



WELLESLEY PLANNING BOARD
APPLICATION FORM FOR REVIEW OF A
PROJECT OF SIGNIFICANT IMPACT

DATE: 01/16/2026

ADDRESS OF PROPERTY: 26 WASHINGTON ST PRECINCT D
NAME OF OWNER OF RECORD: FIRST CITIZENS BANK & TRUST COMPANY


signature

EXISTING USE OF

LAND/BUILDINGS: EQUIPMENT RENTAL / VACANT

PRESENT ZONING: LOWER FALLS VILLAGE COMMERCIAL DISTRICT

PROPOSED USE OF

LAND/BUILDINGS: BANK

FLOOR AREA OF BUILDING(S) NOW EXISTING ON THE

SITE: 8,862 SF SQUARE FEET.

TOTAL FLOOR AREA OF BUILDING(S) PROPOSED ON THE

SITE: 15,343 SF SQUARE FEET.

AGGREGATE TOTAL FLOOR AREA OF PROPOSED NEW CONSTRUCTION

ONLY 15,343 SF SQUARE FEET.

(IF RESIDENTIAL) NUMBER OF DWELLING UNITS N/A

AREA OF LOT OR DEVELOPMENT SITE 35,374 SF SQUARE FEET.

CONSULTANT(s) FOR IMPACT ANALYSIS SETH ANDERSON

SETH.ANDERSON@KIMLEY-HORN.COM Phone (617) 351 - 9894
KIMLEY-HORN & ASSOCIATES

This portion to be completed by Planning Department

APPLICATION FORM AND IMPACT ANALYSIS AS REQUIRED BY PLANNING BOARD
RECEIVED BY _____

signature _____ date _____

REVIEW COMPONENTS WAIVED BY PLANNING BOARD

date of vote _____

date of vote _____

date of vote _____

date of vote _____

SUBMISSION FEE RECEIVED \$ _____ date _____

date

IMPACT ANALYSIS TRANSMITTED TO REVIEW DEPARTMENTS _____

date

IMPACT ANALYSIS APPROVED BY:

Board of Selectmen _____ date _____

Board of Public Works _____ date _____

Fire Chief _____ date _____

Special Permit Approved by Planning Board _____ date.

WELLESLEY PLANNING BOARD

DEFINITIVE SUBMISSION - PROJECT PLAN SPECIFICATIONS

PROJECT OF SIGNIFICANT IMPACT

The Definitive Submission Project Plan shall be drawn to a scale of 1"=40' and shall show:

- a. Title and North arrow;
- b. Name of owner of record;
- c. Name of applicant (if different than owner);
- d. Names of all abutters as they appear on the most recent tax list;
- e. The general topography including an indication of open and wooded areas, permanent monuments, natural objects such as waterways, drainage courses, large boulders or ledge outcroppings, stone walls and the like;
- f. Proposed location of building(s) and structures, roads, drives, and parking areas, with the proposed rough layout of storm drains, water supply, sewage disposal system and necessary easements;
- g. The general relation of the proposed driveway(s), water, sewer and drainage systems and easements to adjoining properties and ways.

Should the plan be submitted on more than one sheet, all sheets shall be of the same size.

Short Narrative for the Municipal Systems Impact Analysis:

The proposed redevelopment at 26 Washington Street in Wellesley, Massachusetts involves the demolition of the existing equipment rental facility and the construction of a new ±15,000-square-foot bank building on the 0.85-acre parcel.

The site is currently occupied by two buildings and largely covered with pavement, with retaining walls along the northern, eastern, and southern boundaries. Under existing conditions, the site is almost entirely impervious and lacks any stormwater treatment facilities. Runoff is either collected within an onsite drainage network and discharged untreated through an existing 12-inch storm drain connection to Washington Street, or conveyed as sheet flow into the roadway gutter. The existing composite Curve Number (CN) of 97 reflects the highly impervious character of the site. The proposed redevelopment improves site hydrology by increasing pervious area, reducing the CN to 93, and lowering runoff volumes and peak discharge rates for all modeled storm events. A new closed drainage system will capture approximately 0.68 acres of onsite runoff and convey it to Washington Street through a new properly covered 12-inch storm drain connection, replacing the current pipe which does not meet minimum cover requirements. An additional 0.17 acres will continue to sheet flow toward the Washington Street gutter, but the contributing area and runoff rates will be reduced from existing conditions. Stormwater quality will be significantly enhanced by the introduction of a bioretention area located in the rear parking lot. This rain garden will treat roughly 0.30 acres of adjacent impervious area through engineered soils, vegetation, and infiltration, providing pollutant removal, peak-flow attenuation, and improved groundwater recharge. Additional planted and pervious areas distributed throughout the site further contribute to water-quality improvement and stormwater volume reduction, marking a substantial upgrade to current conditions and reducing the impact on municipal storm drain infrastructure.

Regarding municipal utilities, the proposed bank building will connect to the existing water, sewer, storm drain, and electrical systems located in Washington Street. The project consists of typical commercial building functions and is expected to use standard utility connections comparable to similar developments. All final utility connections and service requirements will be coordinated with the Town and applicable utility providers during permitting and construction. Stormwater utility impacts are addressed through the site's redesigned drainage system, which reduces discharge rates compared to current conditions. The project does not include unusual equipment, industrial processes, or atypical demands that would place unique strain on municipal utilities.

Traffic impacts associated with the redevelopment have been evaluated in the project's completed Traffic Impact and Access Study. The findings and conclusions of that study should be referenced for a full assessment of existing and future traffic operations, site access, and projected trip activity associated with the proposed bank use.

The project maintains existing pedestrian connections along Washington Street and includes appropriate accommodations to support safe and efficient access for all users. Refuse disposal for the project will be minimal. Bank operations generate very limited solid waste consisting primarily of office paper, packaging, and small quantities of everyday employee waste. The majority of the paper waste will be shredded and disposed of by a private third party disposal company. The project is not expected to impose any meaningful burden on the Town's refuse disposal or recycling systems.

Overall, the proposed redevelopment represents a substantial improvement over existing site conditions. The development will modernize an underutilized and fully impervious commercial parcel, resulting in a safer, more efficient, and environmentally improved site with minimal municipal impacts.

SITE DEVELOPMENT PLAN

FOR

FIRST-CITIZENS BANK WELLESLEY

26 WASHINGTON ST, WELLESLEY, MA 02481

A DEVELOPMENT BY:
FIRST-CITIZENS BANK & TRUST COMPANY

1/13/2026

SITE DATA:

ADDRESS: 26 WASHINGTON ST, WELLESLEY, MA, 02481
PARCEL ID: 34-10
ZONED: LOWER FALLS VILLAGE COMMERCIAL DISTRICT (LFVCD)
OVERLAY DISTRICTS: N/A
FRONT LANDSCAPE BUFFER: 5 FT
EXISTING USE: EQUIPMENT RENTAL/VACANT
PROPOSED USE: BANK
PARCEL SIZE: 0.81 AC
DISTURBED AREA: 0.85 AC
EX. IMPERVIOUS (W/IN LOD): 0.82 AC
PROP. IMPERVIOUS (W/IN LOD): 0.56 AC
BUILDING AREA: 0.18 AC
VEHICULAR SURFACE AREA: 0.33 AC
SIDEWALK AREA: 0.05 AC

BUILDING HEIGHT REQUIREMENTS:

MAXIMUM ALLOWABLE = 36 FT
PROPOSED BUILDING HEIGHT = 36 FT

BUILDING GROSS FLOOR AREA (GFA):

MAXIMUM FLOOR AREA RATIO = 0.3
PROPOSED FLOOR AREA RATIO = 0.44
PROPOSED GROSS FLOOR AREA = 15,343

PARKING:

EXISTING PARKING TABULATIONS:

TOTAL EXISTING PARKING = 11 SPACES
TOTAL EXISTING HANDICAP PARKING = 0 SPACES

REQUIRED PARKING TABULATIONS:

3.2 STALLS / 1000 1ST FLOOR SF * 7930 SF
2 STALLS / 1000 2ND FLOOR SF * (7411-4000) SF

TOTAL REQUIRED PARKING

REQUIRED HANDICAPPED PARKING = 2 SPACES
REQUIRED EV READY STALLS: 0.2 * 32 STALLS

PROPOSED PARKING TABULATIONS:

TOTAL HANDICAP PARKING PROPOSED = 6 SPACES
TOTAL EV READY PARKING PROPOSED = 32 SPACES
TOTAL PARKING PROPOSED = 32 SPACES

UTILITY COMPANIES

GAS
NATIONAL GRID
170 Data Dr, Waltham, MA 02451
800-233-5325

CABLE TC AND COMMUNICATIONS LINES
MASSACHUSETTS DEPARTMENT OF
TELECOMMUNICATIONS AND CABLE
1 FEDERAL ST SUITE 740, BOSTON, MA 02110
TEL: (800) 392-6066

ELECTRIC
WELLESLEY MUNICIPAL LIGHT PLANT
DAVID G. WOOD, DIRECTOR
4 MUNICIPAL WAY, WELLESLEY, MA 02481
TEL: (781) 235-7600
EMAIL: DWOOD@WELLESLEYMA.GOV

= 11 SPACES
= 0 SPACES

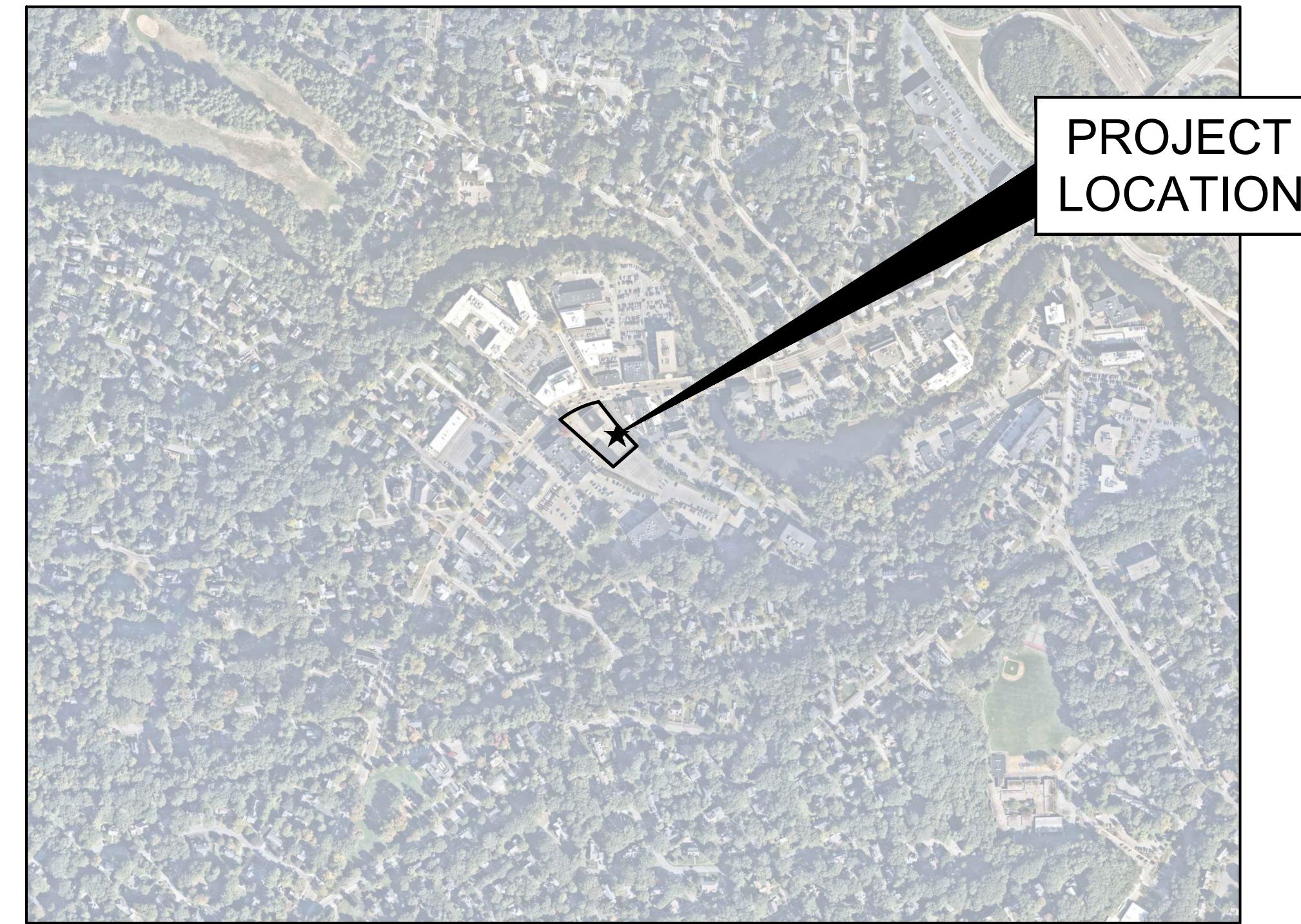
= 25 SPACES
= 7 SPACES
= 32 SPACES
= 2 SPACES
= 6 SPACES

= 2 SPACES
= 6 SPACES
= 32 SPACES

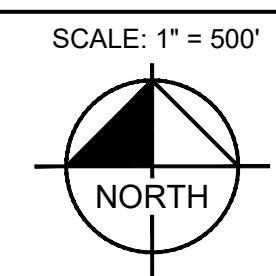
SEWER
WELLESLEY WATER AND SEWER DIVISION
20 MUNICIPAL WAY, WELLESLEY, MA 02481
TEL: (781) 235-7600

POTABLE WATER
WELLESLEY WATER AND SEWER DIVISION
20 MUNICIPAL WAY, WELLESLEY, MA 02481
TEL: (781) 235-7600

PLANNING
WELLESLEY PLANNING DEPARTMENT
ERIC M. ARBEENE, PLANNING DIRECTOR
888 WORCESTER STREET SUITE 160, WELLESLEY,
MA 02482
TEL: 781-431-1019, ext. 2237
EMAIL: ARBEENE@WELLESLEYMA.GOV



VICINITY MAP



SCALE: 1" = 500'

PROJECT OWNERS & CONSULTANTS

OWNER/DEVELOPER

FIRST CITIZENS BANK & TRUST COMPANY
239 FAVERTEVILLE ST, RALEIGH, NC 27601
CONTACT: SUSAN BISHOP
PHONE: (402) 999-3333
EMAIL: SUSAN.BISHOP2@FIRSTCITIZENS.COM

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES
271 WAVERLY OAKS RD #302, WALTHAM, MA 02452
CONTACT: SETH ANDERSON
PHONE: (617) 351-9894
EMAIL: SETH.ANDERSON@KIMLEY-HORN.COM

GEOTECHNICAL

PARTNER ENGINEERING AND SCIENCE, INC.
495 OLD CONNECTICUT PATH SUITE 120,
FRAMINGHAM, MA 01701
CONTACT: THOMAS CAMPBELL
PHONE: (508) 876-2660
EMAIL: TCAMPBELL@PARTNERESI.COM

LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES
271 WAVERLY OAKS RD #302, WALTHAM, MA 02452
CONTACT: STEVEN FUSCO
PHONE: (867) 675-8765
EMAIL: STEVEN.FUSCO@KIMLEY-HORN.COM

SURVEYOR

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD, SOUTHBOROUGH, MA 01772
CONTACT: RICHARD KNUTH
PHONE: (508) 948-3000 X2147
EMAIL: RKNUTH@CPASURVEY.COM

GEOTECHNICAL NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A
PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED
BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 08/19/2025.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A
ALTA/NSPS LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY
CONTROL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD,
SOUTHBOROUGH, MA 01772. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING
INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND
REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

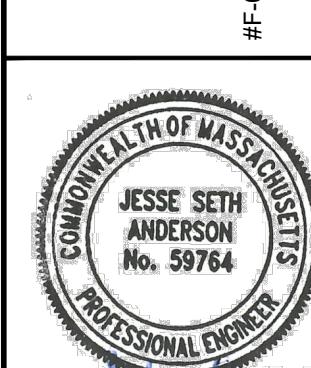


FCB WELLSELEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
MASSACHUSETTS
WELLESLEY

SHEET NUMBER
C-000

| SHEET LIST TABLE | |
|------------------|---|
| Sheet Number | Sheet Title |
| C-000 | COVER SHEET |
| C-001 | GENERAL NOTES |
| C-100 | ALTA SURVEY |
| C-101 | ALTA SURVEY |
| C-120 | DEMOLITION PLAN |
| C-200 | INITIAL EROSION CONTROL PLAN |
| C-201 | FINAL EROSION CONTROL PLAN |
| C-210 | EROSION CONTROL GENERAL NOTES |
| C-220 | EROSION CONTROL DETAILS |
| C-300 | SITE PLAN |
| C-320 | SITE DETAILS |
| C-321 | SITE DETAILS |
| C-400 | GRADING AND DRAINAGE PLAN |
| C-410 | PRE-DA MAP |
| C-411 | POST-DA MAP |
| C-412 | INLET-DA MAP |
| C-500 | UTILITY PLAN |
| C-520 | UTILITY DETAILS |
| L-100 | Hardscape Plan |
| L-101 | Hardscape Details |
| L-102 | Hardscape Details |
| L-300 | Landscape Plans |
| L-301 | Landscape Notes and Details |
| A1 | Preliminary Architectural and MEP Site Plan |
| A2 | First Floor Furnishing Plan |
| A3 | Second Floor Furnishing Plan |
| A4 | Exterior Elevations |
| A5 | Exterior Elevations |

Kimley-Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
#E-0102 421 FAVERTEVILLE STREET, SUITE 600, RALEIGH, NC 27601



KHA PROJECT 011737473
DATE 1/13/2026
SCALE AS SHOWN KLS
DESIGNED BY KLS
DRAWN BY JSA
CHECKED BY JSA

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF TOWN OF WELLESLEY, NORFOLK COUNTY, MAP 34.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, MASSACHUSETTS, (ALL JURISDICTIONS), PANEL 9 OF 430", MAP NUMBER 25021C0009E, EFFECTIVE DATE: JULY 17, 2012.
3. MAP ENTITLED "SUBDIVISION PLAN OF LAND IN WELLESLEY," PREPARED BY A. COLETTI, DATED DECEMBER 4, 1952, RECORDED WITH NORFOLK COUNTY REGISTRY OF DEEDS AS LAND COURT PLAN 20881-C.
4. MAP ENTITLED "PLAN OF LAND 27 WASHINGTON ST, WELLESLEY, MA," PREPARED FOR NATIONAL DEVELOPMENT ACQUISITIONS LLC, PREPARED BY CONECO, DATED OCTOBER 25, 2010, RECORDED WITH NORFOLK COUNTY REGISTRY OF DEEDS AS PLAN 91 OF 2010.
5. MAP ENTITLED "SUBDIVISION PLAN OF LAND IN WELLESLEY," PREPARED BY S. ALBERT KAUFMANN, DATED MAY 1, 1983, RECORDED WITH NORFOLK COUNTY REGISTRY OF DEEDS AS LAND COURT PLAN #20881-D.
6. MAP ENTITLED "26 WASHINGTON STREET, WELLESLEY, MA," PREPARED BY VISIONARY SUBSURFACE SOLUTIONS, DATED JUNE 12, 2025, SUE SKETCH PROJECT NO. 08-250429-00.
7. MAP ENTITLED "VEHICLE EASEMENT, WASHINGTON STREET, WELLESLEY, MASS.," PREPARED BY THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS, DATED APRIL 25, 1983.
8. UNDERGROUND WATER, SEWER & DRAINAGE MAPPING PROVIDED BY THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS.
9. MAP ENTITLED "SUBDIVISION PLAN OF LAND IN WELLESLEY," PREPARED BY GLEASON ENGINEERING COMPANY, DATED OCTOBER 15, 1947, RECORDED WITH NORFOLK COUNTY REGISTRY OF DEEDS AS LAND COURT PLAN 20881-A.
10. TOWN OF WELLESLEY ZONING MAP, DATED DECEMBER 20, 2002, LAST EMENDED AS OF APRIL 2, 2024.
11. REPORT ENTITLED "FCB WELLESLEY, MA, 26 WASHINGTON STREET, WELLESLEY, MASSACHUSETTS 02481, PREPARED FOR: KIMLEY-HORN," PREPARED BY ZONING INFO, INC., DATED JUNE 6, 2025, SITE #87560.

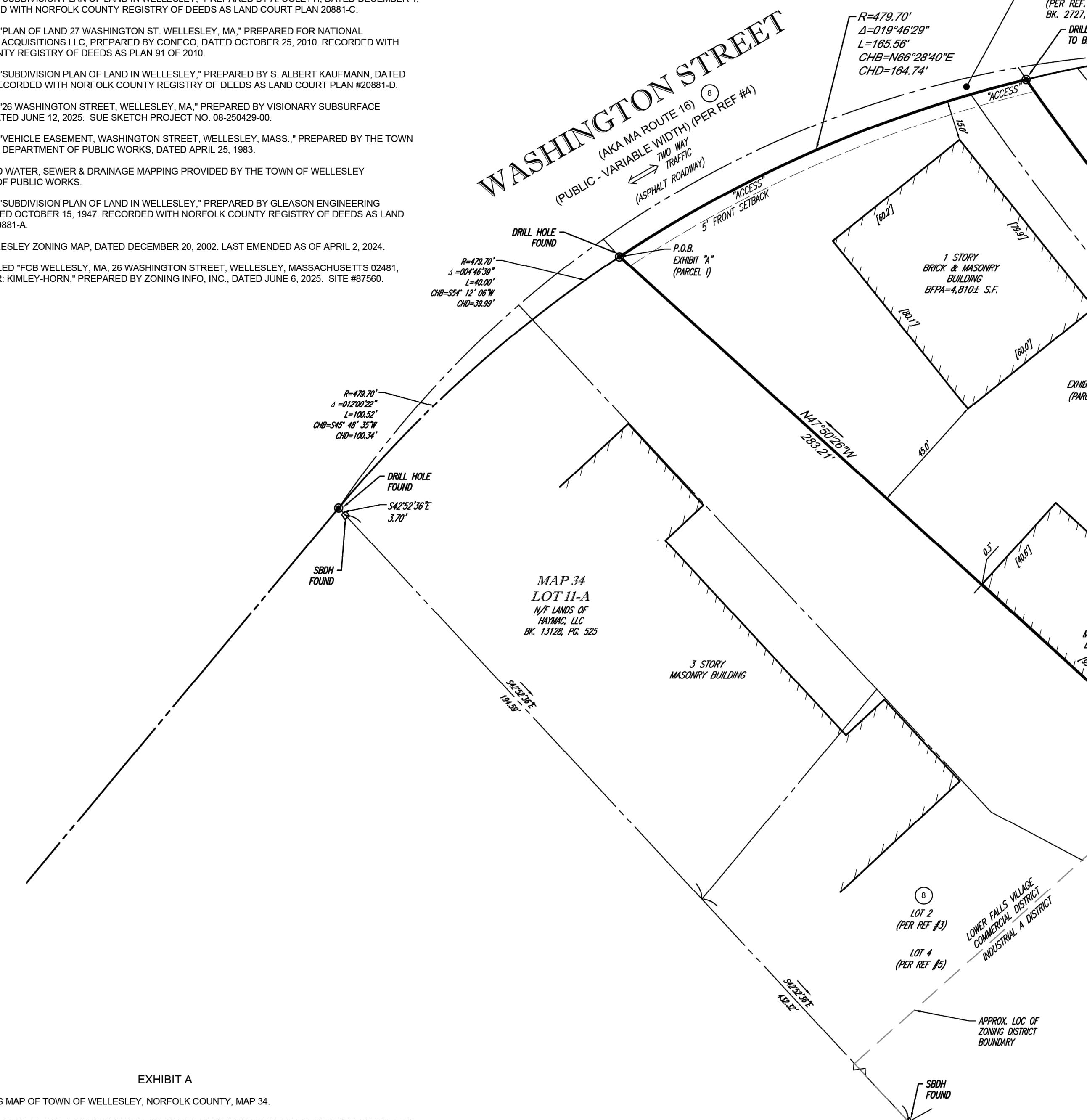


EXHIBIT A

THE TAX ASSESSOR'S MAP OF TOWN OF WELLESLEY, NORFOLK COUNTY, MAP 34.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF NORFOLK, STATE OF MASSACHUSETTS, AND IS DESCRIBED AS FOLLOWS:

PARCEL I (FREE SIMPLE)

THAT CERTAIN PARCEL OF LAND SITUATED IN WELLESLEY IN THE COUNTY OF NORFOLK AND SAID COMMONWEALTH, BOUNDED AND DESCRIBED AS FOLLOWS:

NORTHERLY BY THE SOUTHERLY LINE OF WASHINGTON STREET, ONE HUNDRED SIXTY FIVE AND 56/100 (165.56) FEET; NORTHEASTERLY BY LAND NOW OR FORMERLY OF BOSTON & ALBANY RAILROAD COMPANY, TWO HUNDRED THIRTY AND 44/100 (320.44) FEET; AND, SOUTHEASTERLY, ONE HUNDRED TWENTY FOUR AND 25/100 (124.25) FEET, AND, SOUTHWESTERLY, TWO HUNDRED EIGHTY THREE AND 21/100 (283.21) FEET, BY LOT NUMBERED 2, SHOWN ON THE PLAN HEREINAFTER REFERRED TO.

SAYD PARCEL IS SHOWN ON LOT NO. 3 (EXCEPTING FEE IN WASHINGTON STREET) ON A PLAN DRAWN BY A. COLETTI, SURVEYOR, DATED DEC. 4, 1952, AS APPROVED BY THE LAND COURT, FILED IN THE LAND REGISTRATION OFFICE NO. 20881C, A COPY OF A PORTION OF WHICH IS FILED IN NORFOLK REGISTRY DISTRICT WITH CERTIFICATE NO. 47648 IN BOOK 239, LOT 3 SHOWN HEREON.

PARCEL II (EASEMENT)

THESE ARE APPURTENANT TO THE ABOVE DESCRIBED LAND THE RIGHT TO USE THE LAND CONVEYED TO THE INHABITANTS OF THE TOWN OF WELLESLEY, AS SET FORTH IN A DEED GIVEN BY HAROLD C. WISWALL TO THE INHABITANTS OF THE TOWN OF WELLESLEY, DATED OCTOBER 24, 1947, DULY RECORDED IN BOOK 2727, PAGE 199, IN 1947, BY HAROLD C. WISWALL TO THE INHABITANTS OF THE TOWN OF WELLESLEY, DATED OCTOBER 24, 1947, DULY RECORDED IN BOOK 2727, PAGE 199, SO FAR AS IN FORCE AND NOW APPLICABLE. PARCEL II SHOWN HEREON. ²

PARCEL III (EASEMENT)

THESE ARE APPURTENANT TO SO MUCH OF THE ABOVE DESCRIBED LAND AS IS INCLUDED WITHIN THE LIMITS OF LOT D, PLAT FILED WITH CERTIFICATE NO. 38642, THE RIGHT TO HAVE THE BUILDING WHICH ENCRAGES ON THE LAND OF THE INHABITANTS OF THE TOWN OF WELLESLEY, MAINTAINED AS SET FORTH IN SAID DEED GIVEN BY SAID HAROLD C. WISWALL TO THE INHABITANTS OF THE TOWN OF WELLESLEY, DATED OCTOBER 24, 1947, DULY RECORDED IN BOOK 2727, PAGE 199, SO FAR AS IN FORCE AND NOW APPLICABLE. BUILDING ENCRASHER NO LONGER EXISTS. NOTHING TO PLOT.

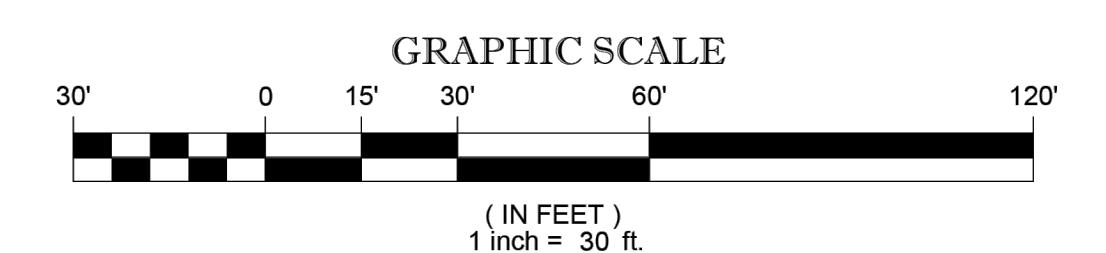
| ZONING INFORMATION LOWER FALLS VILLAGE COMMERCIAL DISTRICT SOURCE: REFERENCE #11 | |
|---|-----------|
| ITEMS | REQUIRED |
| MIN LOT AREA | 10,000 SF |
| MIN FRONTAGE | 60' |
| MIN FRONT YARD | 5' |
| MIN SIDE YARD | 20' |
| MIN REAR YARD | 20' |
| MAX BUILDING HEIGHT | 36' |
| MAX FLOOR AREA RATIO | 0.30 |
| MIN PARKING REQUIRED | 29 SPACES |

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON REFERENCE #11 AND PREVIOUSLY APPROVED BY THE TOWN ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

* MINIMUM SIDE & REAR SETBACK OF 20' ONLY APPLIES TO ACCESSORY UNITS OVER 100 SQUARE FEET.



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

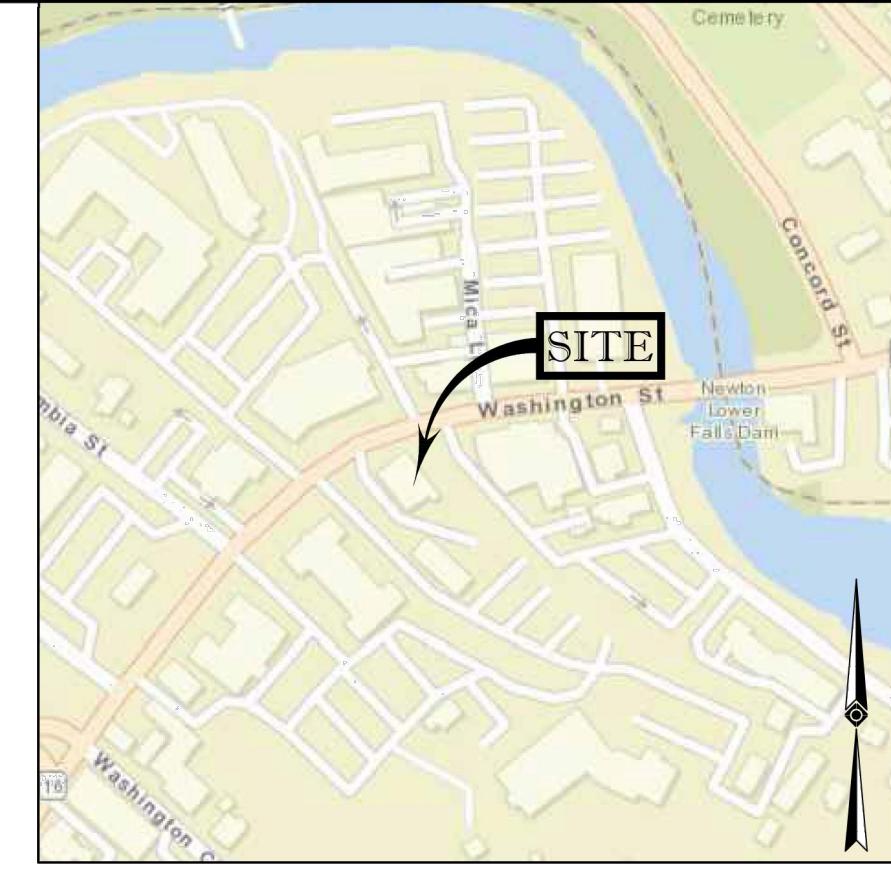


GERRY L. HOLDRIGHT
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #4921

SCHEDULE B, PART II
GENERAL EXCEPTIONS 1 THRU 6 & 9 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS PART OF THIS SURVEY.

- ⑦ TOGETHER WITH THE BENEFIT OF THE RIGHT TO USE LAND CONVEYED TO THE INHABITANTS OF THE TOWN OF WELLESLEY AS SET FORTH IN DEED GIVEN BY HAROLD C. WISWALL TO THE INHABITANTS OF THE TOWN OF WELLESLEY DATED OCTOBER 24, 1947, RECORDED IN BOOK 2727, PAGE 199, - PARCEL II SHOWN HEREON.
- ⑧ ALL MATTERS SHOWN ON LAND COURT PLAN NO. 20881C AND SPECIFICALLY THE "WAY" SHOWN THROUGH SAID LOT NO. 3, - LOTS 2 & 3, 20' WIDE WAY & WASHINGTON STREET SHOWN HEREON.

MASSACHUSETTS STATE PLANE COORDINATE SYSTEM - NAD 83



VICINITY MAP
©2022 ESRI WORLD LIGHT GRAY CANVAS
(NOT TO SCALE)

NOTES:

1. PROPERTY KNOWN AS LOT 10 AS SHOWN ON THE TOWN OF WELLESLEY, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 34.
2. AREA = 35,375 SQUARE FEET OR 0.812 ACRES.
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE BASED UPON MAPPING PROVIDED BY CONTROL POINT ASSOCIATES, INC. USING GROUND PENETRATING RADAR AND ELECTROMAGNETIC EQUIPMENT. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE, AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THAT THE UTILITIES SHOWN COMprise ANY OR ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY, NOT FIELD VERIFIED.

QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING, INCLUDES MARKOUT BY OTHERS.

QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND ORAL REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.

4. THIS PLAN IS BASED ON A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. (THE SURVEYOR), INFORMATION PROVIDED BY THE CLIENT AND OTHER REFERENCE MATERIAL AS LISTED HEREON, CHANGES TO THE PROPERTY AFTER THE FIELD DATE ARE NOT THE RESPONSIBILITY OF THE SURVEYOR.
5. THIS SURVEY IS PREPARED WITH A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 6566871 WITH A COMMITMENT DATE OF MAY 8, 2025. SEE EXCEPTIONS LIST FOR SURVEY RELATED EXCEPTIONS THAT APPEAR IN SCHEDULE B, PART II.

THIS SURVEY DOES NOT ADDRESS OWNERSHIP AND POSSIBLE RIGHTS OF ADJOINING PROPERTIES.

THIS SURVEY IS THE OPINION OF THE SURVEYOR AND IS NOT A LEGAL DECISION REGARDING PROPERTY BOUNDARY OR RIGHTS.

6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADE (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN) PER MAP REF #2.

7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY. SURVEY DOES NOT ADDRESS ENVIRONMENTAL CONDITIONS OR LAND SUITABILITY.

8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS/GNSS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGP).

TEMPORARY BENCHMARKS SET:

TBM-A: X-CUT SET IN BOLT OVER MAIN OUTLET OF HYDRANT, ELEVATION= 63.11'

TBM-B: MAG NAIL SET IN CONCRETE WALK, ELEVATION= 52.12'

SEVEN (7) DAYS PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SURVEY HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED.

ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION. SURVEYOR IS NOT RESPONSIBLE FOR CONTRACTOR'S FAILURE TO COMPLY.

9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

10. ANY DISCREPANCIES FOUND ON THE SURVEY SHOULD BE REPORTED TO THE SURVEYOR IMMEDIATELY.

11. THIS SURVEY WAS PREPARED FOR THE CLIENT, KIMLEY-HORN & ASSOCIATES, INC. AND INTENDED ONLY FOR THE USE BY THE CLIENT AS CONTRACTED FOR THE PROJECT AND THE PURPOSE ORIGINALLY INTENDED. NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED HEREON SHALL RELY ON IT FOR ANY PURPOSE.

12. PROPERTY HAS DIRECT ACCESS TO WASHINGTON STREET (AKA MA ROUTE 16).

13. PARKING COUNT: REGULAR = 12 SPACES
(LOT 10 ONLY) RESERVED = 0 SPACES
TOTAL = 12 SPACES

14. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

15. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.

16. THE LAND SHOWN ON THIS SURVEY IS THE SAME AS THAT DESCRIBED IN A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 6566871, WITH A COMMITMENT DATE OF MAY 8, 2025.

17. NO OFFSITE EASEMENTS OR SERVITUDES REVEALED IN TITLE REPORT.

18. THE CURRENT ZONING CLASSIFICATION ITEM 6(A) & (B) WAS NOT PROVIDED BY THE CLIENT AS REQUIRED BY THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS.

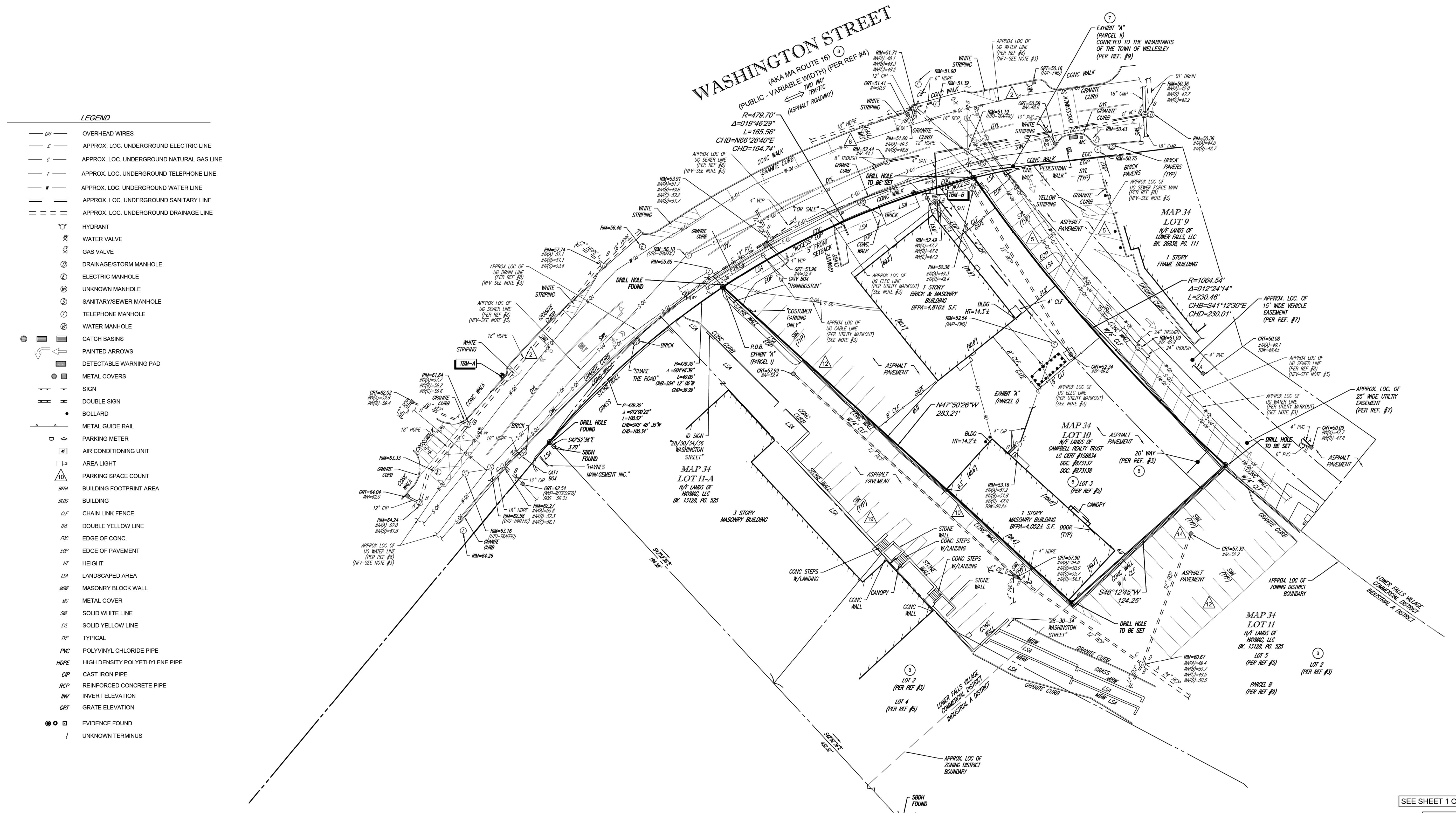
19. THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP, SANITARY LANDFILL OR CEMETERY.

20. THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

SEE SHEET 2 OF 2 FOR TOPOGRAPHY & UTILITIES

| 1 | REVISED PER CLIENT COMMENTS | - | R.J.K. | G.L.H. | 9-16-2025 |
|-----|-----------------------------|------------|--------|----------|-----------|
| No. | DESCRIPTION OF REVISION | FIELD CREW | DRAWN | APPROVED | DATE |

| | | | |
|---|-----------------------------------|-------------------|-----------------|
| FIELD DATE 6-18-2025 | ALTA/NSPS LAND TITLE SURVEY | | |
| FIELD BOOK NO 25-6 | KIMLEY-HORN & ASSOCIATES, INC. | | |
| FIELD BOOK PG 37 | 26 WASHINGTON STREET | | |
| FIELD CREW B.S.B. | LOT 10, MAP 34 | | |
| DRAWN: J.P.M. | TOWN OF WELLESLEY, NORFOLK COUNTY | | |
| COMMONWEALTH OF MASSACHUSETTS | | | |
| CONTRACT POINT ASSOCIATES, INC. | | | |
| 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 | | | |
| PHONE: 508.948.3000 FAX: 508.948.3024 WWW.CPASURVEY.COM | | | |
| REVIEWED: R.J.K. | APPROVED: G.L.H. | DATE 9-10-2025 | SCALE 1"=30' |
| FILE NO. 03-250212-00 | FILE NO. 1 | SHEET 1 OF 2 | |



SEE SHEET 1 OF 2 FOR OVERALL BOUNDARY & ALTA MATTERS

SEE SHEET 1 OF 2 FOR NOTES AND REFERENCES

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED.
THE COPYING OR REUSE OF THIS DOCUMENT IS PROHIBITED, EXCEPT FOR THE PURPOSES NAMED IN THE AGREEMENT OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS,
DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTHS
SURFACE ANYWHERE IN THE STATE.

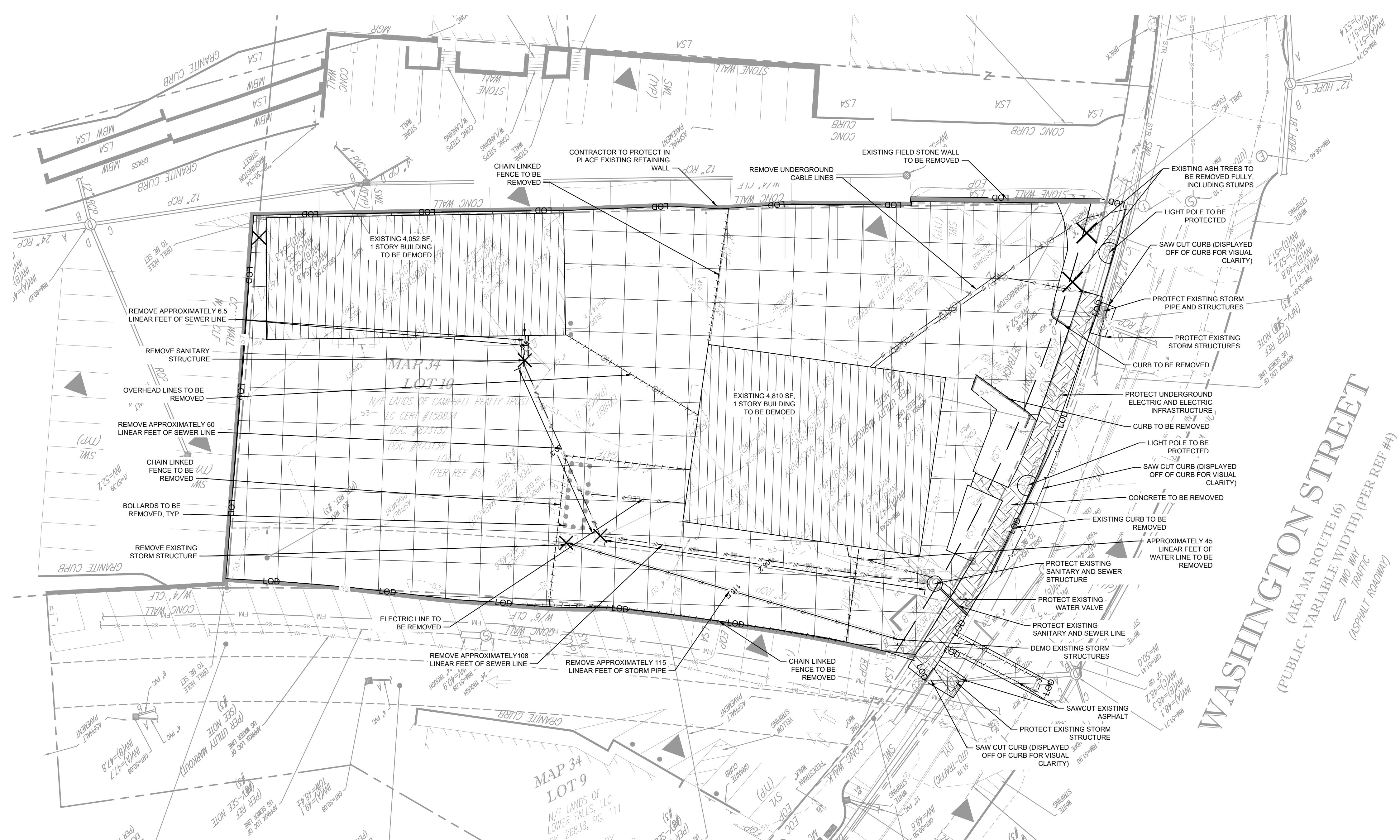
GRAPHIC SCALE
30' 0' 15' 30' 60' 120'
(IN FEET)
1 inch = 30 ft.

THIS SURVEY IS CERTIFIED TO:
KIMLEY-HORN & ASSOCIATES, INC.
FIRST AMERICAN TITLE INSURANCE COMPANY
FIRST CITIZENS BANK & TRUST COMPANY
LOWNDES, DROSDICK, DOSTER, KANTOR & REED, P.A.
9-16-2025



GERRY L. HOLDRIGHT
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

| 1 | REVISED PER CLIENT COMMENTS | - | R.J.K. | G.L.H. | 9-16-2025 |
|--------------------------|------------------------------------|------------|--------|----------|-----------|
| No. | DESCRIPTION OF REVISION | FIELD CREW | DRAWN | APPROVED | DATE |
| FIELD DATE 6-18-2025 | ALTA/NSPS LAND TITLE SURVEY | | | | |
| FIELD BOOK NO 25-6 | KIMLEY-HORN & ASSOCIATES, INC. | | | | |
| FIELD BOOK PG 37 | 26 WASHINGTON STREET | | | | |
| FIELD CREW B.S.B. | LOT 10, MAP 34 | | | | |
| DRAWN J.P.M. | TOWN OF WELLESLEY, NORFOLK COUNTY | | | | |
| REVIEWED: R.J.K. | COMMONWEALTH OF MASSACHUSETTS | | | | |
| APPROVED: G.L.H. | CONTROLLING POINT ASSOCIATES, INC. | | | | |
| DATE 9-10-2025 | 352 TURNPIKE ROAD | | | | |
| SCALE 1"=30' | SOUTHBOROUGH, MA 01772 | | | | |
| FILE NO. 03-250212-00 | PHONE: 508-948-3000 | | | | |
| SHEET 2 OF 2 | WWW.CPSURVEY.COM | | | | |



| DEMOLITION LEGEND | |
|-------------------|--|
| — - - | PROPERTY LINE |
| — — — | LIMITS OF DISTURBANCE |
| — / / — / / — | DEMOLISH SITE ITEM |
| — / / / / / — | DEMOLISH UNDERGROUND UTILITY |
| ~~~~~ | ABANDON UTILITY IN PLACE |
| — — — — — | SAWCUT |
| X | DEMOLISH SITE ITEM/ TREE TO BE REMOVED |
| ██████████ | BUILDINGS TO BE REMOVED |
| ██████████ | PAVEMENT TO BE REMOVED |
| ██████████ | SIDEWALK TO BE REMOVED |

WASHINGTON STREET
(PUBLIC - VARIABLE ROUTE 16)
TWO WAY
(ASPHALT ROADWAY)

DEMOLITION / LAND DISTURBANCE NOTES:

- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
 - ENSURING THAT COPIES OF ALL APPLICABLE PERMITS AND APPROVALS ARE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL AND/OR TREE PROTECTION MEASURES PRIOR TO SITE DISTURBANCE.
 - LOCATING (VERTICALLY AND HORIZONTALLY) ALL UTILITIES AND SERVICES, INCLUDING, BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES & ADJACENT LANDOWNERS/BUSINESSES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - CONTRACTOR IS TO VERIFY EXISTING SITE CONDITIONS AGAINST THE PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR START OF DEMO OR ANY SITE WORK.
- NEITHER KIMLEY-HORN & ASSOCIATES, INC. NOR THE OWNER IS RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING FEATURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE "MANUAL ON UNIFORM TRAFFIC CONTROL" AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS - OF - WAY.

GEOTECH NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 08/19/2025.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A ALTA/NSPS LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY CONTROL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD, DUXBURY, MA 02332. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



DEMOLITION PLAN

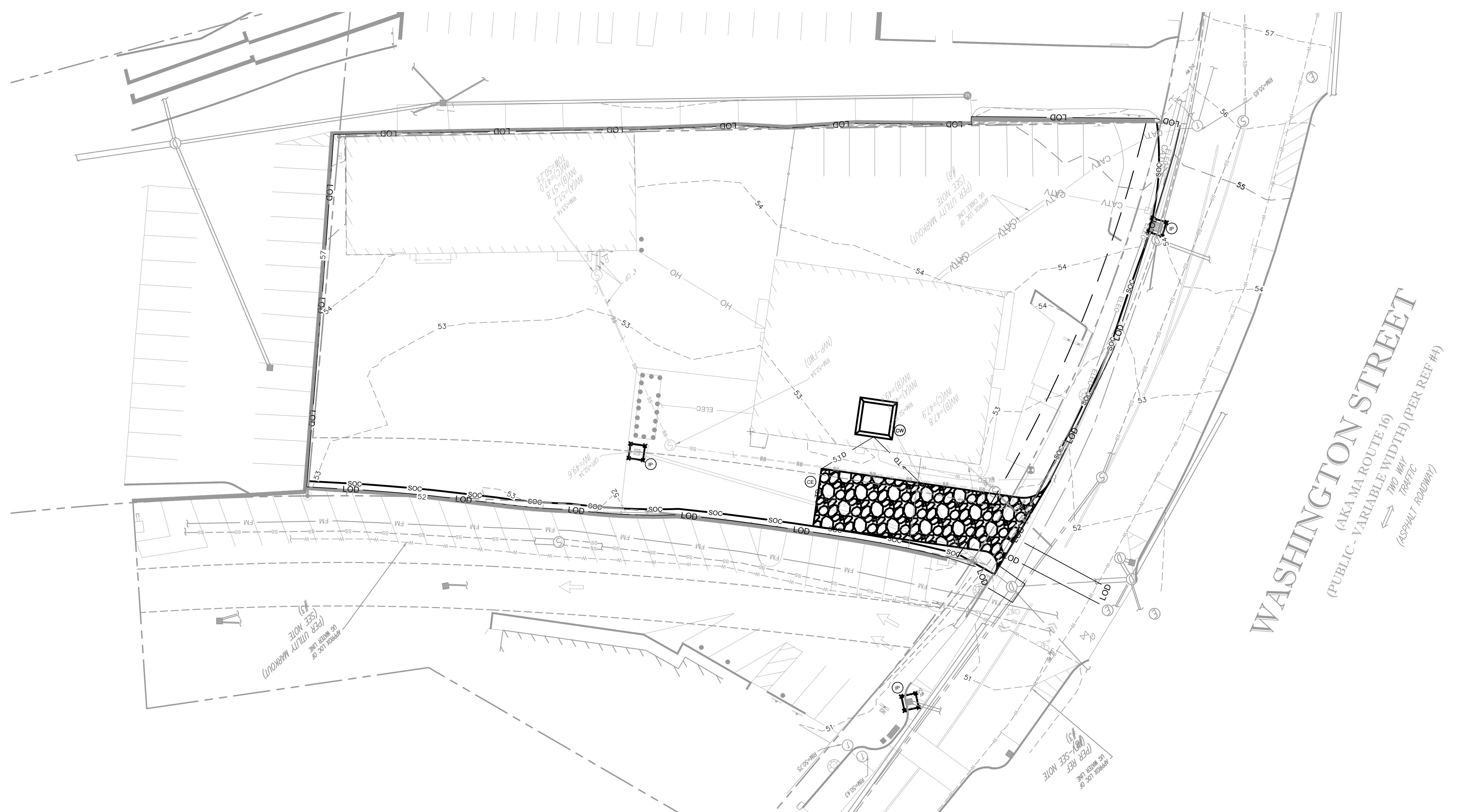
Kimley»Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
#E-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2050
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

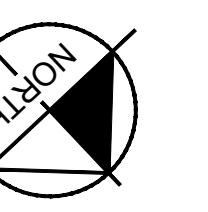
FCC WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK & TRUST COMPANY
MASSACHUSETTS

SHEET NUMBER
C-120

| | | | | | | |
|-----|-----|-----|-----|-----|-----|-----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 |
| 8 | 9 | 10 | 11 | 12 | 13 | 14 |
| 15 | 16 | 17 | 18 | 19 | 20 | 21 |
| 22 | 23 | 24 | 25 | 26 | 27 | 28 |
| 29 | 30 | 31 | 32 | 33 | 34 | 35 |
| 36 | 37 | 38 | 39 | 40 | 41 | 42 |
| 43 | 44 | 45 | 46 | 47 | 48 | 49 |
| 50 | 51 | 52 | 53 | 54 | 55 | 56 |
| 57 | 58 | 59 | 60 | 61 | 62 | 63 |
| 64 | 65 | 66 | 67 | 68 | 69 | 70 |
| 71 | 72 | 73 | 74 | 75 | 76 | 77 |
| 78 | 79 | 80 | 81 | 82 | 83 | 84 |
| 85 | 86 | 87 | 88 | 89 | 90 | 91 |
| 92 | 93 | 94 | 95 | 96 | 97 | 98 |
| 99 | 100 | 101 | 102 | 103 | 104 | 105 |
| 106 | 107 | 108 | 109 | 110 | 111 | 112 |
| 113 | 114 | 115 | 116 | 117 | 118 | 119 |
| 120 | 121 | 122 | 123 | 124 | 125 | 126 |
| 127 | 128 | 129 | 130 | 131 | 132 | 133 |
| 134 | 135 | 136 | 137 | 138 | 139 | 140 |
| 141 | 142 | 143 | 144 | 145 | 146 | 147 |
| 148 | 149 | 150 | 151 | 152 | 153 | 154 |
| 155 | 156 | 157 | 158 | 159 | 160 | 161 |
| 162 | 163 | 164 | 165 | 166 | 167 | 168 |
| 169 | 170 | 171 | 172 | 173 | 174 | 175 |
| 176 | 177 | 178 | 179 | 180 | 181 | 182 |
| 183 | 184 | 185 | 186 | 187 | 188 | 189 |
| 190 | 191 | 192 | 193 | 194 | 195 | 196 |
| 197 | 198 | 199 | 200 | 201 | 202 | 203 |
| 204 | 205 | 206 | 207 | 208 | 209 | 210 |
| 211 | 212 | 213 | 214 | 215 | 216 | 217 |
| 218 | 219 | 220 | 221 | 222 | 223 | 224 |
| 225 | 226 | 227 | 228 | 229 | 230 | 231 |
| 232 | 233 | 234 | 235 | 236 | 237 | 238 |
| 239 | 240 | 241 | 242 | 243 | 244 | 245 |
| 246 | 247 | 248 | 249 | 250 | 251 | 252 |
| 253 | 254 | 255 | 256 | 257 | 258 | 259 |
| 260 | 261 | 262 | 263 | 264 | 265 | 266 |
| 267 | 268 | 269 | 270 | 271 | 272 | 273 |
| 274 | 275 | 276 | 277 | 278 | 279 | 280 |
| 281 | 282 | 283 | 284 | 285 | 286 | 287 |
| 288 | 289 | 290 | 291 | 292 | 293 | 294 |
| 295 | 296 | 297 | 298 | 299 | 300 | 301 |
| 302 | 303 | 304 | 305 | 306 | 307 | 308 |
| 309 | 310 | 311 | 312 | 313 | 314 | 315 |
| 316 | 317 | 318 | 319 | 320 | 321 | 322 |
| 323 | 324 | 325 | 326 | 327 | 328 | 329 |
| 330 | 331 | 332 | 333 | 334 | 335 | 336 |
| 337 | 338 | 339 | 340 | 341 | 342 | 343 |
| 344 | 345 | 346 | 347 | 348 | 349 | 350 |
| 351 | 352 | 353 | 354 | 355 | 356 | 357 |
| 358 | 359 | 360 | 361 | 362 | 363 | 364 |
| 365 | 366 | 367 | 368 | 369 | 370 | 371 |
| 372 | 373 | 374 | 375 | 376 | 377 | 378 |
| 379 | 380 | 381 | 382 | 383 | 384 | 385 |
| 386 | 387 | 388 | 389 | 390 | 391 | 392 |
| 393 | 394 | 395 | 396 | 397 | 398 | 399 |
| 400 | 401 | 402 | 403 | 404 | 405 | 406 |
| 407 | 408 | 409 | 410 | 411 | 412 | 413 |
| 414 | 415 | 416 | 417 | 418 | 419 | 420 |
| 421 | 422 | 423 | 424 | 425 | 426 | 427 |
| 428 | 429 | 430 | 431 | 432 | 433 | 434 |
| 435 | 436 | 437 | 438 | 439 | 440 | 441 |
| 442 | 443 | 444 | 445 | 446 | 447 | 448 |
| 449 | 450 | 451 | 452 | 453 | 454 | 455 |
| 456 | 457 | 458 | 459 | 460 | 461 | 462 |
| 463 | 464 | 465 | 466 | 467 | 468 | 469 |
| 470 | 471 | 472 | 473 | 474 | 475 | 476 |
| 477 | 478 | 479 | 480 | 481 | 482 | 483 |
| 484 | 485 | 486 | 487 | 488 | 489 | 490 |
| 491 | 492 | 493 | 494 | 495 | 496 | 497 |
| 498 | 499 | 500 | 501 | 502 | 503 | 504 |
| 505 | 506 | 507 | 508 | 509 | 510 | 511 |
| 512 | 513 | 514 | 515 | 516 | 517 | 518 |
| 519 | 520 | 521 | 522 | 523 | 524 | 525 |
| 526 | 527 | 528 | 529 | 530 | 531 | 532 |
| 533 | 534 | 535 | 536 | 537 | 538 | 539 |
| 540 | 541 | 542 | 543 | 544 | 545 | 546 |
| 547 | 548 | 549 | 550 | 551 | 552 | 553 |
| 554 | 555 | 556 | 557 | 558 | 559 | 550 |
| 551 | 552 | 553 | 554 | 555 | 556 | 557 |
| 558 | 559 | 550 | 551 | 552 | 553 | 554 |
| 555 | 556 | 557 | 558 | 559 | 550 | 551 |
| 552 | 553 | 554 | 555 | 556 | 557 | 558 |
| 559 | 550 | 551 | 552 | 553 | 554 | 555 |
| 556 | 557 | 558 | 559 | 550 | 551 | 552 |
| 553 | 554 | 555 | 556 | 557 | 558 | 559 |
| 550 | 551 | 552 | 553 | 554 | 555 | 556 |
| 551 | 552 | 553 | 554 | 555 | 556 | 557 |
| 552 | 553 | 554 | 555 | 556 | | |



GRAPHIC SCALE IN FEET
0 10 20 30 40



| EROSION CONTROL LEGEND | |
|---------------------------|-----|
| PROPERTY LINE | LOD |
| LIMITS OF DISTURBANCE | SF |
| SILT FENCE | SOC |
| SILT SOCK FENCE | TD |
| TEMPORARY DIVERSION DITCH | TD |
| PUMP DISCHARGE HOSE | 805 |
| EXISTING CONTOUR | 805 |
| PROPOSED CONTOUR | 805 |
| DRAINAGE AREA BOUNDARY | 805 |
| CONSTRUCTION ENTRANCE | CE |
| CONCRETE WASHOUT STATION | CW |
| INLET PROTECTION | IP |

WASHINGTON STREET
(AKA MA ROUTE 16)
two way
TRAFFIC
(ASPHALT ROADWAY)

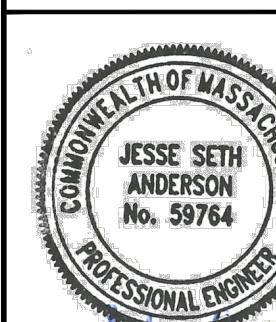
INITIAL EROSION
CONTROL PLAN

FCB WELLSELEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
MASSACHUSETTS

WELLESLEY
SHEET NUMBER
C-200

Kimley»Horn

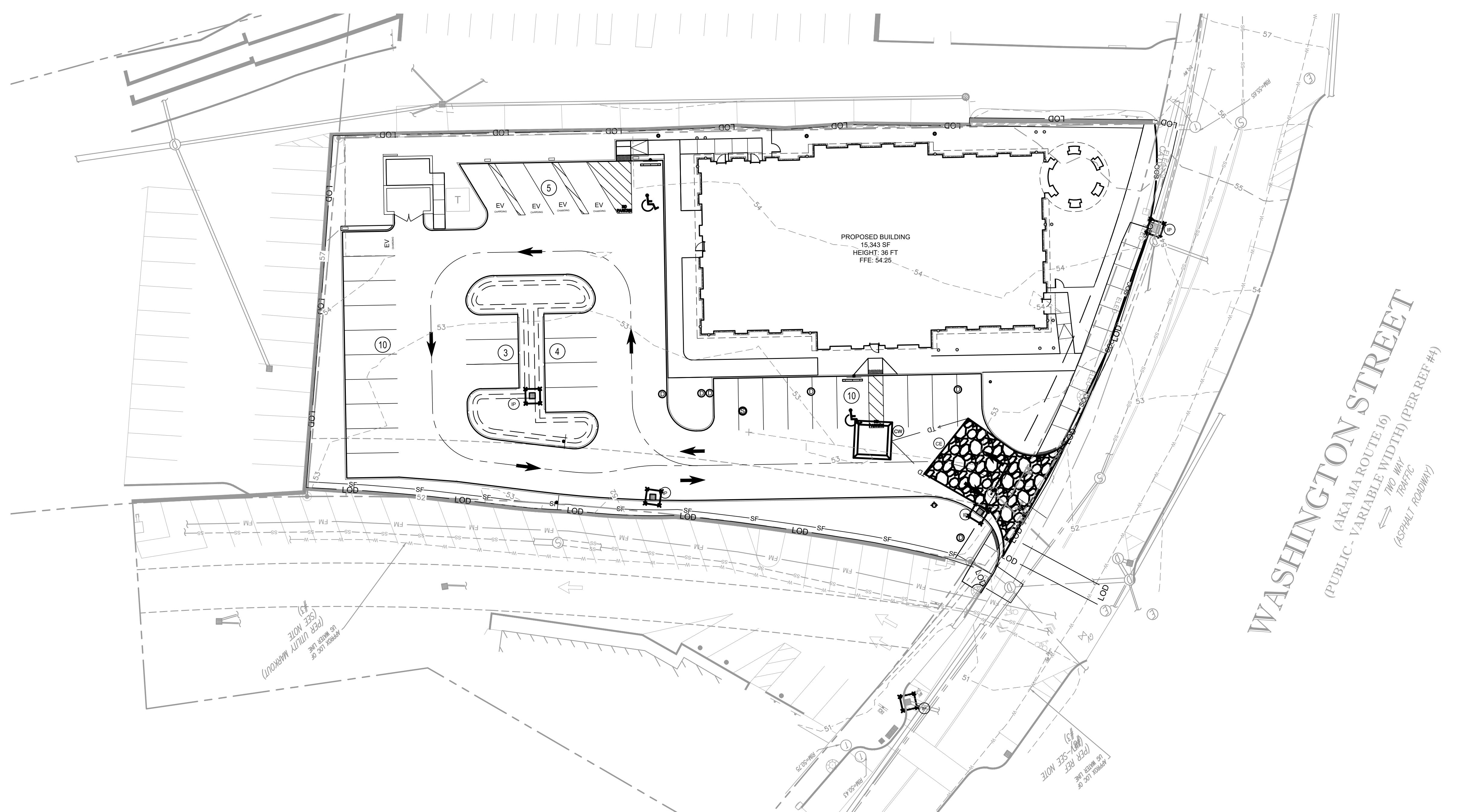
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
#E-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2050
421 FAVERTEVILLE STREET, SUITE 600, RALEIGH, NC 27601



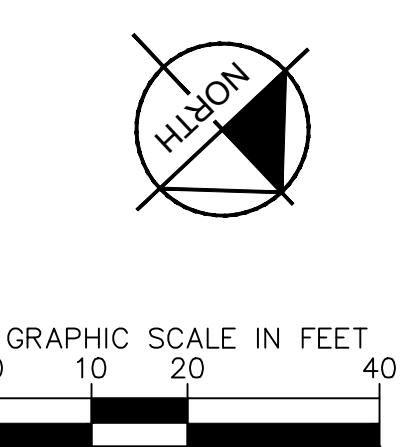
GEOTECH NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A
PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED
BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 08/19/2025.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A
ALTA/NSPS LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY
CONTROL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD,
SOUTHBURY, CT 06488. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING
INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND
REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.





WASHINGTON STREET
(PUBLIC - VARIABLE ROUTE 16)
↔ TWO WAY TRAFFIC
(ASPHALT ROADWAY)



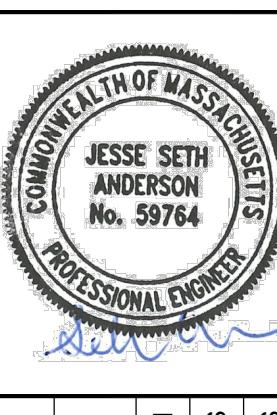
| EROSION CONTROL LEGEND | |
|---------------------------|-----------|
| PROPERTY LINE | LOD |
| LIMITS OF DISTURBANCE | SF |
| SILT FENCE | SOC |
| SILT SOCK FENCE | → TD → TD |
| TEMPORARY DIVERSION DITCH | → → → → |
| PUMP DISCHARGE HOSE | 805 |
| EXISTING CONTOUR | 805 |
| PROPOSED CONTOUR | — |
| DRAINAGE AREA BOUNDARY | — |
| CONSTRUCTION ENTRANCE | CE |
| CONCRETE WASHOUT STATION | CW |
| INLET PROTECTION | IP |

FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& **TRUST COMPANY**
MASSACHUSETTS

FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& **TRUST COMPANY**
MASSACHUSETTS

Kimley»Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
#E-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2050
421 FAZZETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601



KHA PROJECT
011737473
DATE
1/13/2026
SCALE AS SHOWN
KLS
DESIGNED BY
DRAWN BY
KLS
CHECKED BY
JSA

GEOTECH NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A
PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED
BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 08/19/2025.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A
ALTA/NSPS LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY
CONTROL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD,
NASHUA, NH 03063. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING
INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND
REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



SHEET NUMBER
C-201

GENERAL STANDARD EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR SHALL APPLY PERMANENT OR TEMPORARY SOIL STABILIZATION TO ALL DENUDED OR DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED TO DENUDED OR DISTURBED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WHICH WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. SOIL STABILIZATION MEASURES INCLUDE VEGETATIVE ESTABLISHMENT, MULCHING, AND THE EARLY APPLICATION OF GRAVEL BASE MATERIAL ON AREAS TO BE PAVED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN LAND DISTURBANCE. THE EROSION CONTROLS WITHIN 100 FEET OF ANY WETLAND RESOURCE SHALL BE INSPECTED AND APPROVED IN WRITING BY THE XX CONSERVATION AGENT BEFORE ANY OTHER SITE WORK IS INITIATED.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND CLEANUP OF SEDIMENTATION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL LIMIT SITE ACCESS BY CONSTRUCTION VEHICLES TO ENTRANCES PROTECTED BY AN EXISTING PAVEMENT OR STONE STABILIZED CONSTRUCTION ENTRANCE OR AN APPROVED COMPARABLE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED FROM PAVED AREAS ON A DAILY BASIS.
- STOCKPILES OF SOIL AND OTHER ERODIBLE MATERIALS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION FOR STOCKPILES ON SITE AS WELL AS FOR MATERIALS TRANSPORTED FROM THE PROJECT SITE.
- THE CONTRACTOR SHALL MONITOR AND TAKE PRECAUTIONS TO CONTROL DUST, INCLUDING (BUT NOT LIMITED TO) USE OF WATER, MULCH, OR CHEMICAL DUST ADHESIVES AND CONTROL OF CONSTRUCTION SITE TRAFFIC.
- EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES, WETLANDS, WATERWAYS OR THE STORM DRAINAGE SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ANY ADDITIONAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED NECESSARY BY THE PLAN APPROVING AUTHORITY.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. AFTER STABILIZATION IS COMPLETE, ALL MEASURES SHALL BE REMOVED WITHIN 30 DAYS. TRAPPED SEDIMENT SHALL BE SPREAD AND SEEDED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL PROPOSED EROSION AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION SUCH THAT THE CONDITION OF SAID CONTROL CONTINUES THE INTENDED FORM AND FUNCTION AS OUTLINED IN THESE PLANS.
- ALL E&SC MEASURES SHALL BE INSTALLED AND MAINTAINED PER MASSACHUSETTS STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

THE FOLLOWING CONSTRUCTION SEQUENCE IS PROPOSED:

INITIAL EROSION & SEDIMENT CONTROL

- INSTALL STABILIZED CONSTRUCTION ENTRANCES.
- PRIOR TO EARTHWORK OPERATIONS OR THE IMPORTATION OF FILL MATERIAL, INSTALL PERIMETER SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCES.
- INSTALL ALL REQUIRED INLET PROTECTION AS SPECIFIED ON THE PLANS.
- PROTECT EXISTING PIPING TO REMAIN IN PLACE MAINTAINING ELEVATIONS.
- GRADE OUT TO LOW POINTS AND INSTALL AND MAINTAIN TEMPORARY DEWATERING SYSTEMS AS REQUIRED.

OVERALL CONSTRUCTION

- BEGIN CLEARING AND DEMOLITION ACTIVITIES AND ROUGH GRADING OF SITE.
- INSTALL STORM DRAINAGE SYSTEM AND UNDERGROUND UTILITIES.
- INSTALL INLET PROTECTION ON ALL NEW INLET STRUCTURES AS THEY ARE CONSTRUCTED.
- CLEAR AND GRUB SITE TO CLEARING LIMIT LINES OR PROPOSED TREE LINES AS SPECIFIED ON PLANS.
- INSTALL CURB AND GUTTER.
- FINE GRADE SUBGRADE AND PLACE BASE STONE.
- GRADE FROM BACK OF CURB TO RIGHT-OF-WAY OR TO PROPOSED SPOT ELEVATIONS/CONTOURS, WHERE INDICATED.
- PAVE AND STRIPE.
- DRESS AND OVERSEED ALL DISTURBED AREAS.
- STABILIZE THE SITE.

FINAL EROSION & SEDIMENT CONTROL

REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES WITHIN 30 DAYS OF SITE STABILIZATION.

DURING CONSTRUCTION, THE RESPONSIBLE LAND DISTURBER SHALL PERIODICALLY (EVERY SEVEN CALENDAR DAYS DURING CONSTRUCTION AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER) INSPECT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. ALL DISTURBED AREAS SHALL BE EVALUATED TO DETERMINE THE MEASURES ARE FUNCTIONING PROPERLY. ANY DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY. THE CONTRACTOR WILL BE RESPONSIBLE FOR SUBMITTING A WEEKLY EROSION CONTROL INSPECTION REPORT TO THE SOUTH SHORE TRI-TOWN DEVELOPMENT CORPORATION FOLLOWING THEIR REVIEW OF THE SITE.

MANAGEMENT STRATEGIES AND SEQUENCE OF EROSION CONTROL MEASURES

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OUTLINED IN THESE PLANS AND ACCORDING TO THE MASSACHUSETTS HIGHWAY DEPT. DRAINAGE MANUAL.

THE FOLLOWING SEQUENCE OF EVENTS AND EROSION CONTROL MEASURES SHALL BE INCORPORATED INTO THE CONSTRUCTION SCHEDULE FOR THIS PROJECT AND SHALL APPLY TO ALL CONSTRUCTION ACTIVITIES WITHIN PROJECT LIMITS:

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN LAND DISTURBANCE.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS LARGER LAND DISTURBING ACTIVITIES.
- CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ACCESS ROADS. ALL TRAFFIC IS PROHIBITED FROM CROSSING DRAINAGE SWALES AND STREAMS EXCEPT WHERE ABSOLUTELY NECESSARY.
- SEDIMENT BARRIERS, CONSTRUCTION ENTRANCES, AND EROSION CONTROL STONE ARE TO BE PLACED PRIOR TO CLEARING AND GRUBBING AND PRIOR TO THE FIRST PHASE OF CONSTRUCTION.
- ALL PERMANENT STORM WATER MANAGEMENT FACILITIES INCLUDING EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MADE OPERATIONAL AT THE START OF CLEARING OPERATIONS INCLUDING APPROVED SEDIMENT BASINS.
- THE CONTRACTOR SHALL COMPLETE DRAINAGE FACILITIES WITHIN THIRTY (30) DAYS FOLLOWING COMPLETION OF ROUGH GRADING AT ANY POINT WITHIN THE PROJECT.
- CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
- AREAS WHICH ARE NOT TO BE DISTURBED WILL BE CLEARLY MARKED BY FENCING, FLAGS, SIGNS, ETC.
- A. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE (1) YEAR.
- B. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- C. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IN THE OPINION OF THE LOCAL PROGRAM ADMINISTRATOR OR HIS DESIGNATED AGENT, IS UNIFORM AND MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION. VEGETATIVE COVER SHALL BE ESTABLISHED ACCORDING TO THE SEEDING SCHEDULE. (HYDROSEEDING MAY BE USED IN PLACE OF MULCHING ON AREAS OTHER THAN DITCH BANKS.) STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIVERSIONS, AND DITCH OR WATERCOURSE BEDS AND BANKS IMMEDIATELY AFTER INSTALLATION.
- ALL STORM SEWER INLETS THAT ARE TO BE USED FOR DRAINAGE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT. B. BEFORE NEWLY CONSTRUCTED CONVEYANCE CHANNELS ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.
- A. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE (1) YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZATION MEASURES UNTIL THE PROBLEM IS CORRECTED.
- B. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, OR SLOPE DRAIN STRUCTURE.
- THE CONTRACTOR SHALL LIMIT SITE ACCESS BY CONSTRUCTION VEHICLES TO ENTRANCES PROTECTED BY A STONE CONSTRUCTION ENTRANCE OR AN APPROVED COMPARABLE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED FROM PAVED AREAS ON A DAILY BASIS.
- THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE (1) WEEK PRIOR TO THE PRECONSTRUCTION CONFERENCE, ONE (1) WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE (1) WEEK PRIOR TO THE FINAL INSPECTION.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE

TEMPORARY MEASURES ARE NO LONGER NEEDED. UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM ADMINISTRATOR, TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.

- EFFLUENT FROM DE-WATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, SEDIMENTATION TANK OR STRAW BALES/SILT FENC PITS, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES, WETLANDS, WATERWAYS OR THE STORM DRAINAGE SYSTEM. CONTRACTOR IS RESPONSIBLE FOR SIZING TANK OR PITS BASED ON PROPOSED FLOWS FROM DEWATERING OPERATIONS. THIS INCLUDES THE USE OF MULTIPLE FACILITIES, IF NECESSARY. GRAVITY BAG FILTERS MAY BE USED IN LIEU OF SEDIMENTATION TANKS OR STRAW BALES/SILT FENCE PITS FOR MINOR DEWATERING OPERATIONS. THESE METHODS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION AND USE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ANY ADDITIONAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED NECESSARY BY THE PLAN APPROVING AUTHORITY.
- THE CONTRACTOR SHALL USE JUTE MESH OR APPROVED EQUIVALENT BETWEEN THE BACK OF CURB AND RIGHT-OF-WAY ALONG ALL ROADWAYS AND SIDE SLOPES OF 4:1 OR GREATER.
- FAILURE OF THE CONTRACTOR TO PROVIDE THE ABOVE MENTIONED E & S MEASURES IS A BREACH OF CONTRACT.

CONSTRUCTION SEQUENCE

- MOBILIZATION XX WEEK
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE AND INLET PROTECTION ON EXISTING STORM STRUCTURES. XX WEEK
- PARKING LOT, PAVEMENT, AND PORTIONS OF EXISTING BUILDINGS REMOVAL, SITE CLEARING. XX MONTH
- ROUGH GRADING. XX MONTH
- INSTALL UTILITIES INCLUDING STORM DRAINAGE, SANITARY SEWER, WATER LINES, TELECOM, ELECTRIC AND GAS LINES. INSTALL INLET PROTECTION ON NEW STORM STRUCTURES. XX MONTH
- EXISTING BUILDING RENOVATIONS, CONSTRUCT BUILDING ADDITIONS, BASE PAVEMENT AND CURBING. XX MONTHS
- INSTALL TREES, SHRUBS AND PERMANENT SOIL STABILIZATION MEASURES. XX WEEKS
- REMOVE CONSTRUCTION ENTRANCE ONCE AREAS ARE STABILIZED WITH STONE AND PRIOR TO INSTALLATION OF BASE COURSE. XX DAY
- COLLECT SILT AND SEDIMENT AND PLACE ON SITE. PRIOR TO REMOVAL OF SILT FENCE: REMOVE TEMPORARY DIVERSIONS, SILT AND SEDIMENT FROM SEDIMENT TRAPS, ETC., AND SEED OR STABILIZE ANY RESULTING BARE AREAS PER THE DESIGN PLANS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS BUT NOT LIMITED TO, VELOCITY DISSIPATORS, LEVEL SPREADERS, SHOULD NOW BE INSTALLED. XX WEEKS
- INSTALL FINAL PAVEMENT AND STRIPING. XX WEEKS
- REMOVE SILT FENCE AND INLET PROTECTION. XX DAY

ESTIMATED TOTAL TIME OF CONSTRUCTION XX MONTHS

MAINTENANCE

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED AFTER EACH RAINFALL, OR WEEKLY, WHICHEVER IS MOST FREQUENT, AND SHOULD BE CLEANED AND REPAIRED ACCORDING TO THE FOLLOWING SCHEDULE.

- EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION AND BUILD-UP OR CLOGGING WITH SEDIMENT. CORRECTIVE ACTION WILL BE TAKEN IMMEDIATELY.
- EROSION AND SEDIMENT CONTROL MEASURES WHICH HAVE FAILED AND ARE BEYOND REPAIR SHALL BE REMOVED AND REPLACED BY CONTRACTOR.
- ALL SEEDED AREAS WILL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RE-SEEDED AS NECESSARY.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL INSPECTION AND APPROVAL BY TOWNS/COUNTY.
- STOCK PILES OF SOIL AND OTHER ERODIBLE MATERIALS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION FOR STOCKPILES ON SITE AS WELL AS FOR MATERIALS TRANSPORTED FROM THE PROJECT SITE.

NOTES:

THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.

CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

GEOTECHNICAL NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 08/19/2025.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A ALTA/NSPS LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY CONTROL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD, DUXBURY, MA 02332. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

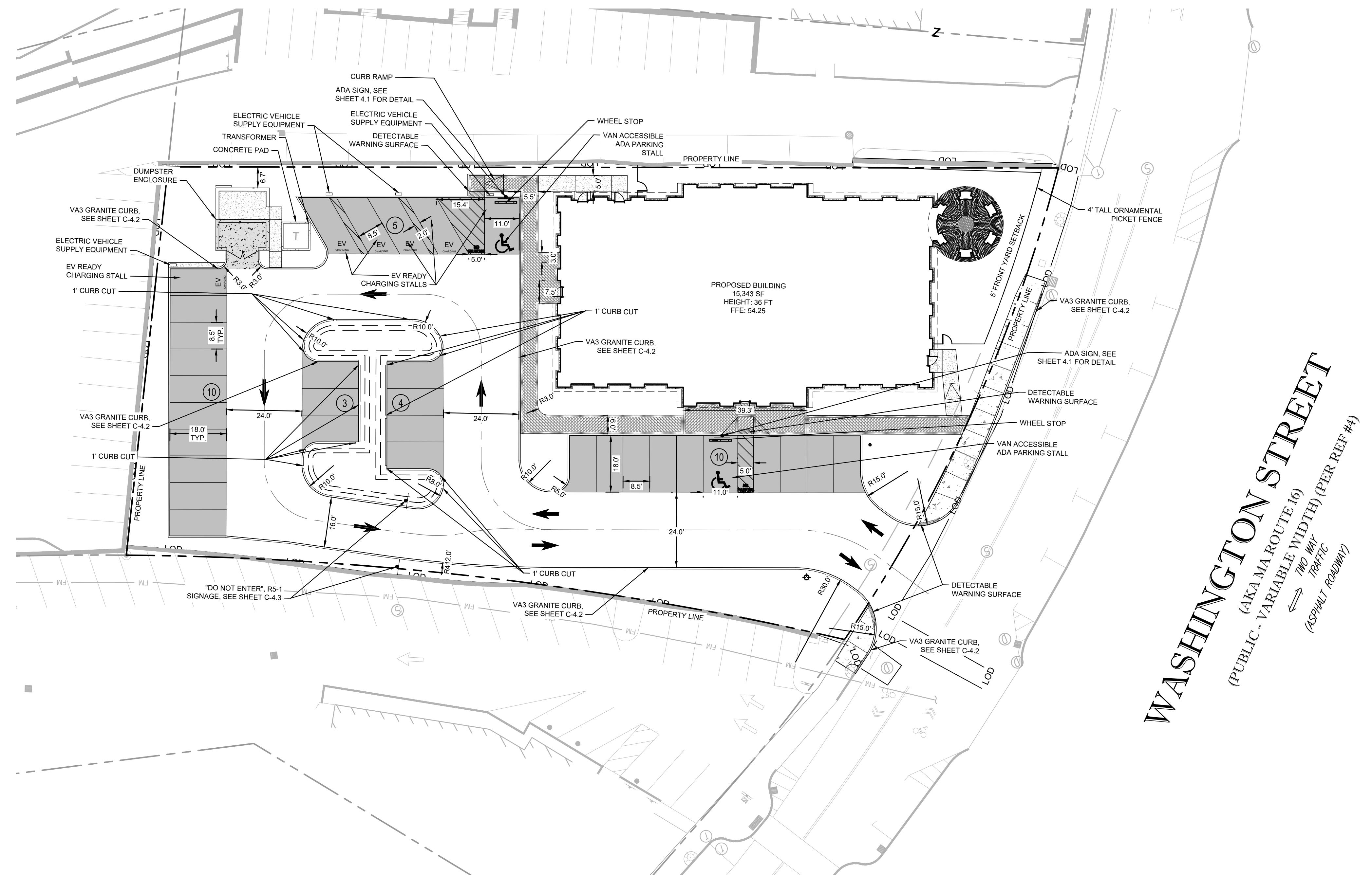


FCB WELLSELEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
MASSACHUSETTS

SHEET NUMBER
C-210

Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
#E-0102 421 FAVERTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

| DATE | BY |
|-----------|----|
| 7/6/2024 | |
| 5/4/2024 | |
| 4/3/2024 | |
| 2/1/2024 | |
| 1/1/2024 | |
| REVISIONS | |



SITE NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE 5.0' UNLESS OTHERWISE NOTED.
3. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
4. ALL EXISTING SIDEWALK AND CURB AND GUTTER CUTS SHALL BE TO THE NEAREST CONSTRUCTION JOINT.
5. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
7. CONTRACTOR IS TO REPLACE ANY PAVEMENT MARKING THAT IS AFFECTED BY CONSTRUCTION.
8. EXISTING CROSSWALKS CONNECTING THE SITE TO THE SURROUNDING STREET NETWORK TO BE REPAINTED.
9. SIDEWALKS LOCATED BEHIND EV READY SPACES MUST HAVE MINIMUM 3.0' CLEARANCE PER MASSACHUSETTS ADA CODE 521 CMR 23.5

CH NOTE:
TECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A
NARY GEOTECHNICAL ENGINEERING REPORT PREPARED
TNER ENGINEERING AND SCIENCE, INC., DATED 08/18/2025.

NOTE:
THE TOPOGRAPHICAL INFORMATION IS BASED ON A
GPS LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY
TOL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD,
WORCESTER, MA, 01772, PHONE: (508) 948-3000. CONTRACTOR
IS RESPONSIBLE FOR VERIFYING ALL EXISTING
CONDITION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND
REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



FIRST-CITIZENS BANK
FCB WELLESLEY
SITE PLAN
PREPARED FOR
SHEET NUMBER
C-30

SITE PLAN

10

ESL
OR
SBA

LE
ED FOR
EN

EL
EPARI
TIZ

W
PRE
-CI

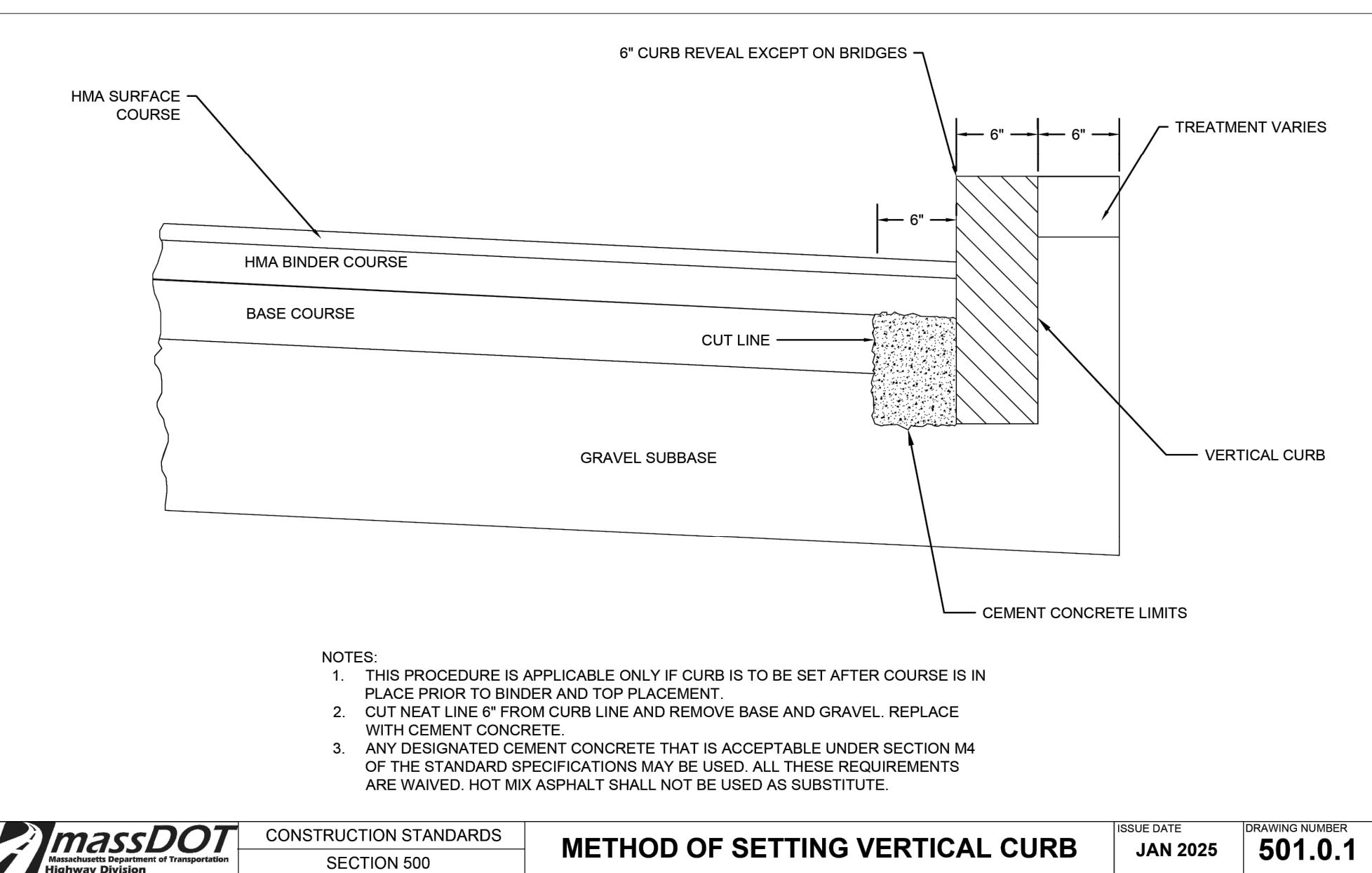
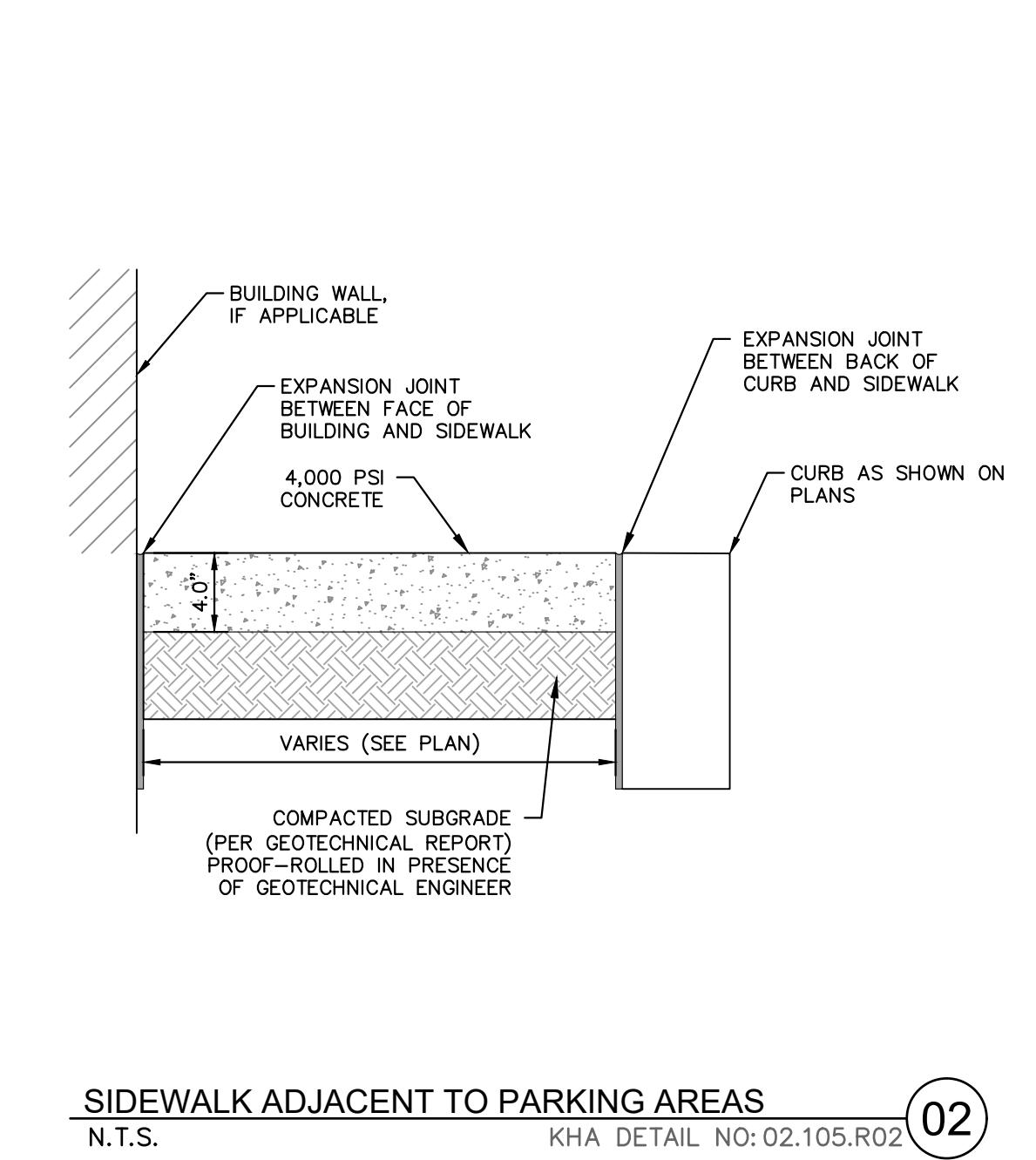
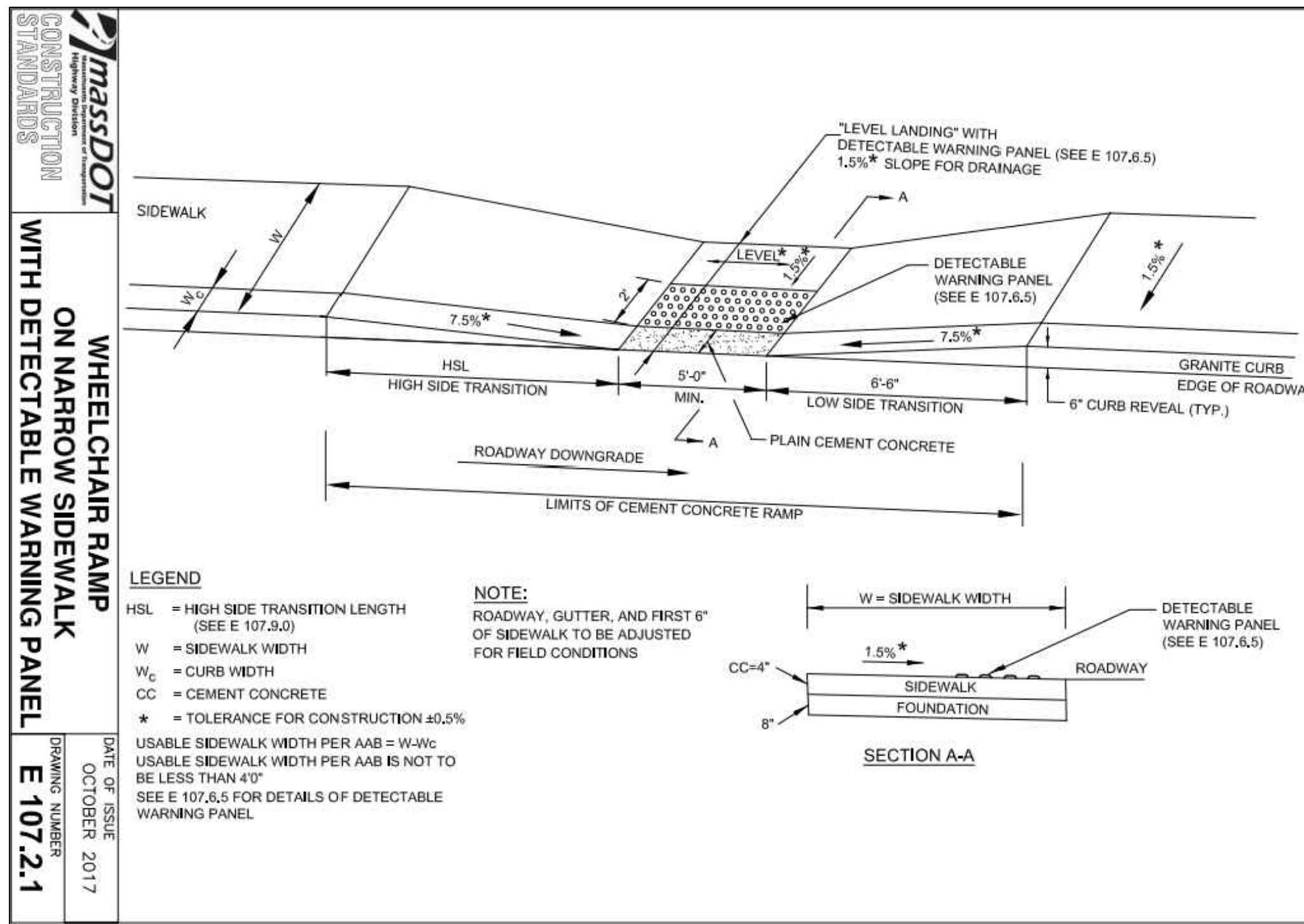
CB
RST

10

100

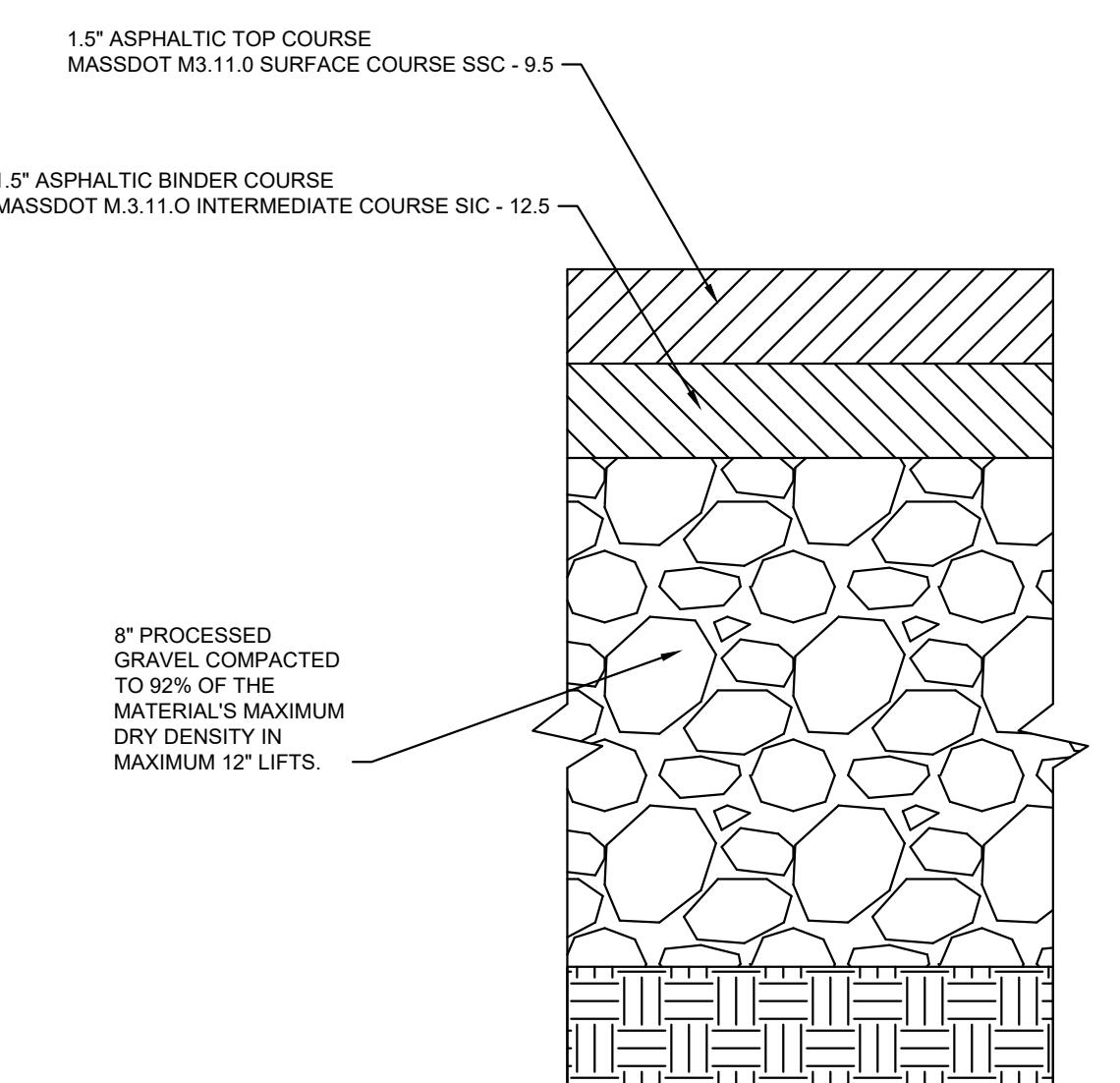
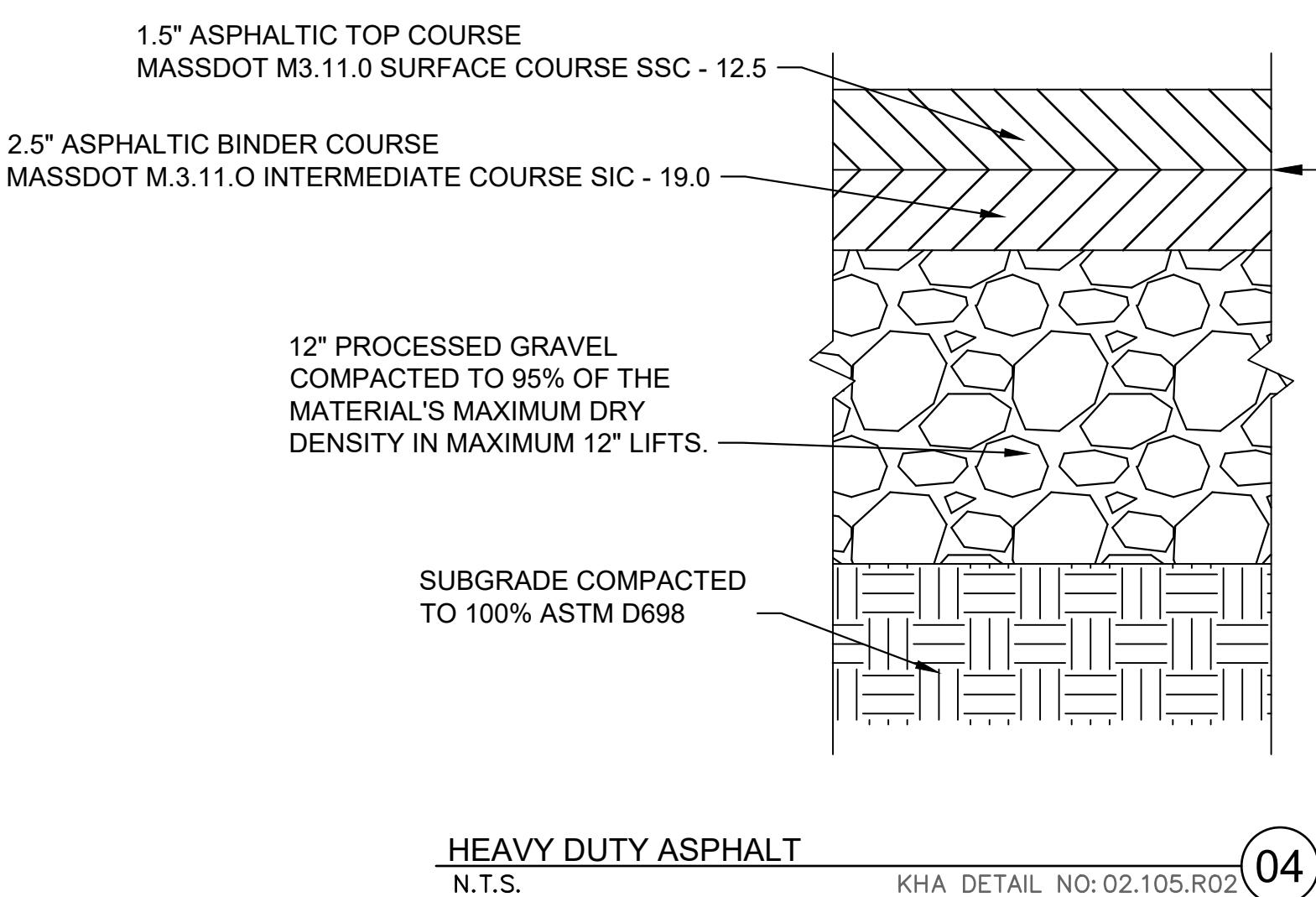
SHEET NUM
C-30

SHEET NUMBER
C-30



massDOT CONSTRUCTION STANDARDS SECTION 500 METHOD OF SETTING VERTICAL CURB ISSUE DATE JAN 2025 DRAWING NUMBER 501.0.1

WHEEL CHAIR RAMP
N.T.S. KHA DETAIL NO: 02.105.R02 01



STANDARD DUTY ASPHALT
N.T.S. KHA DETAIL NO: 02.105.R02 05

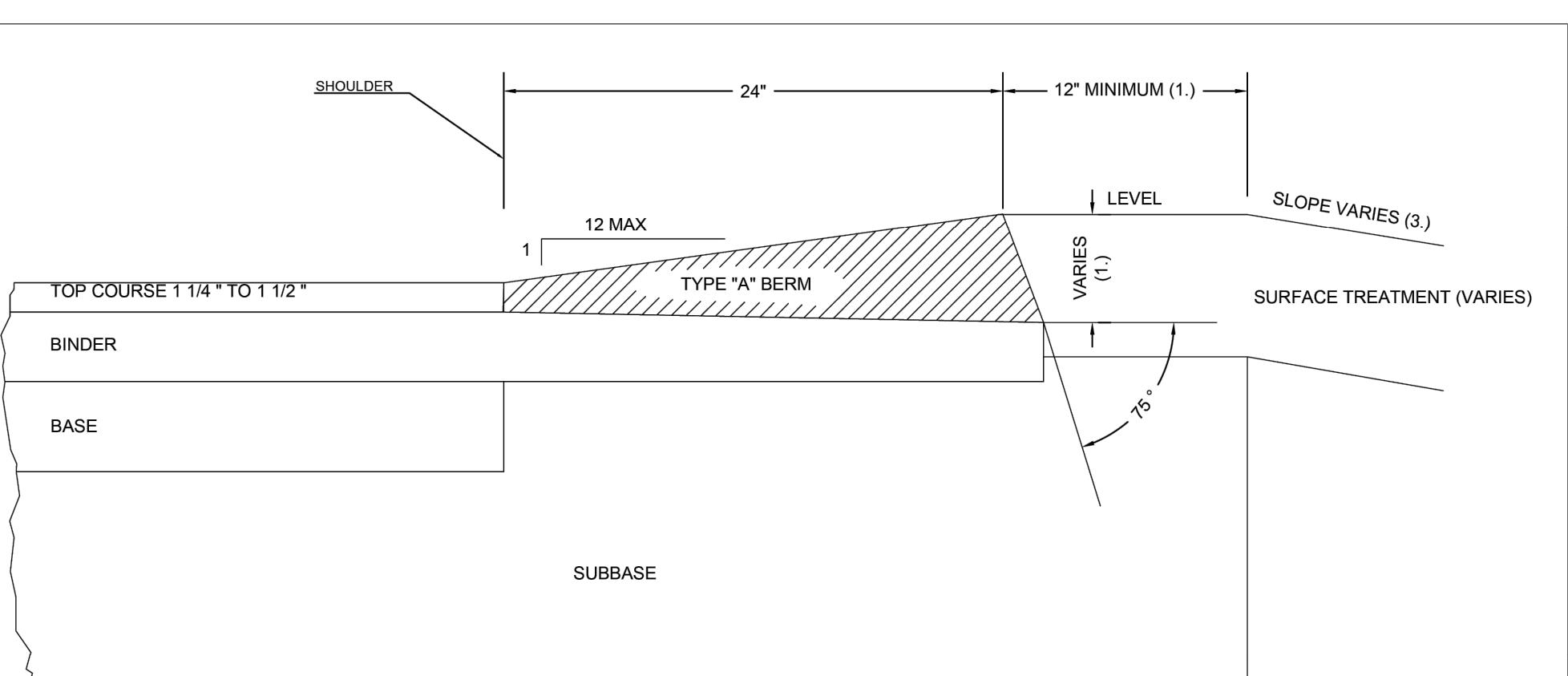
METHOD OF SETTING VERTICAL CURB
N.T.S. KHA DETAIL NO: 02.105.R02 03

standard specifications for highways and bridges

Table M9.04.1-1: Standard Granite Curbstone Dimensions

| Type | Minimum Length | Width at Top | Depth | Minimum Width at Bottom |
|------|----------------|--------------|------------------|--|
| VA1 | 6 ft | 7 in | 17 in. to 19 in. | 4 in. (for $\frac{2}{3}$ length) |
| VA2 | 6 ft | 7 in. | 19 in. to 21 in. | 4 in. (for $\frac{2}{3}$ length) |
| VA3 | 6 ft | 6 in. | 19 in. to 21 in. | 4 in. (for $\frac{2}{3}$ length) |
| VA4 | 6 ft | 6 in. | 17 in. to 19 in. | 4 in. (for $\frac{2}{3}$ length) |
| VA5 | 5 ft | 6 in. | See Plans | 5 in. (for $\frac{2}{3}$ length) |
| VB | 3 ft | 5 in. | 15 in. to 17 in. | 3 $\frac{1}{2}$ in. (for $\frac{2}{3}$ length) |

STANDARD GRANITE CURBSTONE DIMENSIONS
N.T.S. KHA DETAIL NO: 02.105.R02 06



NOTE:
1. THIS DIMENSION VARIES WITH THE THICKNESS OF THE TOP COURSE AND SLOPE OF BINDER
2. SEE 601.0.6 FOR TYPICAL SECTION AT GUARDRAIL LOCATIONS
3. SEE TYPICAL SECTIONS FOR PROJECT

*FOR MODIFIED BERM THE SLOPE REMAINS CONSTANT AT 1(V) TO 12(H)

massDOT CONSTRUCTION STANDARDS SECTION 400 HOT MIX ASPHALT BERM TYPE A ISSUE DATE JAN 2025 DRAWING NUMBER 470.0.1

HOT MIX ASPHALT BERM TYPE A
N.T.S. KHA DETAIL NO: 02.105.R02 07

Kimley»Horn

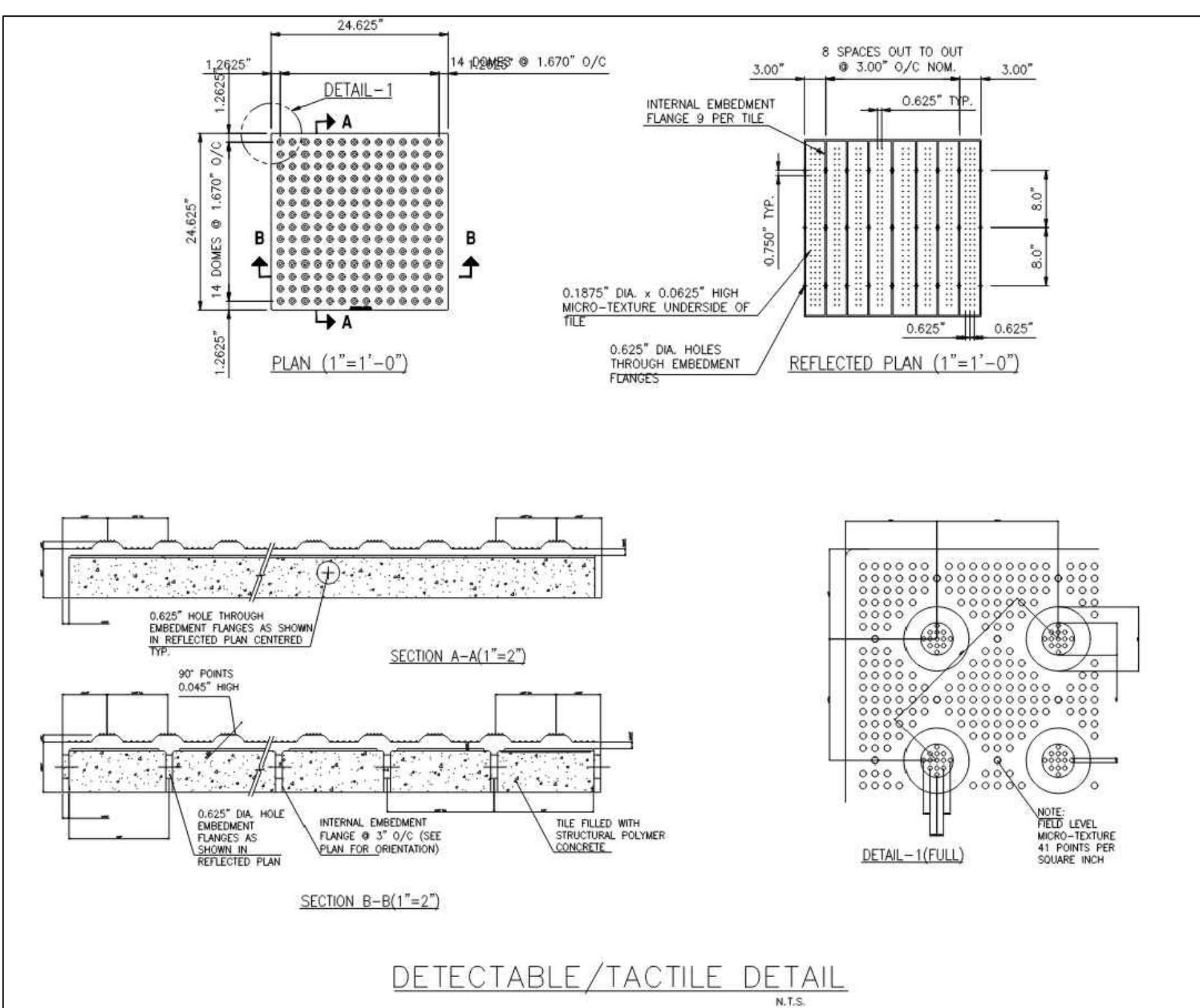
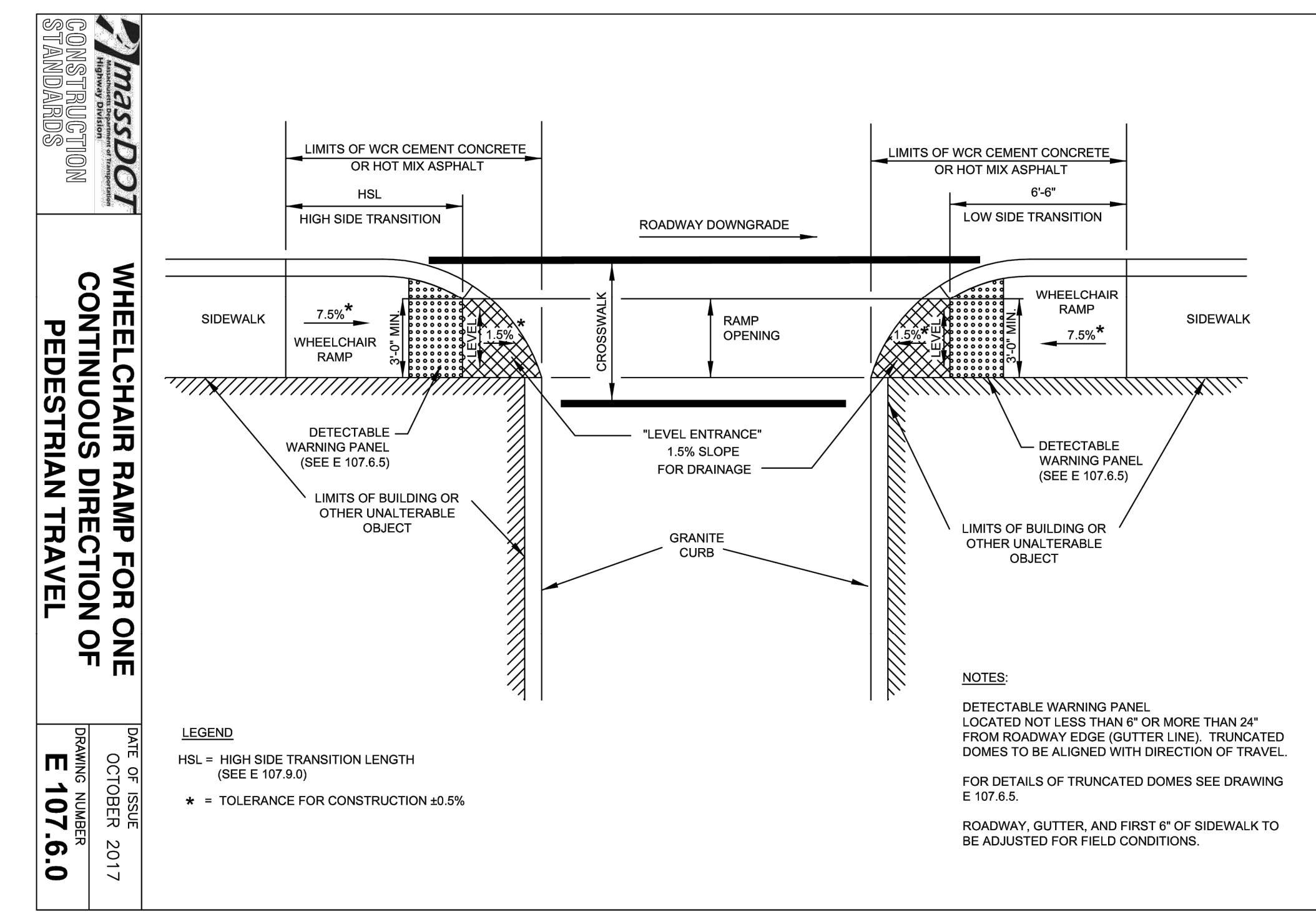
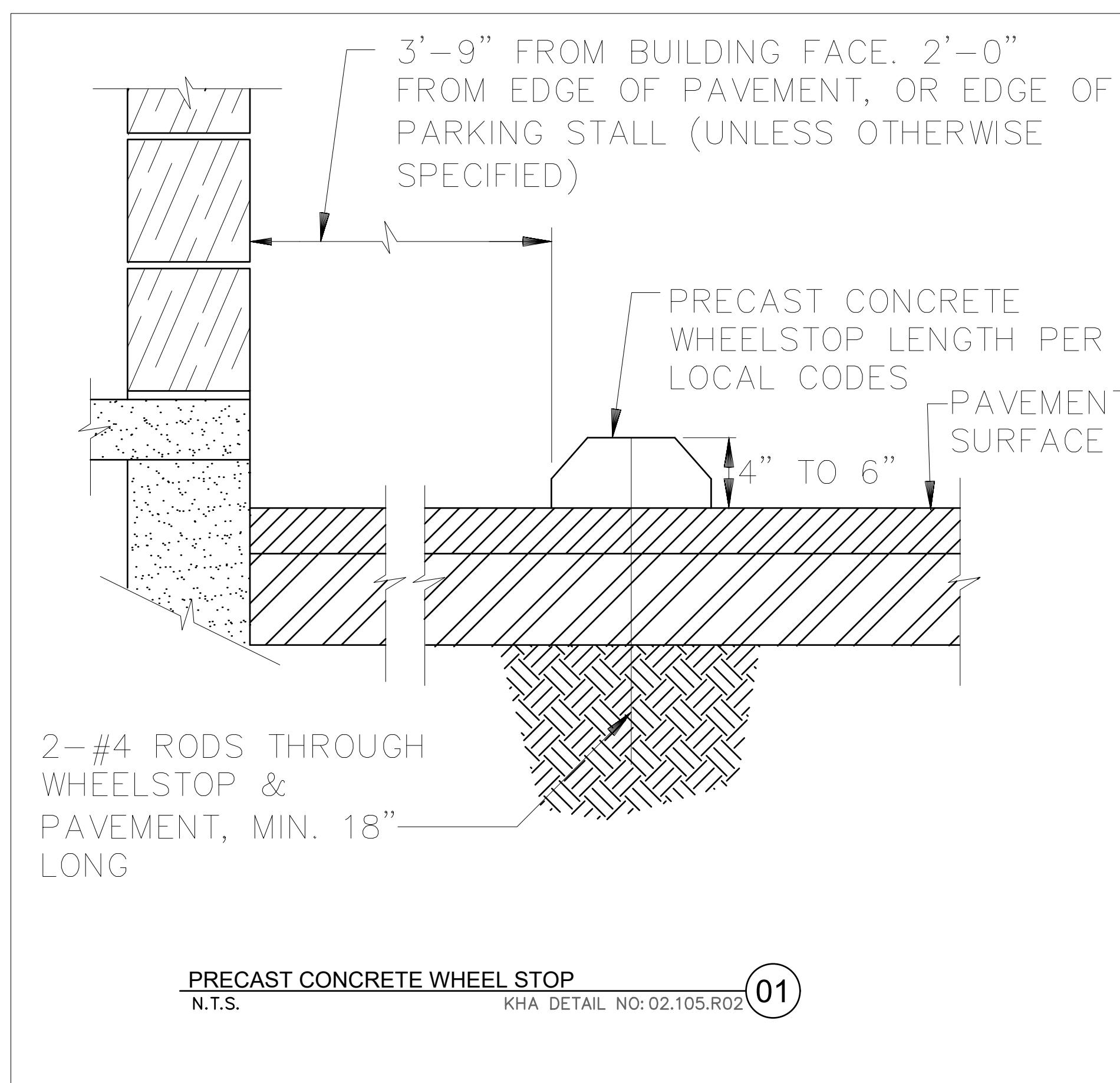
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
#E-0102 421 FAVERTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

SITE DETAILS

FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
MASSACHUSETTS
WELLESLEY

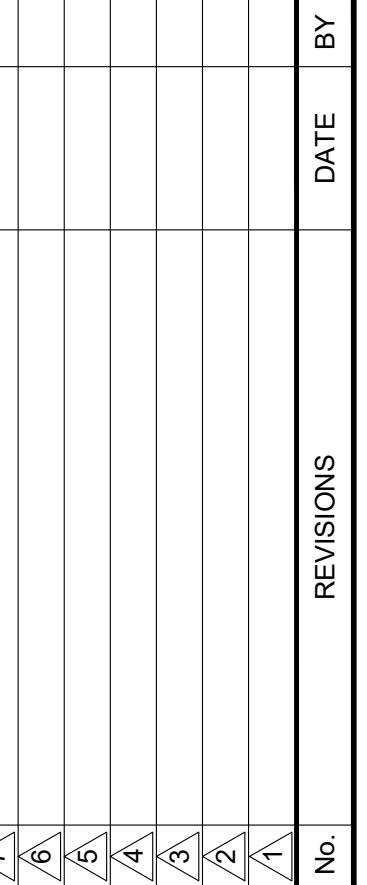
SHEET NUMBER
C-320

| | | | | | | | |
|------|----|---|---|---|---|---|-----|
| 7 | 6 | 5 | 4 | 3 | 2 | 1 | No. |
| DATE | BY | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |



FCC WELLESLEY PREPARED FOR FIRST-CITIZENS BANK & TRUST COMPANY MASSACHUSETTS

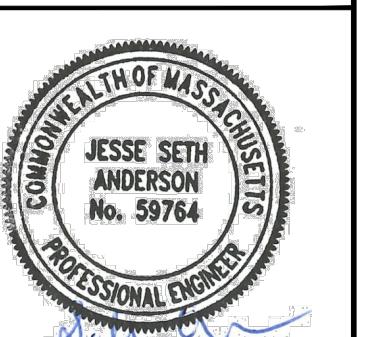
SHEET NUMBER
C-321

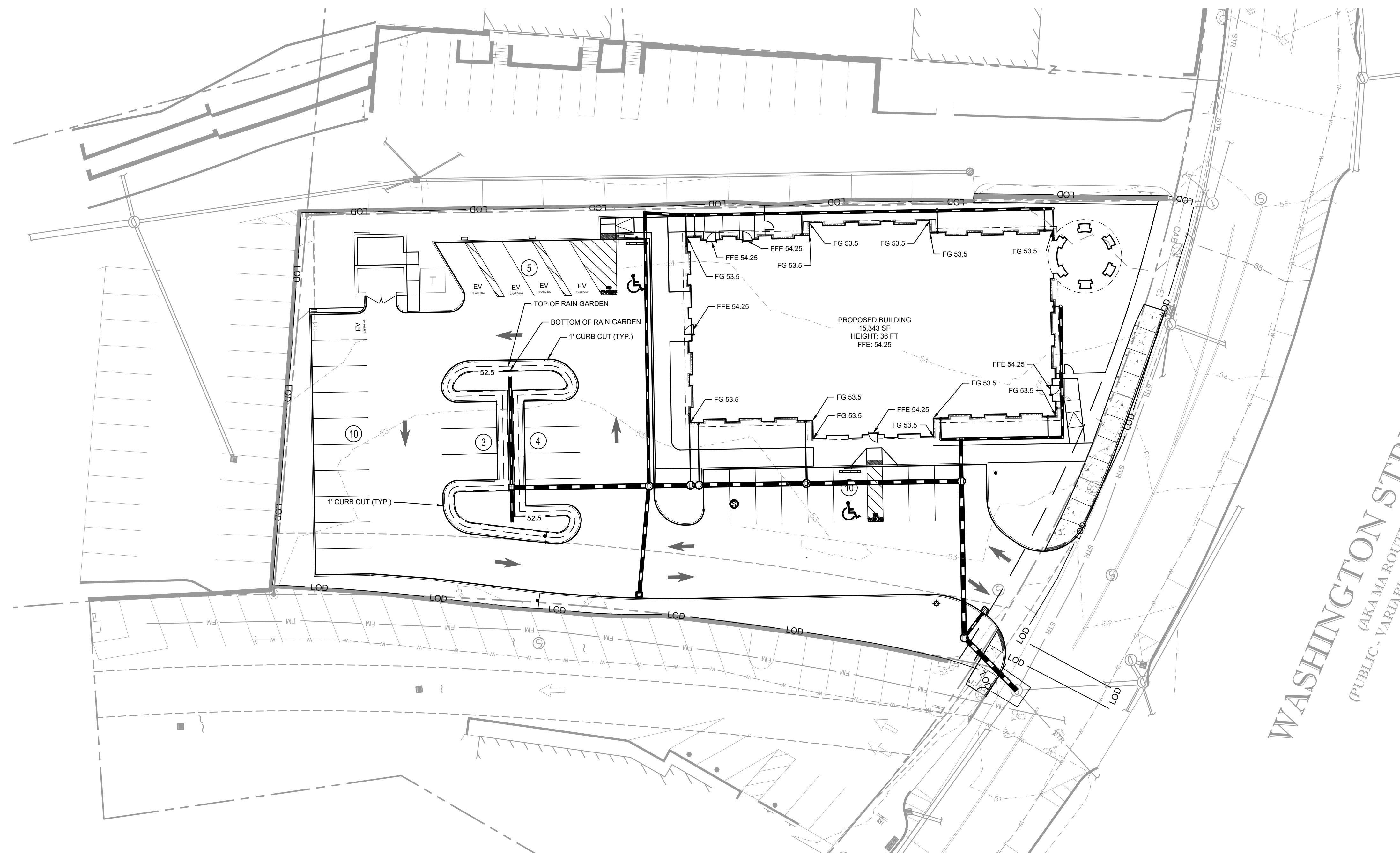


Kimley»Horn

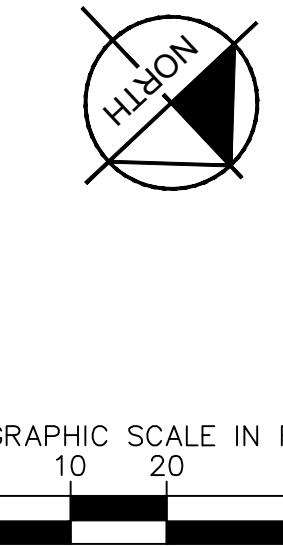
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

#E-0102 W/KIMLEY-HORN.COM PHONE: 919-677-2050
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601



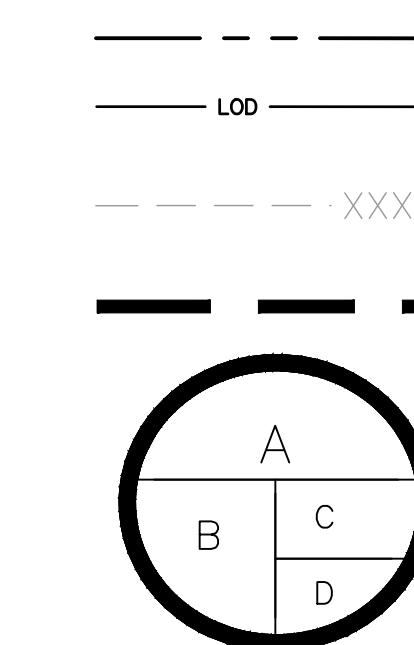
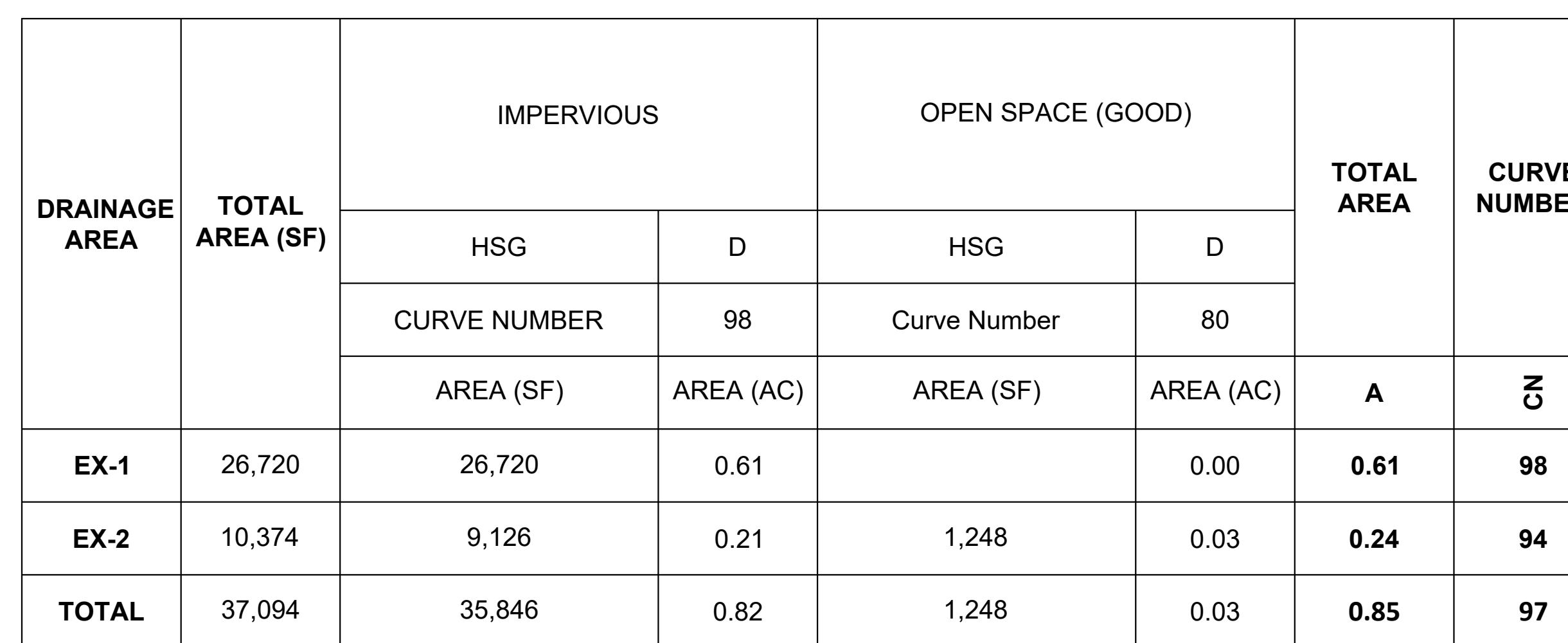
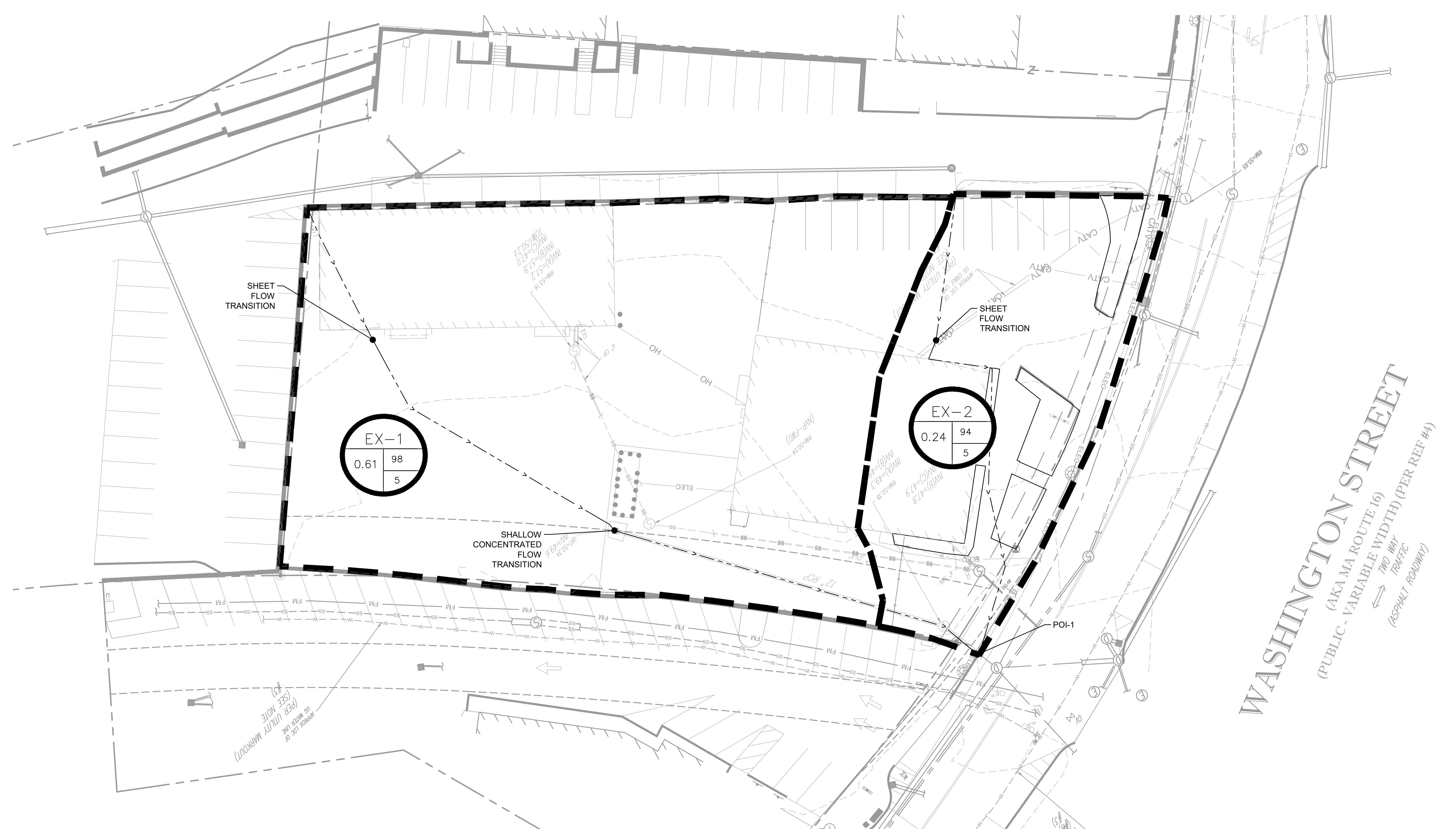


WASHINGTON STREET
(PUBLIC - VARIABLE ROUTE 16)
↔
NO WAY TRAFFIC
(ASPHALT ROADWAY)



| GRADING AND DRAINAGE LEGEND | |
|-----------------------------|--|
| PROPERTY LINE | STORM DRAIN |
| STANDARD CURB | LIMITS OF DISTURBANCE (LOD) |
| LOD | EXISTING CONTOUR |
| 805 | PROPOSED CONTOUR |
| 805 (626.00) | SPOT ELEVATION |
| BC | GRATE INLET |
| TC | MANHOLE (SDMH) |
| FFE | CLEANOUT |
| FG | ROOF DRAIN (RD) |
| RIM | BOTTOM OF CURB (GRADE ELEV.) |
| | TOP OF CURB (GRADE ELEV.) |
| | FINISHED FLOOR ELEVATION (GRADE ELEV.) |
| | FINISHED GROUND (GRADE ELEV.) |
| | RIM ELEVATION (GRADE ELEV.) |

| | |
|---|-----|
| KHA PROJECT 011737473 | |
| DATE 1/13/2026 | |
| SCALE AS SHOWN | KLS |
| DESIGNED BY | KLS |
| DRAWN BY | JSA |
| CHECKED BY | |
| GRADING AND DRAINAGE PLAN | |
| FCB WELLESLEY | |
| PREPARED FOR | |
| FIRST-CITIZENS BANK | |
| & TRUST COMPANY | |
| MASSACHUSETTS | |
| WELLESLEY | |
| SHEET NUMBER C-400 | |
| 811 | |
| DigSafe.com | |
| MA-ME-NH-RI-VT | |
| © 2024 KIMLEY-HORN AND ASSOCIATES, INC. | |
| #E-0102 W/WWW.KIMLEY-HORN.COM PHONE: 919-677-2050 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 | |
| No. 1 | |
| REVISIONS | |
| BY | |



- PROPERTY LINE
- LOD
- EXISTING CONTOUR ELEVATION
- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA LABEL
 - A — DRAINAGE AREA NAME
 - B — AREA (AC)
 - C — SCS CURVE NUMBER
 - D — TIME OF CONCENTRATION (MIN.)

ECH NOTE:
TECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A
MINARY GEOTECHNICAL ENGINEERING REPORT PREPARED
ARTNER ENGINEERING AND SCIENCE, INC., DATED 08/18/2025.

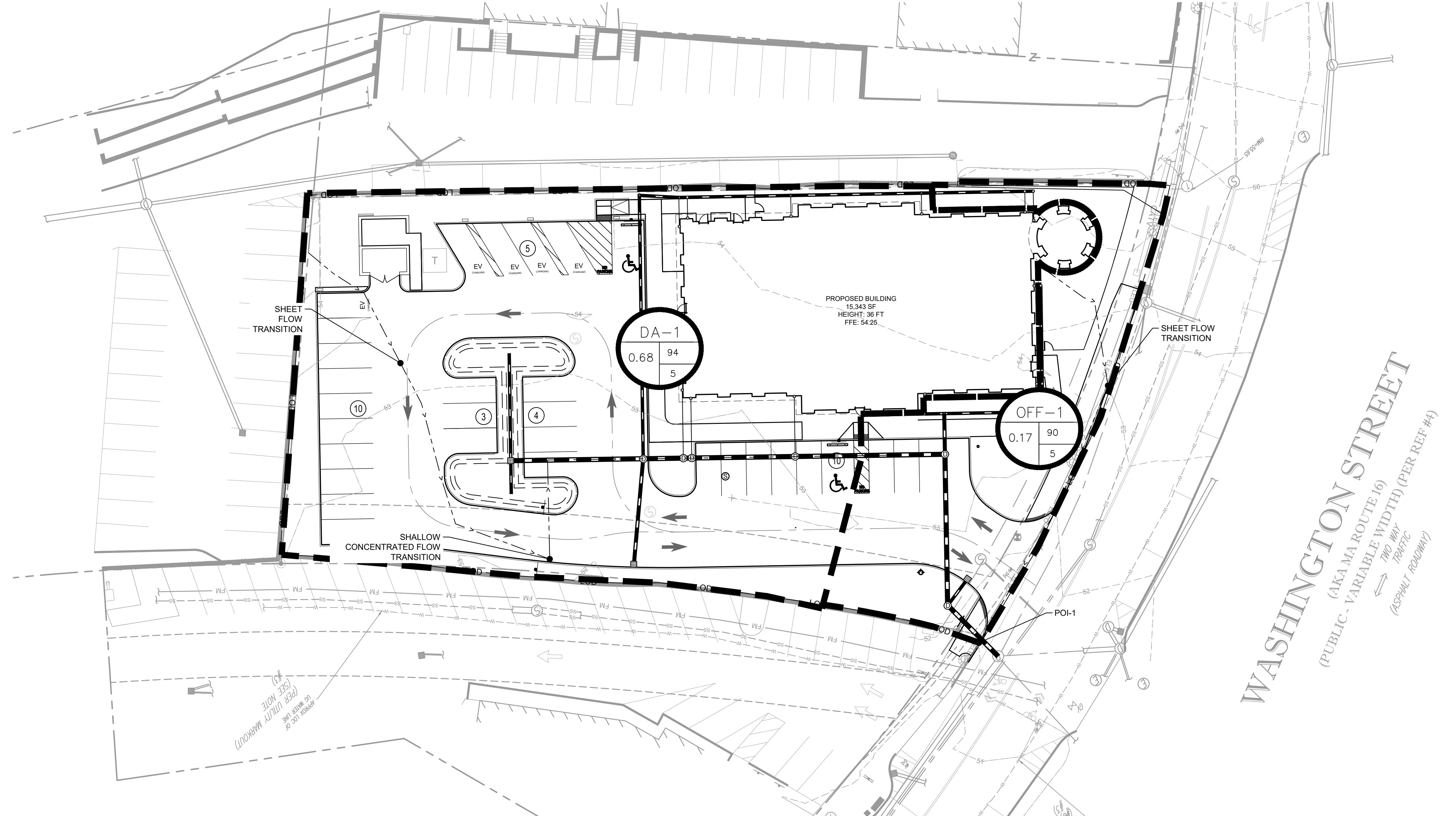
KEY NOTE:
THE INFORMATION PROVIDED ON THIS DRAWING IS BASED ON THE
NSPS LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY
TROL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD,
HBOROUGH, MA, 01772, PHONE: (508) 948-3000. CONTRACTOR
WILL BE RESPONSIBLE FOR VERIFYING ALL EXISTING
INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND
NOTIFY OWNER AND ENGINEER OF ANY POTENTIAL CONFLICTS.



FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY

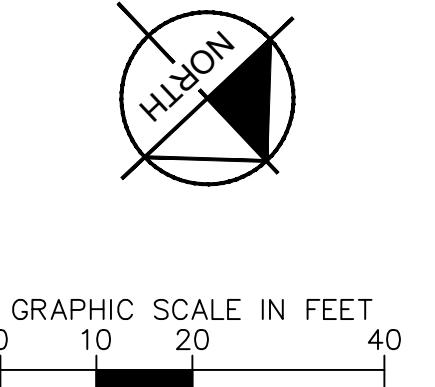
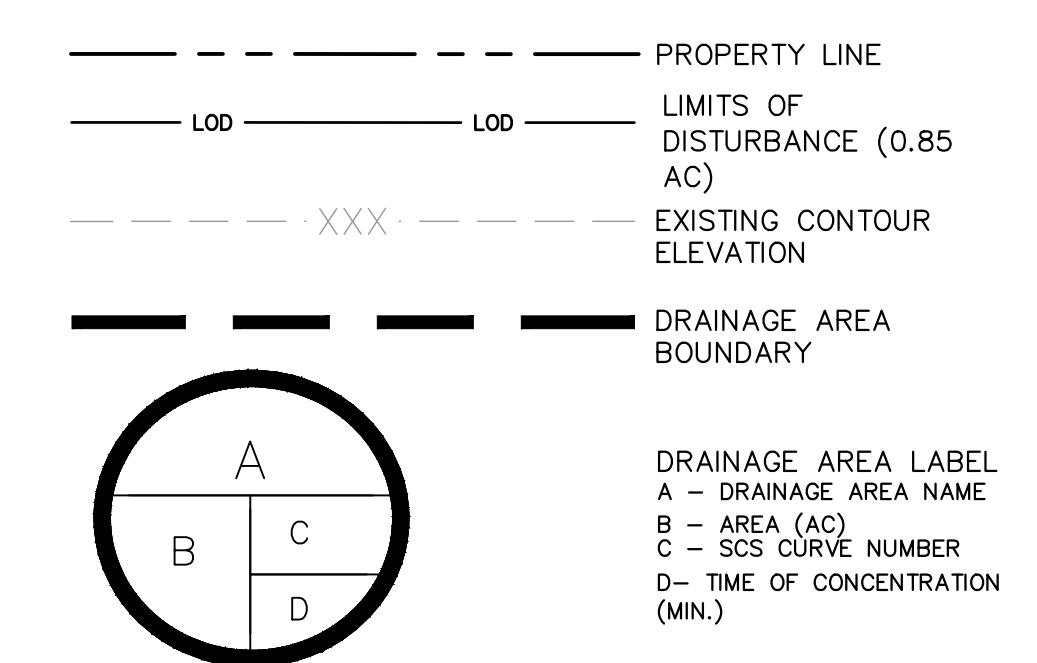
PRE-DA MAP

| | | | | |
|--------------------------|-------------------|-------------------|--------------------|-----------------|
| KHA PROJECT 011737473 | DATE 1/13/2026 | SCALE AS SHOWN | DESIGNED BY KLS | DRAWN BY KLS |
|--------------------------|-------------------|-------------------|--------------------|-----------------|



WASHINGTON STREET
(PUBLIC, VARIABLE ROUTE 16)
↔ TWO WAY
TRAFFIC
(ASPHALT ROADWAY)
(PER REF #4)

| DRAINAGE AREA | TOTAL AREA (SF) | IMPERVIOUS | | OPEN SPACE (GOOD) | | TOTAL AREA | CURVE NUMBER |
|---------------|-----------------|---------------|-------------|-------------------|-------------|-------------|--------------|
| | | HSG | D | HSG | D | | |
| | | CURVE NUMBER | 98 | CURVE NUMBER | 80 | | |
| DA-1 | 29,506 | 22,301 | 0.51 | 7,205 | 0.17 | 0.68 | 94 |
| OFFSITE | 7,588 | 4,008.86 | 0.09 | 3,579 | 0.08 | 0.17 | 90 |
| TOTAL | 37,094 | 26,310 | 0.60 | 10,784 | 0.25 | 0.85 | 93 |



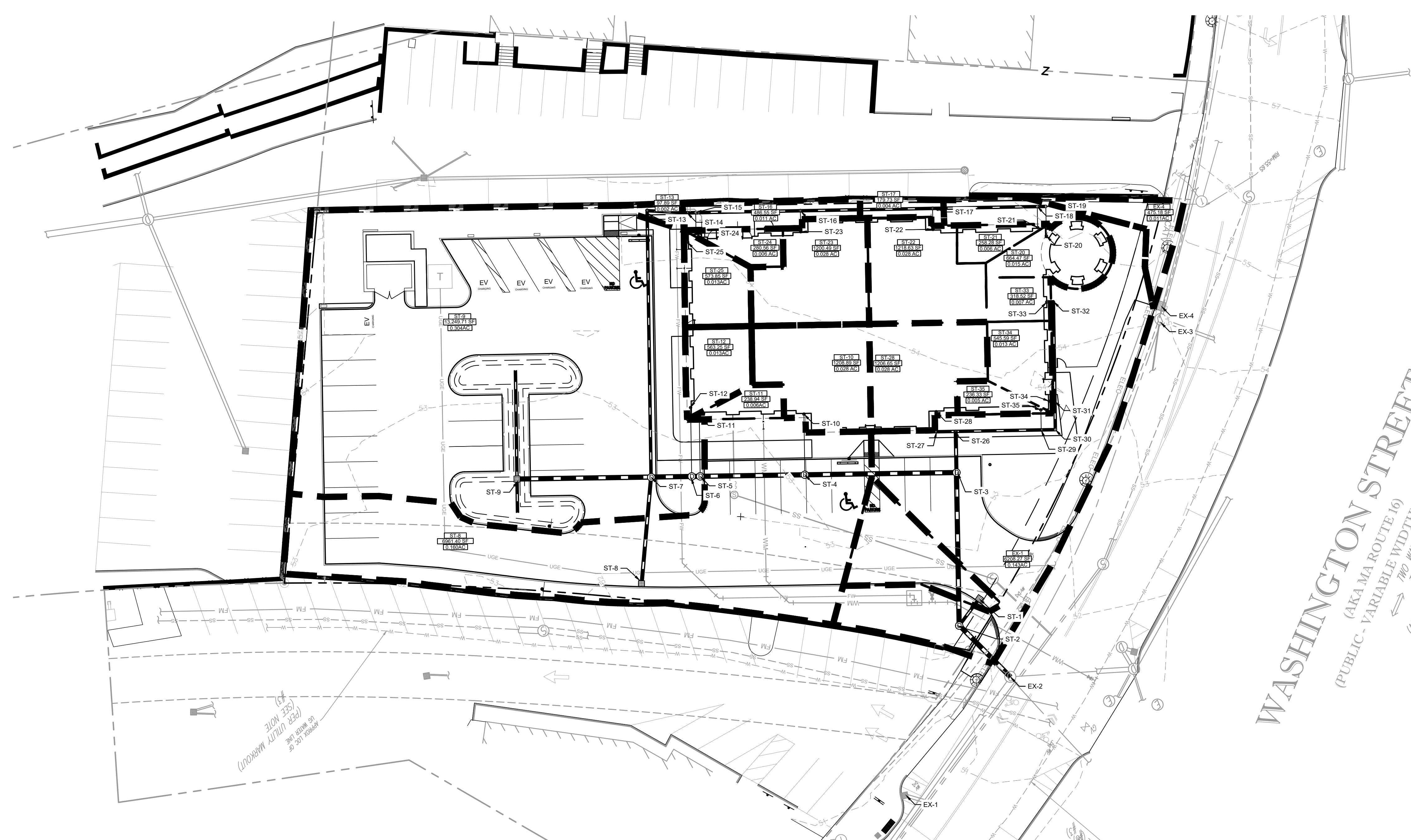
GEOTECH NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A
PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED
BY PARTNER ENGINEERING AND SCIENCE, INC. DATED 08/18/2025.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A
ALTANPS LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY
CONTROL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD,
SOUTHBOROUGH, MA, 01772, PHONE: (508) 948-3000. CONTRACTOR
SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING
INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND
REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

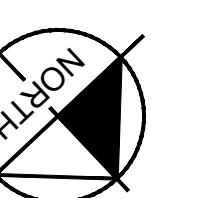
FCB WELLSELEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
MASSACHUSETTS
WELLESLEY

| | | | | | | | |
|--|------|----|---|---|---|---|-----|
| 7 | 6 | 5 | 4 | 3 | 2 | 1 | No. |
| REVISIONS | DATE | BY | | | | | |
| Kimley»Horn | | | | | | | |
| | | | | | | | |
| <p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. #E-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2050 FAX: 919-677-2050 421 FAVERTEVILLE STREET, SUITE 600, RALEIGH, NC 27601</p> | | | | | | | |

SHEET NUMBER
C-411



WASHINGTON STREET
(PUBLIC - VARIABLE ROUTE 16)
INLET-DA MAP
(AKA MA ROUTE 16)
TWO WAY
TRAFFIC
(ASPHALT ROADWAY)
(PER REF #4)



GRAPHIC SCALE IN FEET
0 10 20 30 40

PROPERTY LINE
LOD LOD LIMITS OF DISTURBANCE (0.82)
EXISTING CONTOUR ELEVATION
PROPOSED CONTOUR ELEVATION
DRAINAGE AREA BOUNDARY

DRAINAGE AREA LABEL
A - DRAINAGE AREA NAME
B - AREA (AC)

Kimley»Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
#E-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2050 FAX: 919-677-2050
421 FAZZETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601



KHA PROJECT 011737473
DATE 1/13/2026
SCALE AS SHOWN
DESIGNED BY KLS
DRAWN BY KLS
CHECKED BY JSA

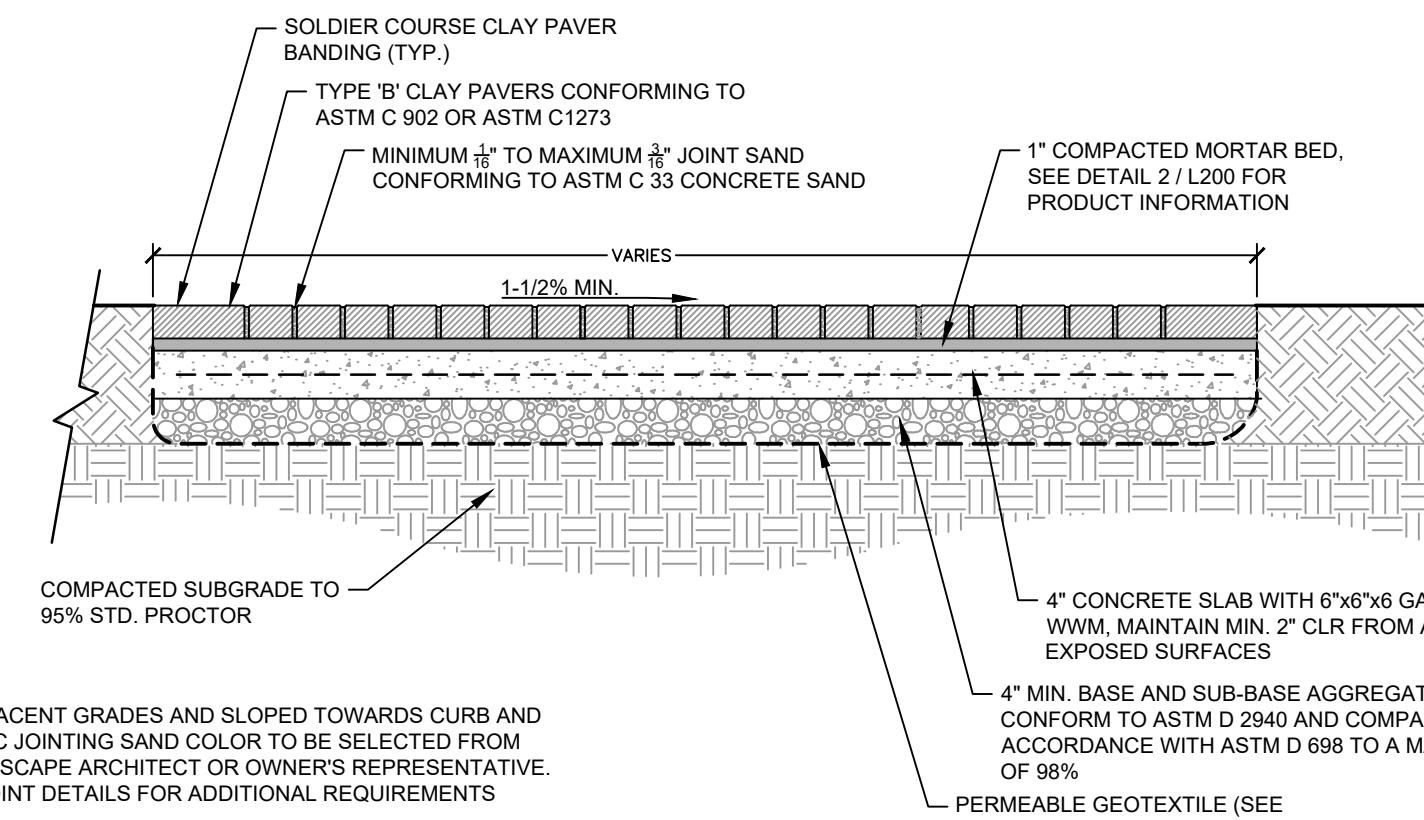
FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
MASSACHUSETTS
WELLESLEY

GEOTECH NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A
PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED
BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 08/19/2025.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A
ALTA/NSPS LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY
CONTROL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD,
SOUTHBOROUGH, MA 01772. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING
INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND
REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



SHEET NUMBER
C-412



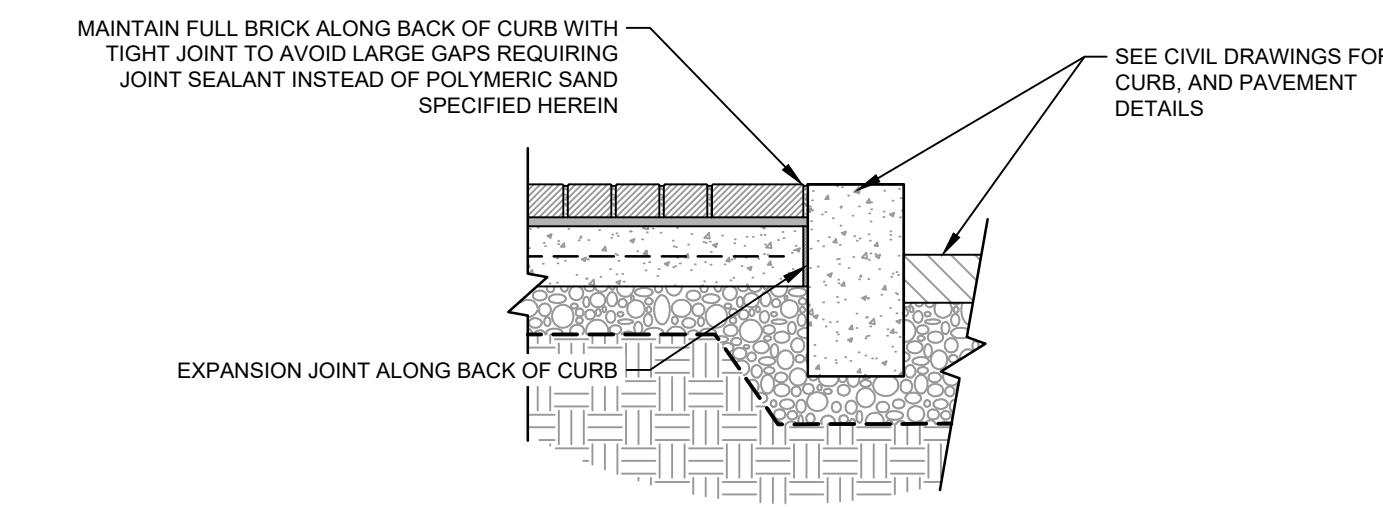
UNIT BRICK PAVER WALKWAY NOTES:

1. BRICKS ARE TO BE SET FLUSH WITH ADJACENT GRADES AND SLOPED TOWARDS CURB AND GUTTER PER GRADING PLAN. POLYMERIC JOINTING SAND COLOR TO BE SELECTED FROM MANUFACTURER'S COLOR RANGE BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
2. SEE EXPANSION JOINT CONTROL JOINT DETAILS FOR ADDITIONAL REQUIREMENTS REGARDING CONCRETE SLAB.
3. SEE DETAIL 1 / H101 FOR PAVER SPECIFICATIONS.

1 UNIT BRICK PAVER WALKWAY

L-101

3/4" = 1'-0"



UNIT BRICK PAVER TO CURB CONDITION NOTES:

1. BRICKS ARE TO BE SET FLUSH WITH ADJACENT CURBS AND SLOPED TOWARDS CURB PER GRADING PLAN. SEE DETAIL 6 / L101 OR JOINT SAND PRODUCT DATA.
2. BRICKS TO BE LAID IN HERRINGBONE PATTERN WITH SOLDIER COURSE BANDING. SEE DETAIL 6 / L101.
3. COORDINATE WITH OWNER TO PROVIDE MOCK-UP FOR APPROVAL BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

3. SEE DETAIL 6 / L101 FOR PAVER SPECIFICATIONS.

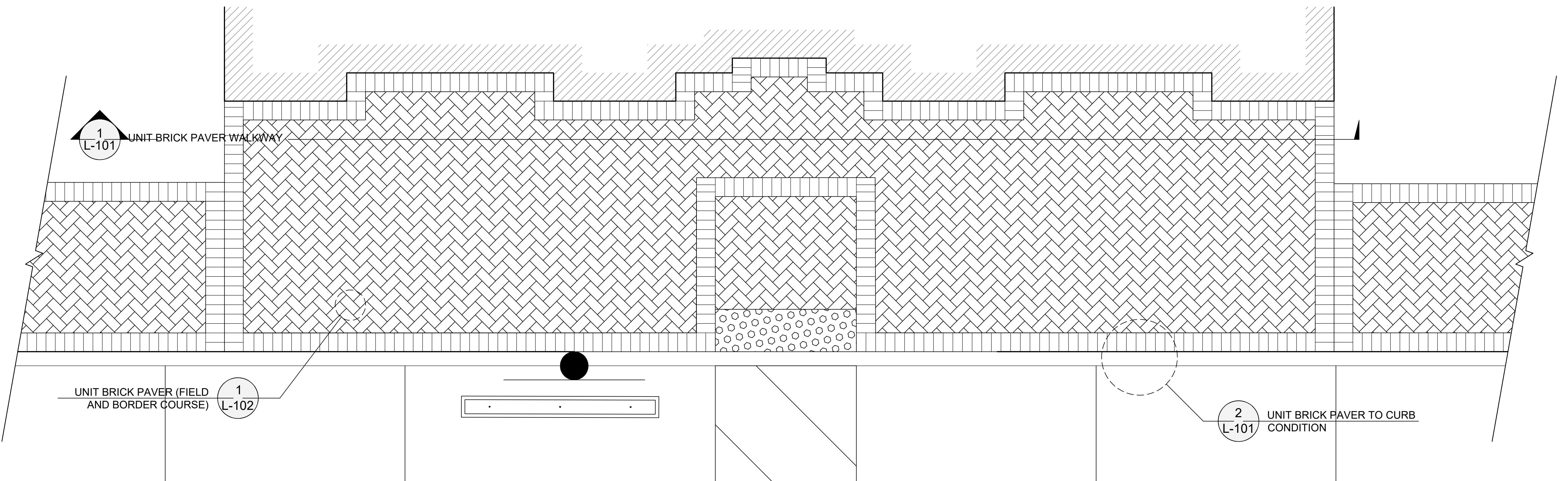
2 UNIT BRICK PAVER TO CURB CONDITION

L-101

3/4" = 1'-0"

SECTION

SECTION



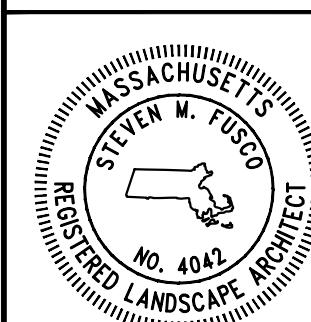
3 ENTRANCE PAVING ENLARGEMENT

L-101

1/2" = 1'-0"

FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
MASSACHUSETTS
WELLESLEY

SHEET NUMBER
L-101



Kimley»Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

#E-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2050
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

| | | | | | | |
|---|---|---|---|---|---|---|
| 7 | 6 | 5 | 4 | 3 | 2 | 1 |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |

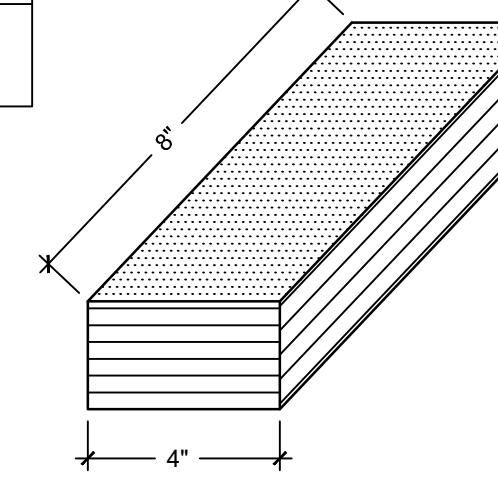
KHA PROJECT
011737473
DATE
1/13/2026
SCALE
AS SHOWN
DESIGNED BY
KLS
DRAWN BY
KLS
CHECKED BY
JSA

BRICK PAVER PRODUCT DATA:
MANUFACTURER: PACIFIC CLAY PRODUCTS, INC.
MODEL: MISSION (TUMBLED)
FIELD COLOR: RED FLASHED
SIZE: 4" x 2-1/4" x 6"

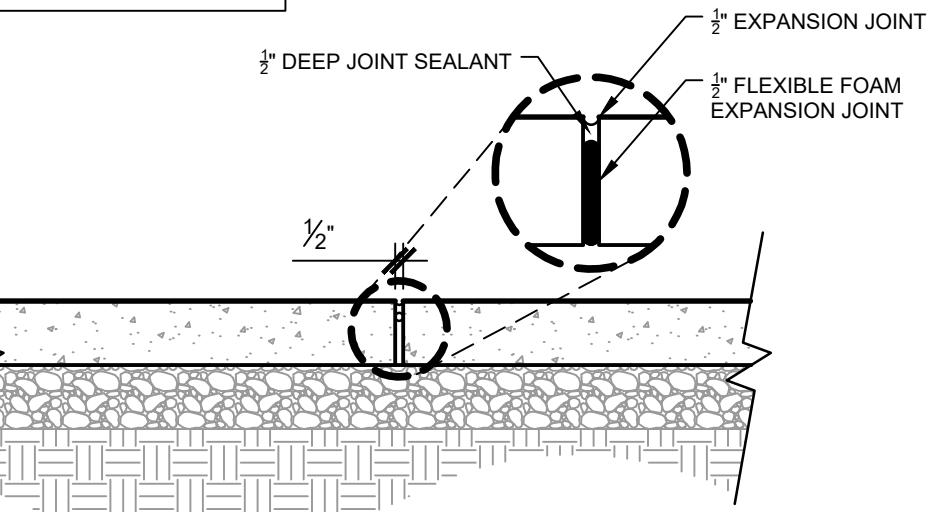
JOINT SAND PRODUCT DATA:
MANUFACTURER: TECHNISEAL
MATERIAL: POLYMERIC PAVER SAND (PPS)
COLOR: ATLANTIC TAN

MORTAR PRODUCT INFORMATION:
MANUFACTURER: LATICRETE
PRODUCT: MULTIMAX LITE
COLOR: WHITE

UNIT BRICK PAVER NOTES:
1. CONTRACTOR TO SUBMIT PRODUCT AND COLOR SAMPLES PRIOR TO ORDERING AND INSTALLATION TO THE PROJECT LANDSCAPE ARCHITECT FOR APPROVAL.
2. CONTRACTOR SHALL MAINTAIN AT LEAST $\frac{1}{2}$ OF THE ORIGINAL BRICK PAVER WHEN REQUIRED TO CUT OR RIP A PAVER. CONTRACTOR SHALL BALANCE CUTS ACROSS MULTIPLE PAVERS AS NEEDED TO ACHIEVE MINIMUM WIDTH OR LENGTH OF PAVERS AFTER CUT. CUT PAVERS SHALL BE EVENLY DISTRIBUTED INTO THE PAVER FIELD OR BAND TO PROVIDE A FULL PAVER ALONG THE OUTER EDGE IF FEASIBLE. PAVERS RIPPED ALONG A RADIUS CONDITION SHALL BE CUT ALONG BOTH SIDES EQUALLY TO PROVIDE A UNIFORM PAVER FINISHED DIMENSION & AVOID SHIFTING RADIUS TO ACCOMMODATE.



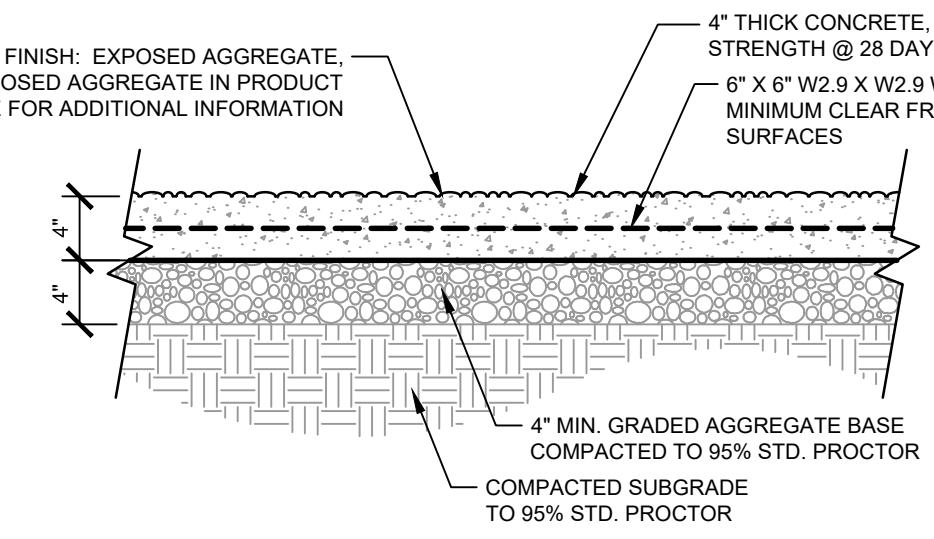
EXPANSION JOINT PRODUCT INFORMATION:
EXPANSION JOINT MATERIAL: W.R. MEADOWS CERAMAR
EXPANSION JOINT SEALANT NOTE:
MANUFACTURER: SIKI
PRODUCT: SIKAFLEX-10 SL
COLOR: TO MATCH ADJACENT CONCRETE



EXPOSED AGGREGATE CONCRETE NOTES:
1. CONTRACTOR SHALL CONFIRM REQUIRED MATERIAL AND COMPACTION REQUIREMENTS FOR COMPACTED ABC WITH GEOTECHNICAL ENGINEER.
2. SEE EXPOSED AGGREGATE MOCK-UP FOR MOCK-UP REQUIREMENTS.

EXPOSED AGGREGATE CONCRETE PRODUCT DATA:
CONCRETE AGGREGATES: 50% BLACK BEAUTY
50% $\frac{3}{8}$ " DARK GRAY AGGREGATE STONE FROM LOCAL QUARRY
CONCRETE COLOR 1: FLAGSTONE BROWN (DAVIS COLOR 641)
SURFACE RETARDANT: GRACE TOP-CAST
COLOR: 25 BEIGE

EXPANSION / CONTROL JOINT NOTES:
1. SEE EXPANSION DETAIL FOR ADDITIONAL INFORMATION.
2. SEE CONTROL DETAIL FOR ADDITIONAL INFORMATION.



CONTROL JOINT NOTES:
1. CONTROL JOINTS SHALL BE PLACED APPROXIMATELY EVERY +/- 6' O.C. EACH WAY.
2. MATCH CONCRETE WIDTH DIMENSIONS FOR CONTROL JOINTS WHEN APPLICABLE.
3. CONTROL JOINTS SHALL BE SAWCUT WITHIN 24 HOURS OF CONCRETE INSTALLATION.
4. SEE SHEET L100 FOR CONTROL JOINT LOCATIONS OR PATTERNS.

WALKWAY CONTROL JOINT

SECTION

EXPOSED AGGREGATE CONCRETE WALKWAY

SECTION

UNIT BRICK PAVER (FIELD AND BORDER COURSE)

1 NTS AXON

WALKWAY EXPANSION JOINT

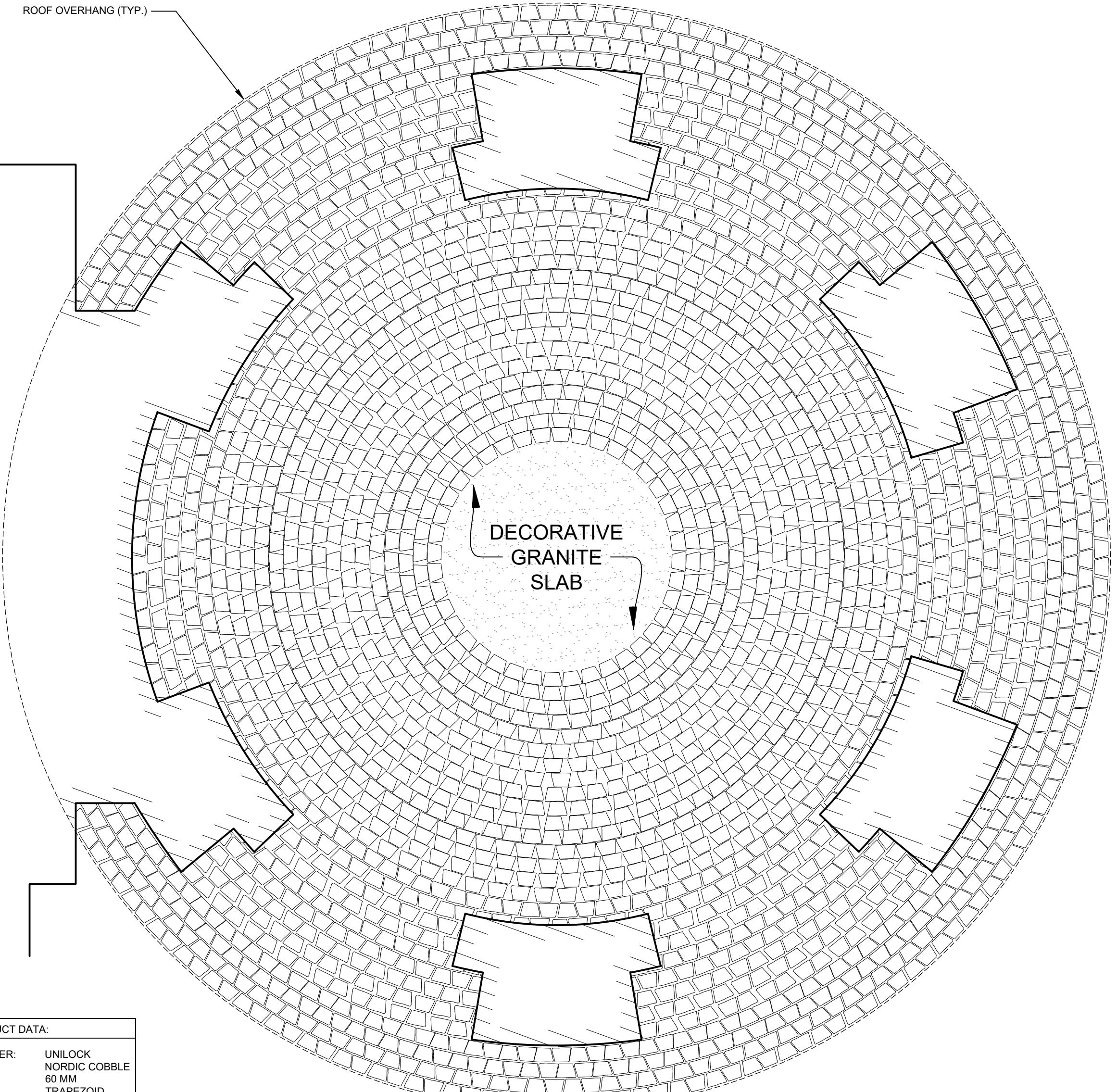
2 L-102 1" = 1'-0"

WALKWAY CONTROL JOINT

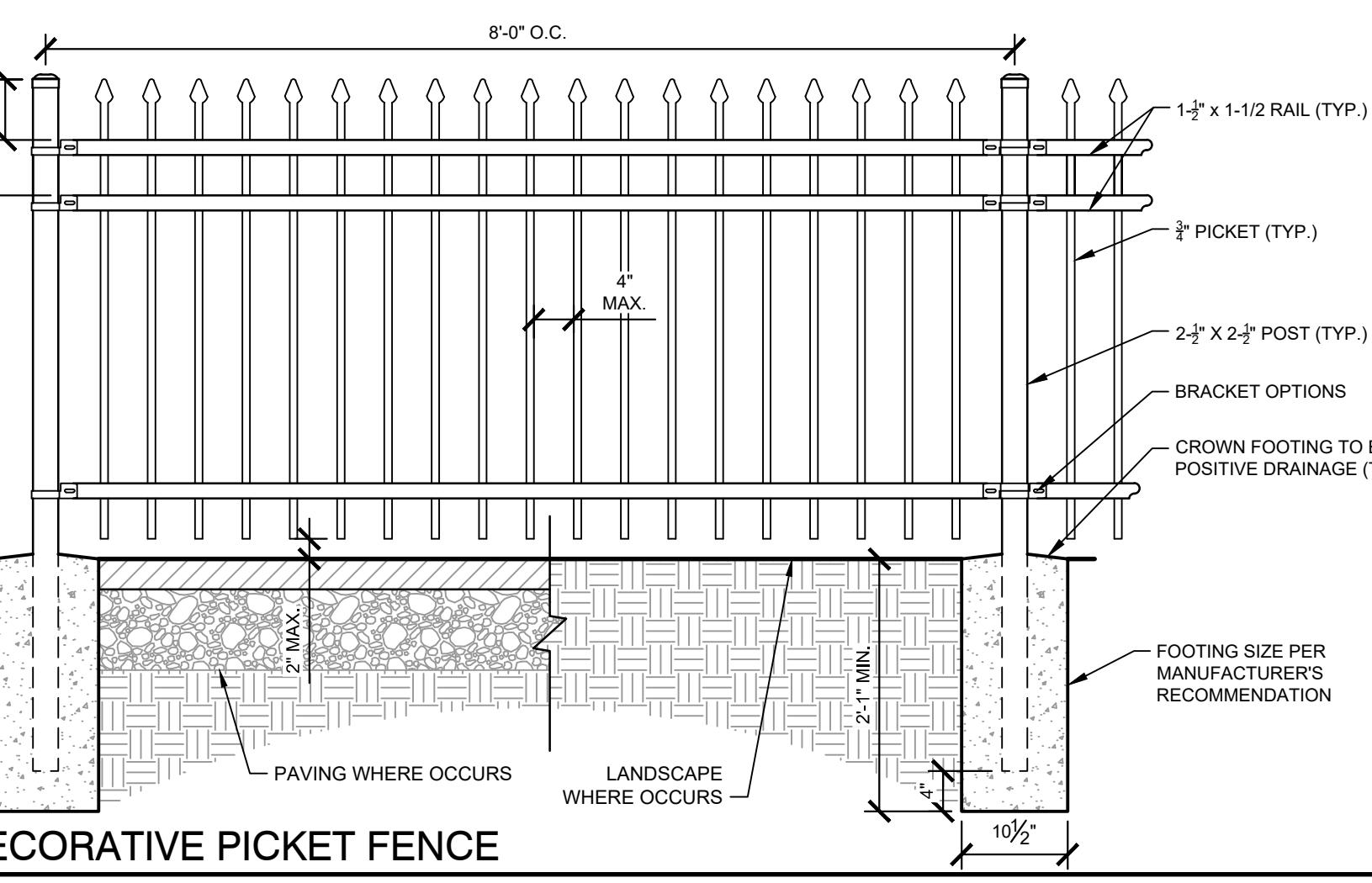
3 L-102 1" = 1'-0"

EXPOSED AGGREGATE CONCRETE WALKWAY

4 L-102 1" = 1'-0"



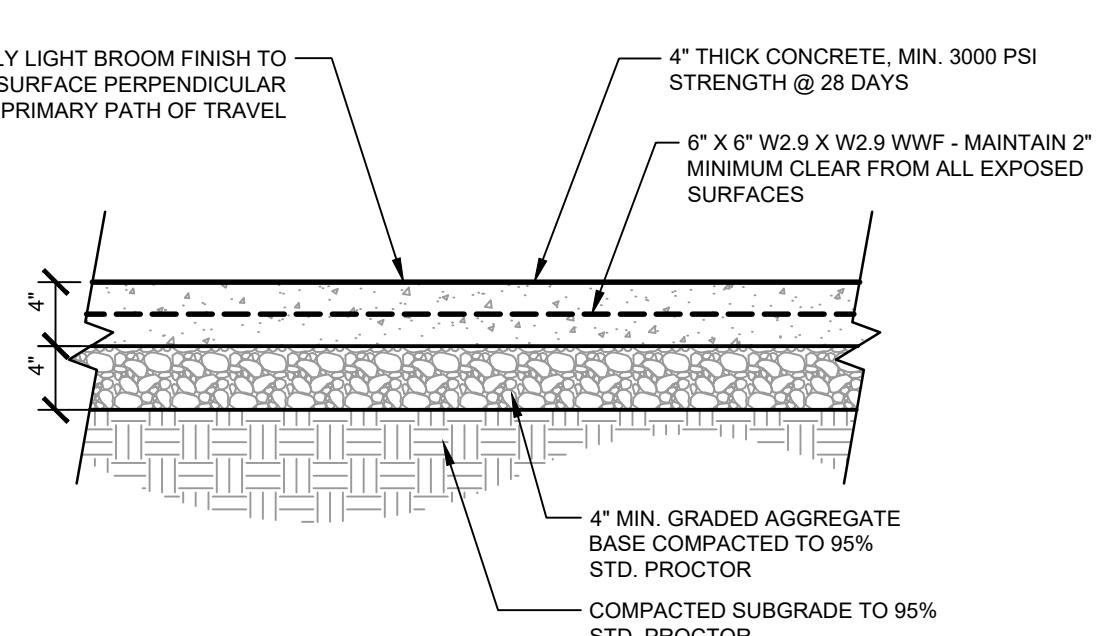
PAVER PRODUCT DATA:
MANUFACTURER: UNLOCK
PRODUCT: NORDIC COBBLE
SIZE: 60 MM
SHAPE: TRAPEZOID



FENCE PRODUCT INFORMATION:
MANUFACTURER: AMERISTAR FENCE PRODUCTS
MODEL: MONTAGE II
STYLE: CLASSIC, 3-RAIL, NO RINGS
COLOR: DARK BRONZE
FINISH: POWDER COATED STEEL
HEIGHT: 4'-0"
NOTES: INSTALL PER MANUFACTURER'S RECOMMENDATIONS. FENCE SHOP DRAWINGS SHALL BE SIGNED BY AN ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS.

PEDESTRIAN-RATED CONCRETE NOTES:
1. CONTRACTOR SHALL CONFIRM REQUIRED MATERIAL AND COMPACTION REQUIREMENTS FOR COMPACTED ABC WITH GEOTECHNICAL ENGINEER.
2. CONTRACTOR TO SUBMIT A 5'X5' MOCK-UP INCLUDING FINISH FOR APPROVAL LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

EXPANSION / CONTROL JOINT NOTES:
1. SEE DETAIL 2 / L-102 FOR EXPANSION JOINT LOCATIONS OR PATTERNS.
2. SEE DETAIL 3 / L-102 FOR CONTROL JOINT LOCATIONS OR PATTERNS.



PEDESTRIAN-RATED CONCRETE

7 L-102 1" = 1'-0"

TURRET PAVING ENLARGEMENT

5 L-102 1/2" = 1'-0"

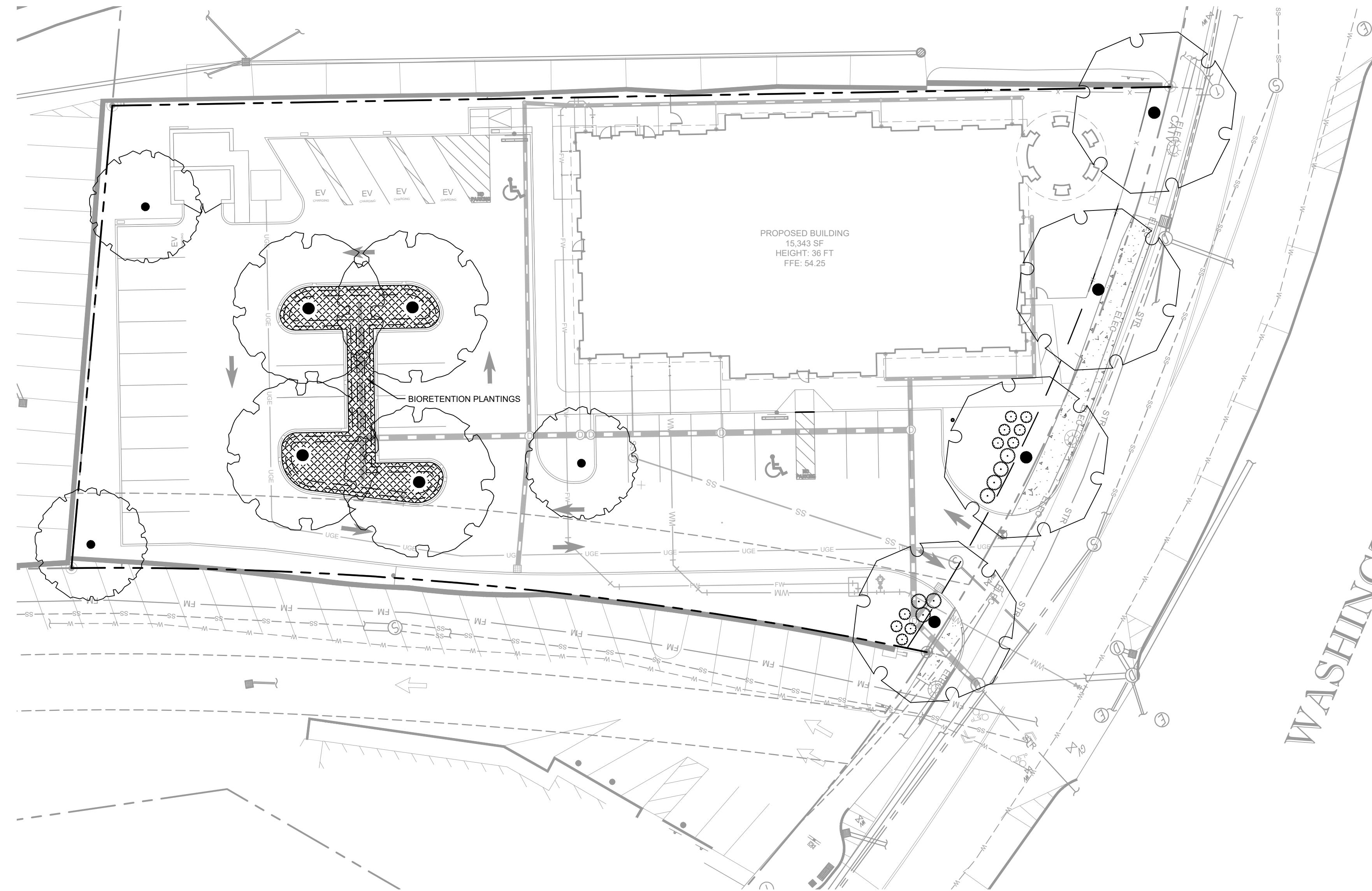
PLAN/SECTION/AXON

FCB WELLESLEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
MASSACHUSETTS
WELLESLEY

SHEET NUMBER
L-102

Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
#E-0102 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

7
6
5
4
3
2
1
No. REVISIONS DATE BY



PLANT SCHEDULE CODE MIN

| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | CAL. | HEIGHT |
|---------------|------|-----|---|--------------------------|--------|----------|--------------|
| TREES | | | | | | | |
| • | AB | 4 | ACER RUBRUM 'BRANDYWINE' | BRANDYWINE RED MAPLE | B&B | 4" CAL. | 14'-16' MIN. |
| • | GS | 3 | GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' | SHADEMASTER HONEY LOCUST | B&B | 4" CAL. | 14'-16' MIN. |
| • | QB | 4 | QUERCUS BICOLOR | SWAMP WHITE OAK | B&B | 4" CAL. | 14'-16' MIN. |
| SHRUBS | | | | | | | |
| • | IS | 10 | ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERRY HOLLY | 3 GAL. | 12" MIN. | |
| • | RC | 7 | RHODODENDRON CATAWBIENSE 'CUNNINGHAM WHITE' | CATAWBA RHODODENDRON | 5 GAL | 12" HT | |

GEO TECH NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 08/19/2025.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A ALTA/NSPS LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY CONTROL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD, WELLESLEY, MA 02481. THE SURVEYOR AND CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

| LANDSCAPE REQUIREMENTS & CALCULATIONS | | | | | | |
|---|---|-------------------|------------------------------|--|---|--|
| Town of Wellesley - Urban Design and Landscape Guidelines | | LOCATION | LINEAR FEET / PARKING SPACES | TOTAL QUANTITY REQUIRED | TOTAL QUANTITY PROVIDED | CODE SECTION |
| AREA TO BE LANDSCAPED | CODE REQUIREMENT | LOCATION | LINEAR FEET / PARKING SPACES | TOTAL QUANTITY REQUIRED | TOTAL QUANTITY PROVIDED | CODE SECTION |
| STREET TREES | STREET TREES SHALL BE PLANTED AT INTERVALS OF BETWEEN 25'-0" AND 50'-0" | WASHINGTON STREET | 166 LF | 166 LF / 50 = 4 STREET TREES | 4 STREET TREES | LANDSCAPING PG. 37 |
| VEHICLE USE AREA | EVERGREEN PERIMETER SCREENING STRIP AT LEAST 5'-0" WIDE SHALL BE PROVIDED ADJACENT TO PUBLIC ROW. | WASHINGTON STREET | | CONTINUOUS EVERGREEN SCREEN | CONTINUOUS EVERGREEN SCREEN | |
| | 1 (ONE) TREE FOR EVERY 10 (TEN) PARKING SPACES | PARKING LOT | 32 PARKING SPACE | 32 PARKING SPACES / 10 = 3 TREES | 7 TREES | SITE PLANNING, LANDSCAPING AND PARKING AREAS PG. 41-43 |
| | LANDSCAPED OPEN SPACE PROVIDED THAT IS MORE THAN 10% OF THE PARKING AREA, HALF OF WHICH IS INTERIOR TO THE PARKING AREA | PARKING LOT | 14,241 SF | 14,241 * .1 = 1,424 SF TOTAL OPEN SPACE 1,424 SF / 2 = 712 SF INTERNAL OPEN SPACE | 4,864 SF TOTAL OPEN SPACE 1,422 SF INTERNAL OPEN SPACE | |



PERFORMANCE SPECIFICATION

I. PLANTS

A. General

1. Live healthy plants free of dead branches and parts
2. Free of disease, insect, injury and damage
3. Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously repaired damage.
4. Free of girdling roots or rootbound/circling container conditions
5. Plants of consistent in growth habit and healthy character
6. Free of compromising growth conditions such as weak crotch connections, crossed branches, snags and scars
7. Point of origin growing location within 100 miles of project site
8. Graded, standards, caliper, sizes and stock consistent with ANSI Z60.1, American Standard for Nursery Stock most current edition
9. Species identified consistent with the most current editions of: Hortus Third: Concise Dictionary of Plants Cultivated in the United States and Canada, and Manual of Woody Plants: Their Identification, Ornamental Characteristics, Culture, Propagation and Uses
10. All disturbed areas shall be grass seed unless otherwise identified on landscape plans

B. Trees:

1. **Deciduous Single Trunk**
 - a. Full, straight and upright with consistent symmetrical natural branching pattern throughout
 - b. Branching Height-seven (7') feet to lowest branch in two years unless otherwise required by local jurisdiction
2. **Deciduous Multi-Trunk**
 - a. Full and upright with straight consistent symmetrical natural branching pattern throughout
 - b. Canes evenly spaced and of similar growth habit
 - c. Free of suckers and extraneous branching
3. **Evergreen Single-Trunk**
 - a. Full and upright with continuous symmetrical dense natural habit
 - b. Clear branching height twelve (12) inches above top of rootball
 - c. Free of suckers and extraneous branching
 - d. Free or shear or otherwise prune to shape plantings
4. **Evergreen and Deciduous Shrubs**
 - a. Full, dense and naturally symmetrical
 - b. Consistent with container and/or balled and burlapped size
 - c. Free of suckers and extraneous branching
 - d. Do not shear or otherwise prune or shape plantings
5. **Evergreen and Deciduous Groundcover**
 - a. Full and dense in pots or flats
6. **Perennials and Seasonal Color**
 - a. Full and dense in pots or flats
7. **Turf Grass**
 - a. Soil Mix-10% Compost, 90% topsoil by volume
 - b. Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural materials including litter, stones, sticks and all items greater than $\frac{1}{4}$ inch in dimension
 - c. Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown on drawings. Allow for thickness of sod when applicable
 2. **Grass Sod**
 - a. Install not longer than twenty-four (24) hours from harvest
 - b. Grass bed not less than two (2) inches in continuous thickness
 - c. 100% continuous live sod coverage after first growing season and at end of warranty period.
 - d. Of uniform non-varying density and continuous texture quality capable of growth and development immediately upon installation. Weed and noxious plant free
 - e. Stagger installation rows and place aligned parallel to contours
 - f. Fill joints solidly with planting bed preparation soil
 - g. Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1
 3. **Grass Seed**
 - a. Mix approved by the Landscape Architect
 - b. Provide first and new year seed crops in mix free of weed seeds and deleterious matter
 - c. Provide seed mix not greater than 15% annual or perennial rye
 - d. Coverage 85% continuous coverage live stand after first growing season and at end of warranty
 - e. Replacement or overseeding mixes consistent with original application/installation
 - f. Provide erosion blankets or other slope retention methods as noted on drawings

II. Materials and Appurtenances

A. Testing

1. Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for review

B. Top Soil

1. Neutral Ph balance 5.5 -7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, sticks, trash, and deleterious matter greater than $\frac{1}{4}$ inch in any direction. Clay content shall not exceed 25%. Gravel content shall not exceed 10%. Silt shall not exceed 25%

C. Use of Existing Topsoil

1. Existing topsoil on-site may be repurposed with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive methods and procedures

D. Shredded Hardwood Mulch

1. 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed. Neutral Ph balance 5.5-7.5

E. Compost Ph

1. Balanced 5.0-8.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight. Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

F. Compost Testing

1. Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health safety requirements
2. Provide copy of lab analysis less than 120 calendar days old verifying that the product meets described physical requirements; chemical contaminants; Ph; physical contaminants; biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of the US Composting Council Seal of Testing approval programs

H. Planting Mix

1. 85% topsoil and 15% Compost

I. Fertilizer

1. Granular 10% nitrogen, 6% Phosphorous, 4% Potassium granular form with 50% Nitrogen in organic form. Product and Material Safety Data as approved by Owner

J. Herbicide

1. Product and Material Safety Data as approved by Owner

K. Water

1. Potable only unless otherwise approved by Owner

L. Hardwood Stakes

1. 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides

M. Tree Ties

1. Villa Non-Abrasive Rubber Tree Ties or approved equal

N. Filter Fabric

1. Mirafi 140-N or approved equal

O. Steel Edging

1. 1/8-inch x 4-inch in full sections. Ryerson, Timec or approved equal with integral stakes. No open corners. Corners shall be formed and trued to compliant angle or welded closed

P. River Stone

1. Locally sourced, river rounded, unfaçeted river stone/cobbles.
2. Size shall not exceed 3 total inches in any dimension.
3. Color and texture approved by Owner
4. When placed in concrete or mortar setting bed, tamp to secure and brush clear joints.
5. Concrete or mortar as approved by owner.

III. Execution

A. Site Conditions

1. Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable are suitable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions.
2. Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner of acceptance prior to commencement of work.
3. Notify Owner in writing of any conditions that may preclude successful completion of work including items such as coordination with other trades, incomplete work, drainage, soil temperature and/or composition, access to storage/work areas, damage to conditions, etc.
4. Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks, materials delivery and/or installation and warranty responsibilities.
5. Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required work by others.

B. Planting Seasons

Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may/may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner on an individual project basis.

1. **Deciduous and Evergreen Trees**
Do not install/plant the following trees between September 15 and March 15
 1. Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinea)
 2. Dogwood (Cornus Sp.)
 3. Sweetgum (Liquidambar Sp.)
 4. All Conifers and Evergreens except White Pine (Pinus strobus Sp.)
2. **Deciduous and Evergreen Shrubs**
a. Install/plant between March 15 and June 15 and/or September 15 and November 30
3. **Perennials**
a. Install/plant between March 15 and June 15 and/or September 15 and November 30
4. **Spring Flowering Bulbs**
a. Install/plant between September 15 and December 15
5. **Seasonal Annuals**
a. Install/plant in season per approved schedule
6. **Turf Grass**
a. Install/plant between March 15 and May 15 and/or September 15 and November 30
b. Do not install/plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work
7. **No Plant Installation**
a. Do not install plantings or turf grass between June 15 and September 15, without approval by Owner

C. Positioning & Location of Plantings

1. Position plants to show the most-prominent and well-formed face to most-public view
2. Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning installation
3. Verify location of individual plants and plant beds prior to beginning installation. Do not proceed without Owner approval

D. Implementation

1. Pursue work continuously without delay or interruption until completion unless notified otherwise by Owner
2. Provide project submittals ahead of commencement of work. Landscape Architect requires a minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials
3. Continuously update implementation schedule and notify Owner of progress. Delays related to material availability are not cause for non-completion of scheduled delivery of work
4. Report delays due to weather or site conditions immediately upon finding. Provide recommendation for remedy of schedule delays. Do not work, place or modify frozen soil
5. Report delays due to extraordinary natural or other conditions beyond control of Contractor

E. Clean Up

1. Remove trash, debris and work materials from site prior to request for substantial completion. Thoroughly clean surfaces impacted by work including building, parking areas, roadways, sidewalks, signs, lights, site furnishings, etc.
2. Repair any damage to existing conditions that occurred during execution of work.
3. All clean-up and demobilization procedures shall be performed to satisfaction of the Owner and Landscape Architect.

| | |
|---|-----|
| DATE | BY |
| REVISIONS | NO. |
| KIMLEY-HORN | |
| © 2024 KIMLEY-HORN AND ASSOCIATES, INC. | |
| #E-0102 W/F KIMLEY-HORN.COM PHONE: 919-677-2050 FAX: 919-677-2050 | |
| 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 | |

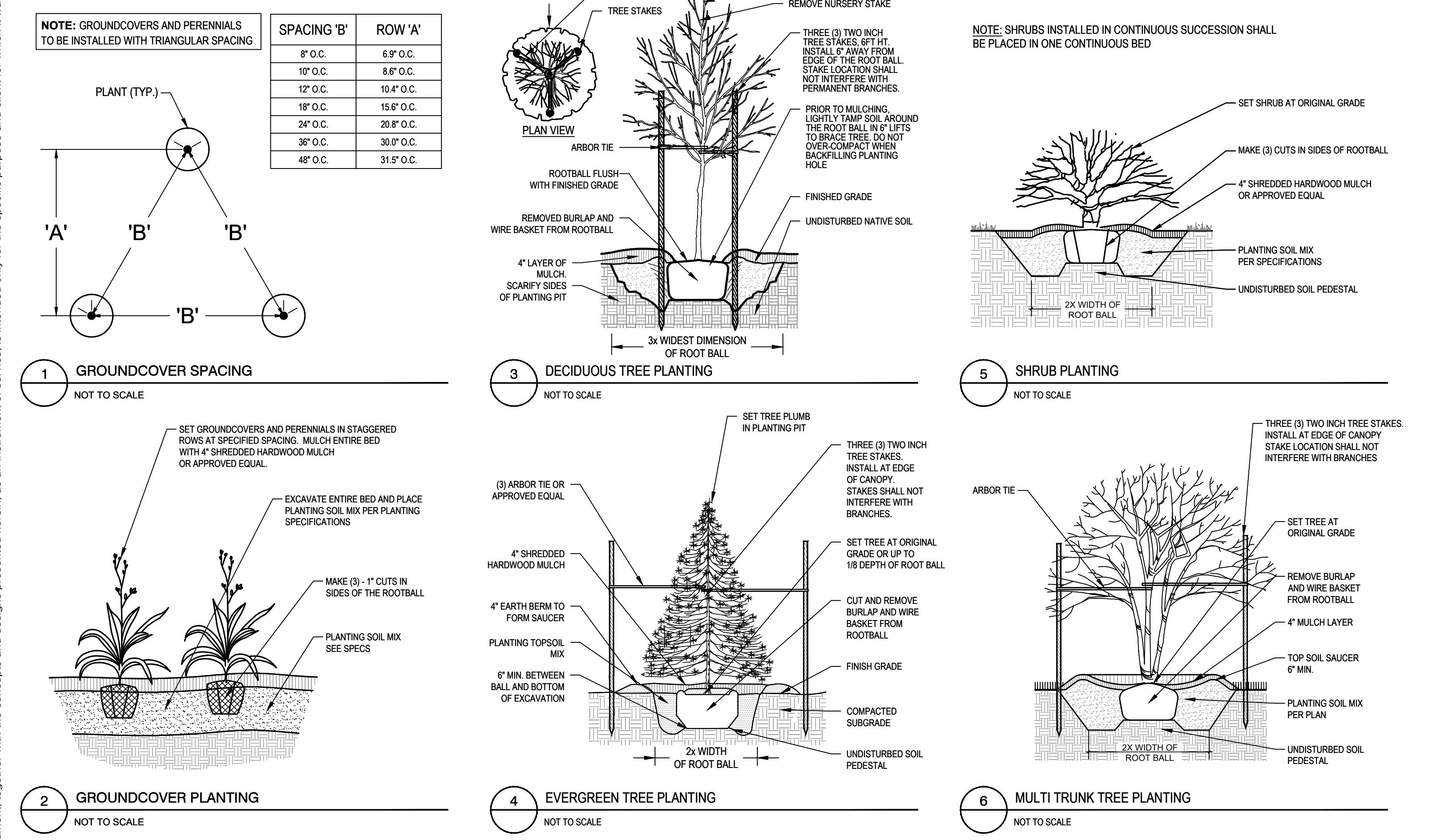
LANDSCAPE NOTES AND DETAILS

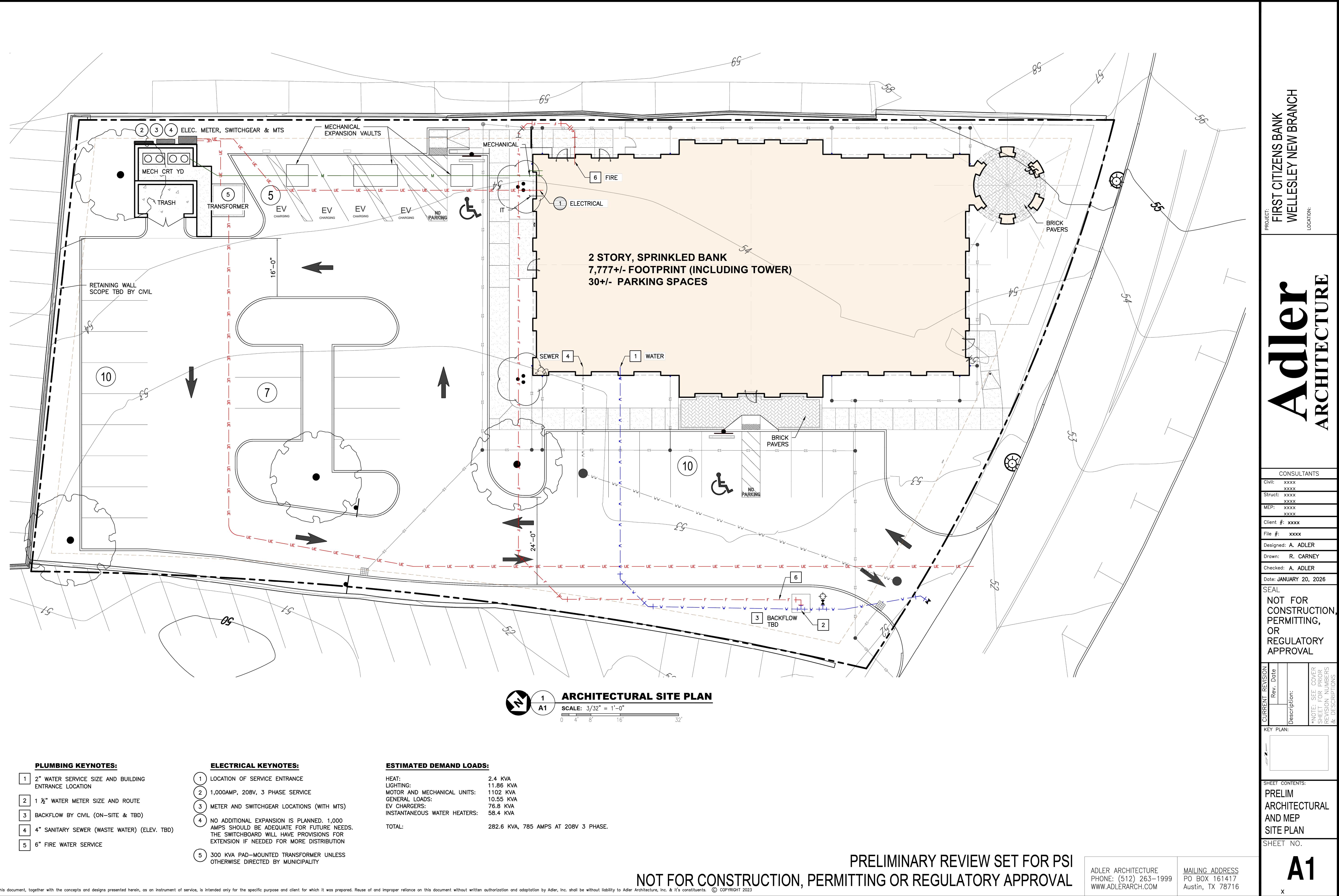
FCB WELLSELEY
PREPARED FOR
FIRST-CITIZENS BANK
& TRUST COMPANY
MASSACHUSETTS

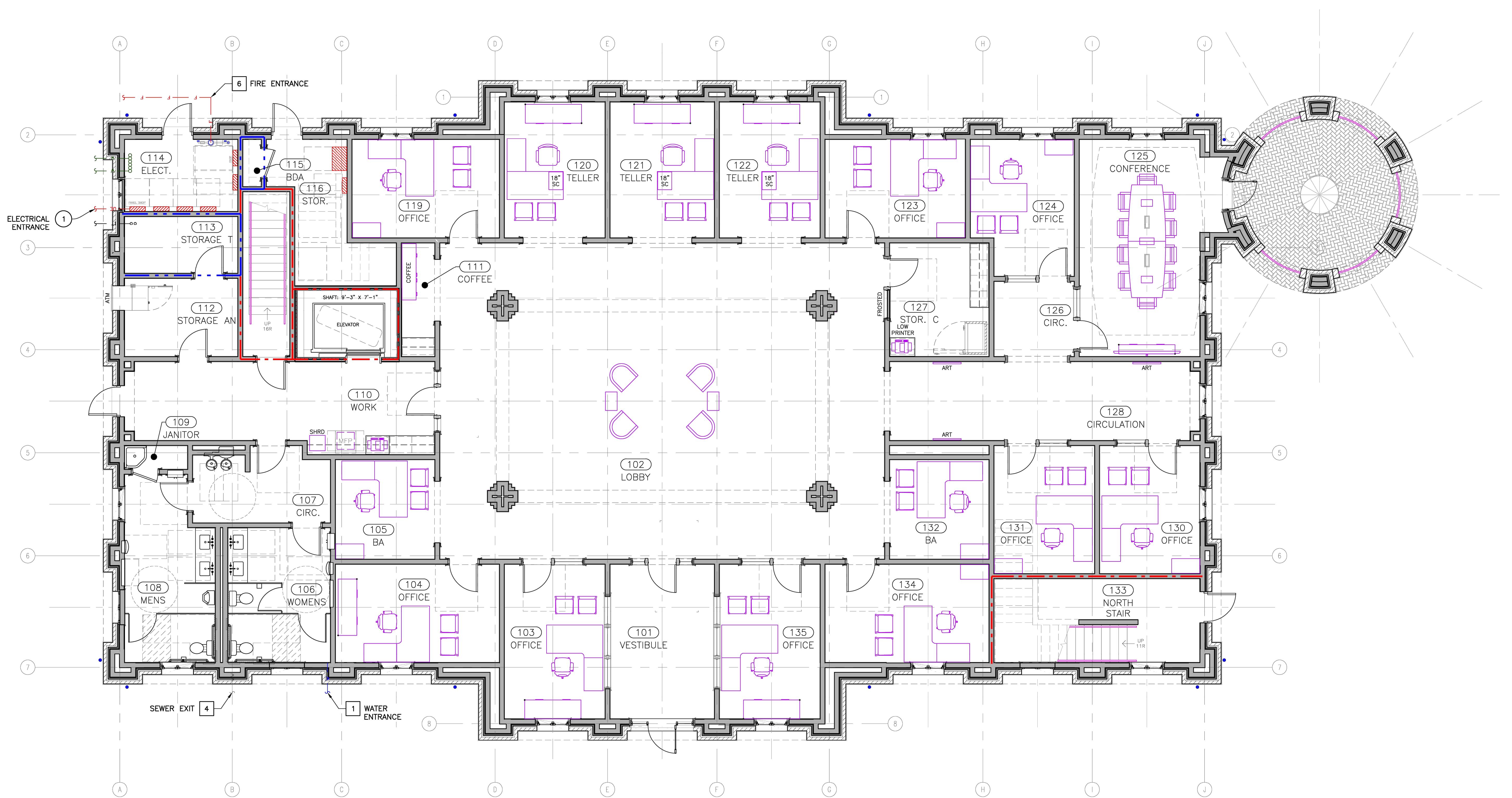
SHEET NUMBER
L-301

GEOTECH NOTE:
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A
PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED
BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 08/19/2025.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A
ALTA/NSPS LAND TITLE SURVEY OBTAINED ON 09/10/2025 BY
CONTROL POINT ASSOCIATES, INC., 352 TURNPIKE ROAD.
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING
INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND
REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.









1
A2

FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

PRELIMINARY REVIEW SET FOR PSI
NOT FOR CONSTRUCTION, PERMITTING OR REGULATORY APPROVAL

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Adler, Inc. shall be without liability to Adler Architecture, Inc. & its constituents. © COPYRIGHT 2023

ADLER ARCHITECTURE
PHONE: (512) 263-1999
WWW.ADLERARCH.COM

MAILING ADDRESS
PO BOX 161417
Austin, TX 78716

A2

X

PROJECT:
FIRST CITIZENS BANK
WEI IESI EV NEW BRANICH

Adler ARCHITECTURE

CONSULTANTS

| | |
|-----------------------|------|
| Civil: | xxxx |
| | xxxx |
| Struct: | xxxx |
| | xxxx |
| MEP: | xxxx |
| | xxxx |
| Client #: xxxx | |
| File #: xxxx | |
| Designed: A. ADLER | |
| Drawn: R. PEULER | |
| Checked: A. ADLER | |
| Date: JANUARY 20 2026 | |

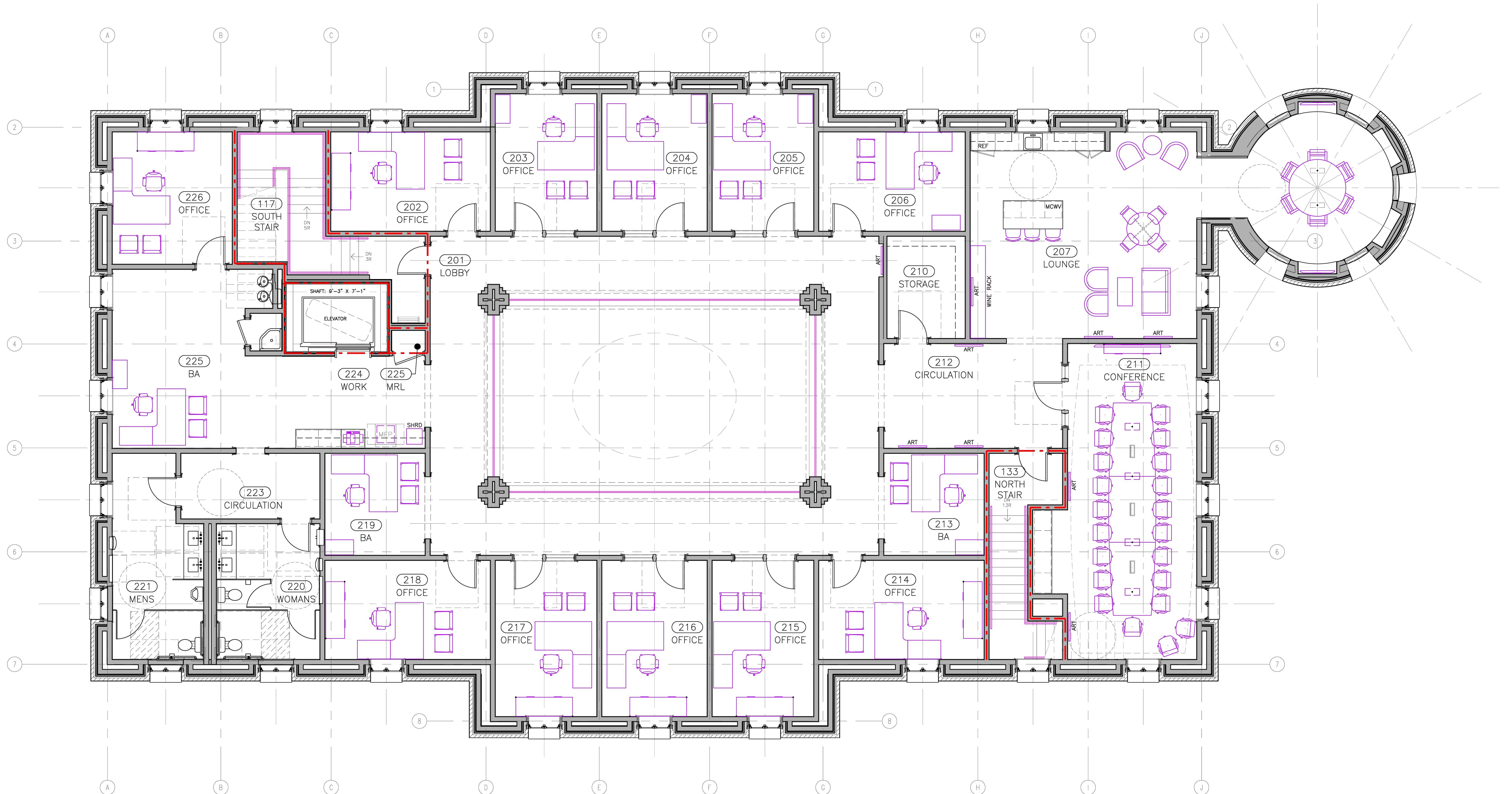
SEAL
NOT FOR
CONSTRUCTION
PERMITTING,
OR
REGULATORY
APPROVAL

| CURRENT REVISION | Rev. Date | Description: |
|------------------|-----------|---|
| | | *NOTE: SEE COVER SHEET FOR PRIOR REVISION NUMBERS |

SHEET CONTENTS:

FIRST FLOOR FURNISHING PLAN

SHEET N



SECOND FLOOR PLAN
1 A3

SCALE: $3/16'' = 1'-0''$

0 2' 4' 6' 8' 10' 12' 14' 16'

PROJECT:
FIRST CITIZENS BANK
WELLESLEY NEW BRANCH
LOCATION:

Adler
ARCHITECTURE

CONSULTANTS

Civil: xxxx

Struct: xxxx

MEP: xxxx

Client #: xxxx

File #: xxxx

Designed: A. ADLER

Drawn: R. PEULER

Checked: A. ADLER

Date: JANUARY 20, 2026

SEAL

NOT FOR
CONSTRUCTION,
PERMITTING,
OR
REGULATORY
APPROVAL

| | |
|---|-----------|
| CURRENT REVISION | Rev. Date |
| KEY PLAN: | |
| NOTE: SEE COVER SHEET FOR PRIOR REVISION NUMBERS & DESCRIPTIONS | |

SHEET CONTENTS:
SECOND FLOOR
FURNISHING
PLAN

SHEET NO.

A3

PRELIMINARY REVIEW SET FOR PSI

NOT FOR CONSTRUCTION, PERMITTING OR REGULATORY APPROVAL

ADLER ARCHITECTURE
PHONE: (512) 263-1999
WWW.ADLERARCH.COM

MAILING ADDRESS
PO BOX 161417
Austin, TX 78716

PROJECT:
FIRST CITIZENS BANK
WELLESLEY NEW BRANCH

LOCATION:

Adler ARCHITECTURE

卷之三

This architectural drawing shows the East Elevation of the First Citizens Bank building. The building features a two-story stone facade with arched windows on the ground floor and rectangular windows on the second floor. A central entrance is flanked by two arched doorways. The roof is a copper roof with a central gabled section and a smaller gabled section on the right. A tall, all-stone tower is located on the right side of the building. The drawing includes various dimensions, such as 12' 5.5" for the main gable height and 12' 5.5" for the side gable height. It also shows the maximum building height of 53.5' + 36.0'. The drawing is labeled 'EAST ELEVATION' and includes a scale of 1/8" = 1'-0".

MAX BLDG HT.
EL. +53.5' +36.0'

FIN 2ND FLOOR
EL. +14'-0"

FIN 1ST FLOOR
EL. +0'-0"

AVG. BASE GRADE
EL. +53.5'

1
A3.1

EAST ELEVATION

SCALE: 1/8" = 1'-0"

0 4' 8' 16' 24'

3
A3.6

4
A3.6

A4.1

3

12 5.5

12 5.5

COPPER ROOF

12 5.5

ALL STONE TOWER WITH
HONED PLINTH, ARCH BANDS
AND ACCENTS

MAX BLDG. HT.
EL. +53.5' +36.0'

FIN 2ND FLOOR
EL. +14'-0"

FIN 1ST FLOOR
EL. +0'-0"

AVG. BASE GRADE
EL. +53.5'

MAX BLDG. HT.
EL. +53.5' +36.0'

FIN 2ND FLOOR
EL. +14'-0"

FIN 1ST FLOOR
EL. +0'-0"

AVG. BASE GRADE
EL. +53.5'

NORTH ELEVATION

2
A3.2

SCALE: 1/8" = 1'-0"

0 4' 8' 16' 24'

12 10

1 A3.6
2 A3.6

1 A4.1
1 A4.1
2 A4.1

1 A4.2

First Citizens Bank

CUPOLA
EL. +43' -5"

MAX BLDG HT.
EL. +53.5' +36.0'

FIN 2ND FLOOR
EL. +14' -0"

FIN 1ST FLOOR
EL. +0' -0"

AVG. BASE GRADE
EL. +53.5'

OPEN AIR FUNCTIONAL CUPOLA FOR
BUILDING EXHAUST. ARCHITECTURALLY
CONTEXTUAL TO SPRAGUE MEMORIAL
CLOCK TOWER

12 6.5

5.5 12

12 5.5

5.5 12

12 5.5

First Citizens Bank

1 A3.2

WEST ELEVATION

SCALE: 1/8" = 1'-0"

0 4' 8' 16' 24'

SOUTH ELEVATION

2 A3.1

SCALE: 1/8" = 1'-0"

MAX BLDG HT.
EL. +53.5' +36.0'

VERMONT SLATE

COPPER GUTTERS

ALUMINUM CLAD
WOOD WINDOWS

HONED STONE
QUOINS

BRICK FIELD
MASONRY

FIN 2ND FLOOR
EL. +14'-0"

HONED STONE
ARCHES

COPPER
DOWNSPOUT

ALUMINUM CLAD
WOOD WINDOWS

FIN 1ST FLOOR
EL. +0'-0"

AVG. BASE GRADE
EL. +53.5'

HONED STONE
PLINTH & ACCENTS

1 A3.6

2 A3.6

3

4

5

6

7

8

12 10

12 10

First Citizens Bank
ATM

0 4' 8' 12' 16' 24'

CONSULTANTS

Civil: xxxx
xxxx

Struct: xxxx
xxxx

MEP: xxxx
xxxx

Client #: xxxx

File #: xxxx

Designed: A. ADLER

Drawn: R. PEULER

Checked: A. ADLER

Date: JANUARY 20, 2026

SEAL

NOT FOR
CONSTRUCTION,
PERMITTING,
OR
REGULATORY
APPROVAL

| KEY PLAN: | | Description: | *NOTE: SEE COVER SHEET FOR PRIOR REVISION NUMBERS & DESCRIPTIONS |
|-----------|----------|--------------|--|
| CURRENT | REVISION | Rev. Date | |
| | | | |

SHEET CONTENTS:

**EXTERIOR
ELEVATIONS**

SHEET NO.

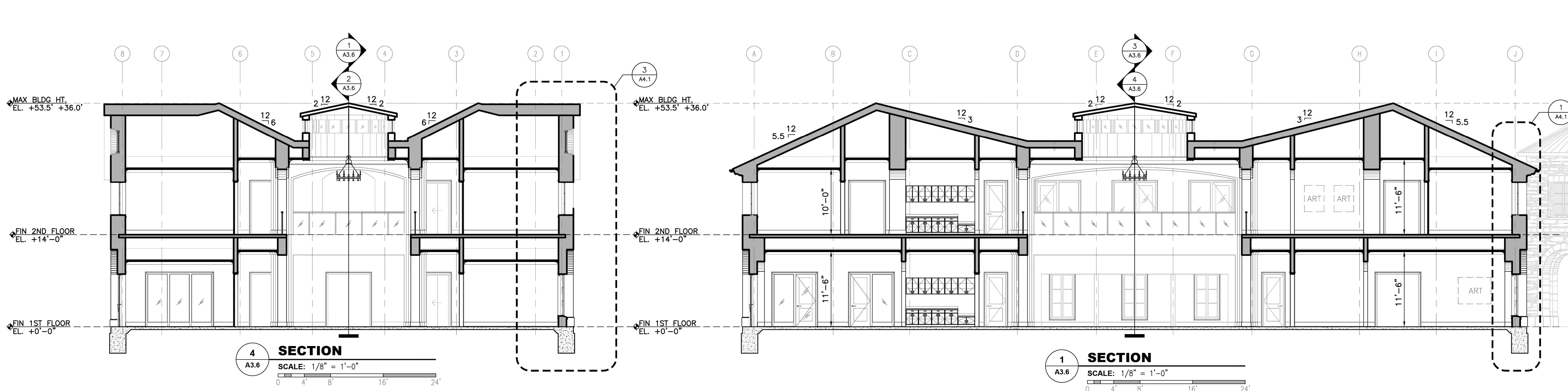
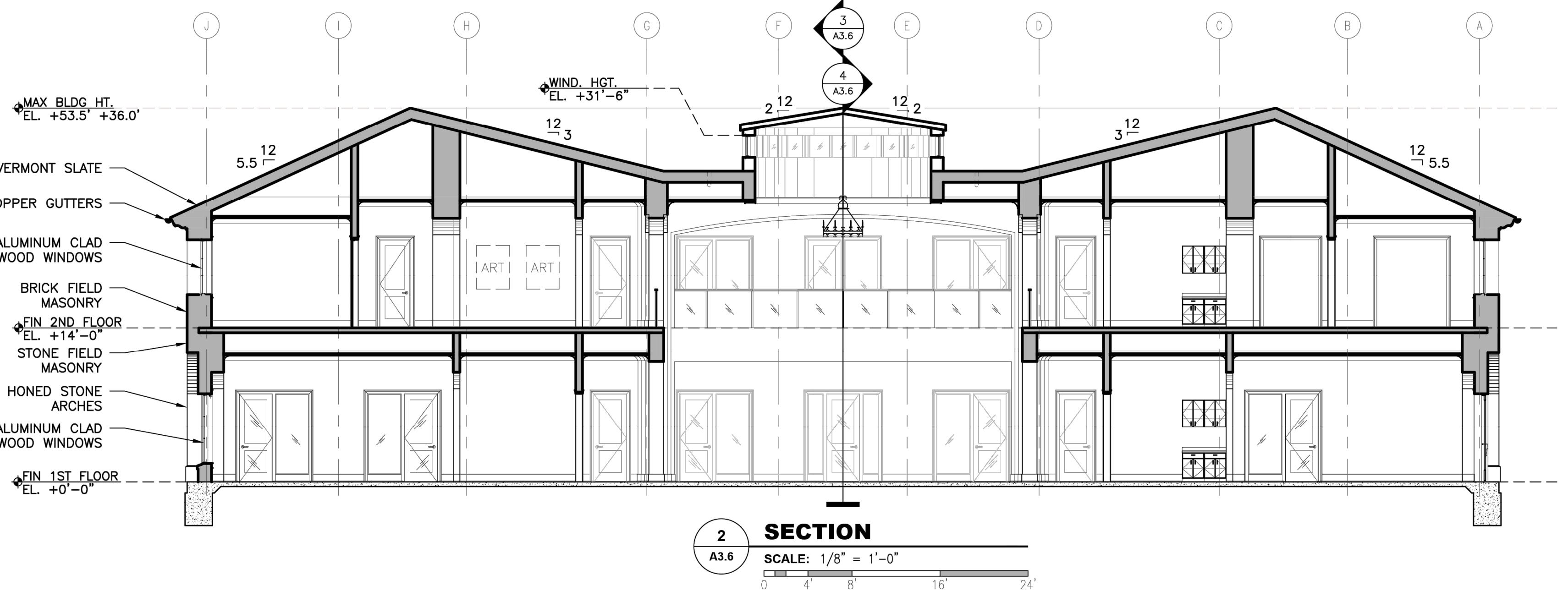
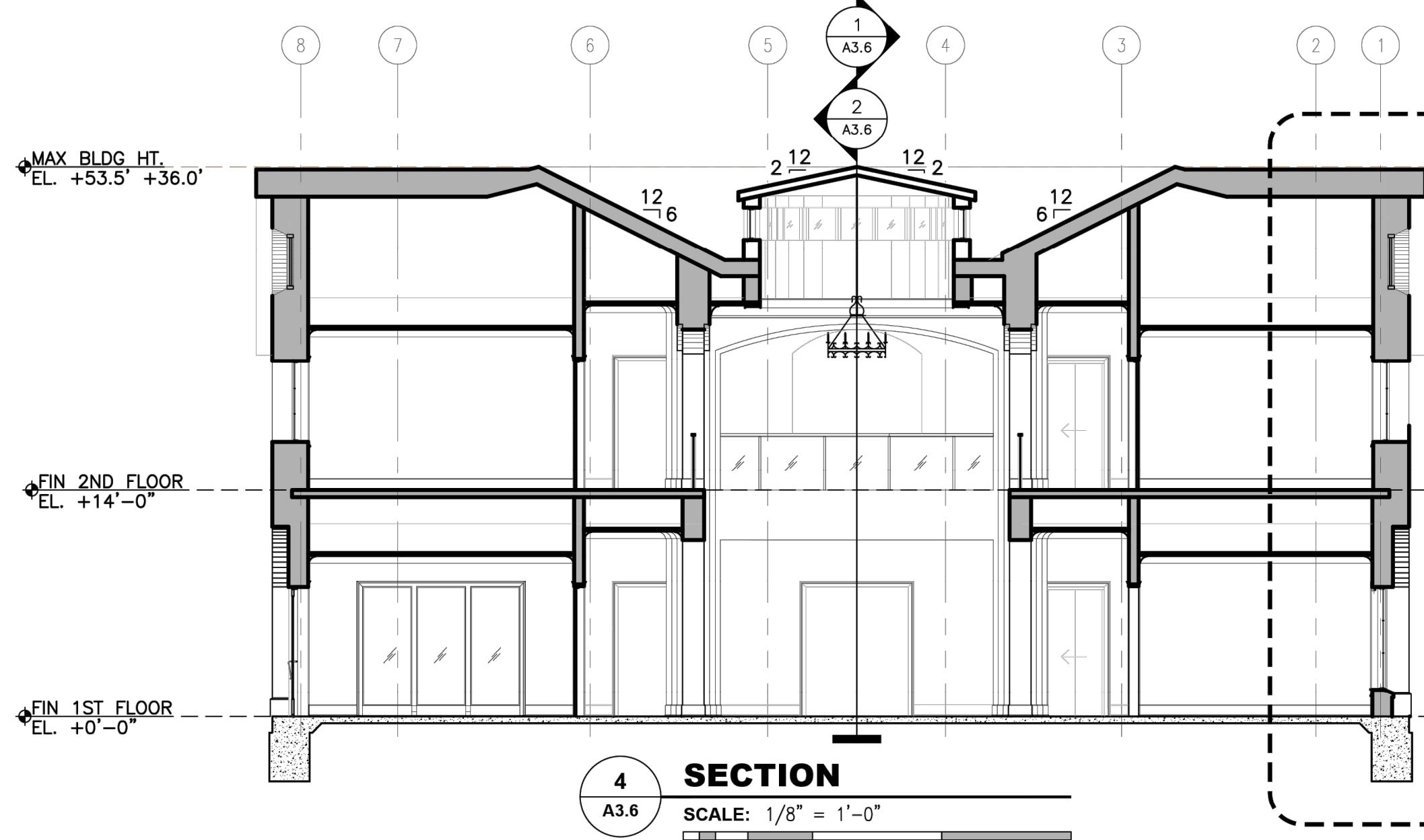
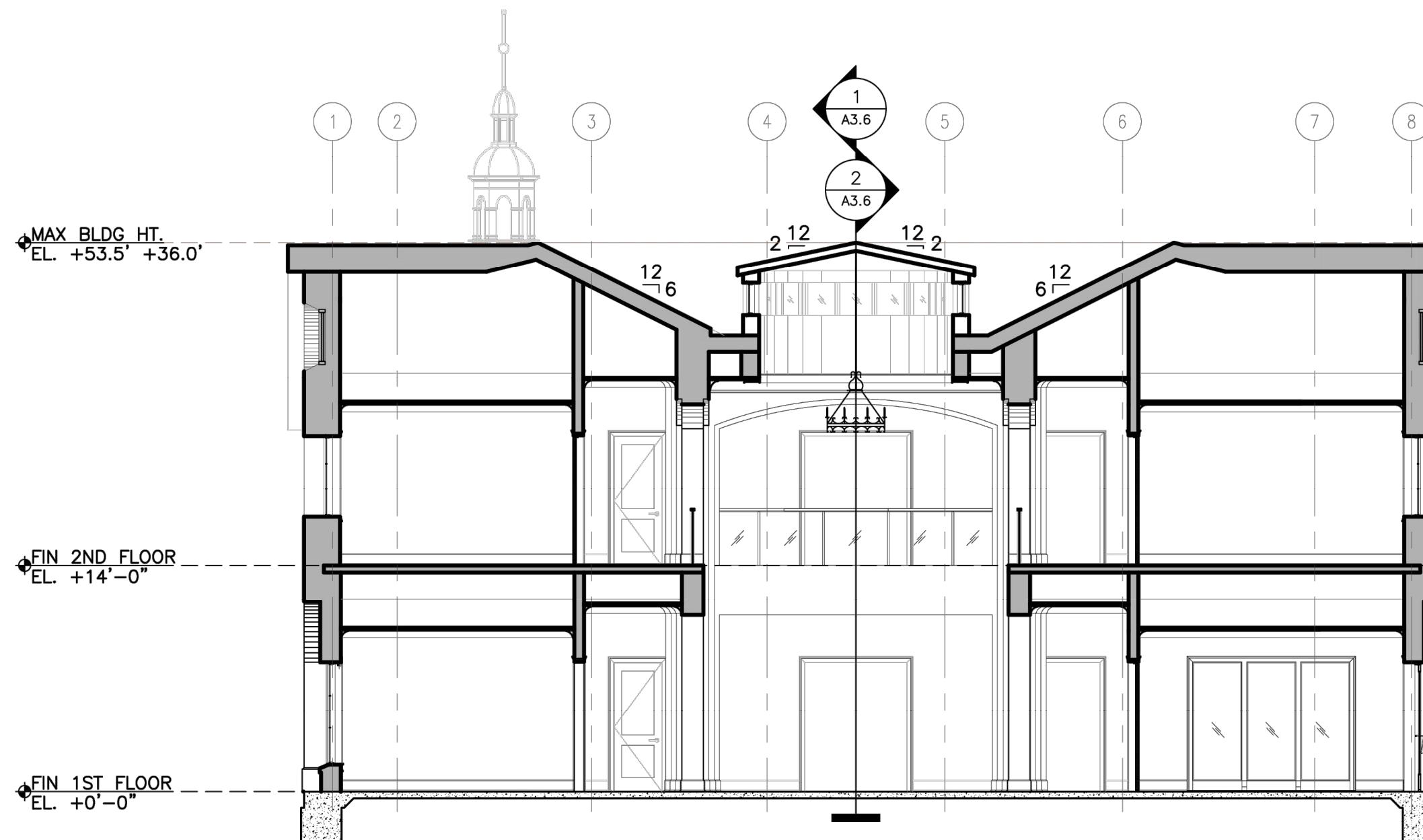
PRELIMINARY REVIEW SET FOR PSI

NOT FOR CONSTRUCTION, PERMITTING OR REGULATORY APPROVAL

ER ARCHITECTURE
ONE: (512) 263-1999
W.ADLERARCH.COM

ING ADDRESS
BOX 161417
in, TX 78716

A4



CONSULTANTS
Civil: xxxx
Struct: xxxx
MEP: xxxx
Client #: xxxx
File #: xxxx
Designed: A. ADLER
Drawn: R. PEULER
Checked: A. ADLER
Date: JANUARY 20, 2026

SEAL
NOT FOR
CONSTRUCTION,
PERMITTING,
OR
REGULATORY
APPROVAL

CURRENT REVISION
Rev. Date
Description:
*NOTE: SEE COVER
SHEET FOR PRIOR
REVISION NUMBERS
& DESCRIPTIONS

KEY PLAN:

EXTERIOR
ELEVATIONS

SHEET NO.

A5

PRELIMINARY REVIEW SET FOR PSI

NOT FOR CONSTRUCTION, PERMITTING OR REGULATORY APPROVAL