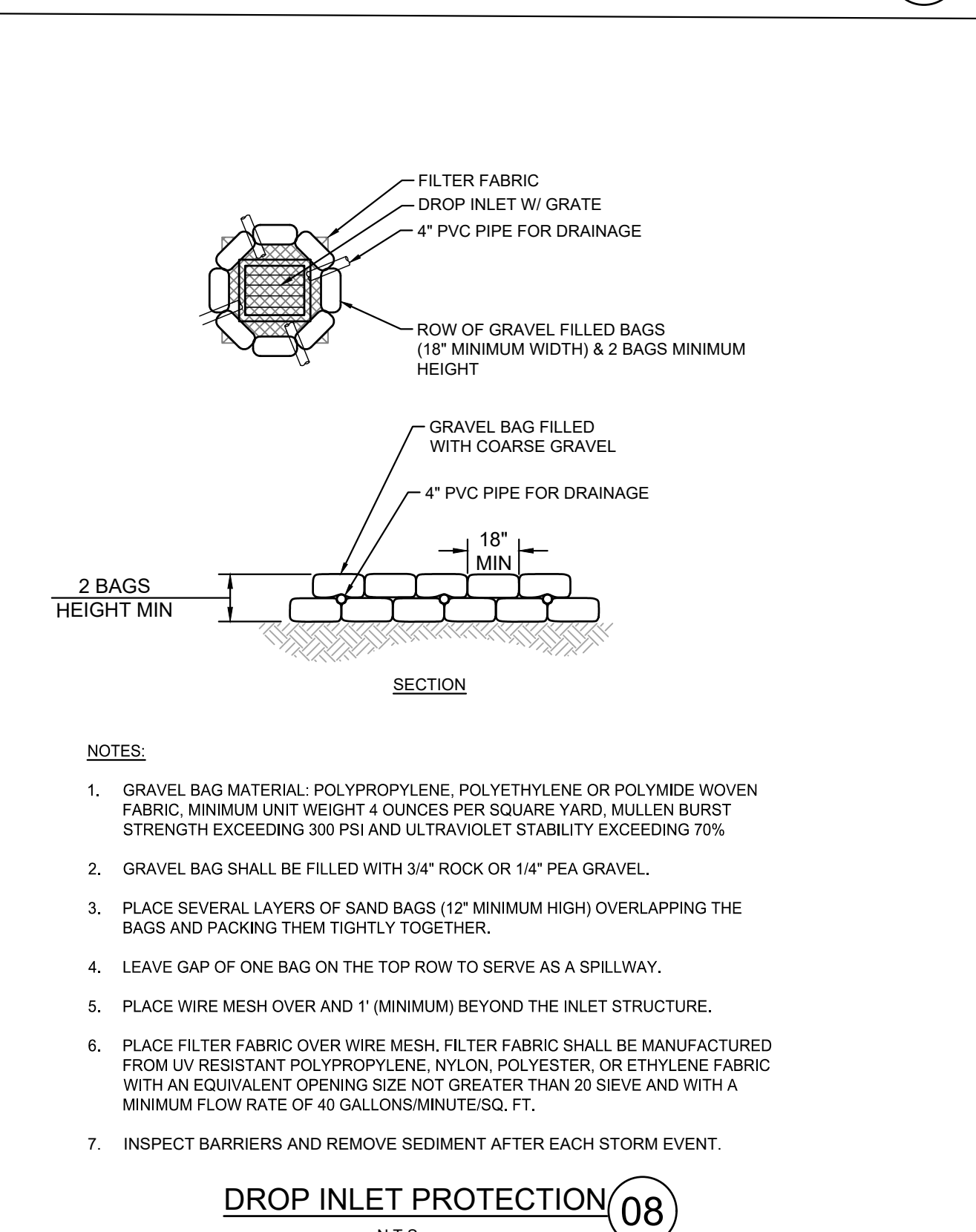
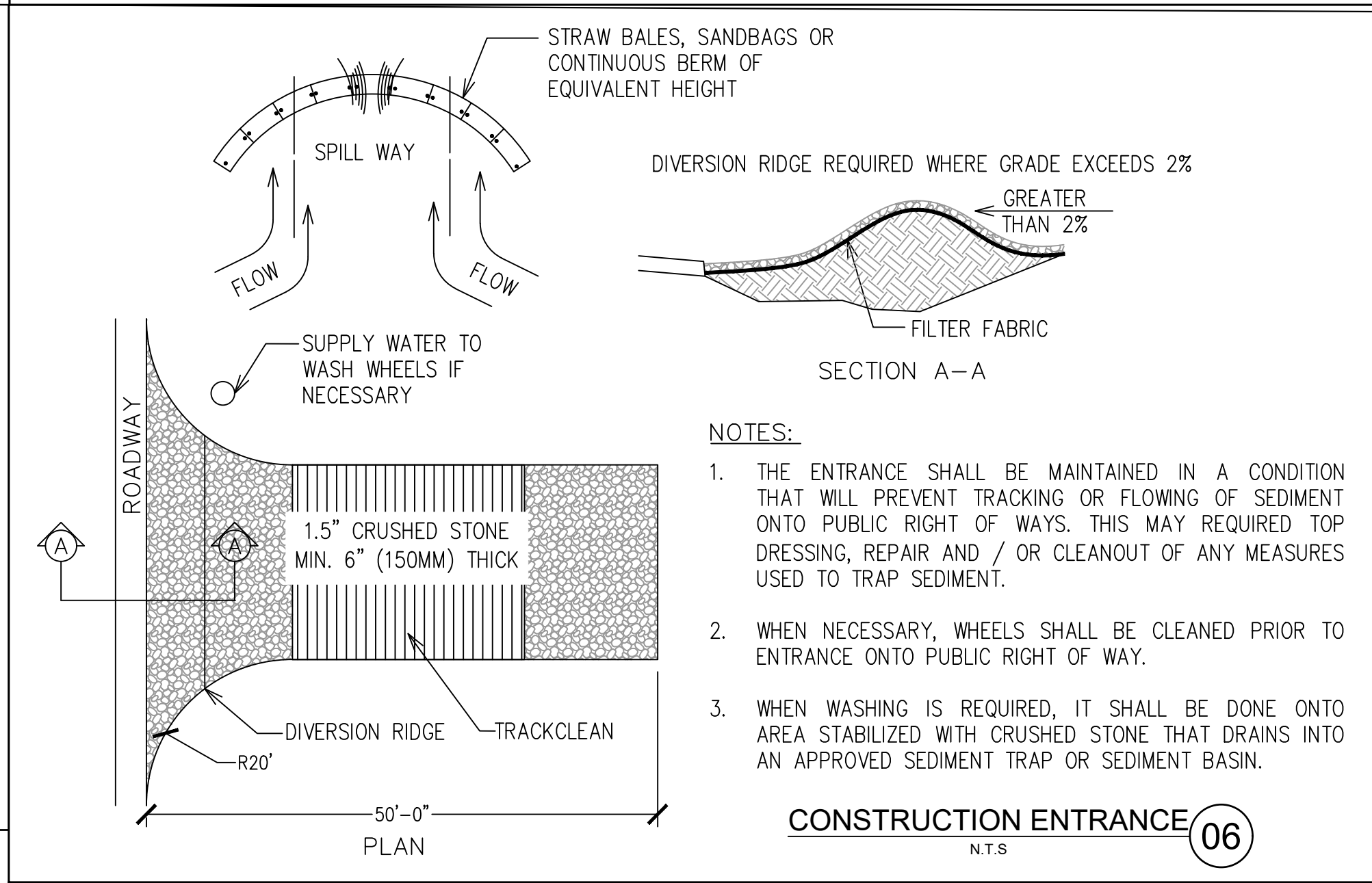
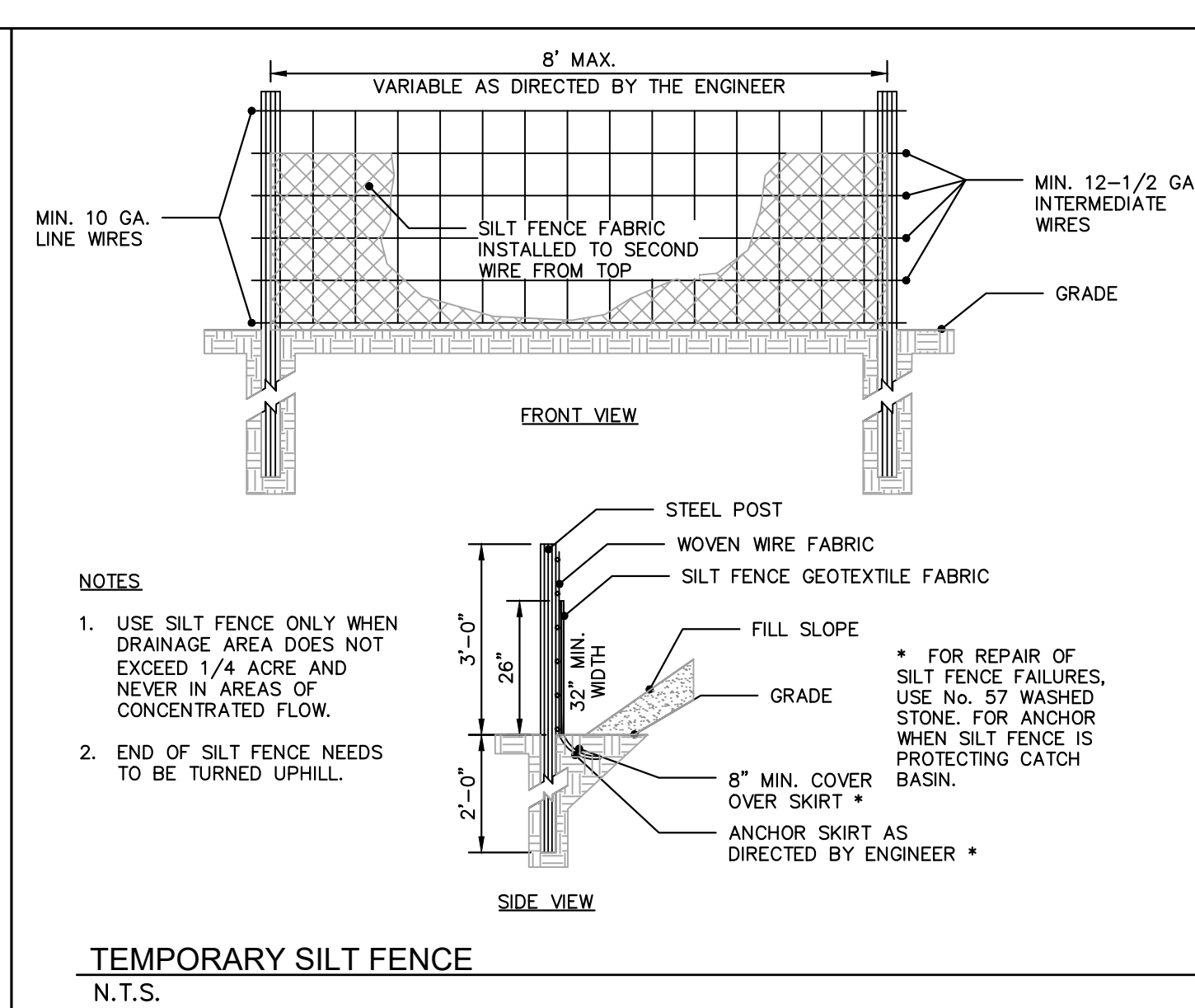
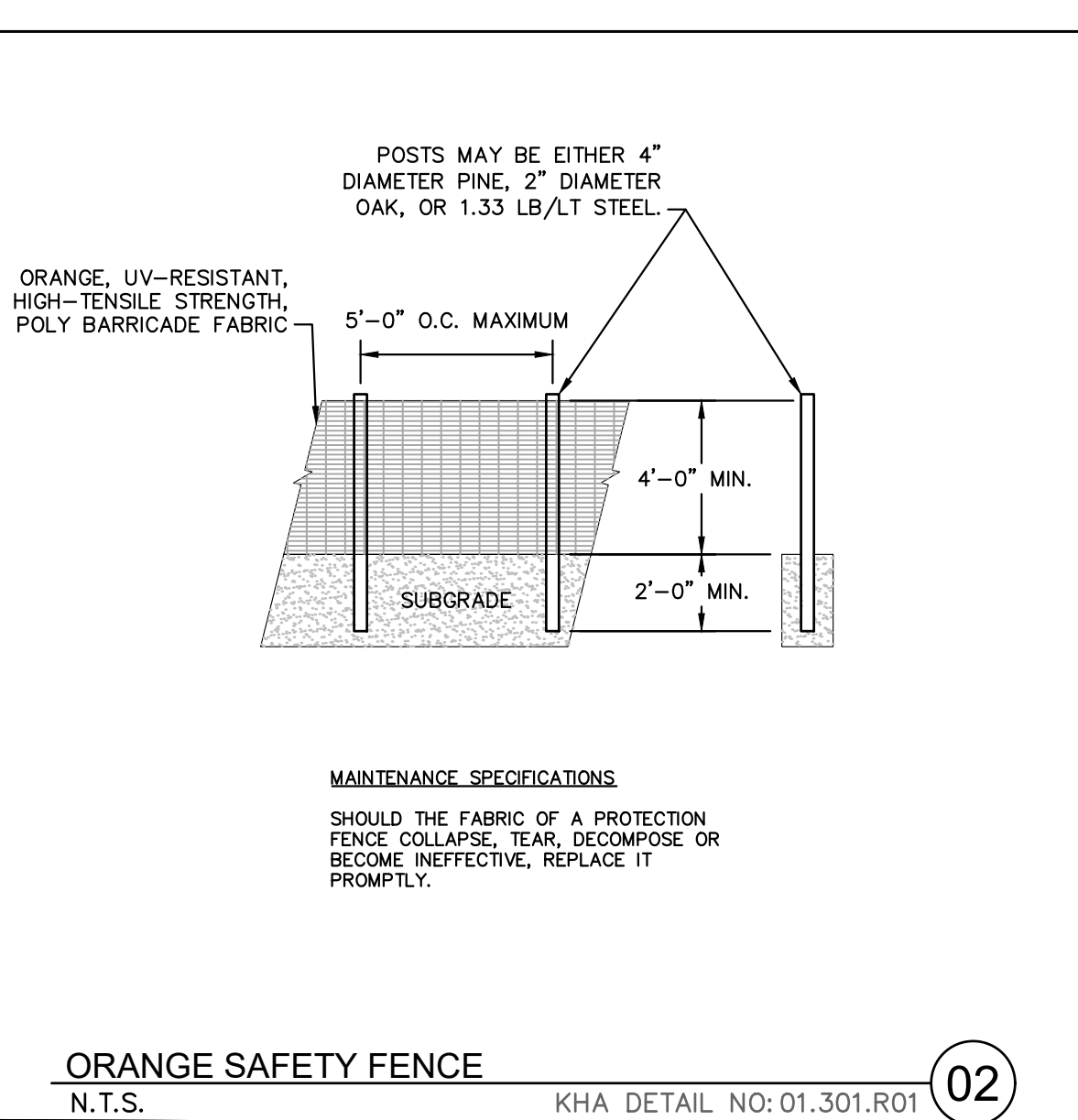
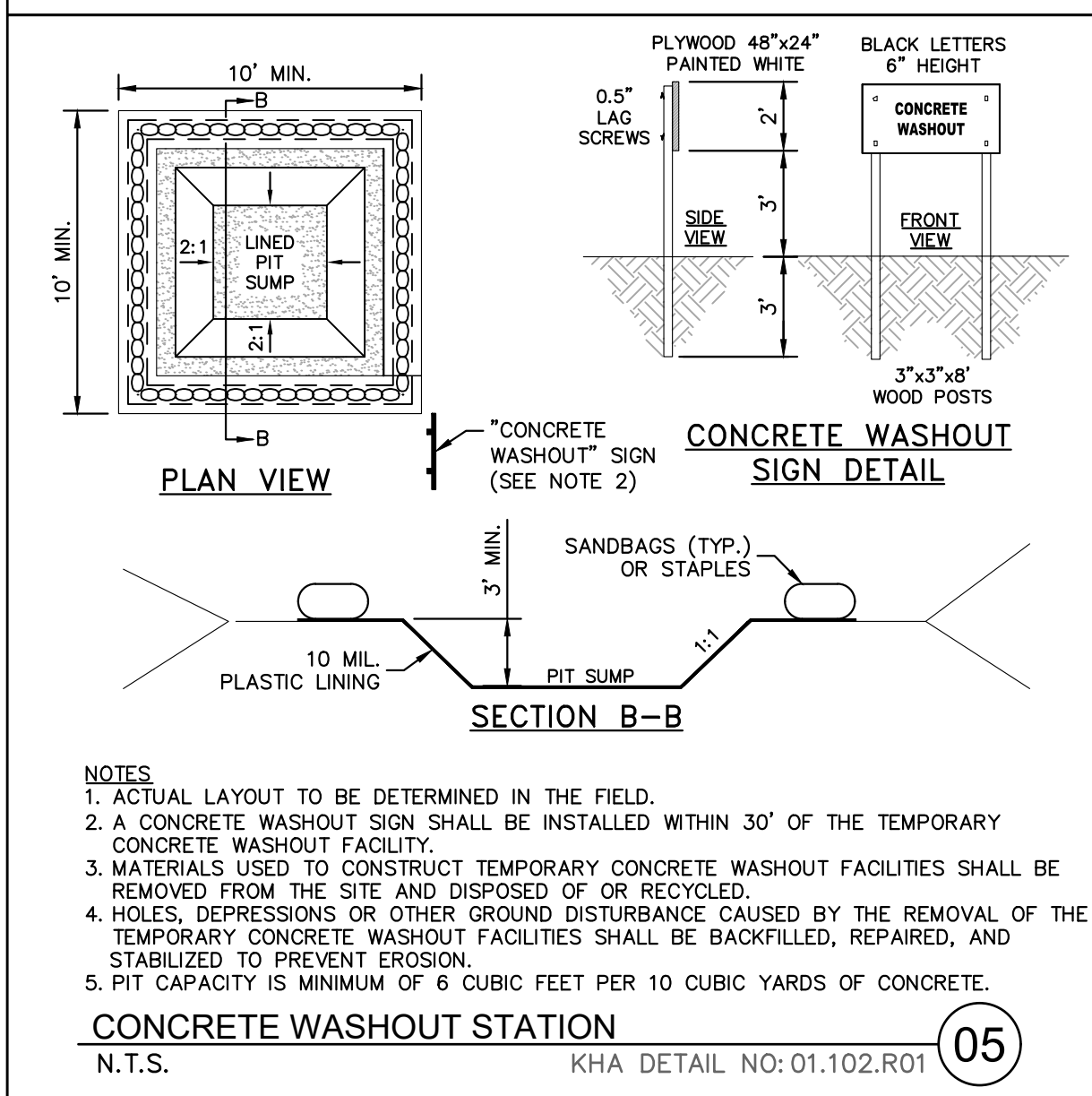
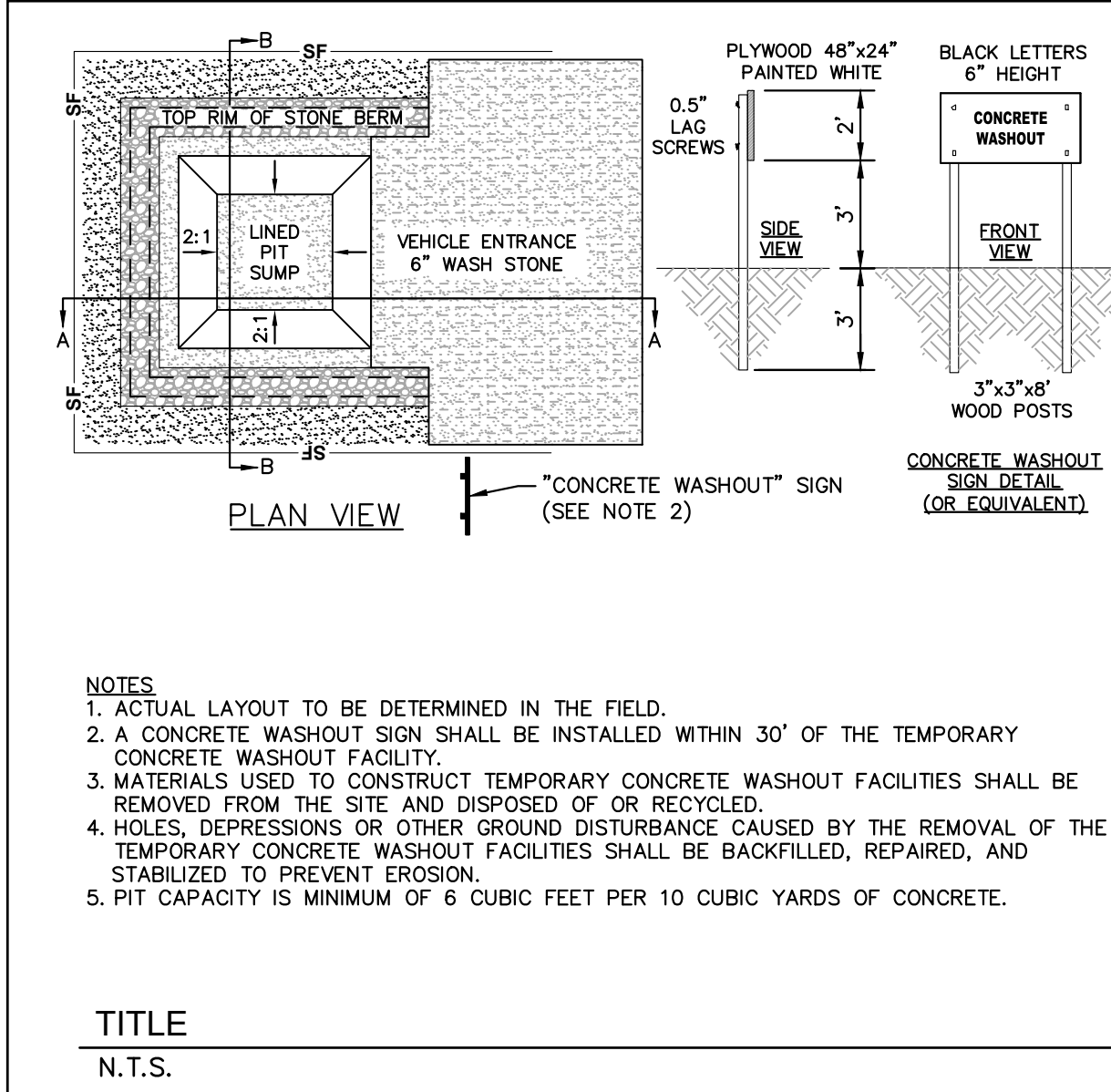
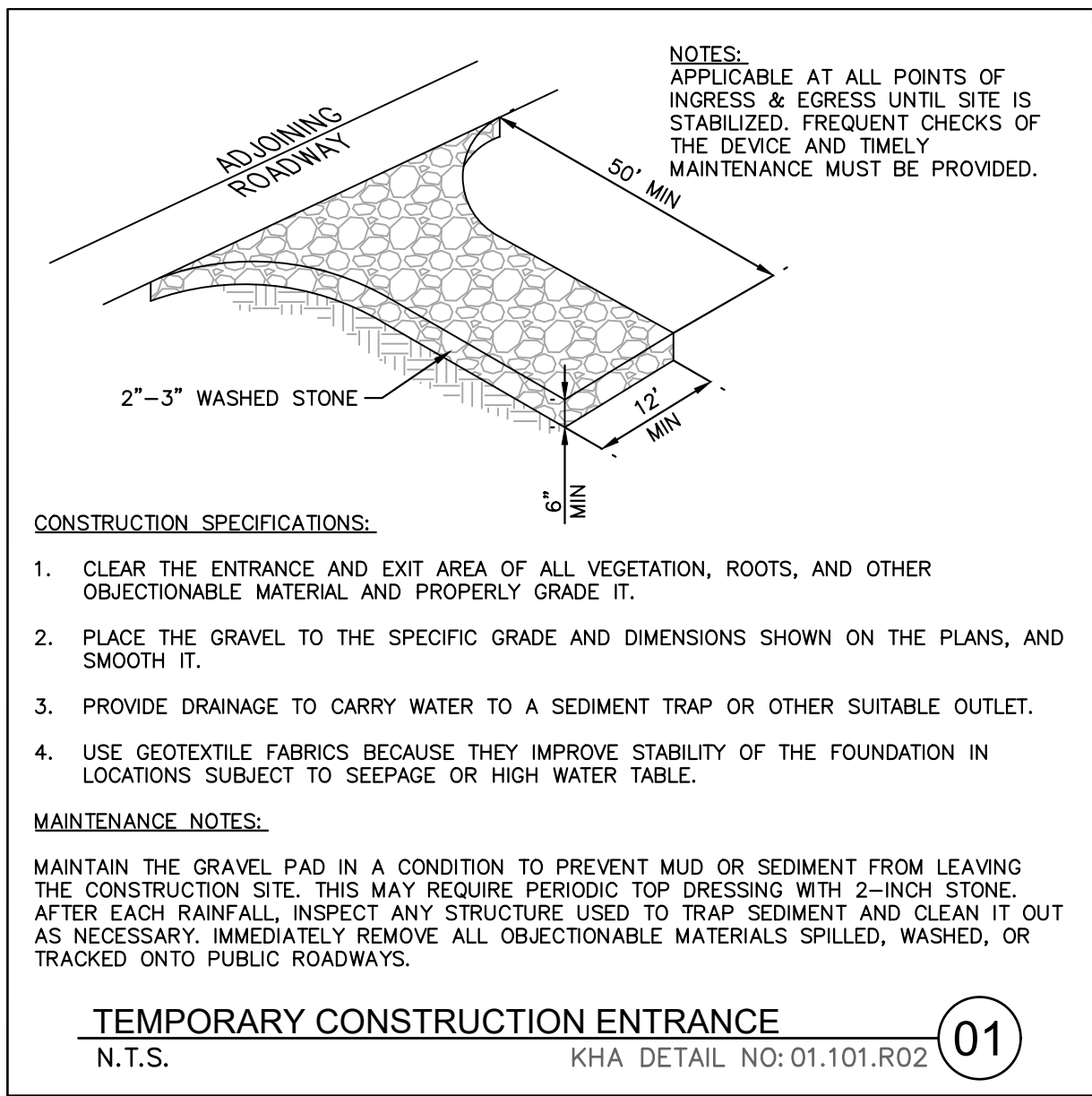


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| REVISIONS | | BY |
|-----------|------|----|
| No. | DATE | |
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Plotted By:Stacy, Katie Sheet Set:FCB WELLESLEY Layout:C-220 January 20, 2026 08:41:33am Z:\RAL LDEV00FCB\011737473 -wellesley.mxd -26 washington st planning phase\10_cad files\plansheets\C-220 EROSION CONTROL DETAILS.dwg
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| MAXIMUM SLOPE LENGTH (FT) | | | | |
|---------------------------|--------|---------|---------|---------|
| ABOVE FILTER SOCK | | | | |
| SLOPE PERCENT | 8 INCH | 12 INCH | 18 INCH | 24 INCH |
| 2 (OR LESS) | 300 | 375 | 500 | 650 |
| 5 | 200 | 250 | 275 | 325 |
| 10 | 100 | 125 | 150 | 200 |
| 15 | 70 | 85 | 100 | 160 |
| 20 | 50 | 65 | 70 | 130 |
| 22 | 40 | 50 | 55 | 100 |

FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
WELLESLEY

MASSACHUSETTS

011737473
DATE
1/13/2026
SCALE AS SHOWN
DESIGNED BY KLS
DRAWN BY KLS
CHECKED BY JSA

EROSION CONTROL
DETAILS

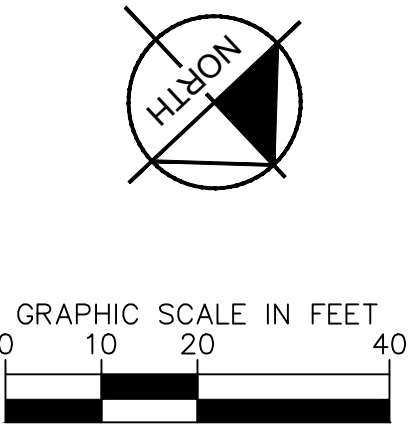
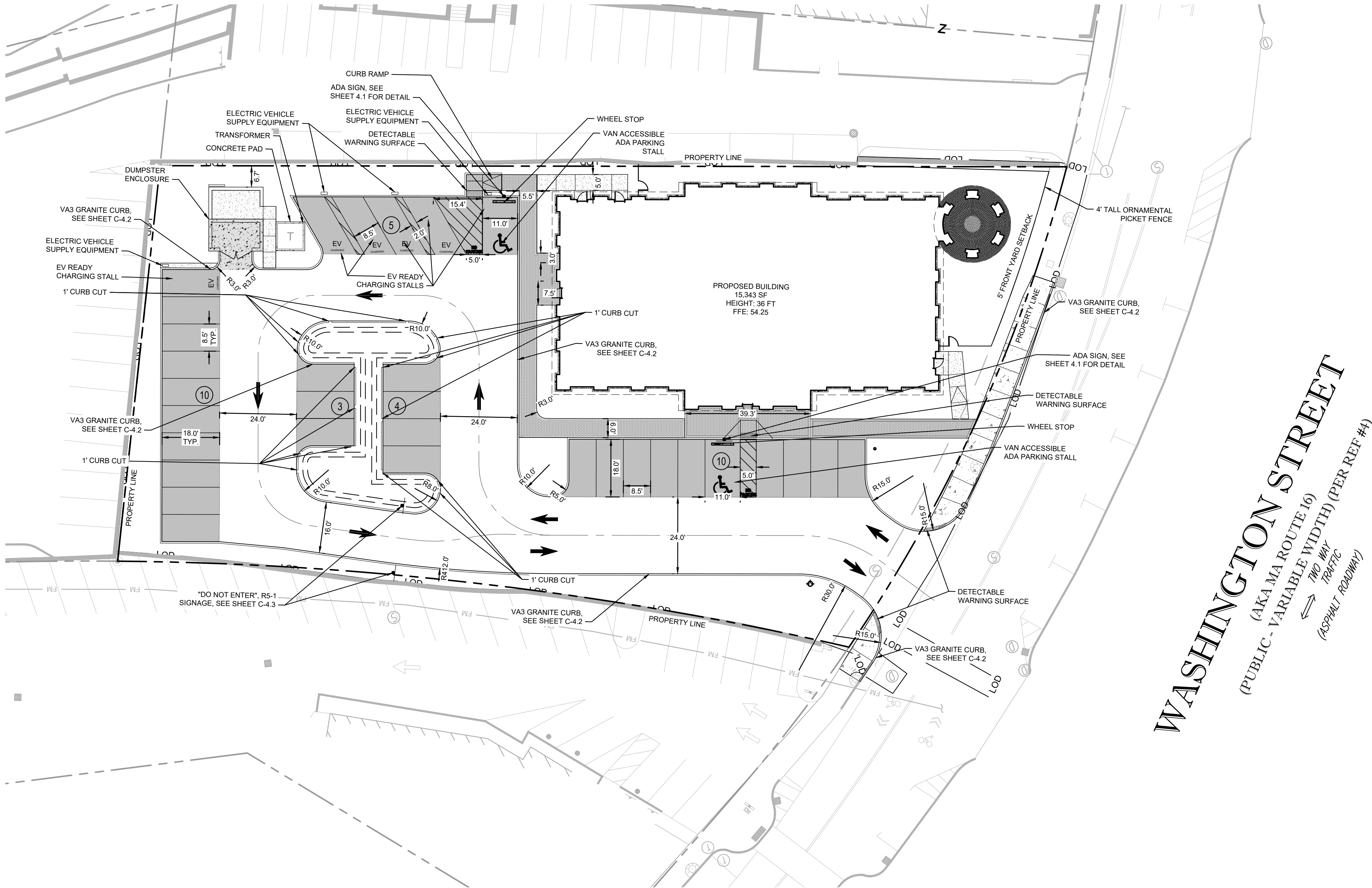
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COMMONWEALTH OF MASSACHUSETTS
JESSE SETH ANDERSON
No. 59764
PROFESSIONAL ENGINEER

REVISIONS

BY
DATE

Plotted By: Stacy, Katie Sheet Set: FCB WELLESLEY Layout: C-300 January 20, 2026 08:42:08am Z:\RAL LDEV\0FCB\011737473 -wellesley.mn -28 washington st planning phase\p10_cad files\plansheets\C-300 SITE PLAN.dwg
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| SITE LEGEND | |
|-------------|---|
| | PROPERTY LINE |
| | EASEMENT LINE |
| | FENCE |
| | STANDARD CURB |
| | PARKING SPACE COUNT |
| | SIGN (SEE PLAN) |
| | LIGHT POLE |
| | WHEEL STOP |
| | ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE) |
| | DIRECTIONAL PAVEMENT ARROWS |
| | ACCESSIBLE RAMP |
| | DEPRESSED CURB RAMP |
| | STANDARD DUTY ASPHALT |
| | HEAVY DUTY ASPHALT |
| | DECORATIVE AGGREGATE SIDEWALK |
| | STANDARD CONCRETE SIDEWALK |
| | HEAVY DUTY CONCRETE |
| | BRICK PAVER SIDEWALK |

SITE NOTES

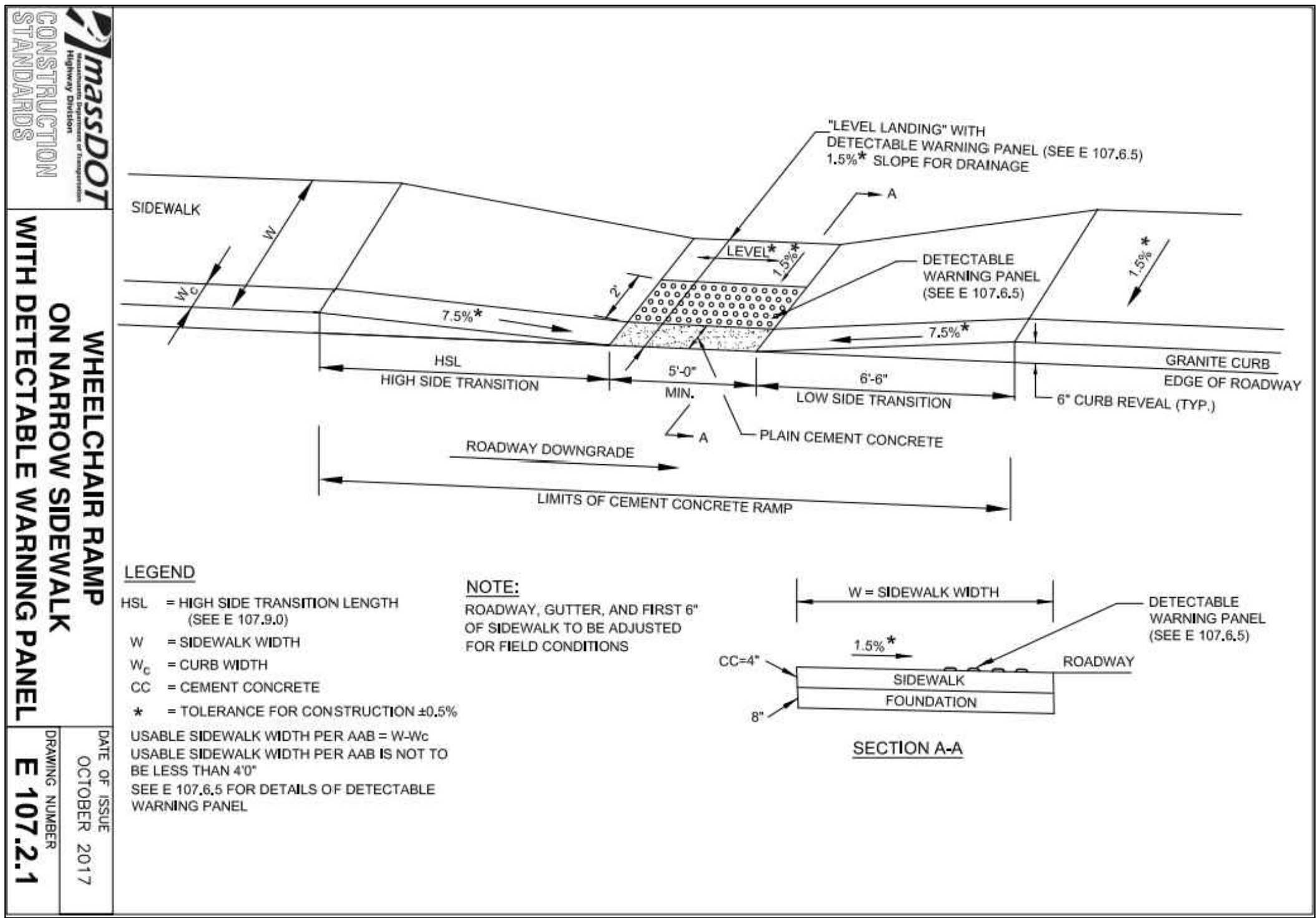
- ALL DIMENSIONS REFER TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 5.0' UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
- ALL EXISTING SIDEWALK AND CURB AND GUTTER CUTS SHALL BE TO THE NEAREST CONSTRUCTION JOINT.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO REPLACE ANY PAVEMENT MARKING THAT IS AFFECTED BY CONSTRUCTION.
- EXISTING CROSSWALKS CONNECTING THE SITE TO THE SURROUNDING STREET NETWORK TO BE REPAINTED.
- SIDEWALKS LOCATED BEHIND EV READY SPACES MUST HAVE MINIMUM 3.0' CLEARANCE PER MASSACHUSETTS ADA CODE 521 CMR 23.5.

| | |
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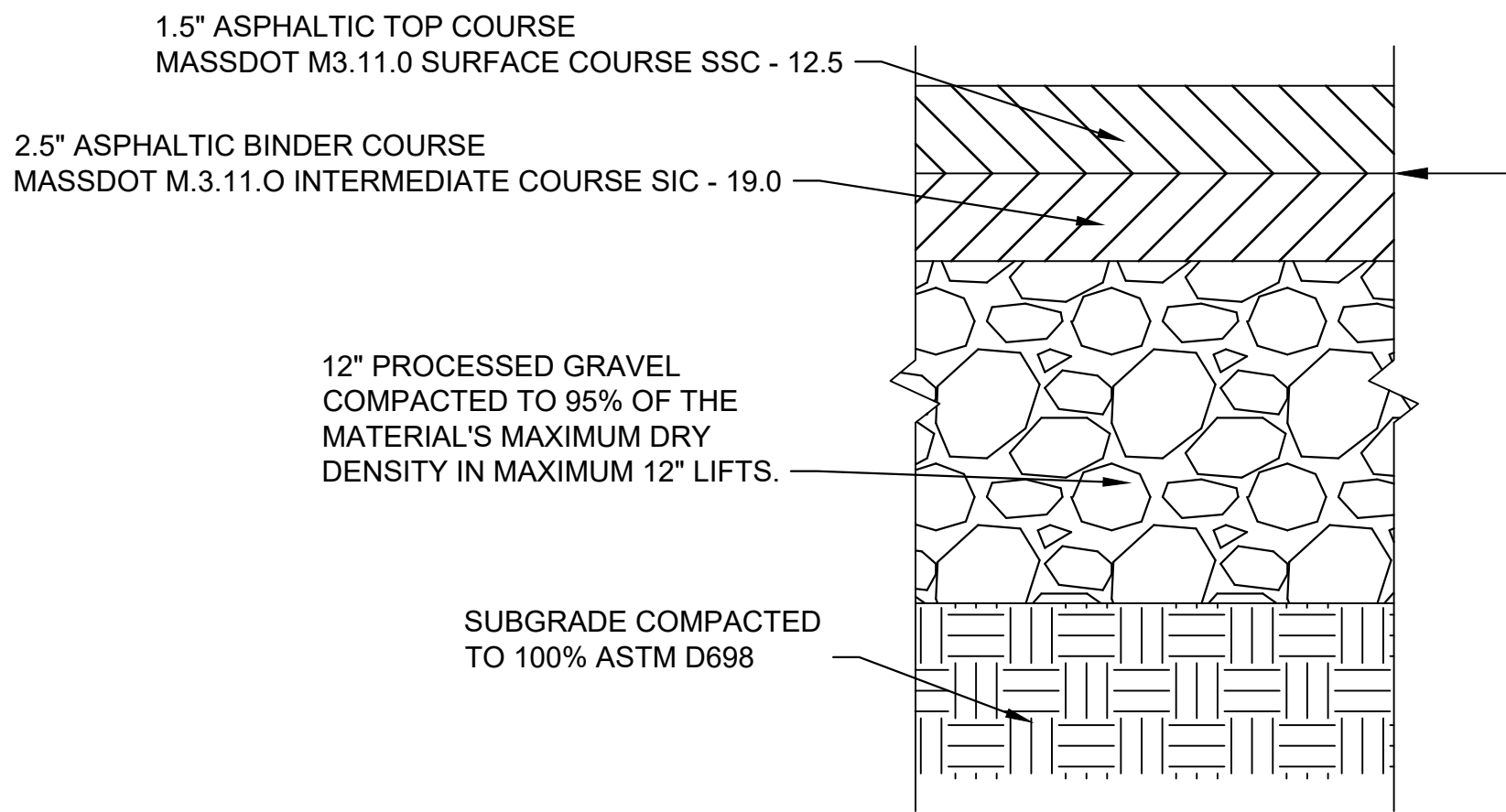


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| KHA PROJECT 011737473 | DATE 1/13/2026 | SCALE AS SHOWN | DESIGNED BY KLS | DRAWN BY KLS | CHECKED BY JSA | MASSACHUSETTS | FCB WELLESLEY PREPARED FOR FIRST-CITIZENS BANK & TRUST COMPANY WELLESLEY | SITE PLAN | Kimley»Horn © 2024 KIMLEY-HORN AND ASSOCIATES, INC. #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 | 7 | 6 | 5 | 4 | 3 | 2 | 1 | No. | REVISIONS | BY |
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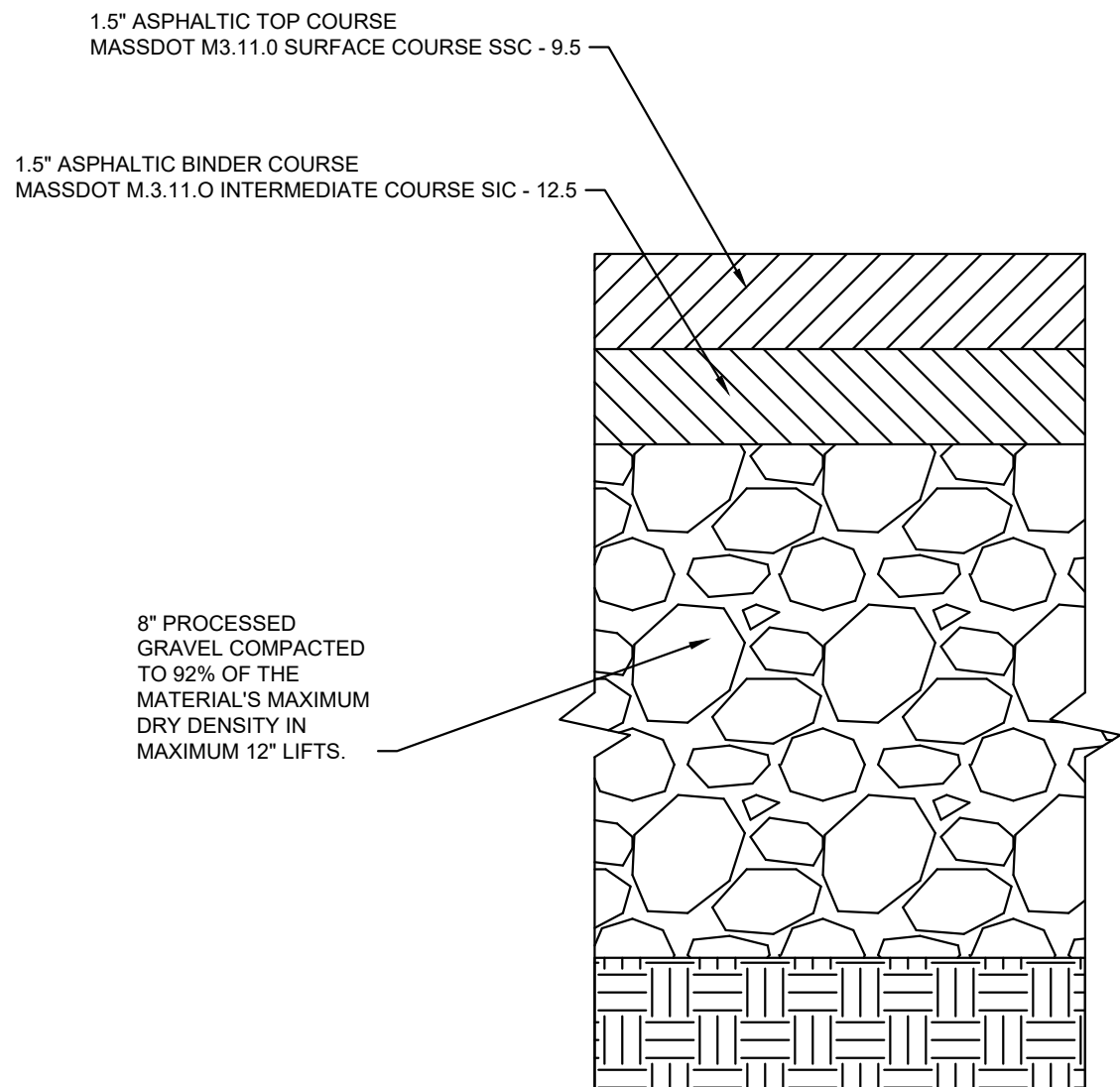
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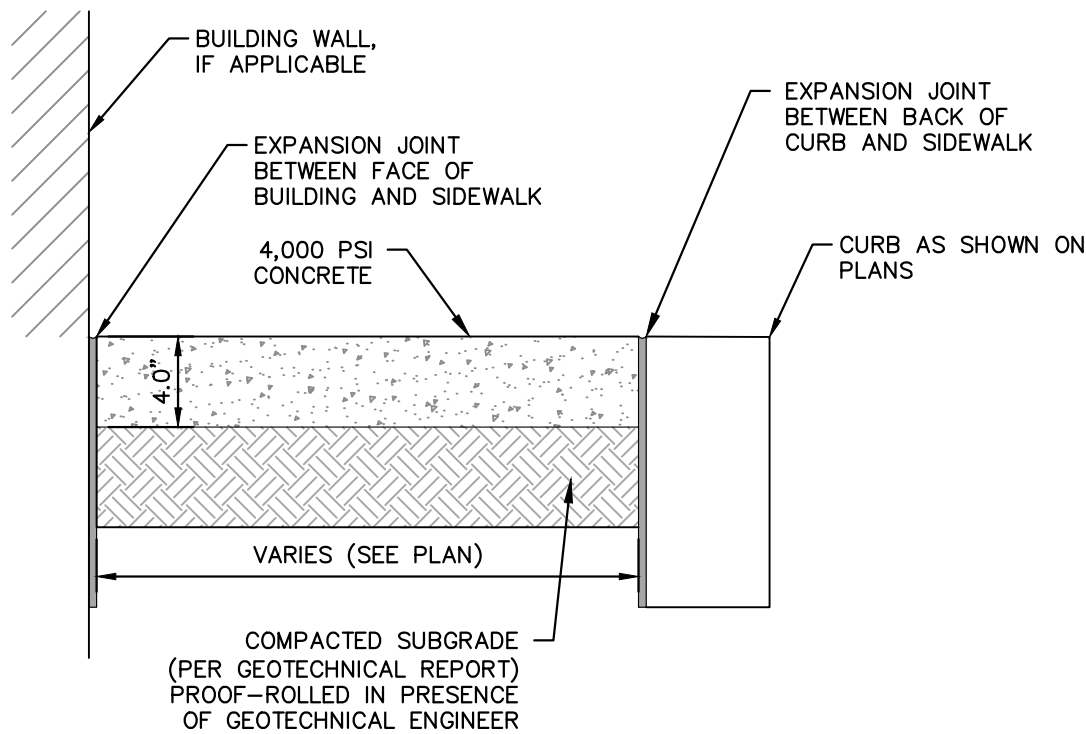
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N.T.S. KHA DETAIL NO: 02.105.R02 01



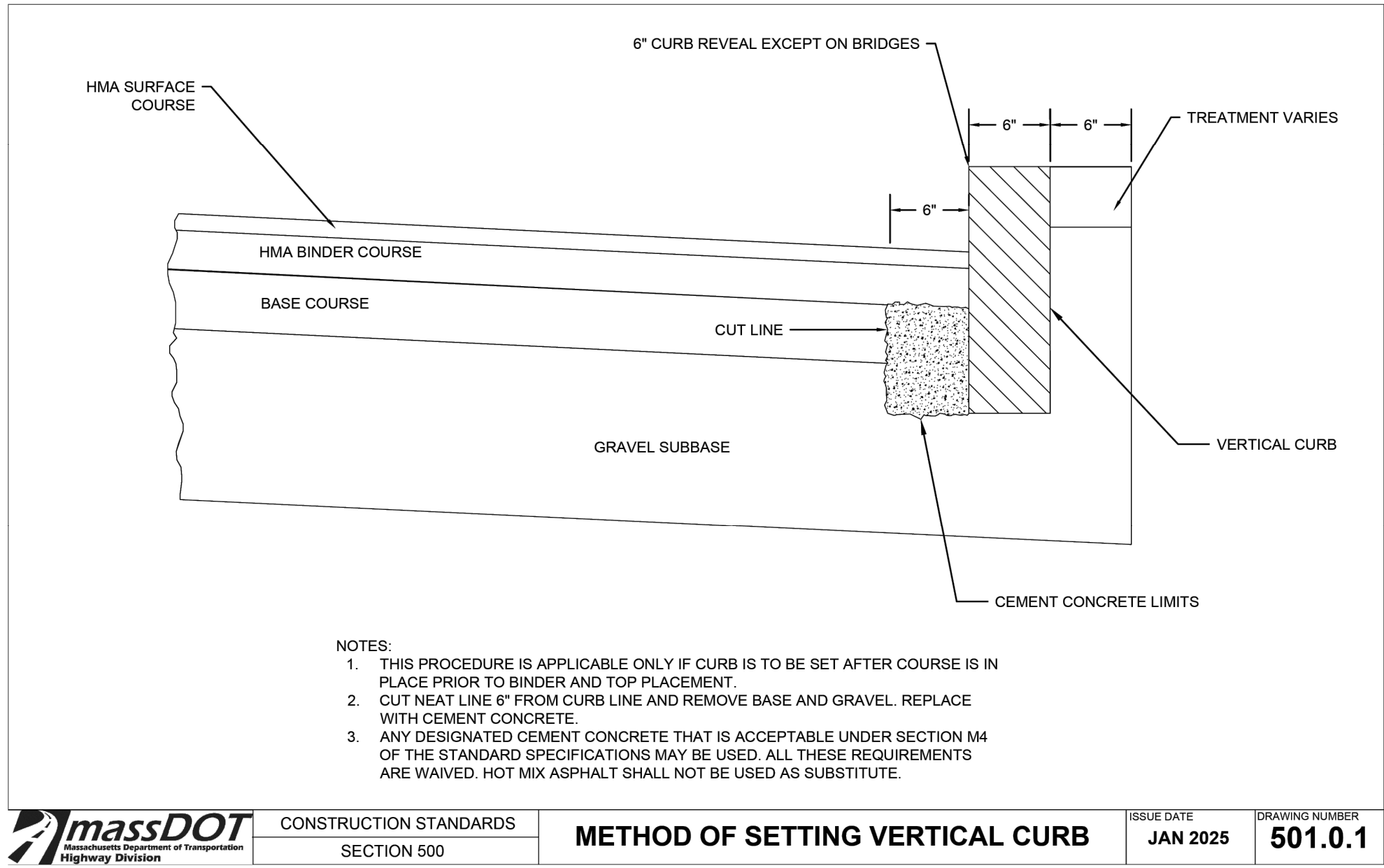
HEAVY DUTY ASPHALT
N.T.S. KHA DETAIL NO: 02.105.R02 04



STANDARD DUTY ASPHALT
N.T.S. KHA DETAIL NO: 02.105.R02 05



SIDEWALK ADJACENT TO PARKING AREAS
N.T.S. KHA DETAIL NO: 02.105.R02 02



CONSTRUCTION STANDARDS SECTION 500
METHOD OF SETTING VERTICAL CURB
ISSUE DATE JAN 2025 DRAWING NUMBER 501.0.1

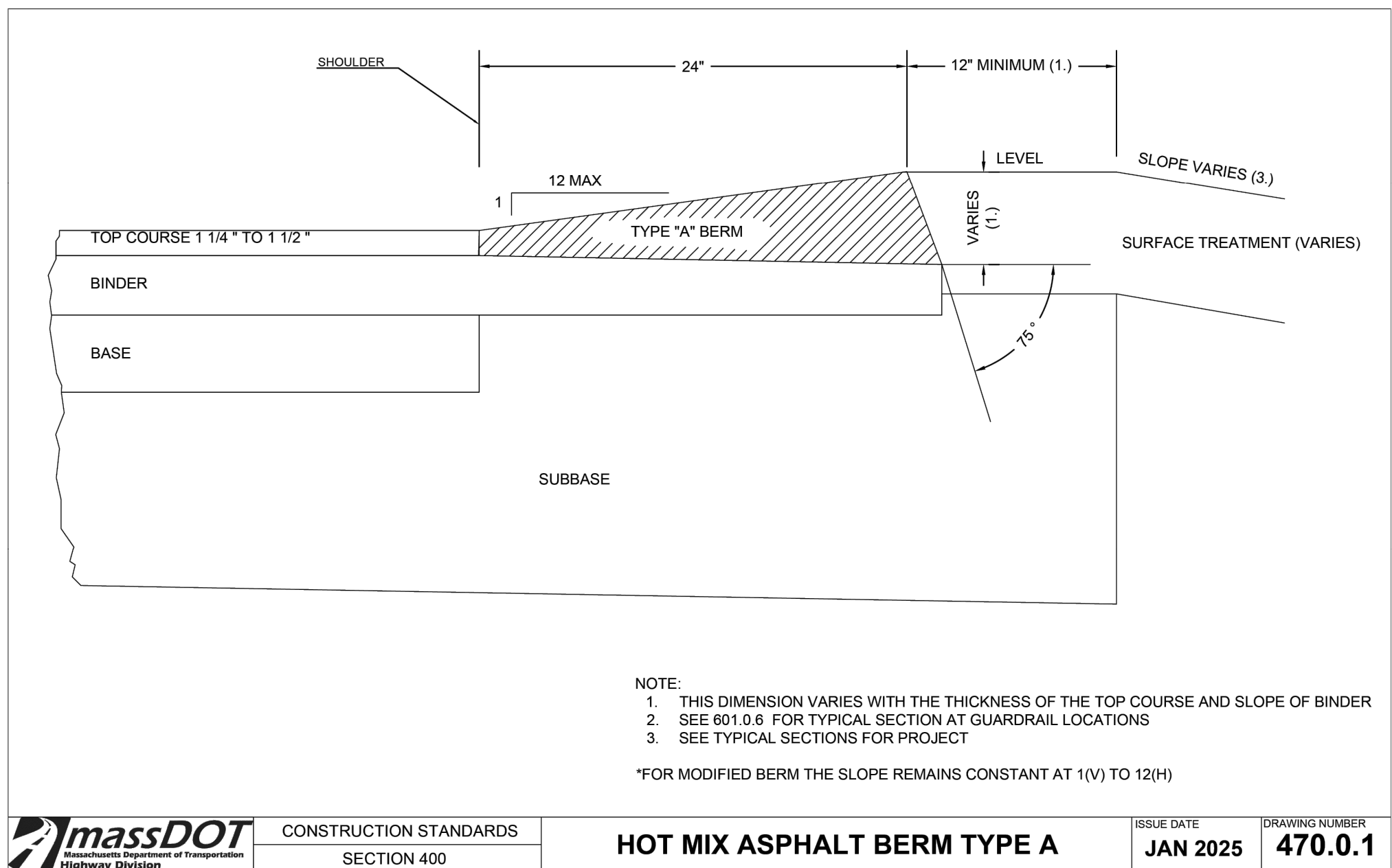
METHOD OF SETTING VERTICAL CURB
N.T.S. KHA DETAIL NO: 02.105.R02 03

STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES

Table M9.04.1-1: Standard Granite Curbstone Dimensions

| Type | Minimum Length | Width at Top | Depth | Minimum Width at Bottom |
|------|----------------|--------------|------------------|----------------------------|
| VA1 | 6 ft | 7 in | 17 in. to 19 in. | 4 in. (for 3/8 length) |
| VA2 | 6 ft | 7 in. | 19 in. to 21 in. | 4 in. (for 3/8 length) |
| VA3 | 6 ft | 6 in. | 19 in. to 21 in. | 4 in. (for 3/8 length) |
| VA4 | 6 ft | 6 in. | 17 in. to 19 in. | 4 in. (for 3/8 length) |
| VA5 | 5 ft | 6 in. | See Plans | 5 in. (for 3/8 length) |
| VB | 3 ft | 5 in. | 15 in. to 17 in. | 3 1/2 in. (for 3/8 length) |

STANDARD GRANITE CURBSTONE DIMENSIONS
N.T.S. KHA DETAIL NO: 02.105.R02 06



CONSTRUCTION STANDARDS SECTION 400
HOT MIX ASPHALT BERM TYPE A
ISSUE DATE JAN 2025 DRAWING NUMBER 470.0.1

HOT MIX ASPHALT BERM TYPE A
N.T.S. KHA DETAIL NO: 02.105.R02 07

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WELLESLEY
MASSACHUSETTS

SHEET NUMBER
C-320

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COMMONWEALTH OF MASSACHUSETTS
JESSE SETH ANDERSON
No. 59764
PROFESSIONAL ENGINEER

KHA PROJECT
011737473
DATE
1/13/2026
SCALE
AS SHOWN
DESIGNED BY
KLS
DRAWN BY
KLS
CHECKED BY
JSA

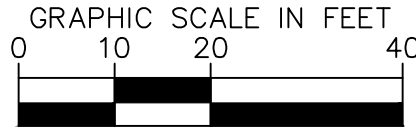
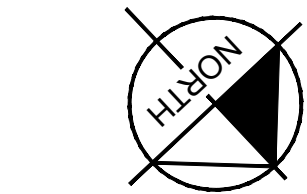
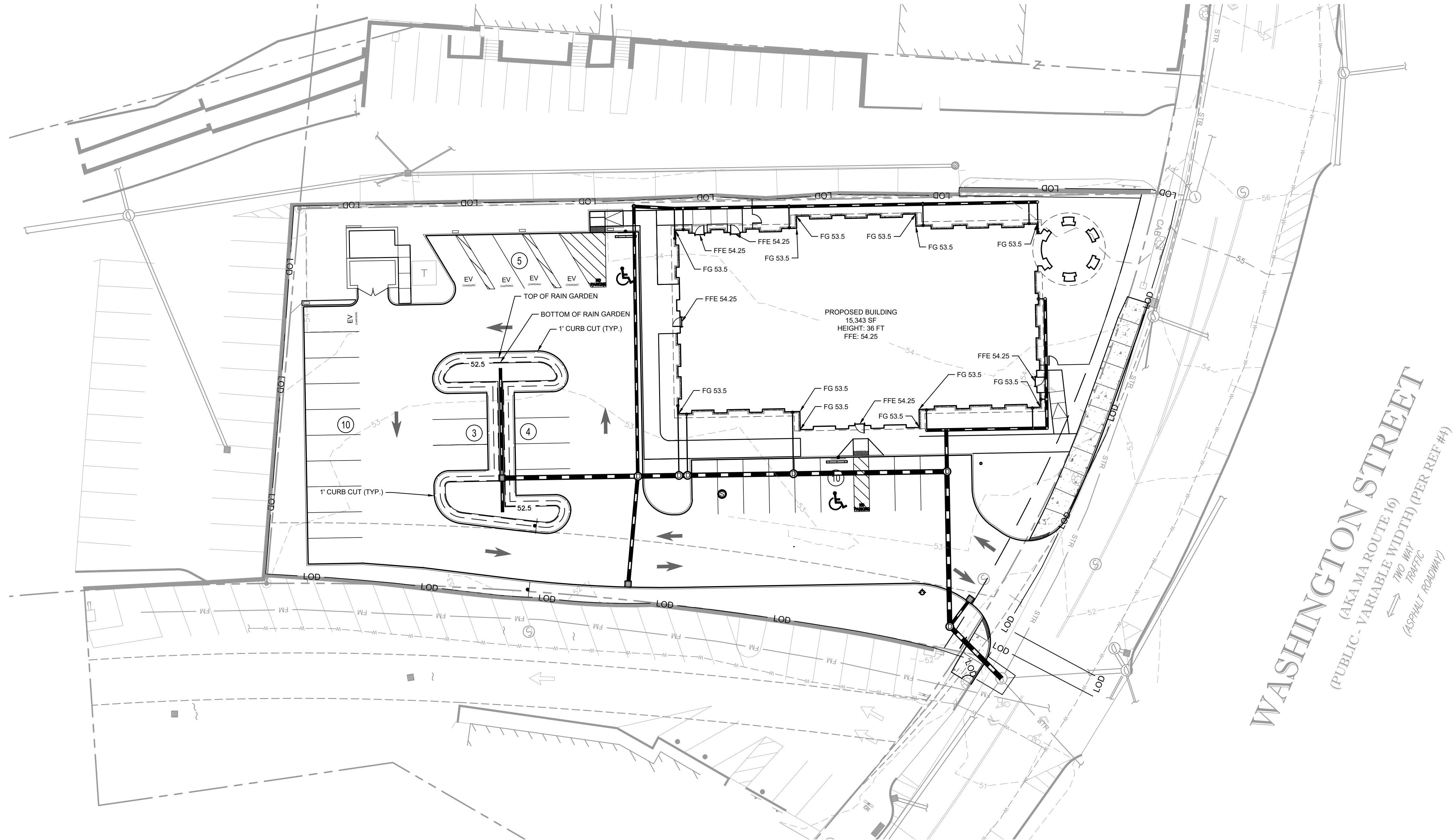
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| GRADING AND DRAINAGE LEGEND | |
|-----------------------------|--|
| | PROPERTY LINE |
| | STORM DRAIN |
| | STANDARD CURB |
| | LIMITS OF DISTURBANCE (LOD) |
| | EXISTING CONTOUR |
| | PROPOSED CONTOUR |
| | SPOT ELEVATION |
| | GRATE INLET |
| | CLEANOUT |
| | MANHOLE (SDMH) |
| | ROOF DRAIN (RD) |
| | BOTTOM OF CURB (GRADE ELEV.) |
| | TOP OF CURB (GRADE ELEV.) |
| | FINISHED FLOOR ELEVATION (GRADE ELEV.) |
| | FINISHED GROUND (GRADE ELEV.) |
| | RIM ELEVATION (GRADE ELEV.) |

WASHINGTON STREET
(AKA MA ROUTE 16)
(PUBLIC - VARIABLE WIDTH) (PER REF #4)
TWO WAY TRAFFIC
(ASPHALT ROADWAY)

GRADING NOTES

1. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
2. ALL PROPOSED SIDEWALKS AROUND THE BUILDING AND ALONG THE PROPERTY FRONTAGES SHALL HAVE A MAXIMUM 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE. ALL BUILDING ENTRANCES AND CHANGES IN DIRECTION SHALL BE 2% IN ALL DIRECTIONS.
3. ALL CURB AROUND EXTERIOR OF SITE SHALL BE 6" GRANITE CURB. ALL CURB SURROUNDING THE BUILDING SHALL BE 6" GRANITE CURB EXCEPT WHERE OTHERWISE SPECIFIED FOR FLUSH CONCRETE CURB.
4. ALL STORM DRAIN PIPE SHALL BE REINFORCED CONCRETE PIPE CLASS V WHERE 2' OF COVER CANNOT BE MAINTAINED.
5. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH TOWN OF WELLESLEY AND STATE CODES.
6. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
7. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
8. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND LOADING AREAS ADJACENT TO THE BUILDING.
9. THE PROPOSED CATCHBASINS AND STORMWATER TREATMENT UNITS MUST BE CLEANED OF ANY SEDIMENT AND/OR DEBRIS AFTER ALL UPSTREAM AREAS HAVE BEEN INSTALLED.
10. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.

GEOTECH NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 08/18/2025.

SURVEY NOTE:
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| | | | | | |
|---|--|-------------|--|---------------------|----|
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| | | No. | | | |
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| | | KHA PROJECT | | MASSACHUSETTS | |
| | | 011737473 | | FCB WELLESLEY | |
| | | DATE | | PREPARED FOR | |
| | | 1/13/2026 | | FIRST-CITIZENS BANK | |
| SCALE AS SHOWN | | DESIGNED BY | | & TRUST COMPANY | |
| | | KLS | | WELLESLEY | |
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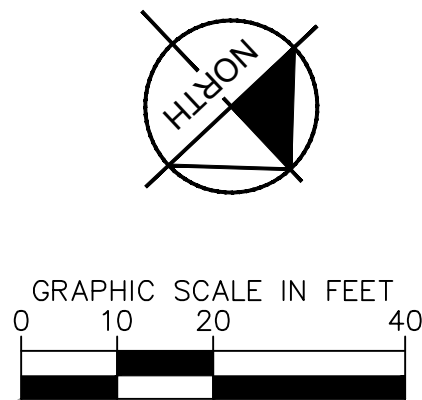


Diagram illustrating the components of a drainage area label and its boundary:

- PROPERTY LINE**: Indicated by a dashed line.
- LIMITS OF DISTURBANCE (0.85 AC)**: Indicated by a line with "LOD" markers.
- EXISTING CONTOUR ELEVATION**: Indicated by a dashed line with "XXX" markers.
- DRAINAGE AREA BOUNDARY**: Indicated by a thick solid line.

The diagram shows a circular drainage area divided into four sub-areas labeled A, B, C, and D. The labels are defined as follows:

- DRAINAGE AREA LABEL**
- A** - DRAINAGE AREA NAME
- B** - AREA (AC)
- C** - SCS CURVE NUMBER
- D** - TIME OF CONCENTRATION (MIN.)

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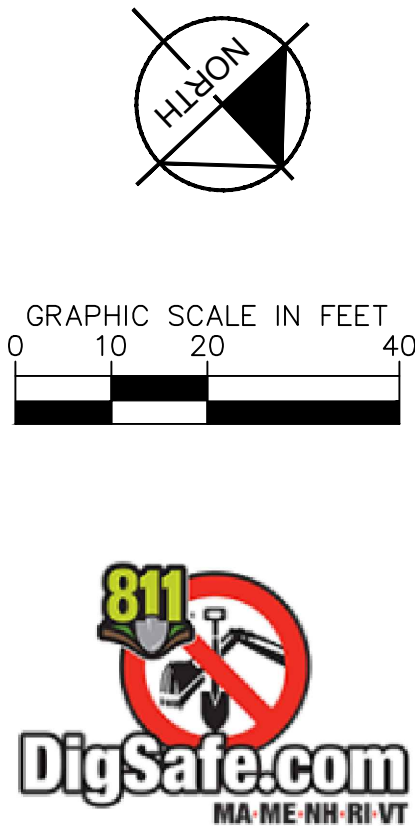
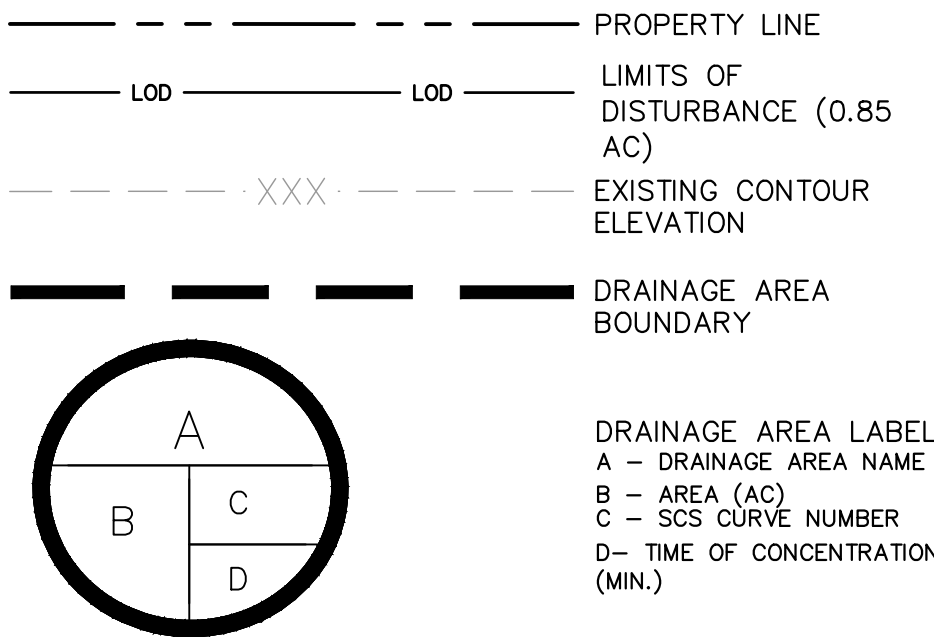
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SHEET NUMBER
C-410

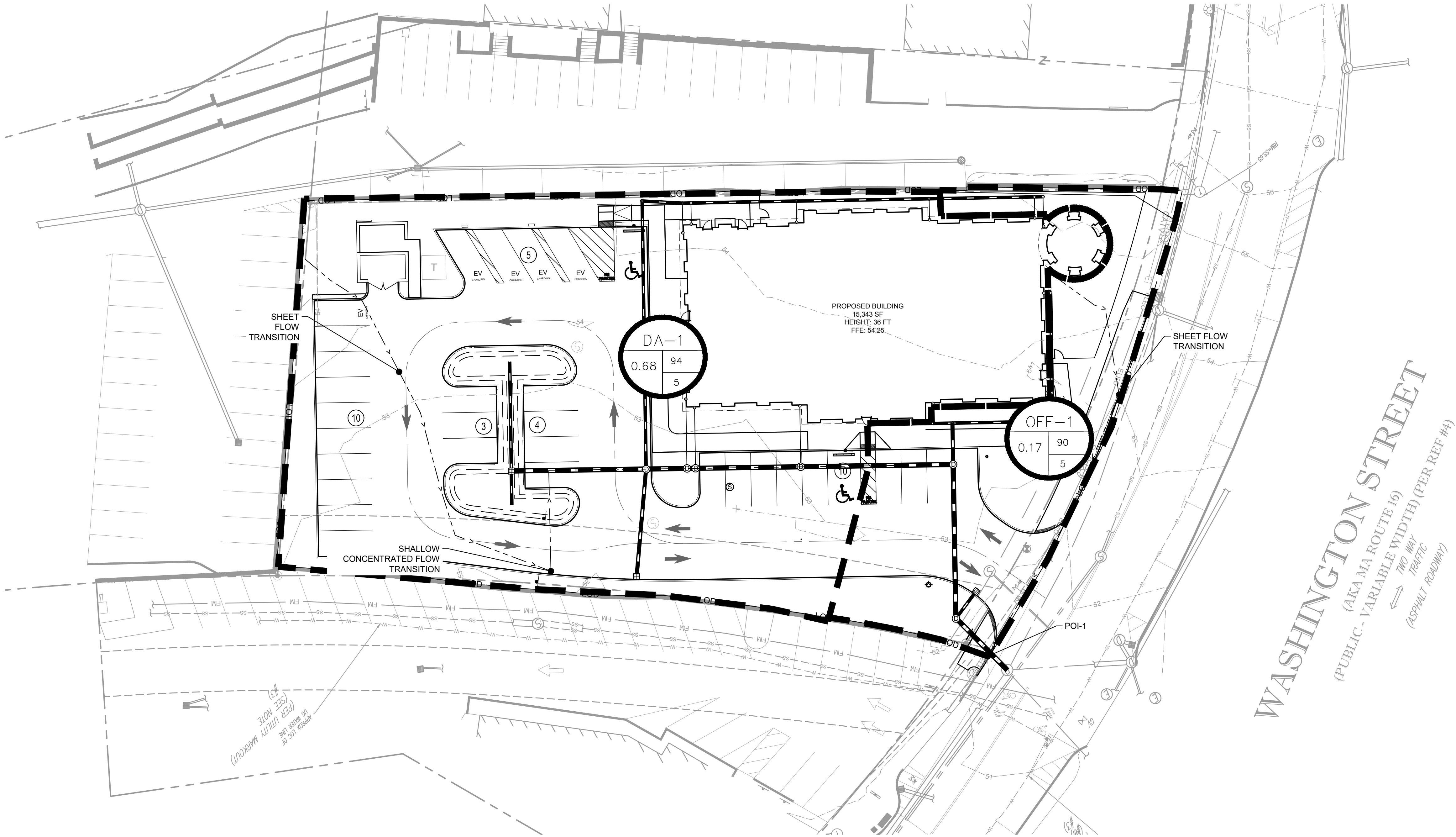
Plotted By: Stacy, Katie Sheet Set: FCB WELLESLEY Layout: C-411 January 20, 2026 08:44:27am Z:\RAL LDEV\06FCB\011737473 - wellesley.mn - 28 washington st planning phase\p10_cad files\plansheets\C-411 POST-DA MAP.dwg
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| DRAINAGE AREA | TOTAL AREA (SF) | IMPERVIOUS | | OPEN SPACE (GOOD) | | TOTAL AREA | CURVE NUMBER |
|---------------|-----------------|--------------|-----------|-------------------|-----------|------------|--------------|
| | | HSG | D | HSG | D | | |
| | | CURVE NUMBER | 98 | CURVE NUMBER | 80 | | |
| | | AREA (SF) | AREA (AC) | AREA (SF) | AREA (AC) | A | CN |
| DA-1 | 29,506 | 22,301 | 0.51 | 7,205 | 0.17 | 0.68 | 94 |
| OFFSITE | 7,588 | 4,008.86 | 0.09 | 3,579 | 0.08 | 0.17 | 90 |
| TOTAL | 37,094 | 26,310 | 0.60 | 10,784 | 0.25 | 0.85 | 93 |



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FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
WELLESLEY
MASSACHUSETTS

POST-DA MAP

KHA PROJECT
011737473
DATE
1/13/2026
SCALE
AS SHOWN
DESIGNED BY
KLS
DRAWN BY
KLS
CHECKED BY
JSA

JESSE SETH
ANDERSON
No. 59764
PROFESSIONAL ENGINEER

Kimley-Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

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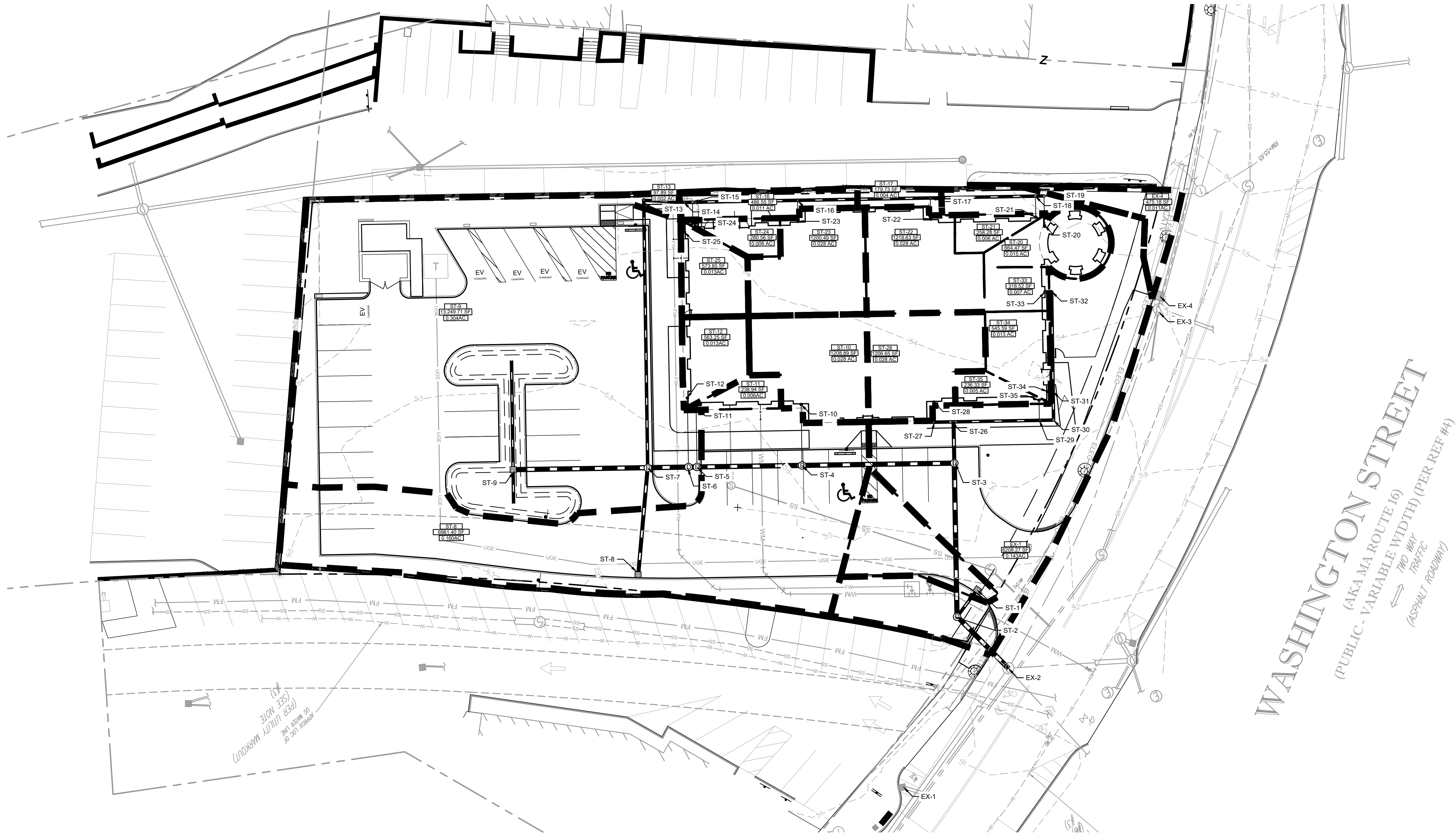
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BY
DATE

SHEET NUMBER
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Plotted By: Stacy, Katie Sheet Set: FCB WELLESLEY Layout: C-412 January 20, 2026 08:45:03am Z:\RAL_LDEV\06FCB\011737473 - wellesley.mxd - 28 washington st planning phase\p10_cad files\plansheets\C-53 INLET-DA MAP.dwg

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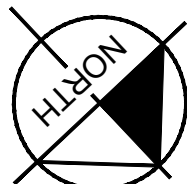
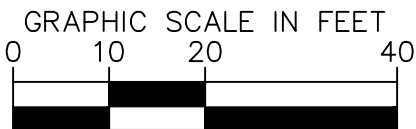
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WASHINGTON STREET
(AKA MA ROUTE 16)
(PUBLIC - VARIABLE WIDTH) (PER REF #4)
⇔ TWO WAY TRAFFIC
(ASPHALT ROADWAY)

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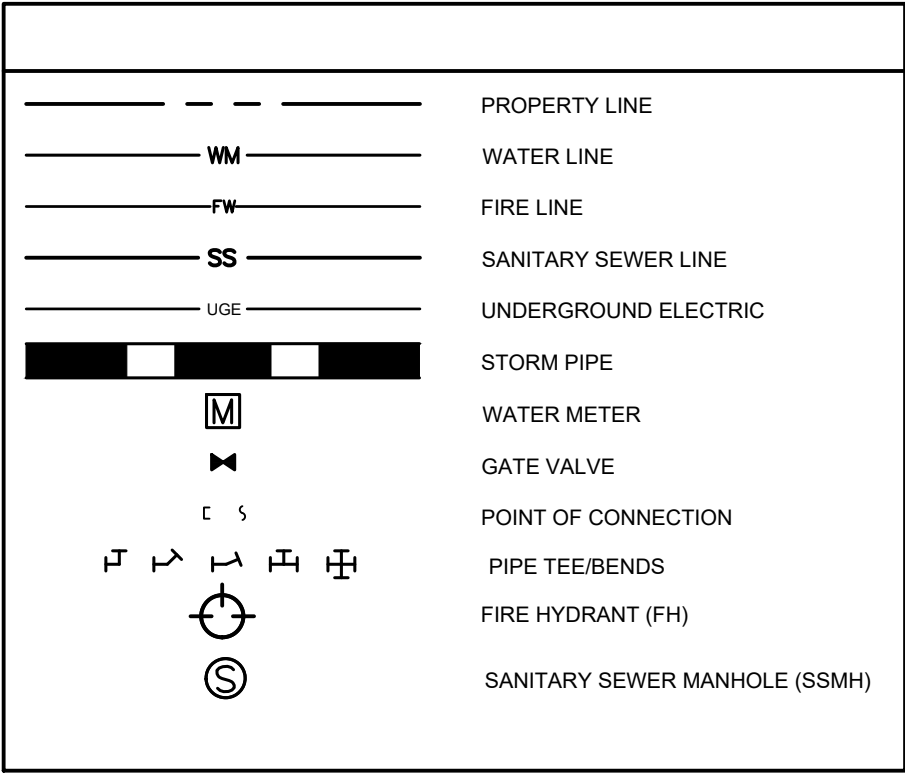
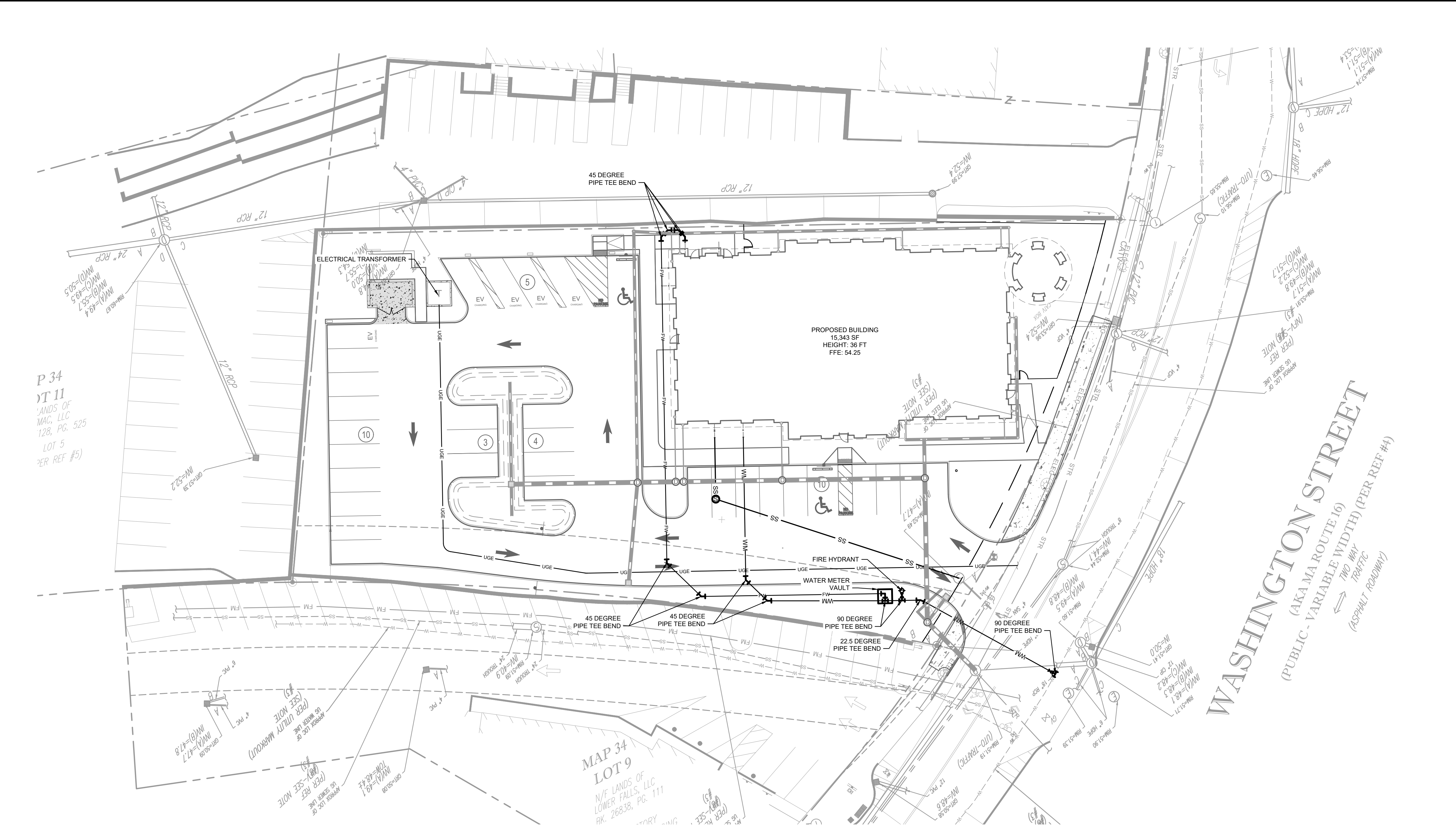
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SOUTHBOROUGH, MA, 01772, PHONE: (508) 948-3000. CONTRACTOR
SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING
INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND
REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

- PROPERTY LINE
- LIMITS OF DISTURBANCE (0.82)
- EXISTING CONTOUR ELEVATION
- PROPOSED CONTOUR ELEVATION
- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA LABEL
A - DRAINAGE AREA NAME
B - AREA (AC)



| | | | | | | | |
|---|--------------|--|--|--|-----------|------|----|
| FCB WELLESLEY PREPARED FOR FIRST-CITIZENS BANK & TRUST COMPANY WELLESLEY MASSACHUSETTS | INLET-DA MAP | KHA PROJECT 011737473 DATE 1/13/2026 SCALE AS SHOWN DESIGNED BY KLS DRAWN BY KLS CHECKED BY JSA | | Kimley»Horn © 2024 KIMLEY-HORN AND ASSOCIATES, INC. #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 | REVISIONS | | BY |
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Plotted By: Stacy, Katie Sheet Set: FCB WELLESLEY Layout: C-500 January 20, 2026 08:45:43am Z:\R\AL_LDE\000FCB\011737473 -wellesley.mxd -28 washington st planning phase\p10_cad files\plansheets\C-500 UTILITY PLAN.dwg
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UTILITY NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES OR UTILITIES BY OTHERS AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE.
4. THE CONTRACTOR SHALL PERFORM WHATEVER TEST EXCAVATION OR OTHER INVESTIGATION IS NECESSARY TO VERIFY TIE-IN INVERTS, LOCATIONS AND CLEARANCES, AND SHALL REPORT IMMEDIATELY ANY DISCREPANCIES TO KIMLEY- HORN & ASSOCIATES, INC. AT (781) 328-0676.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
6. MAINTAIN A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN WATER, SANITARY, STORM, AND ALL UTILITIES (UNLESS OTHERWISE NOTED). WHERE SEWER CROSSES ABOVE WATER, ENCASEMENT OF THE SEWER IS REQUIRED AND SHALL EXTEND A MINIMUM OF 10 FEET BEYOND THE POINT OF INTERSECTION IN BOTH DIRECTIONS.
7. ALL WATER AND SEWER PIPES SHALL HAVE A MINIMUM 10' HORIZONTAL SEPARATION.
8. WATER MAINS SHALL BE PLACED NO CLOSER THAN 10 FEET HORIZONTAL DISTANCE FROM ANY SEPTIC TANK OR LEACHING FIELD.
9. UNDERGROUND UTILITIES INSTALLED ON PRIVATE PROPERTY OR IN PRIVATE UTILITY EASEMENTS AND BUILDING RELATED STORM DRAINS SHALL BE DESIGNED AND INSTALLED PER THE CURRENT EDITION OF THE MASSACHUSETTS UNIFORM STATEWIDE BUILDING CODE.
10. PROPOSED CROSSINGS WITH EXISTING UNDERGROUND

UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

11. CONTRACTOR TO COORDINATE ALL WATER AND SEWER WORK WITH THE CITY OF BRIDGEWATER DEPARTMENT OF PUBLIC WORKS. ALL WATER AND SEWER CONSTRUCTION SHALL BE AS PER THE CITY OF BRIDGEWATER CONSTRUCTION STANDARDS.
12. CONTRACTOR SHALL SAW CUT, REMOVE, AND REPLACE ASPHALT PAVEMENT AS PER CURRENT DPW STANDARDS TO INSTALL UNDERGROUND ELECTRIC, TELEPHONE, SANITARY SEWER, WATER, AND COMMUNICATION CONDUITS.
13. CONTRACTOR TO COORDINATE THE TIMING OF ALL UTILITY SHUTDOWNS WITH OWNER AND UTILITY SUPPLIER. CONSTRUCT NEW UTILITIES IN A MANNER TO MINIMIZE THE DURATION OF SHUTDOWNS AND DISRUPTION OF UTILITY SERVICES TO THE PROPERTY AND SURROUNDING PROPERTIES.

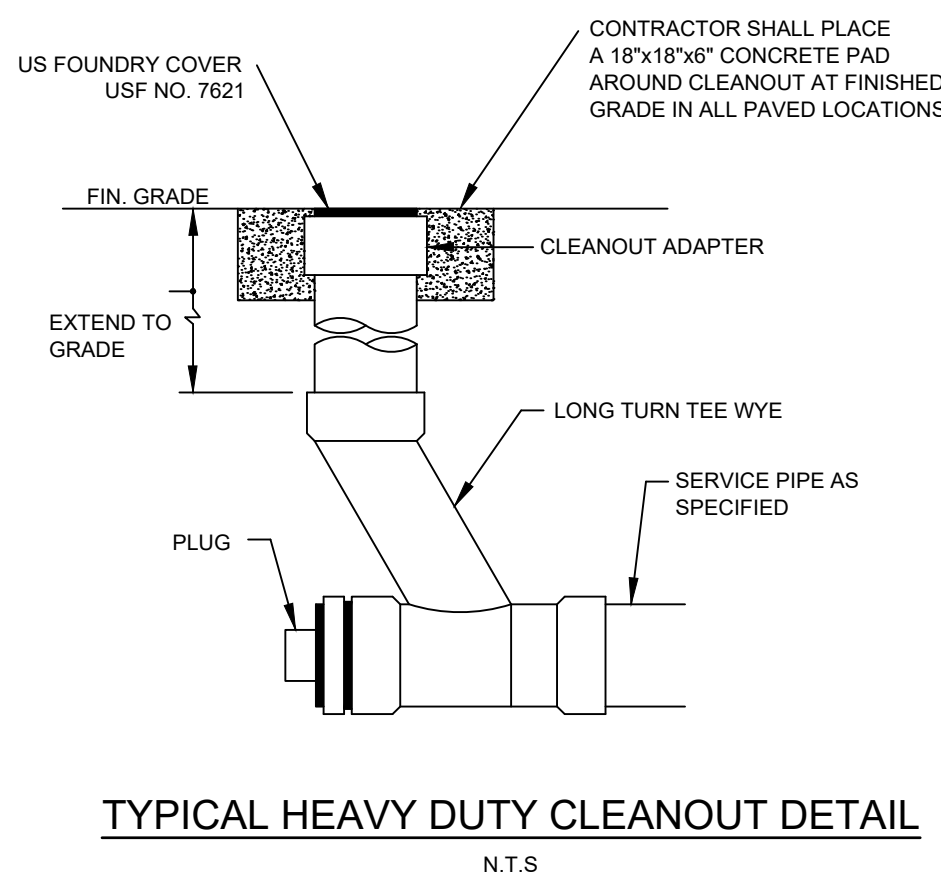
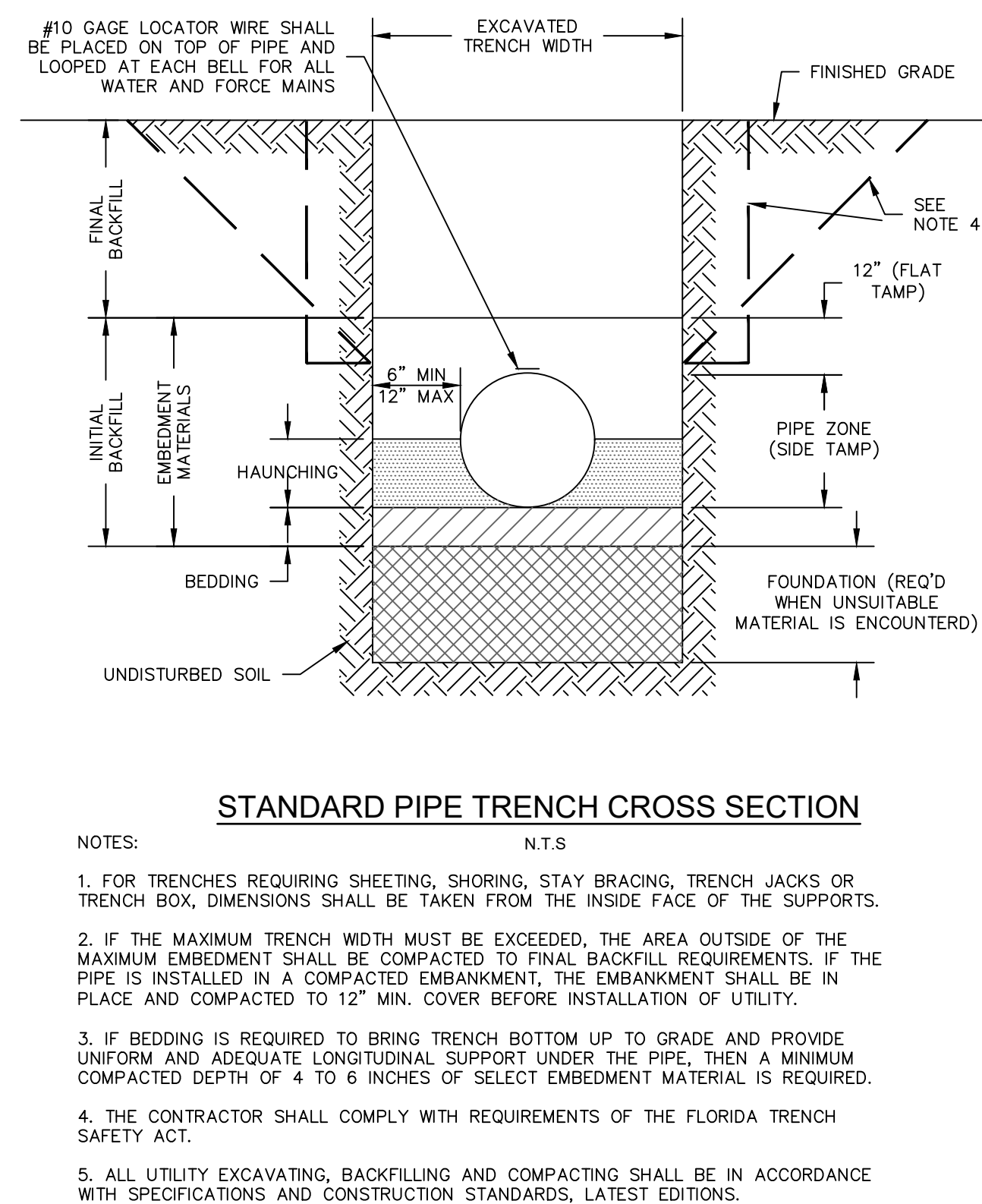
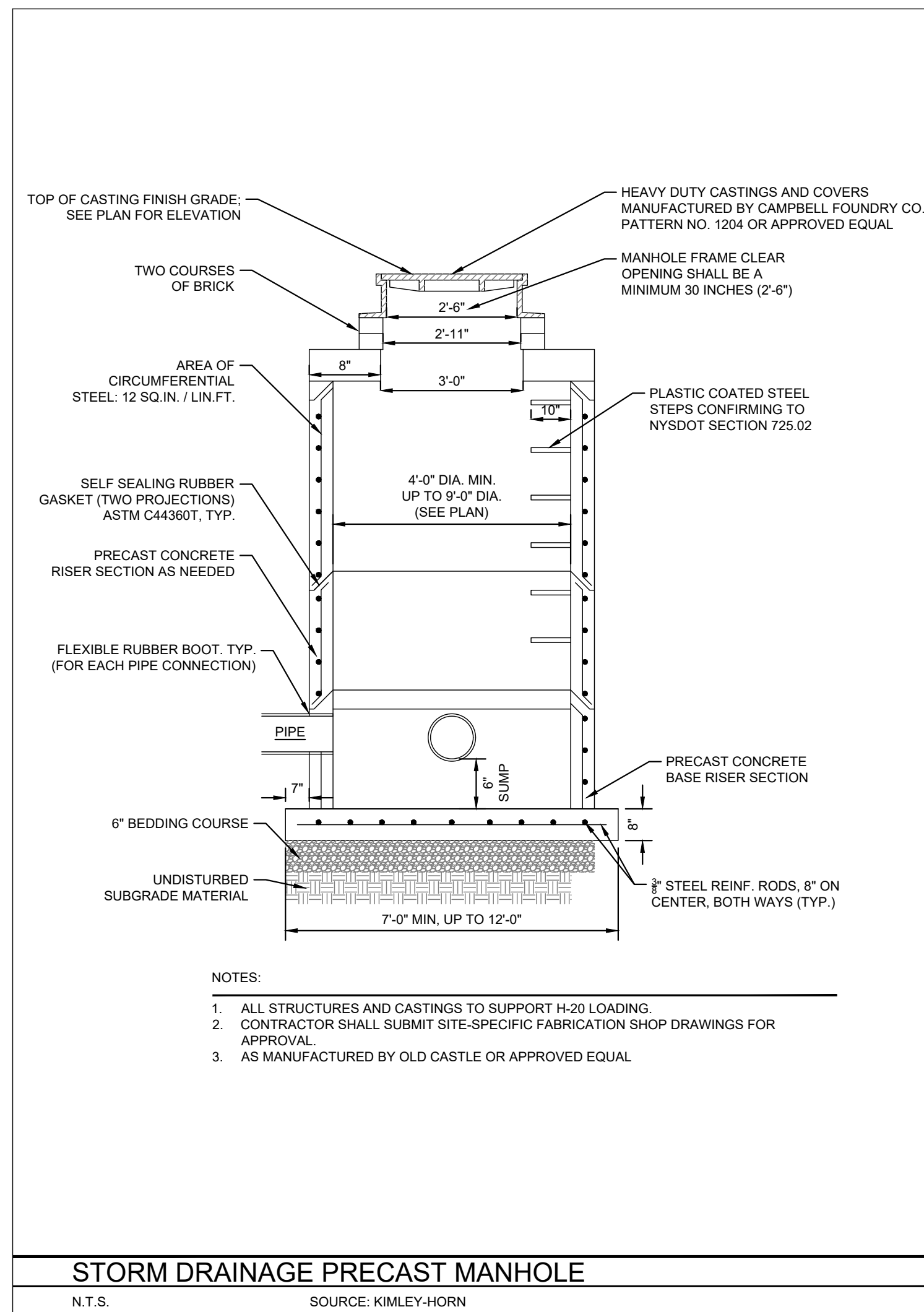
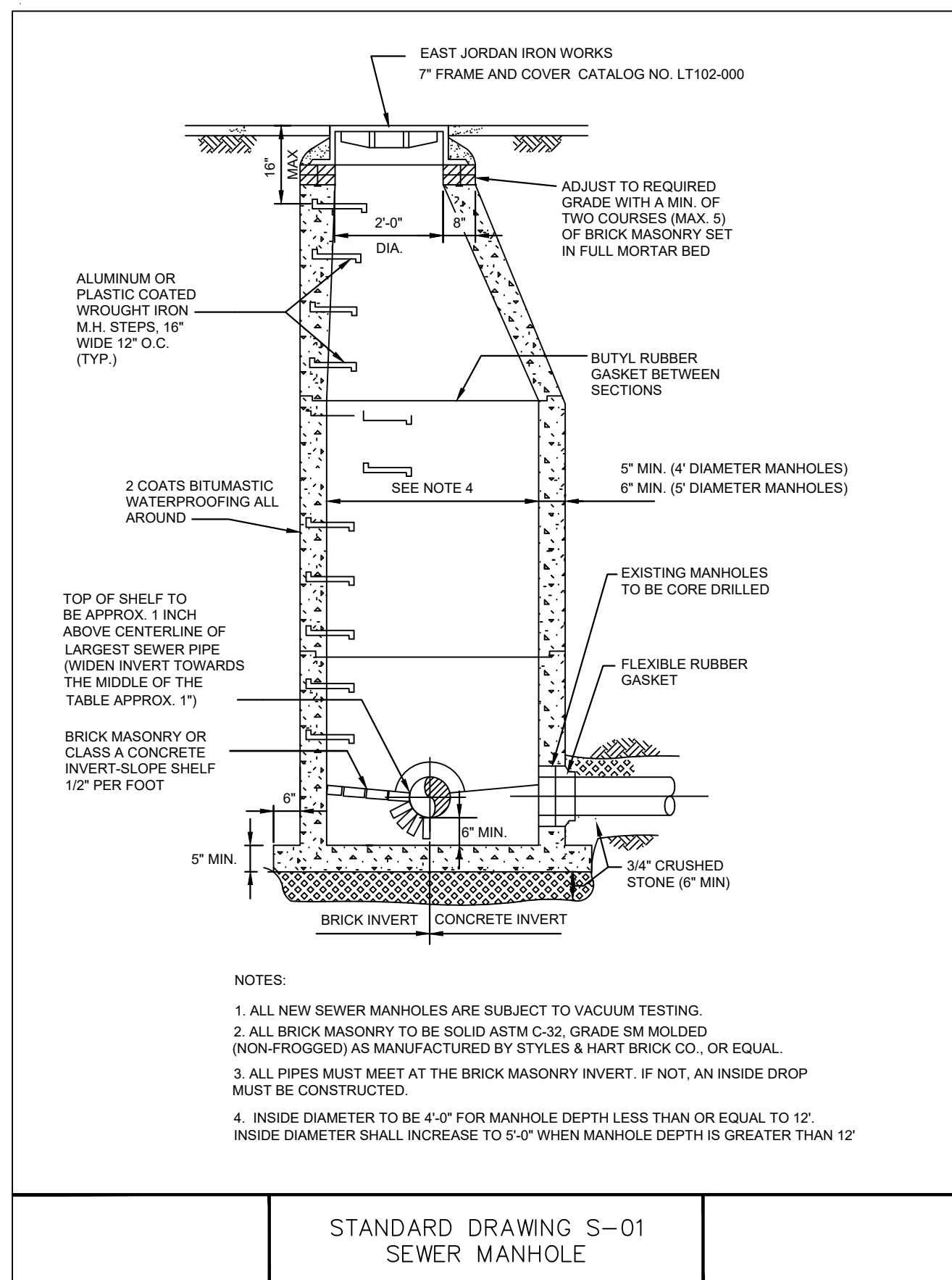
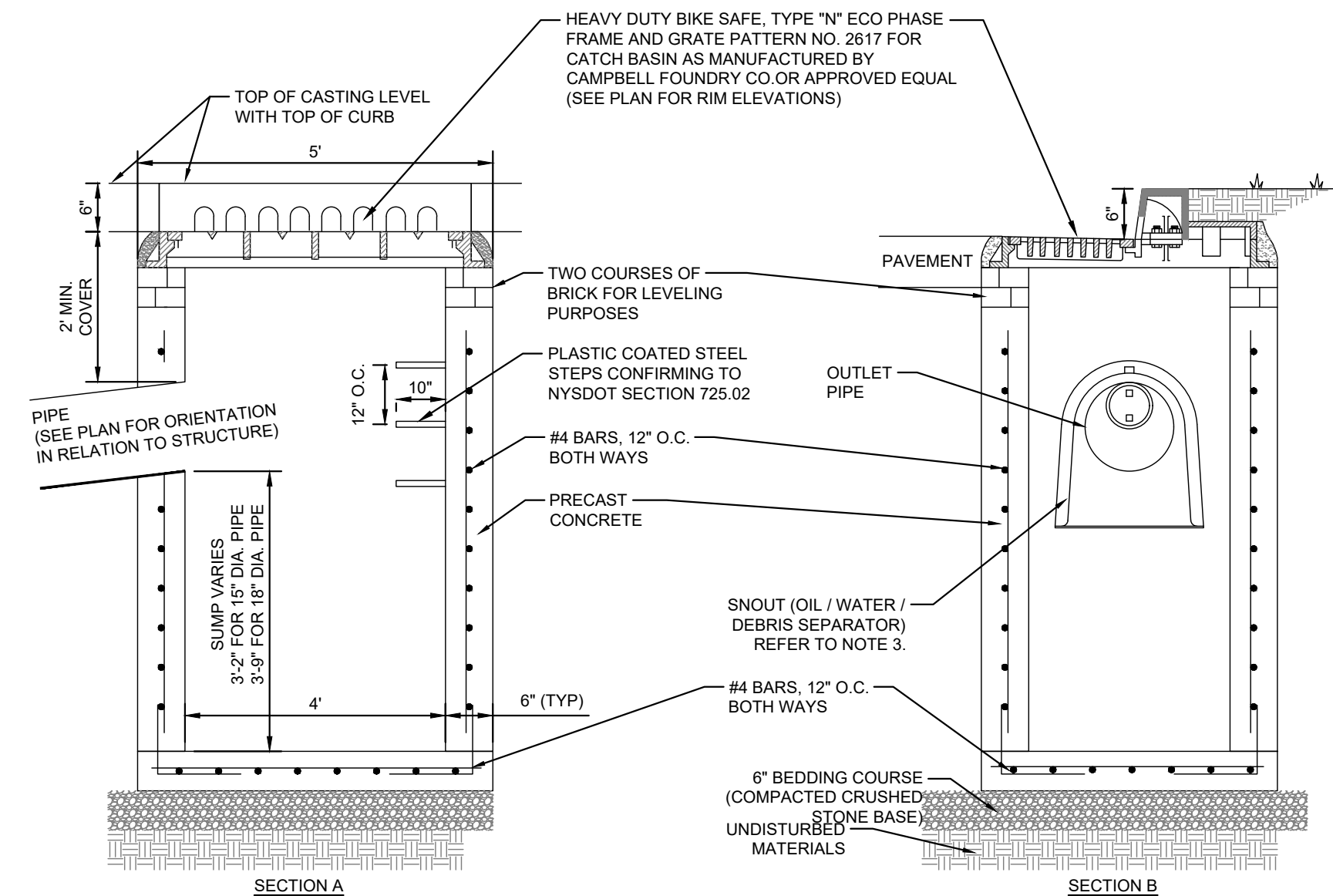
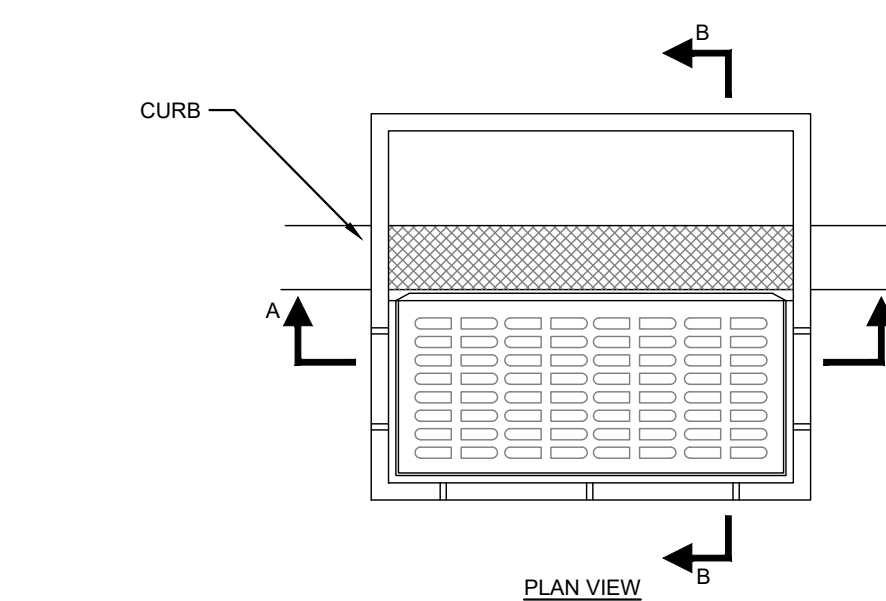
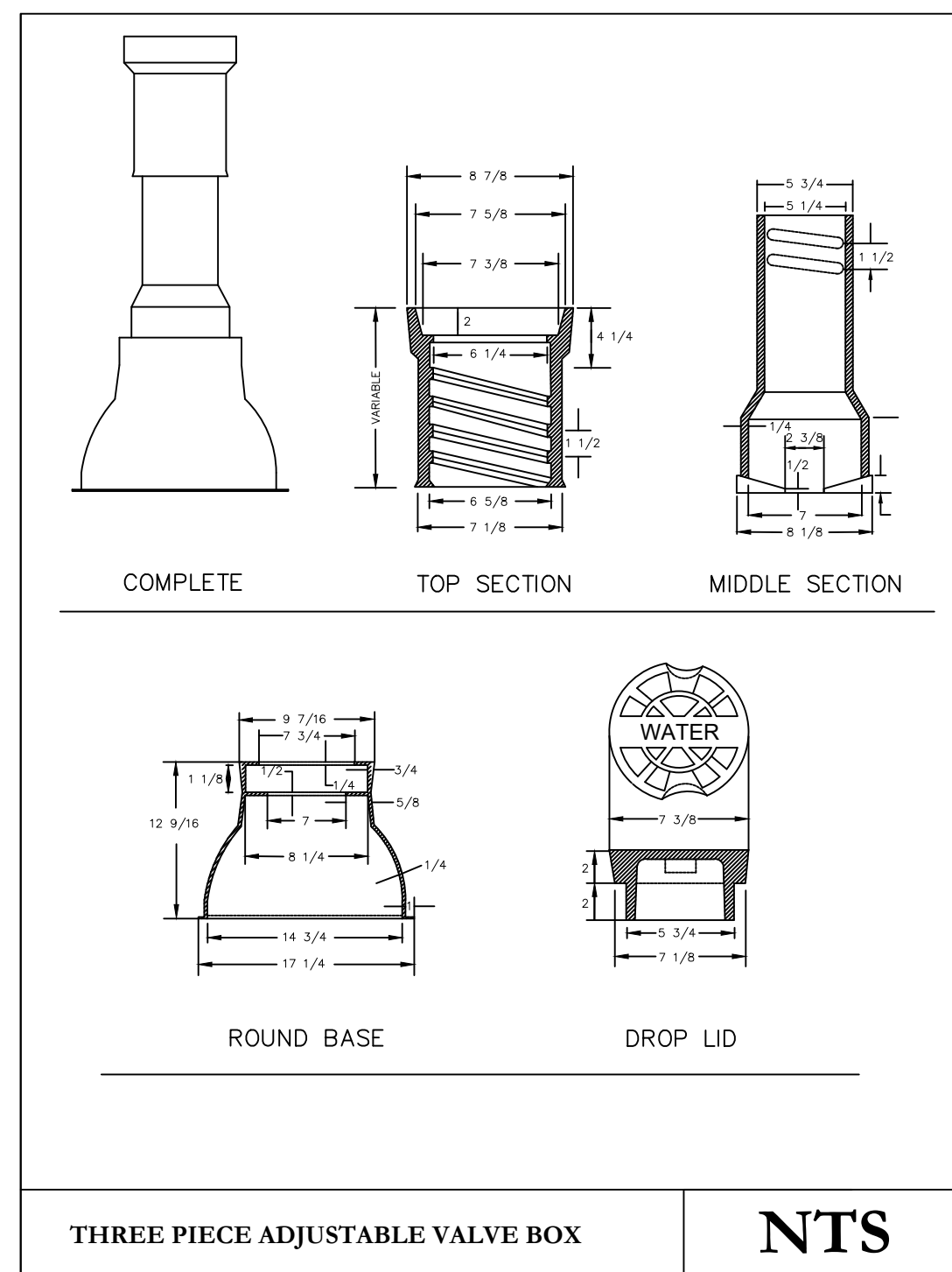
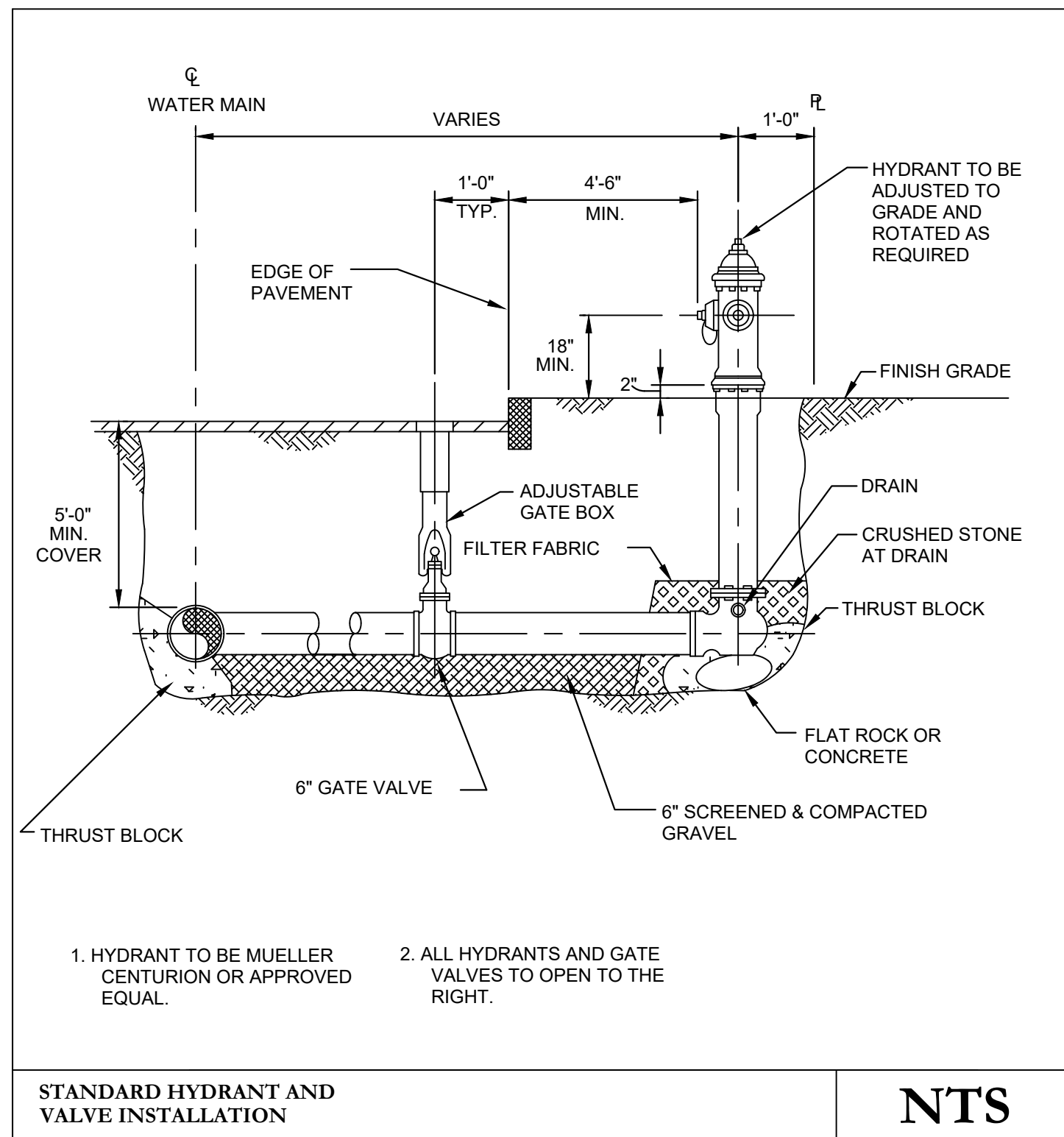



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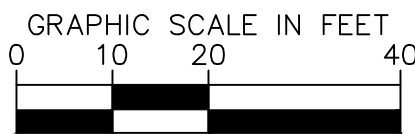
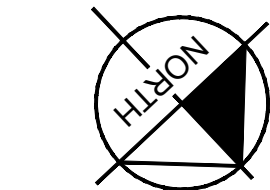
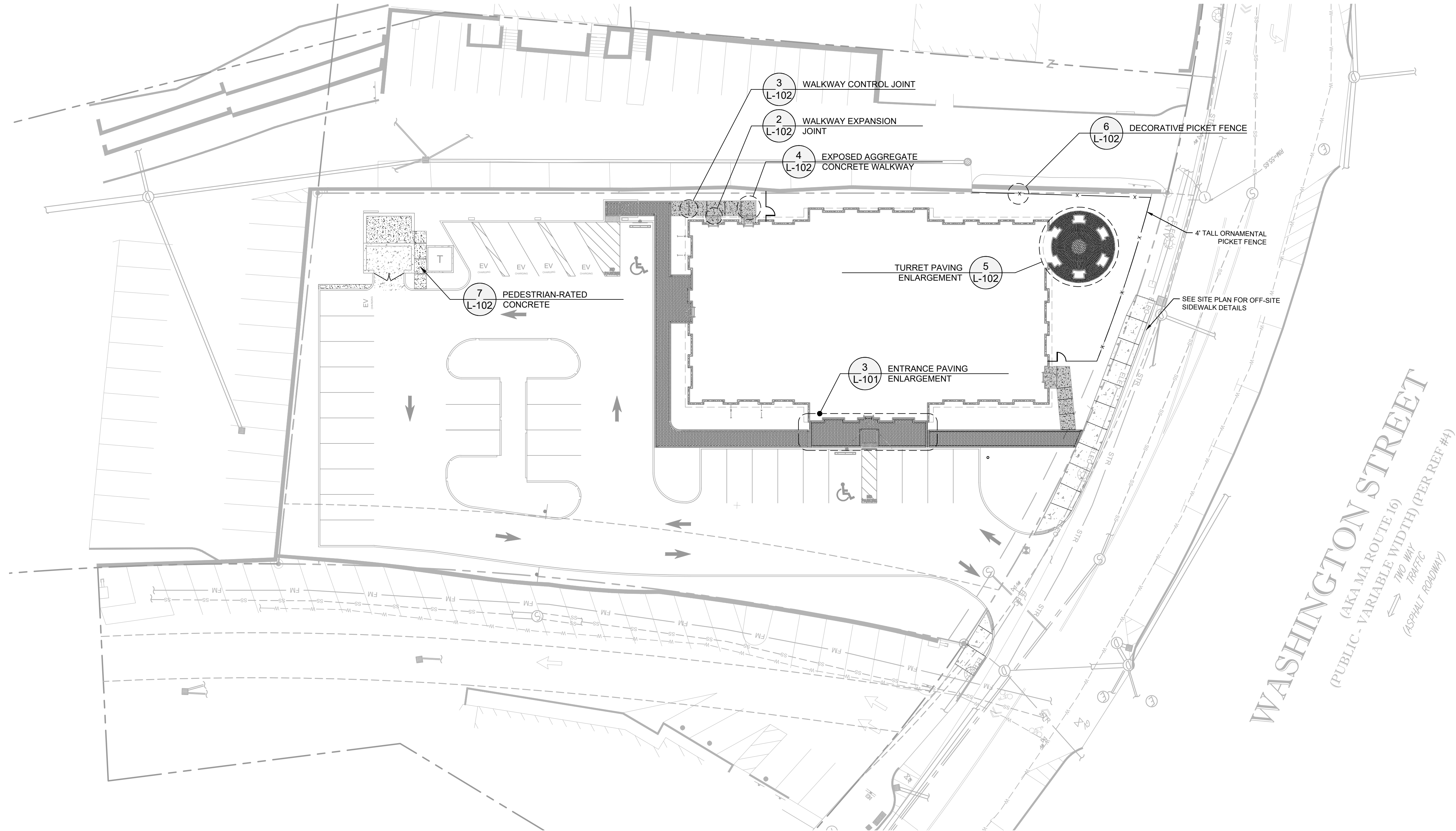
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| UTILITY PLAN | | | | | | | | | | | | | | | |
| FCB WELLESLEY PREPARED FOR FIRST-CITIZENS BANK & TRUST COMPANY WELLESLEY MASSACHUSETTS | | | | | | | | | | | | | | | |
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| SHEET NUMBER C-520 | FCB WELLESLEY PREPARED FOR FIRST-CITIZENS BANK & TRUST COMPANY | WELLESLEY MASSACHUSETTS | UTILITY DETAILS | KHA PROJECT 011737473 DATE 1/13/2026 SCALE AS SHOWN DESIGNED BY KLS DRAWN BY KLS CHECKED BY JSA |  <p style="text-align: center;">JESSE SETH ANDERSON No. 59764 PROFESSIONAL ENGINEER</p> | <div style="text-align: right;">Kimley»Horn</div> <div style="font-size: small;"> © 2024 KIMLEY-HORN AND ASSOCIATES, INC. #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 </div> | <div style="float: left; width: 40px;">A</div> <div style="float: left; width: 40px;">A</div> <div style="float: left; width: 40px;">A</div> <div style="float: left; width: 40px;">A</div> <div style="float: left; width: 40px;">A</div> <div style="float: left; width: 40px;">A</div> <div style="float: left; width: 40px;">A</div> <div style="float: left; width: 40px;">A</div> <div style="clear: both;"></div> | No. | REVISIONS | DATE | BY |
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Plotted By: Stacy, Katie Sheet Set: FCB WELLESLEY Layout: Layout1 January 20, 2026 10:18:10am. Z:\RAL_LDEV\00FCB011737473_wellesley.ma - 26 washington stipanning phase\p10_cad files\plansheets\L-100 HARDSCAPE PLAN.dwg

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HARDSCAPE LEGEND

| SYMBOL | ITEM | QUANTITY |
|--------|----------------------------|----------|
| | PEDESTRIAN RATED CONCRETE | 216 SF |
| | UNIT BRICK PAVERS | 1,600 SF |
| | DECORATIVE STONE STRIP | 170 SF |
| | EXPOSED AGGREGATE CONCRETE | 304 SF |
| | TRUNCATED DOME PANELS | 30 SF |
| | EXPANSION JOINT | |
| | CONTROL JOINT | |
| | ORNAMENTAL PICKET FENCE | |

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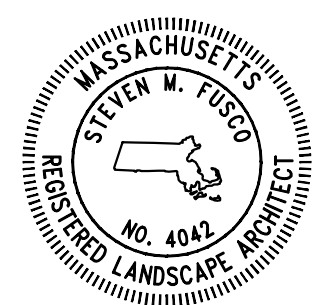


FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY

WELLESLEY MASSACHUSETTS

HARDSCAPE PLAN

| | |
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| KHA PROJECT | 011737473 |
| DATE | 1/13/2026 |
| SCALE | AS SHOWN |
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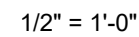


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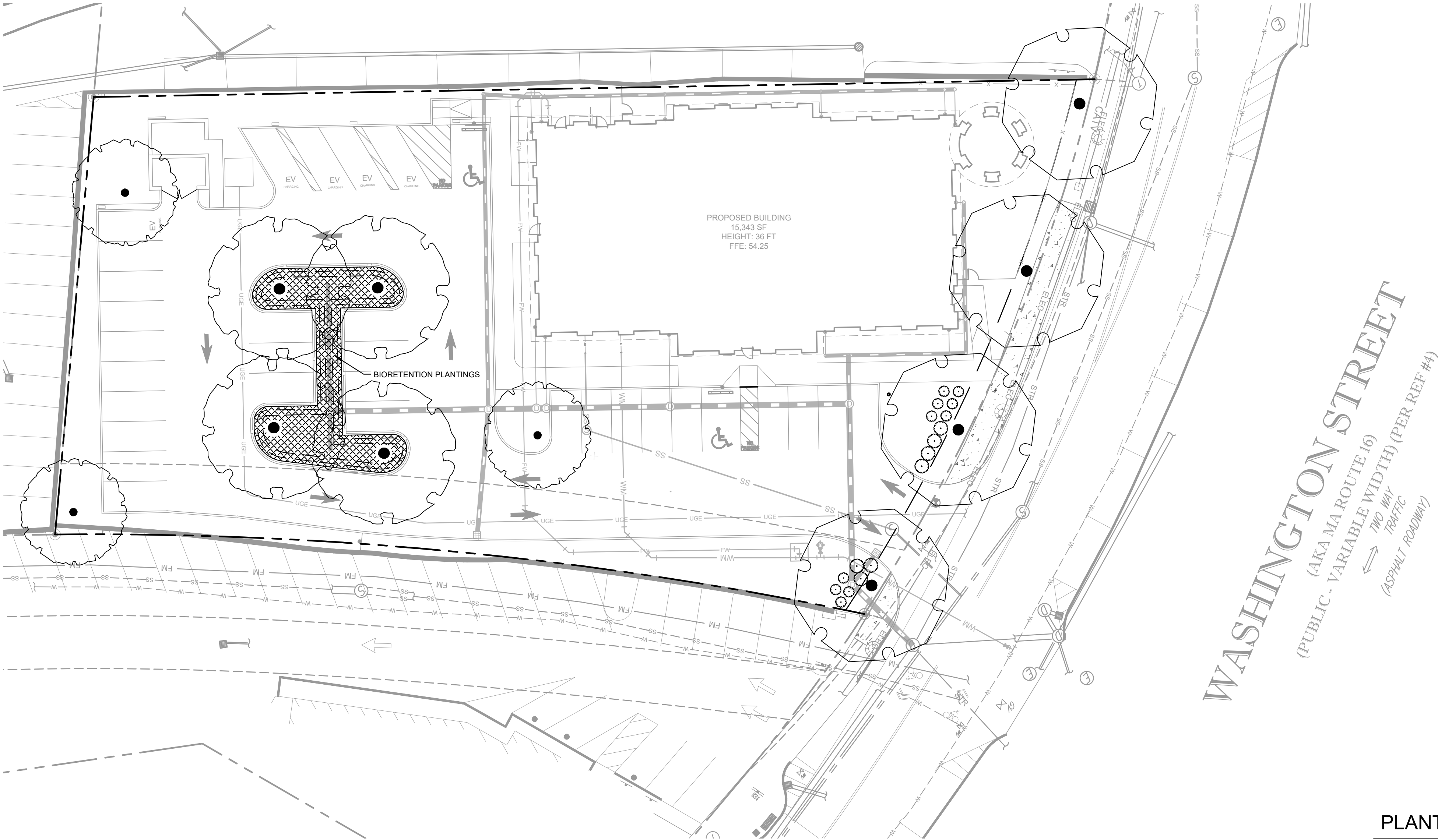


PLAN

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|------------------------------|--|--------------------------------|--------------------------|--|--|-----|-----------|------|----|
| SHEET NUMBER L-101 | FCB WELLESLEY PREPARED FOR FIRST-CITIZENS BANK & TRUST COMPANY | WELLESLEY MASSACHUSETTS | HARDSCAPE DETAILS | <div>KMA PROJECT 011732173 DATE 1/13/2026 SCALE AS SHOWN DESIGNED BY KLS DRAWN BY KLS CHECKED BY JSA</div> | <div><p>Kimley»»Horn © 2024 KIMLEY-HORN AND ASSOCIATES, INC. #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050 421 FAYETTEVILLE STREET, SUITE 800, RALEIGH, NC 27601</p></div> | No. | REVISIONS | DATE | BY |
| | | | | | | 1 | | | |
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Plotted By: Stacy, Katie Sheet: FCB WELLESLEY Layout: L-300 LANDSCAPE PLANS January 20, 2026 10:15:48am Z:\RAL_LDEV\06FCB011737473 - wellesley ma - 26 washington st planning phase\p10 - cad files\plansheets\L-300 LANDSCAPE PLANS.dwg
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| LANDSCAPE REQUIREMENTS & CALCULATIONS | | | | | | |
|---|---|-------------------|------------------------------|--|---|--|
| Town of Wellesley - Urban Design and Landscape Guidelines | | | | | | |
| AREA TO BE LANDSCAPED | CODE REQUIREMENT | LOCATION | LINEAR FEET / PARKING SPACES | TOTAL QUANTITY REQUIRED | TOTAL QUANTITY PROVIDED | CODE SECTION |
| VEHICLE USE AREA | STREET TREES SHALL BE PLANTED AT INTERVALS OF BETWEEN 25'-0" AND 50'-0" | WASHINGTON STREET | 166 LF | 166 LF / 50 = 4 STREET TREES | 4 STREET TREES | LANDSCAPING PG. 37 |
| | EVERGREEN PERIMETER SCREENING STRIP AT LEAST 5'-0" WIDE SHALL BE PROVIDED ADJACENT TO PUBLIC ROW. | WASHINGTON STREET | | CONTINUOUS EVERGREEN SCREEN | CONTINUOUS EVERGREEN SCREEN | |
| | 1 (ONE) TREE FOR EVERY 10 (TEN) PARKING SPACES | PARKING LOT | 32 PARKING SPACE | 32 PARKING SPACES / 10 = 3 TREES | 7 TREES | SITE PLANNING, LANDSCAPING AND PARKING AREAS PG. 41-43 |
| | LANDSCAPED OPEN SPACE PROVIDED THAT IS MORE THAN 10% OF THE PARKING AREA, HALF OF WHICH IS INTERIOR TO THE PARKING AREA | PARKING LOT | 14,241 SF | 14,241 * .1 = 1,424 SF TOTAL OPEN SPACE 1,424 SF / 2 = 712 SF INTERNAL OPEN SPACE | 4,864 SF TOTAL OPEN SPACE 1,422 SF INTERNAL OPEN SPACE | |



PLANT SCHEDULE CODE MIN

| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | CAL. | HEIGHT |
|--------|------|-----|---|--------------------------|--------|----------|--------------|
| TREES | | | | | | | |
| | AB | 4 | ACER RUBRUM 'BRANDYWINE' | BRANDYWINE RED MAPLE | B&B | 4" CAL. | 14'-16' MIN. |
| | GS | 3 | GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' | SHADEMASTER HONEY LOCUST | B&B | 4" CAL. | 14'-16' MIN. |
| | QB | 4 | QUERCUS BICOLOR | SWAMP WHITE OAK | B&B | 4" CAL. | 14'-16' MIN. |
| SHRUBS | | | | | | | |
| | IS | 10 | ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERRY HOLLY | 3 GAL. | 12" MIN. | |
| | RC | 7 | RHODODENDRON CATAWBIENSE 'CUNNINGHAM WHITE' | CATAWBA RHODODENDRON | 5 GAL | 12" HT | |

GEOTECH NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 08/18/2025.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A ALT'ANSR'S LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY CONTROL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD, SOUTH-BOROUGH, MA, 01772, PHONE: (508) 948-3000. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



Kimley»Horn

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

KHA PROJECT
011737473

DATE
1/13/2026

SCALE AS SHOWN

DESIGNED BY
KLS

DRAWN BY
KLS

CHECKED BY
JSA

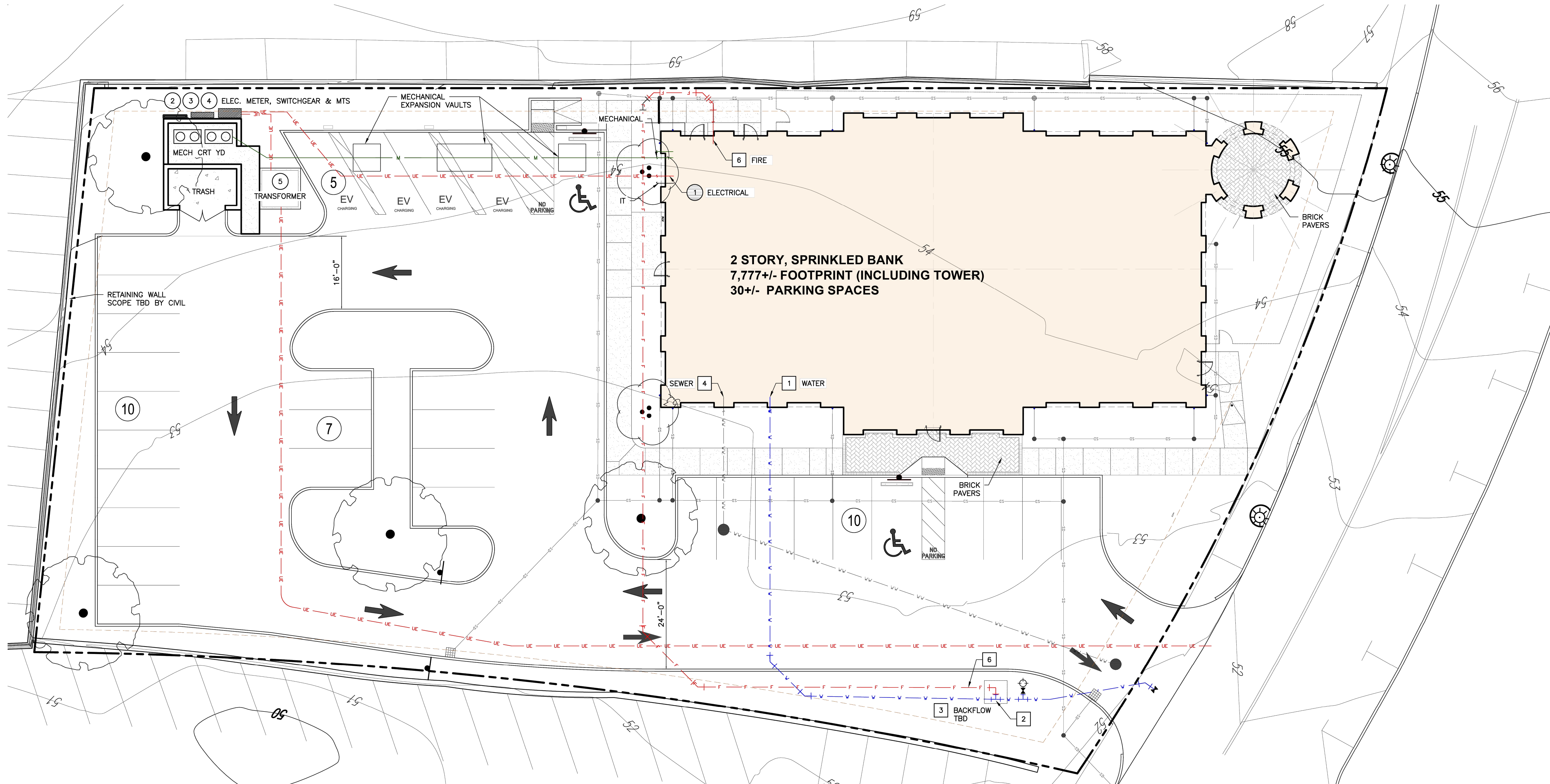
LANDSCAPE PLANS

FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
WELLESLEY
MASSACHUSETTS

SHEET NUMBER
L-300

REVISIONS

| No. | DATE | BY |
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| 5 | | |
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| 3 | | |
| 2 | | |
| 1 | | |



1 ARCHITECTURAL SITE PLAN
SCALE: 3/32" = 1'-0"
0 4' 8' 16' 32'

PLUMBING KEYNOTES:

- 1 2" WATER SERVICE SIZE AND BUILDING ENTRANCE LOCATION
- 2 1 1/2" WATER METER SIZE AND ROUTE
- 3 BACKFLOW BY CIVIL (ON-SITE & TBD)
- 4 4" SANITARY SEWER (WASTE WATER) (ELEV. TBD)
- 5 6" FIRE WATER SERVICE

ELECTRICAL KEYNOTES:

- 1 LOCATION OF SERVICE ENTRANCE
- 2 1,000AMP, 208V, 3 PHASE SERVICE
- 3 METER AND SWITCHGEAR LOCATIONS (WITH MTS)
- 4 NO ADDITIONAL EXPANSION IS PLANNED. 1,000 AMPS SHOULD BE ADEQUATE FOR FUTURE NEEDS. THE SWITCHBOARD WILL HAVE PROVISIONS FOR EXTENSION IF NEEDED FOR MORE DISTRIBUTION
- 5 300 KVA PAD-MOUNTED TRANSFORMER UNLESS OTHERWISE DIRECTED BY MUNICIPALITY

ESTIMATED DEMAND LOADS:

HEAT: 2.4 KVA
LIGHTING: 11.86 KVA
MOTOR AND MECHANICAL UNITS: 1102 KVA
GENERAL LOADS: 10.55 KVA
EV CHARGERS: 76.8 KVA
INSTANTANEOUS WATER HEATERS: 58.4 KVA
TOTAL: 282.6 KVA, 785 AMPS AT 208V 3 PHASE.

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ADLER ARCHITECTURE
PHONE: (512) 263-1999
WWW.ADLERARCH.COM

MAILING ADDRESS
PO BOX 161417
Austin, TX 78716

PROJECT: FIRST CITIZENS BANK
WELLESLEY NEW BRANCH
LOCATION:

Adler
ARCHITECTURE

CONSULTANTS
Civil: xxxx
Struct: xxxx
MEP: xxxx
Client #: xxxx
File #: xxxx
Designed: A. ADLER
Drawn: R. CARNEY
Checked: A. ADLER
Date: JANUARY 20, 2026

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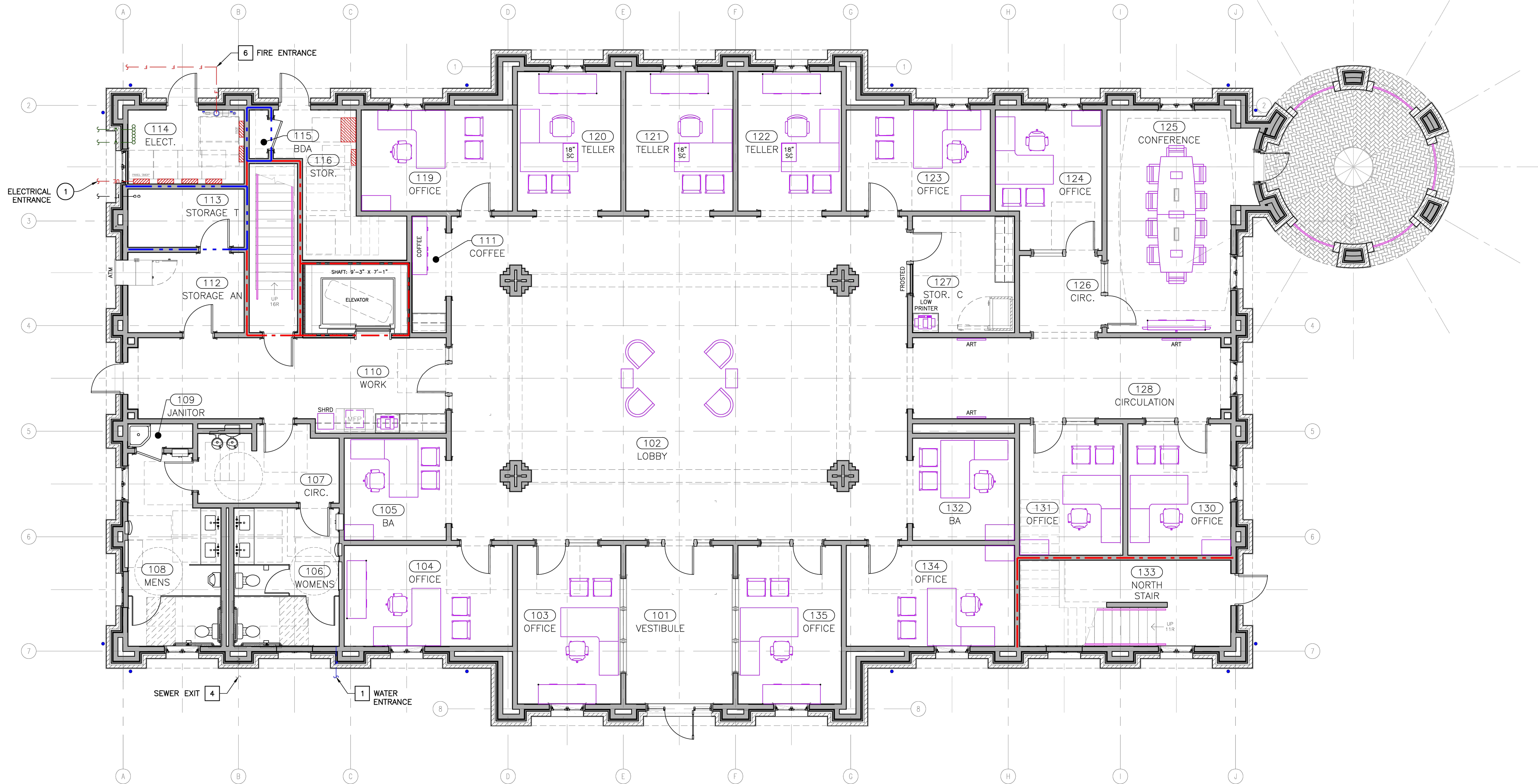
KEY PLAN:
[Key Plan Diagram]

SHEET CONTENTS:
PRELIM
ARCHITECTURAL
AND MEP
SITE PLAN

SHEET NO.

A1

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1 FIRST FLOOR PLAN
A2
SCALE: 3/16" = 1'-0"
0 2' 4' 8' 16'

PROJECT: FIRST CITIZENS BANK
WELLESLEY NEW BRANCH
LOCATION:

Adler
ARCHITECTURE

CONSULTANTS
Civil: xxxx
Struct: xxxx
MEP: xxxx
Client #: xxxx
File #: xxxx
Designed: A. ADLER
Drawn: R. PEULER
Checked: A. ADLER
Date: JANUARY 20, 2026

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SHEET CONTENTS:
FIRST FLOOR
FURNISHING
PLAN

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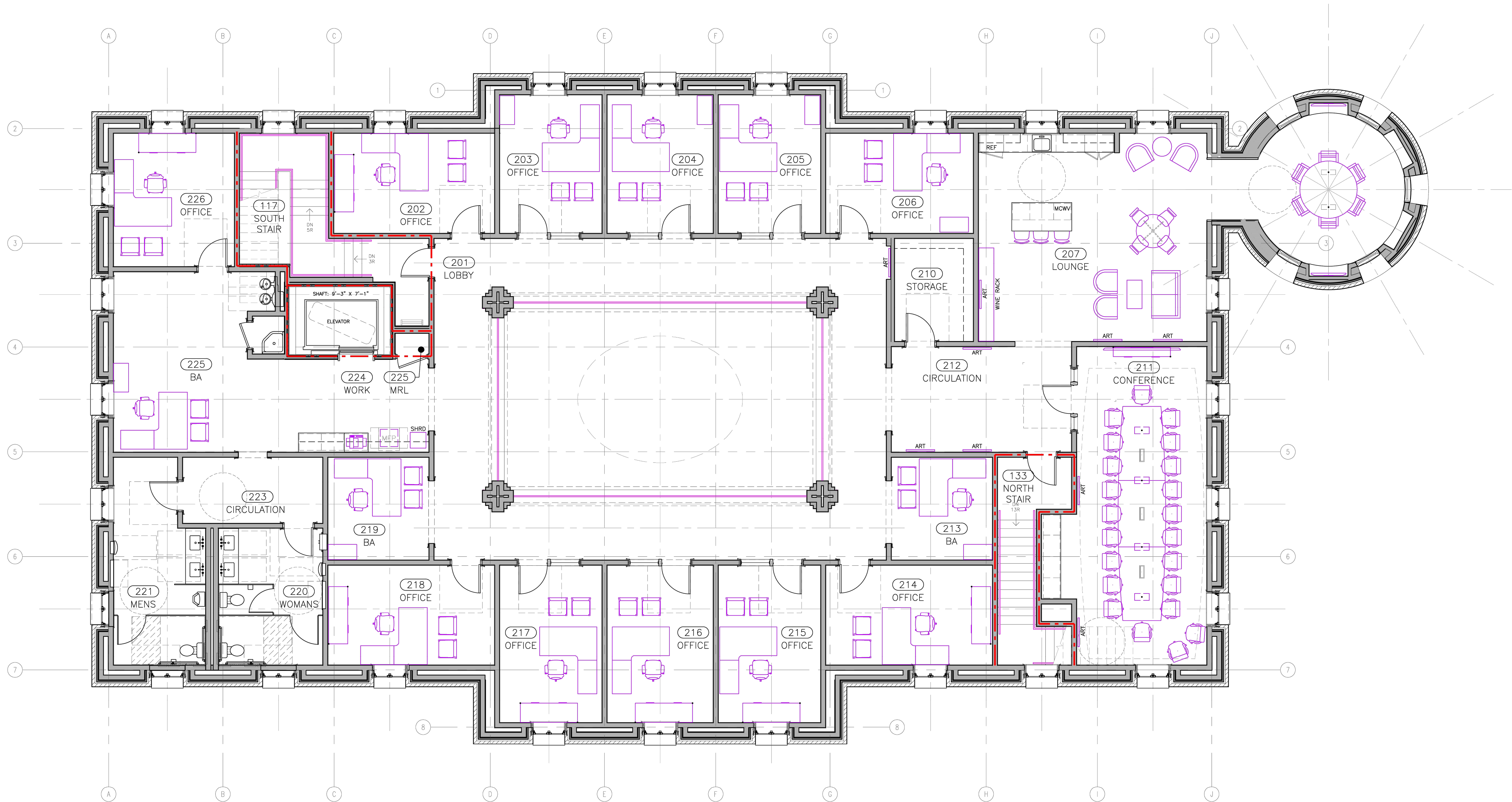
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1
A3
SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"
0 2' 4' 8' 16'

PROJECT: FIRST CITIZENS BANK
WELLESLEY NEW BRANCH
LOCATION:

Adler
ARCHITECTURE

CONSULTANTS
Civil: xxxx
Struct: xxxx
MEP: xxxx
Client #: xxxx
File #: xxxx
Designed: A. ADLER
Drawn: R. PEULER
Checked: A. ADLER
Date: JANUARY 20, 2026

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NOTES: SEE COVER
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& DESCRIPTIONS

KEY PLAN:

SHEET CONTENTS:
SECOND FLOOR
FURNISHING
PLAN

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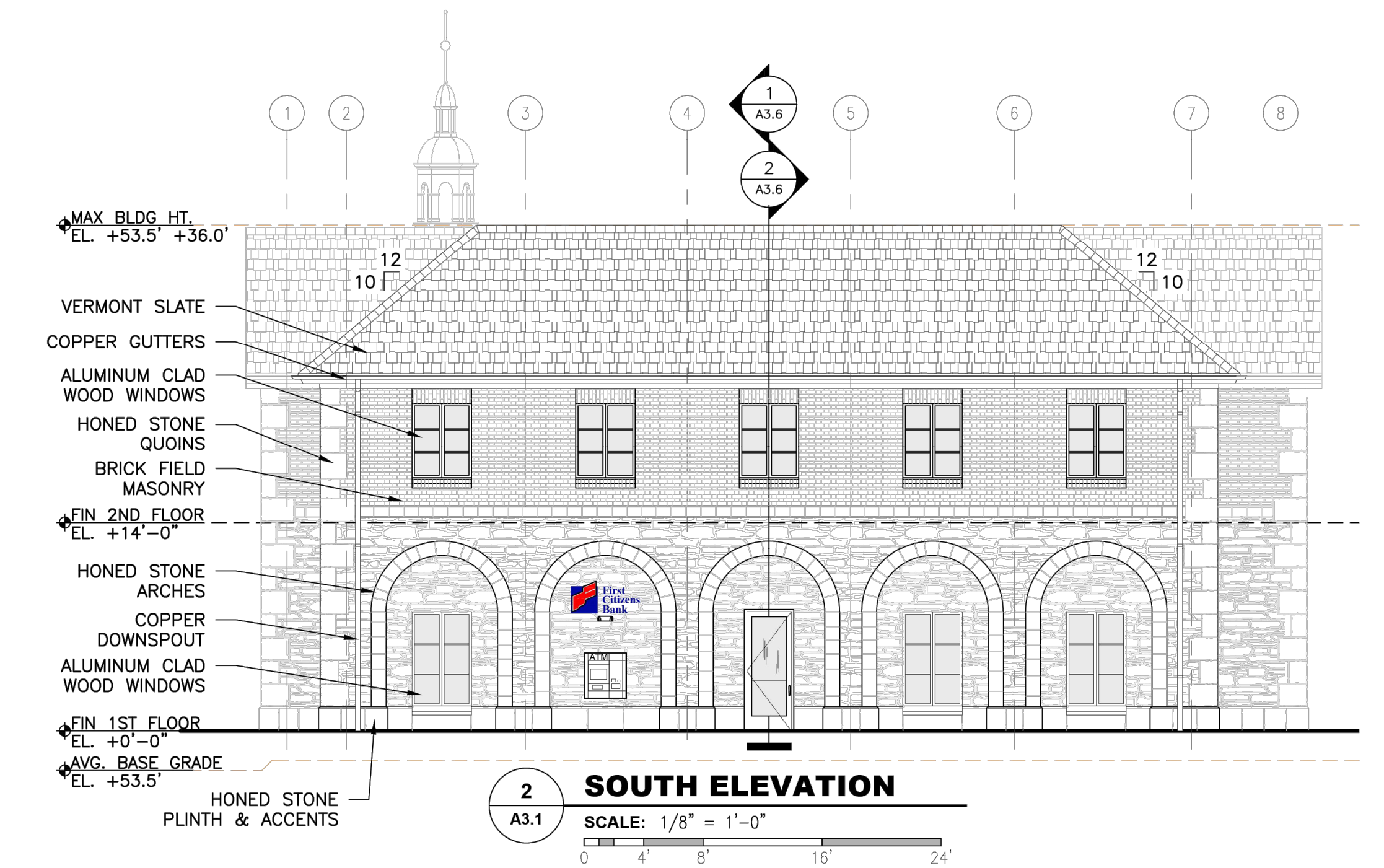
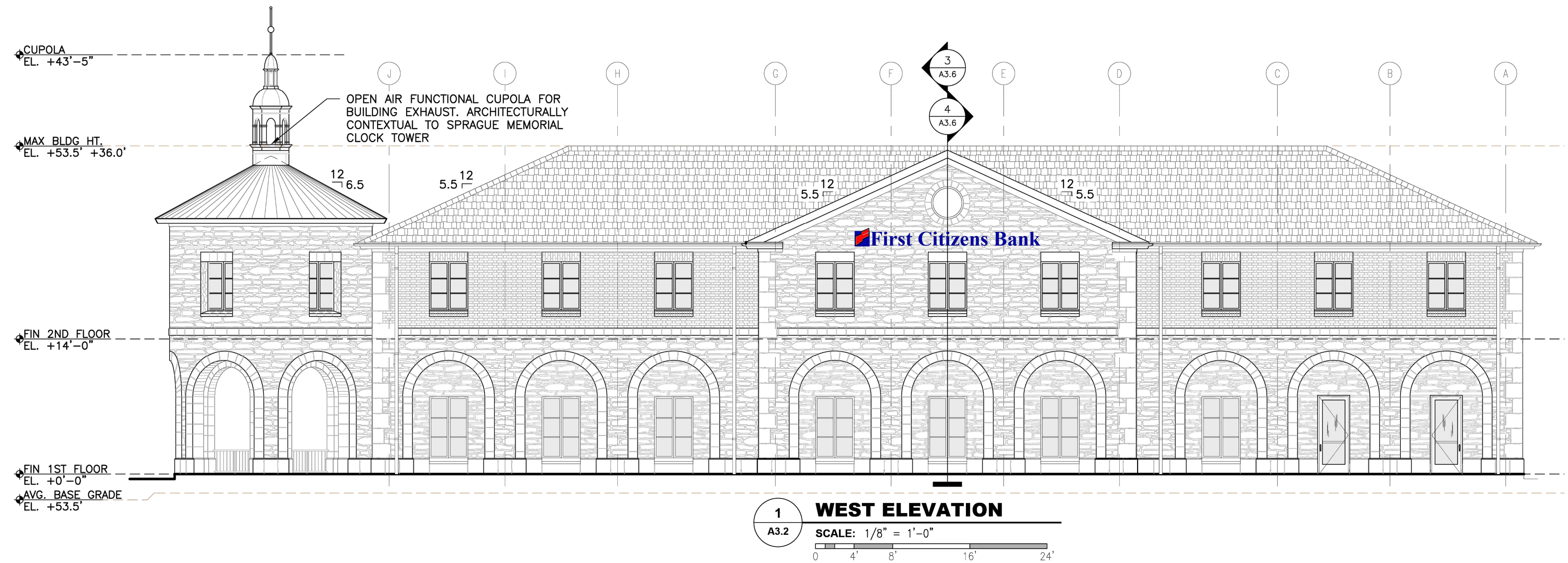
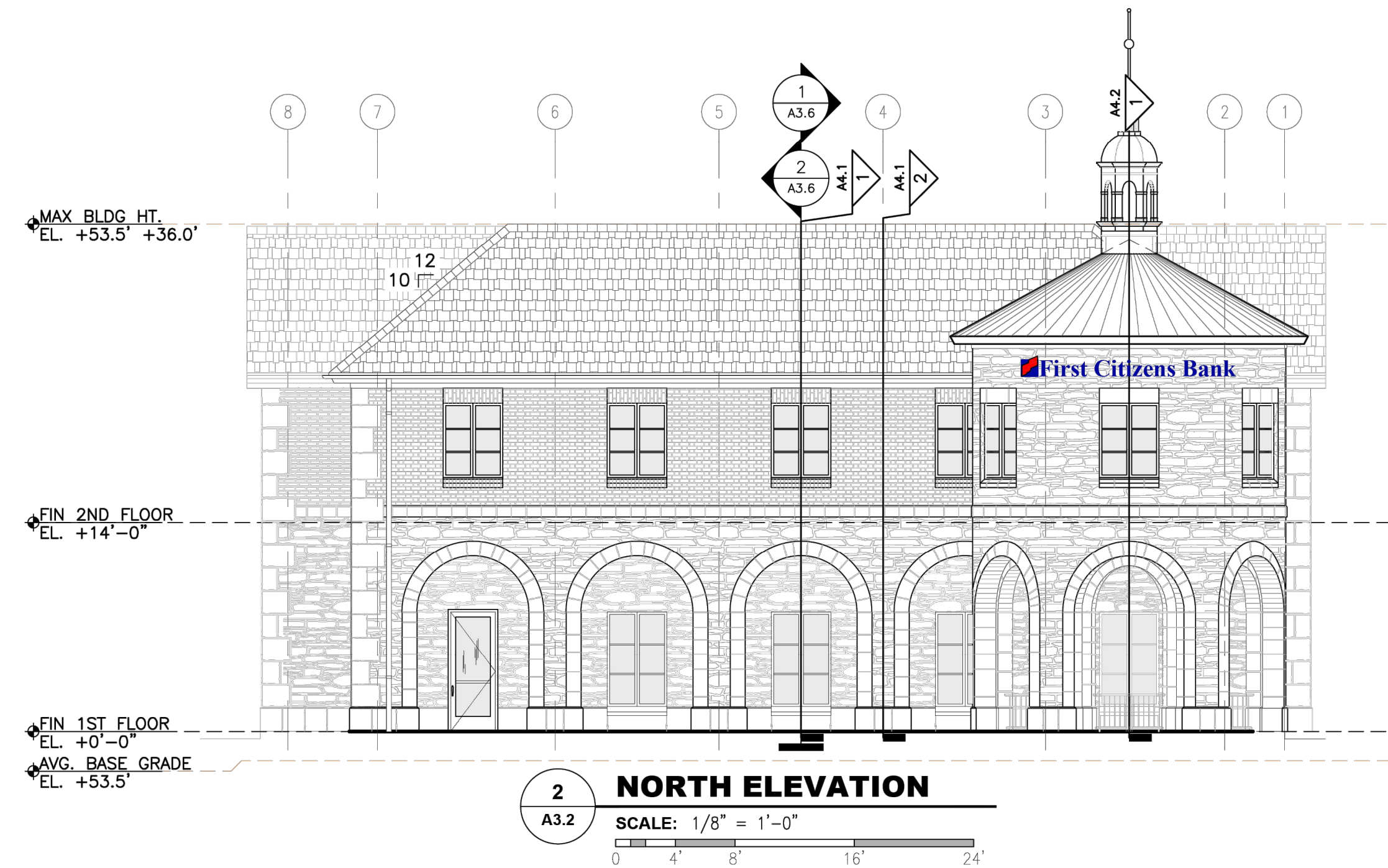
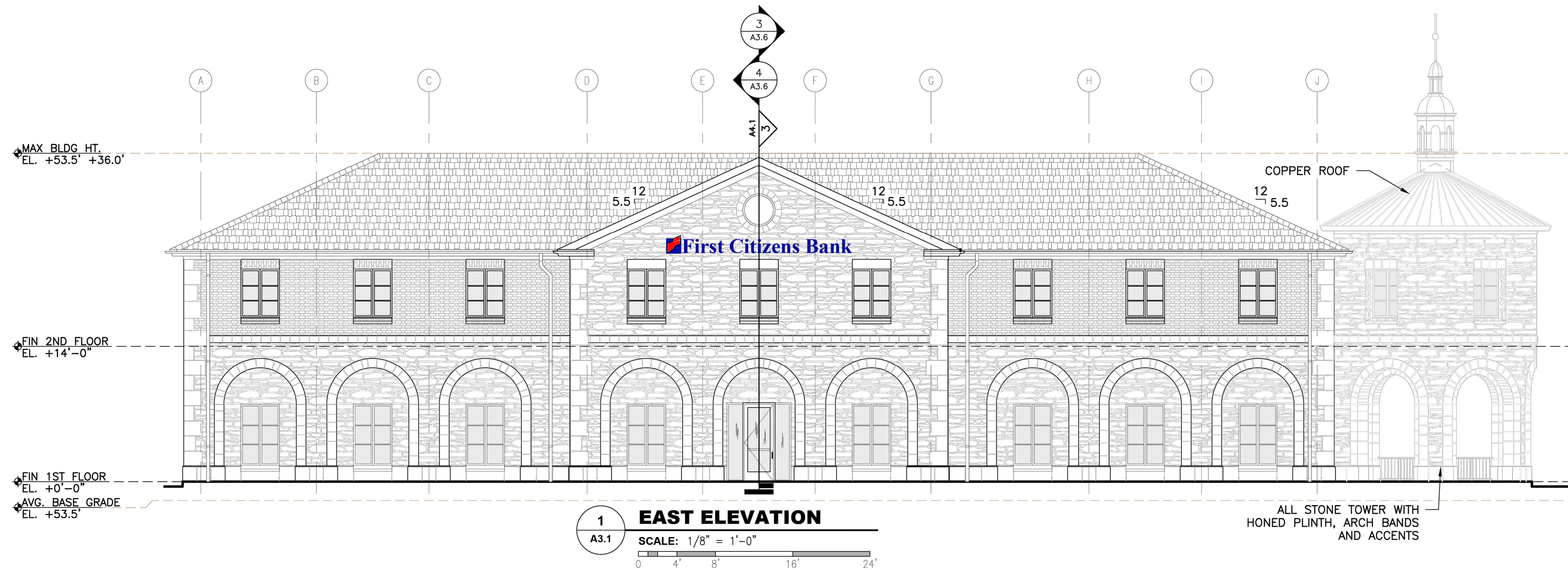
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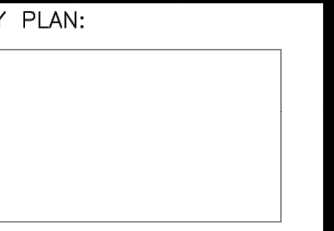
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LOCATION: WELLESLEY NEW BRANCH

Adler
ARCHITECTURE

| CONSULTANTS | |
|-------------|------------------|
| Civil: | xxxx |
| Struct: | xxxx |
| MEP: | xxxx |
| Client #: | xxxx |
| File #: | xxxx |
| Designed: | A. ADLER |
| Drawn: | R. PEULER |
| Checked: | A. ADLER |
| Date: | JANUARY 20, 2026 |

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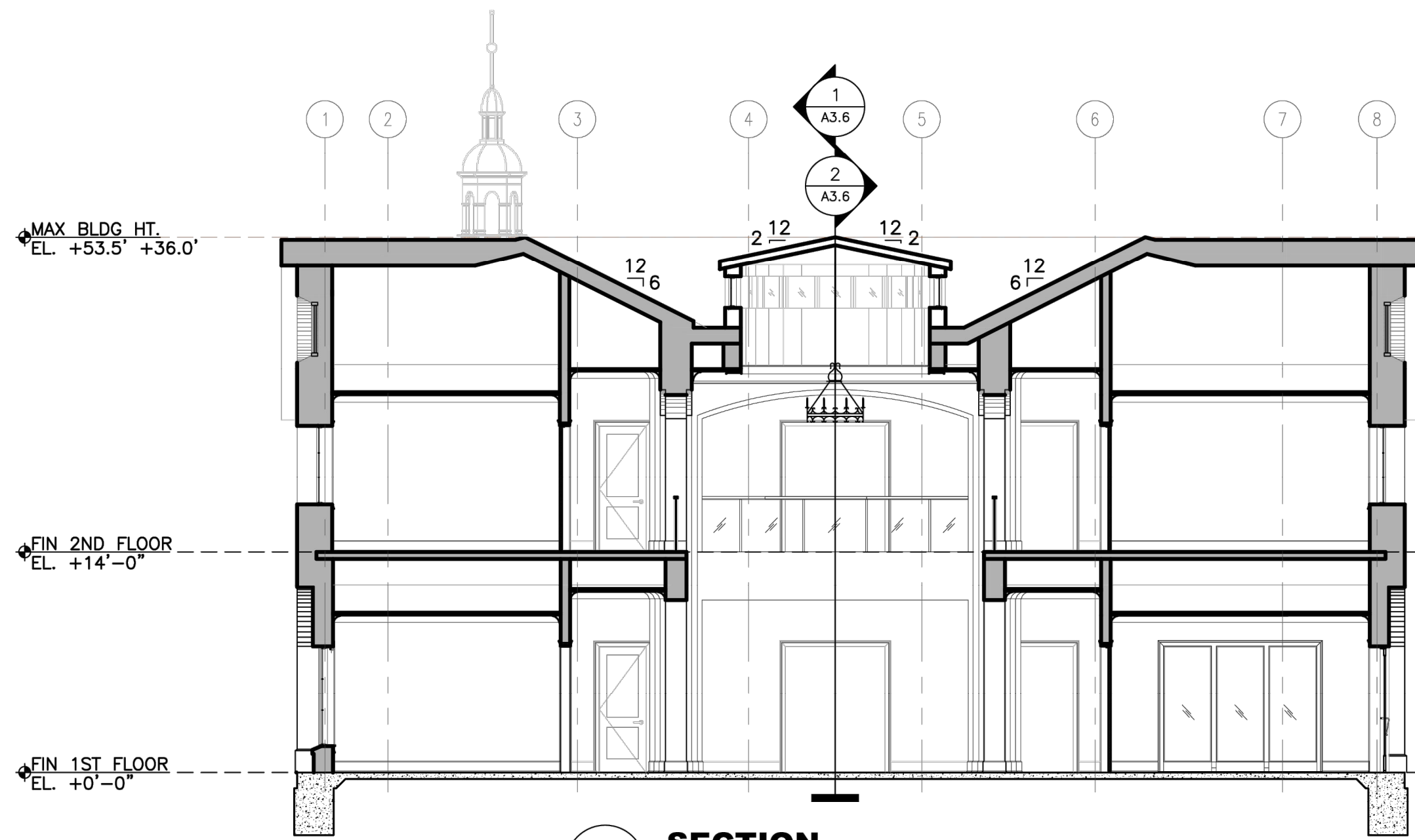
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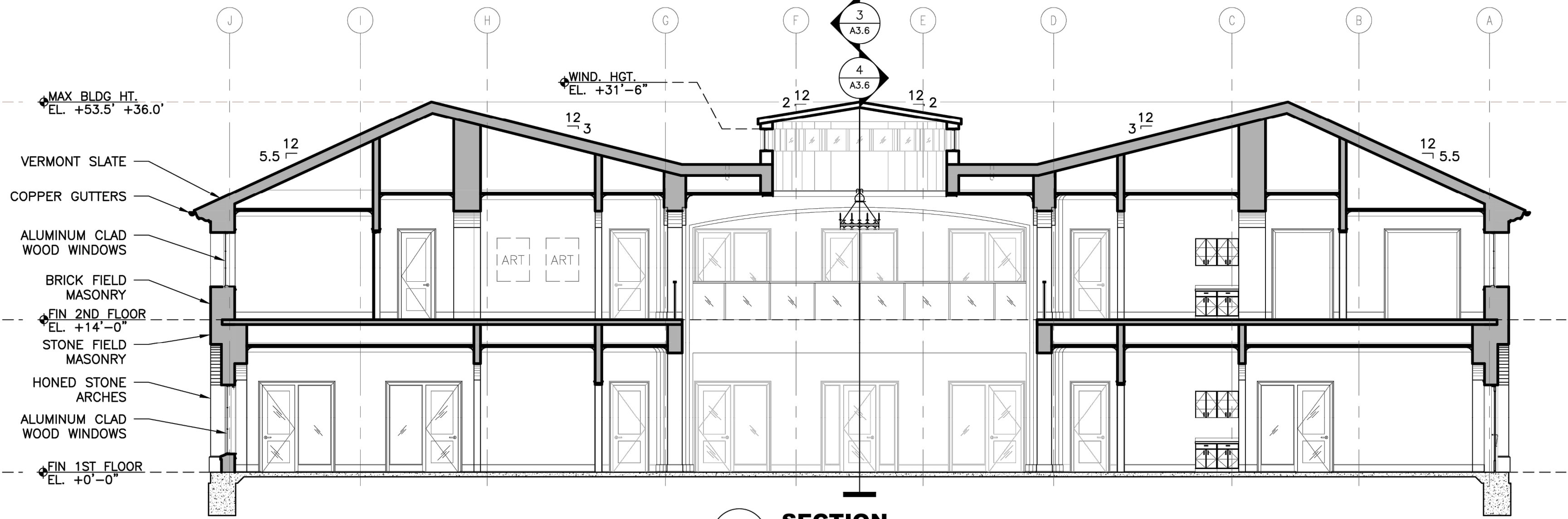
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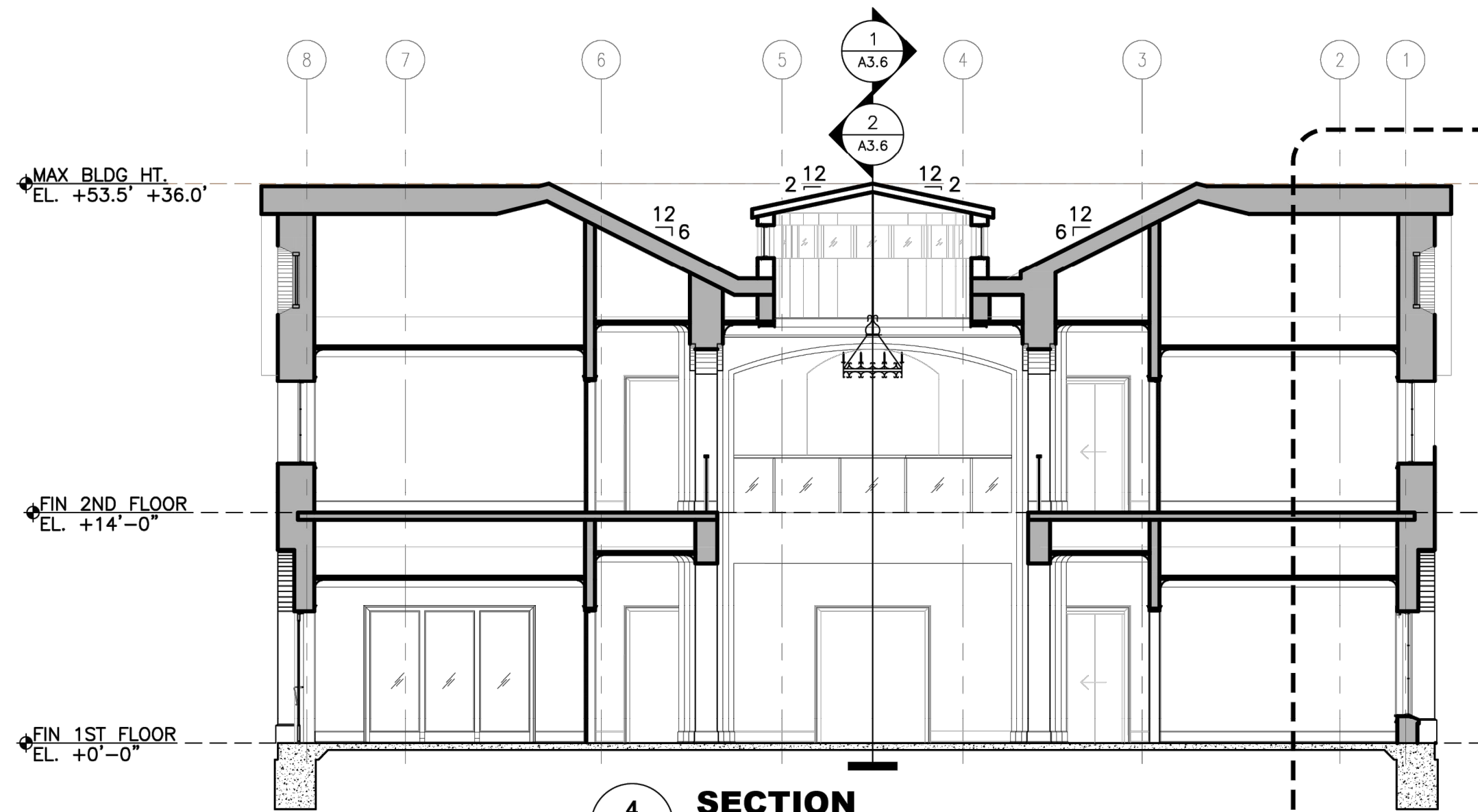
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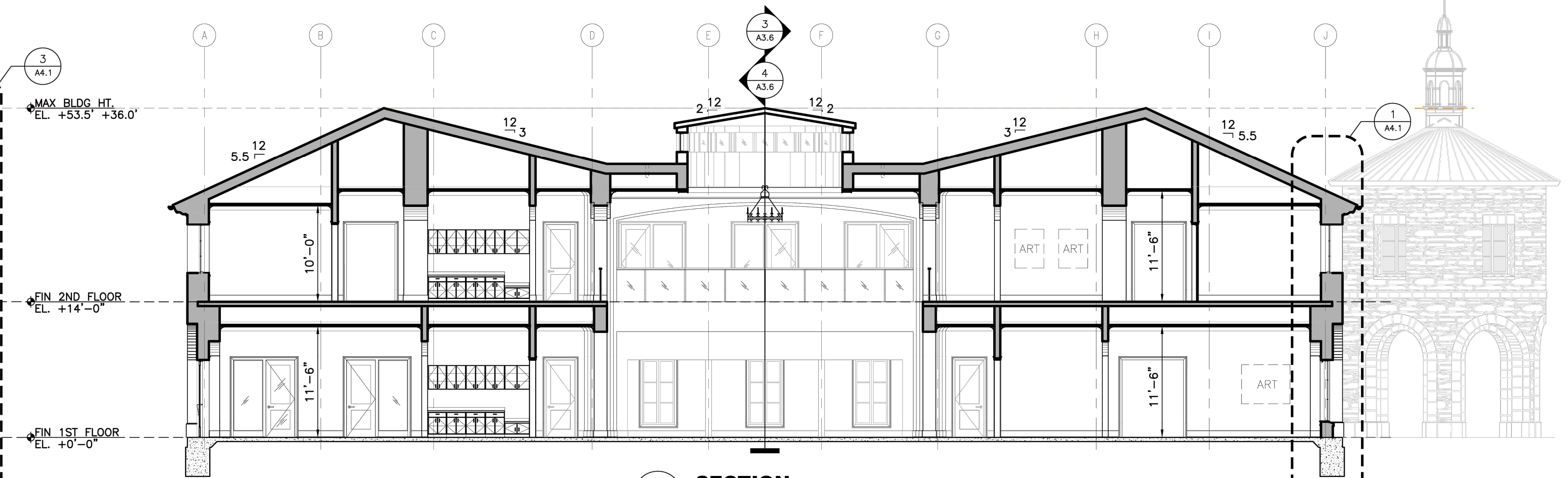
3 SECTION
A3.6
SCALE: 1/8" = 1'-0"
0 4 8 16 24'



2 SECTION
A3.6
SCALE: 1/8" = 1'-0"
0 4 8 16 24'



4 SECTION
A3.6
SCALE: 1/8" = 1'-0"
0 4 8 16 24'



1 SECTION
A3.6
SCALE: 1/8" = 1'-0"
0 4 8 16 24'

VERMONT SLATE
COPPER GUTTERS
ALUMINUM CLAD
WOOD WINDOWS
BRICK FIELD
MASONRY
FIN 2ND FLOOR
EL. +14'-0"
STONE FIELD
MASONRY
HONED STONE
ARCHES
ALUMINUM CLAD
WOOD WINDOWS
FIN 1ST FLOOR
EL. +0'-0"

WIND. HGT.
EL. +31'-6"

PROJECT: FIRST CITIZENS BANK
WELLESLEY NEW BRANCH
LOCATION:

Adler
ARCHITECTURE

CONSULTANTS

Civil: xxxx
Struct: xxxx
MEP: xxxx
Client #: xxxx
File #: xxxx
Designed: A. ADLER
Drawn: R. PEULER
Checked: A. ADLER
Date: JANUARY 20, 2026

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KEY PLAN:
[Key Plan Diagram]

SHEET CONTENTS:
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A5

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