

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS
888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

J. RANDOLPH BECKER, CHAIRMAN
ROBERT W. LEVY, VICE CHAIRMAN
DAVID G. SHEFFIELD

LENORE R. MAHONEY
Executive Secretary
Telephone
(781) 431-1019 Ext. 2208

WALTER B. ADAMS
DEREK B. REDGATE
PETER COVO

Date: 1/22/26ZBA: 2026-09

Petition for:	Residential Fee	Commercial & Municipal Fee
Variance	\$200	
Special Permit	\$200	\$500
Special Permit/Findings	<input checked="" type="checkbox"/> \$200	
Special Permit Renewals	\$150	
Signs		\$300
Site Plan Approval without PSI		\$2,000 & Fire Department Consulting Fee
Site Plan Approval with PSI		\$3,500
Appeals	\$200	\$300
Comprehensive Permit		\$750
Publication & Mailing Fees/All Petitions	\$25	\$25
Petitioner assumes all costs for Peer Review		

Property Location: 14 Ox Bow Road Zoning District: SP 20

Property located in a: Historic District Yes No
 Wetlands Protection Area
 Water Supply Protection District

Prior Zoning Decisions: Special Permit/Finding: ZBA 2018-73 Variance: 2023-1Applicable Section(s) of the Zoning Bylaw: 5.1 and 6.3Explanation of Request: We would like to take an existing screen porch and turn into an office, given there is no existing office space in the home. We would also like the addition of a walk-in closet above the existing porch space.

Requested Relief:

<input checked="" type="checkbox"/>	Lot Area	<input type="checkbox"/>	Front Yard Depth (Street Setback)
<input type="checkbox"/>	Lot Coverage	<input checked="" type="checkbox"/>	Side Yard Width (Side Line Setback)
<input type="checkbox"/>	Frontage	<input type="checkbox"/>	Rear Yard Depth (Rear Line Setback)
<input type="checkbox"/>	Front Yard Width	<input type="checkbox"/>	Other

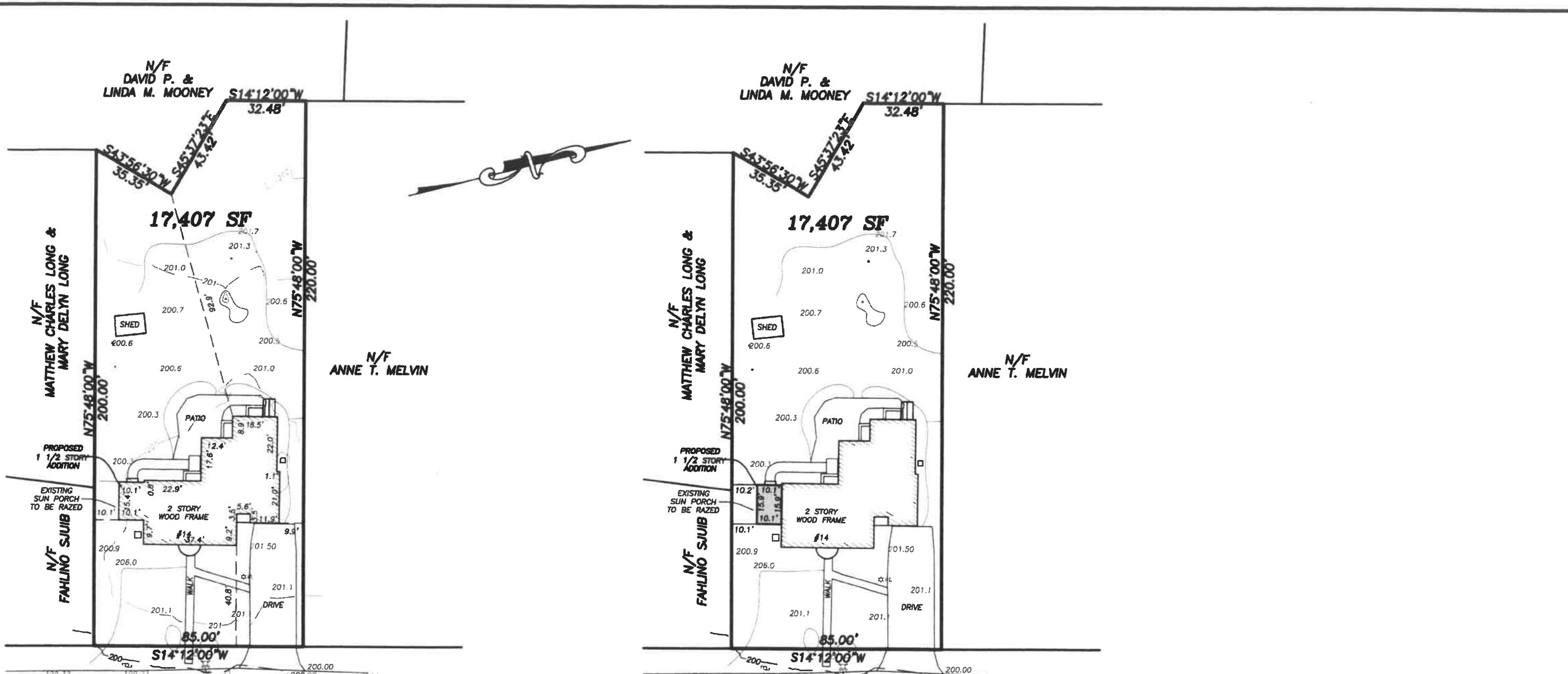
OWNER OF PROPERTY/PETITIONER: Michael and Nicole FerranteMAILING ADDRESS: 14 Ox Bow Rd Wellesley, MA 02481PHONE: WORK: (617) 375-8822 HOME: (781) 223-8356SIGNATURE OF OWNER: Michael and Nicole Ferrante

AGENT FOR PETITIONER (PLEASE PRINT):

MAILING ADDRESS:

PHONE: WORK: _____ HOME: _____

EMAIL: m.ferrante11@gmail.com



OX BOW ROAD

EXISTING SITE PLAN

ZONING INFORMATION: SINGLE RESIDENCE 20 (SR20)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 SF	17,407 SF	17,407 SF
MINIMUM LOT FRONTAGE	60 FEET	85.00 FEET	85.00 FEET
MINIMUM FRONT SETBACK	30 FEET	41.1 FEET	41.1 FEET
MINIMUM SIDE YARD	20 FEET	9.9 FEET	9.9 FEET
		10.1 FEET	10.1 FEET
MINIMUM REAR YARD	20 FEET	92.9 FEET	92.9 FEET
MAXIMUM BUILDING COVERAGE	20%	13.0% (2264 SF)	13.0% (2269 SF)
MAXIMUM BUILDING HEIGHT	36 FEET	NO CHANGE	
MAXIMUM BUILDING HEIGHT	2 1/2 STORIES	2 STORIES	2 STORIES

189-97

PROPOSED SITE PLAN

TOWN OF WELLESLEY
MAP 61 PARCEL 7

NORFOLK COUNTY
REGISTRY OF DEEDS
BOOK 31700 PAGE 238



OWNER/APPLICANT:
MICHAEL R. & NICOLE D. FERRANTE

REVISED:

ZONING BOARD OF APPEALS
PLAN OF LAND
14 OX BOW ROAD
WELLESLEY, MASS.

Field Resources, Inc.
LAND SURVEYORS

JANUARY 20, 2026 SCALE 1"=40'
P.O. BOX 324 281 CHESTNUT ST.
AUBURN, MA NEEDHAM, MA.
508 832 4332 781 444 5936

fieldresources@hotmail.com

GENERAL NOTES:

- GENERAL CONDITIONS
 - Temporary Utilities During Construction
 - Temporary Toilet
 - Dumpsters and Clean-up
 - Worker's Compensation and Liability Insurance
 - Permits and Fees
 - All Work to be Performed in Accordance with all Local Codes/Or

SITEWORK / UTILITIES
Refer to Civil Drawings

CONCRETE & MASONRY
Existing Conc. Foundation and Slab to Remain - Verify Condition/Depth

ROUGH CARPENTRY

- 2 x 4 Interior Wall Framing @ 16" O.C.
- Conventional Wood Joists and Beams - See Framing Plans
- Engineered Beams - See Framing Plans
- Conventional and Engineered Roof Framing - See Framing Plans
- Roof and Wall Sheathing - Zip System
- SubFloor - 3/4" T & G Plywood or OSB
- Misc. Blocking and Strapping
- Fire Blocking and Fire Stopping

5" Copper Half-Round Gutters and 3" Smooth Round Downspouts to Match Existing

FINISH CARPENTRY

New Pre-Finished Vinyl Siding to Match Existing Color & Exposure @ New & Affected Areas Only
Azek PVC Trim Boards All Window & Door Trim E.A.O.N.
Azek PVC Trim Boards All Fascia/Frieze/Rake Trim E.A.O.N.
Azek Exterior Vented Soffit System @ Soffits E.A.O.N.
Conceal Fasteners to Greatest Practical Extent by Countersinking and Filling
Use Full Length Boards Where Possible, Otherwise Scarf Joints



PROJECT INFORMATION

PROJECT DESCRIPTION: ADDITION/ALTERATIONS TO AN EXIST. SINGLE FAMILY RESIDENCE
BUILDING TYPE: DETACHED SINGLE-FAMILY DWELLING
BUILDING CODE REFERENCES: MASS. ONE & TWO FAMILY DWELLING CODE - 10TH ED.
IECC 2021 ENERGY CODE WITH MASS. AMENDMENTS

KA

KRAUS ASSOCIATES

66 CENTRAL STREET STE. 2
WELLESLEY, MA 02482
(781) 431-7400
WWW.KRAUSAB.COM

RIGHTS RESERVED. NO USE OR
PRODUCTION OF THIS MATERIAL IS PERMITTED
WITHOUT WRITTEN CONSENT.

NOT SCALE THE DRAWINGS. USE ALL
DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON
& NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

JECT NAME:

FERRANTE RESIDENCE

14 OXBOW RD,
WELLESLEY, MA 02481

SHEET INDEX		
DWG #:	DRAWING TITLE	ISSUE DATES
		PROGRESS SET
T1.0	TITLE SHEET	X
EC1.1	EXISTING FLOOR PLANS AND ELEVATIONS WITH DEMOLITION SHOWN	X
A1.1	FLOOR PLANS & INTERIOR VIEWS	X
A1.2	STRUCTURAL NOTES & FRAMING PLANS	X
A2.1	ELEVATIONS, EXTERIOR VIEWS & WINDOW SCHEDULE	X

WING NAME:

TITLE SHEET

E:	12.22.25
JECT NO:	25037
LE:	12" = 1'-0"
WN & CHECKED BY:	EB/CK

WING NO:

T1.1



KRAUS ASSOCIATES

66 CENTRAL STREET STE. 2
WELLESLEY, MA 02482
(781) 431-7400
WWW.KRAUSAB.COM

RIGHTS RESERVED. NO USE OR
PRODUCTION OF THIS MATERIAL IS PERMITTED
WITHOUT WRITTEN CONSENT.

NOT SCALE THE DRAWINGS. USE ALL
DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON
SITE & NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

OBJECT NAME:

FERRANTE RESIDENCE

14 OXBOW RD,
WELLESLEY, MA 02481

OWNING NAME:

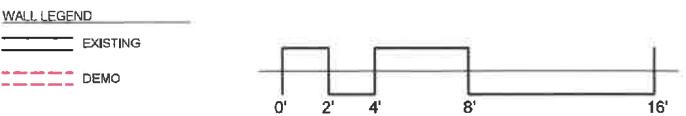
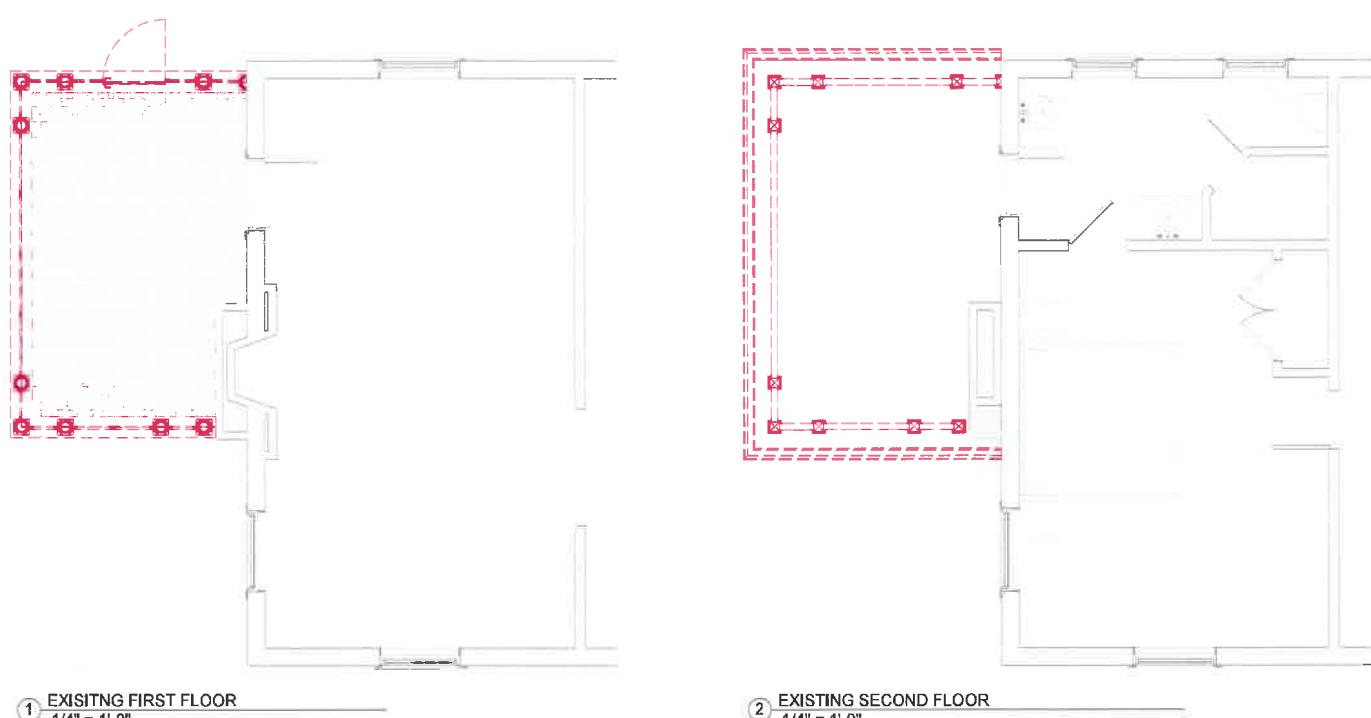
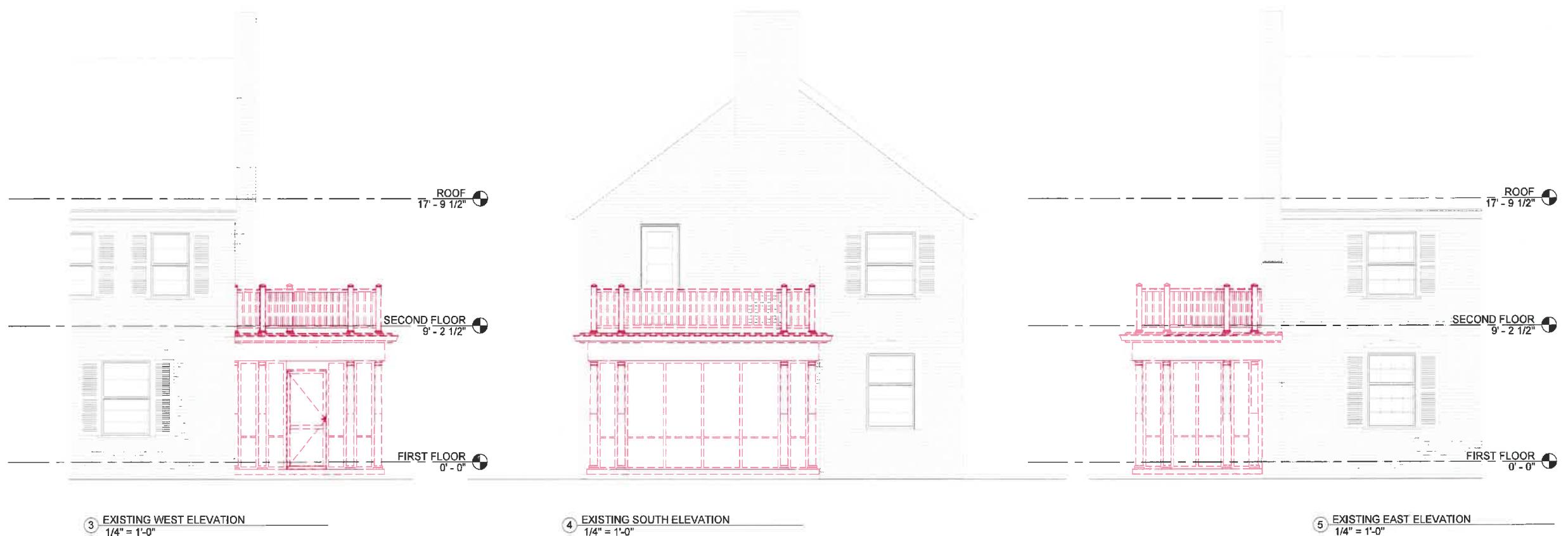
EXISTING FLOOR PLANS
AND EXTERIOR
ELEVATIONS WITH
DEMOLITION SHOWN

DATE:	12.22.25
OBJECT NO.:	25037
SCALE:	1/4" = 1'-0"
AWN & CHECKED BY:	EB/CK

DRAWING NO:

EC1.1

112/22/2025 3:35:21 PM





KRAUS ASSOCIATES

66 CENTRAL STREET STE. 2
WELLESLEY, MA 02482
(781) 431-7400
WWW.KRAUSAB.COM

ALL RIGHTS RESERVED. NO USE OR
REPRODUCTION OF THIS MATERIAL IS PERMITTED
WITHOUT WRITTEN CONSENT.

DO NOT SCALE THE DRAWINGS. USE ALL DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON SITE & NOTIFY ARCHITECT OF ANY DISCREPANCIES.

PROJECT NAME:

FERRANTE RESIDENCE

14 OXBOW RD,
WELLESLEY, MA 02481

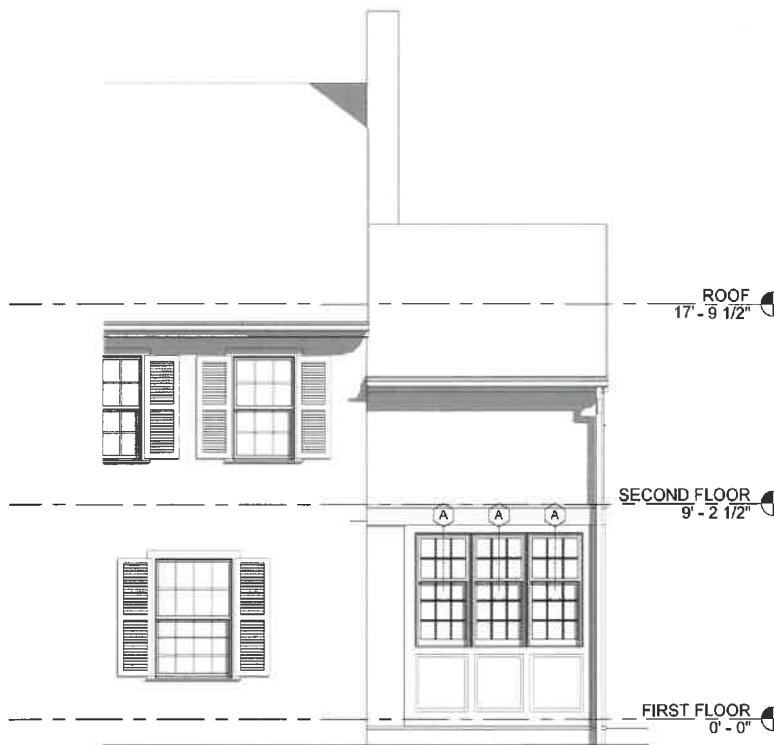
WINDOW SCHEDULE				
MARK	ROUGH OPENING		MODEL	NOTES
	WIDTH	HEIGHT		
A	2' - 5 3/4"	4' - 11 3/4"	Reserve Double Hung	2859 Factory Mulled
B	2' - 9 3/4"	4' - 11 3/4"	Reserve Double Hung	3350 Factory Mulled
C	2' - 5 3/4"	4' - 5 3/4"	Reserve Double Hung	2953



5 BACK RIGHT PERSPECTIVE
12" = 1'-0"



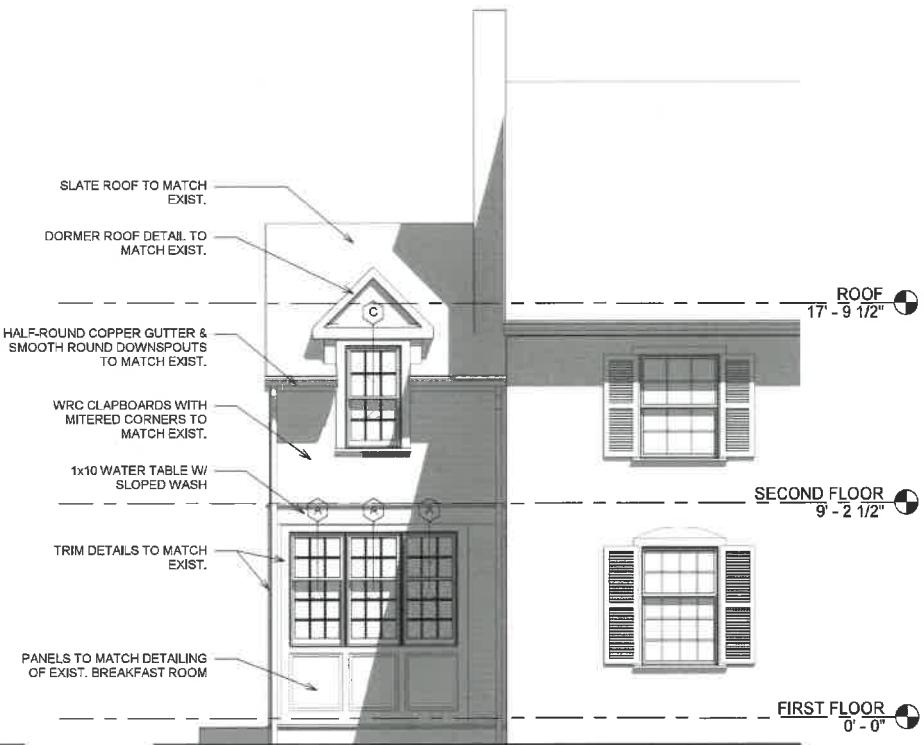
4 FRONT LEFT PERSPECTIVE
12" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"

DRAWING NAME: **ELEVATIONS, EXTERIOR VIEWS & WINDOW SCHEDULE**

DATE:	12.22.25
PROJECT NO.:	25037
SCALE:	As indicated
DRAWN & CHECKED BY:	EB/CK
DRAWING NO.:	

A2.1

GENERAL

USE STRUCTURAL DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. COORDINATE ALL STRUCTURAL WORK WITH THE WORK SHOWN ON ARCHITECTURAL DRAWINGS AND WITH THE WORK OF OTHER TRADES, INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, AND WITH SITE DRAWINGS. CONSULT THESE DRAWINGS AND COORDINATE WITH OTHER TRADES FOR LOCATIONS AND DIMENSIONS OF PIPES, OPENINGS, CHASSES, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.

FASTENERS UTILIZED FOR FRAMING CONNECTORS SHALL BE THE TYPE, SIZE, AND QUANTITY SPECIFIED IN THE FRAMING CONNECTOR MANUFACTURER'S CATALOG.

ALL OTHER FASTENERS SHALL BE COMMON NAILS AS INDICATED OR IN ACCORDANCE WITH THE CODE FASTENER SCHEDULES WHERE NOT INDICATED. IF THE CONTRACTOR PROPOSES TO UTILIZE NAIL GUN FASTENERS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE DOCUMENTATION CONCERNING THE SUITABILITY OF THE PROPOSED FASTENERS AS SUBSTITUTES FOR COMMON NAILS.

FOR ELEMENTS NOT INCLUDED AS PART OF THIS PACKAGE, ALL WORK SHALL CONFORM TO THE IRC AS AMENDED.

DIMENSIONS SHOWN ARE FOR DESIGN PURPOSES ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS. WHERE APPLICABLE COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH EXISTING CONDITIONS.

THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING AND FOR CONSTRUCTION SITE SAFETY.

THE WORK SHALL COMPLY WITH ALL LOCAL PERMIT APPROVAL DOCUMENTS, BYLAWS, ZONING REGULATIONS, AND CONSERVATION COMMISSION ORDER OF CONDITIONS, AS APPLICABLE.

CODE

THE INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS (IRC 2021)

THE MASSACHUSETTS RESIDENTIAL CODE (780 CMR 51.00) TENTH EDITION (MA AMENDMENTS TO THE IRC)

MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE 7-05

BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 318 (FOR NON-PREScriptive FOUNDATION DESIGN)

WOOD FRAME CONSTRUCTION MANUAL FOR ONE- AND TWO-FAMILY DWELLINGS, WFCM

LIVE LOADS

BASIC WIND SPEED: 100 MPH (MASS AMENDMENTS)

WIND EXPOSURE CATEGORY: B

GROUND SNOW LOAD: 35 PSF (MASS AMENDMENTS)

LIVING AREAS: 40 PSF

SLEEPING AREAS: 30 PSF

ATTICS WITH FIXED STAIR ACCESS: 30 PSF

ATTIC WITH STORAGE AND NO FIXED STAIR: 20 PSF

ATTIC WITHOUT STORAGE: 10 PSF (LESS THAN 42" VERTICAL CLEARANCE)

PORCHES AND DECKS: 40 PSF

BALCONIES: 40 PSF

DIMENSION LUMBER

ALL INTERIOR OR OTHERWISE PROTECTED DIMENSION LUMBER SHALL BE SPRUCE-PINE-FIR (SPF) GRADE NO. 2 OR BETTER FOR RAFTERS, JOISTS, AND Headers, AND STUD GRADE FOR STUDS, UNLESS NOTED OTHERWISE.

DIMENSION LUMBER FOR THE FOLLOWING LOCATIONS SHALL BE PRESSURE PRESERVATIVE-TREATED SOUTHERN PINE #2 OR BETTER.

- PORCHES, DECKS, AND OTHER FRAMING EXPOSED TO THE WEATHER
- INTERIOR WOOD JOISTS WITHIN 12' OF EXPOSED GROUND
- INTERIOR TIMBER OR BUILT-UP BEAMS WITHIN 12' OF EXPOSED GROUND
- SILL PLATES
- ALL FRAMING MEMBERS SUPPORTED ON CONCRETE OR MASONRY EXTERIOR FOUNDATIONS LESS THAN 8' FROM EXPOSED GROUND
- ALL WALL FRAMING AND SHEATHING LESS THAN 6' FROM EXPOSED GROUND
- TIMBER OR BUILT-UP BEAMS IN CONCRETE OR MASONRY BEARING POCKETS WITH LESS THAN 1/2" CLEARANCE AT TOP, SIDES, AND ENDS
- WOOD FRAMING AND SHEATHING SUPPORTING CONCRETE OR TILE OVERLAYS EXPOSED TO THE WEATHER
- INTERIOR WOOD LEDGERS FASTENED TO CONCRETE OR MASONRY WALLS

ALL WOOD IN CONTACT WITH THE GROUND SHALL BE RATED AS SUCH.

ALL DIMENSION LUMBER SHALL BE IDENTIFIED BY THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY.

LUMBER SHALL BE GENERALLY FREE FROM SPLITS & WARPAGE THAT CANNOT BE CORRECTED BY BRIDGING OR NAILING. MOISTURE CONTENT OF LUMBER SHALL NOT EXCEED 19% AT THE TIME OF CONSTRUCTION.

LAMINATED VENEER LUMBER (LVL)

LAMINATED VENEER LUMBER SHALL BE 2.0E VERSA-LAM LVL BY BOISE CASCADE, OR APPROVED EQUAL, UNLESS OTHERWISE INDICATED.

PARALLEL STRAND LUMBER (PSL)

PARALLEL STRAND LUMBER SHALL BE 2.0E VERSA-LAM PSL BY BOISE CASCADE, OR APPROVED EQUAL, UNLESS OTHERWISE INDICATED.

sheathing

ALL ROOF, FLOOR, AND WALL PANELS SHALL BE APA RATED EXPOSURE 1 SHEATHING COMPLYING WITH DOC PS 1 AND PS 2.

FULL 4X8 PANELS SHALL BE USED TO THE MAXIMUM EXTENT PRACTICABLE.

FLOOR SHEATHING (GENERAL)

MINIMUM SPAN RATING: 32/16

MINIMUM THICKNESS: 3/4 IN

GLUED AND NAILED WITH TONGUE AND GROOVE JOINTS

FASTENERS: 8d COMMON AT 6" OC ALONG SUPPORTED EDGES AND 12" OC

INTERMEDIATE

NOTE: USE APA RATED STURD-I-FLOOR OR ADVANTECH IF SPECIFIED ON

ARCHITECTURAL DRAWINGS

FLOOR SHEATHING (BLOCKED STRUCTURAL DIAPHRAGM, WHERE INDICATED)

MINIMUM SPAN RATING: 32/16

MINIMUM THICKNESS: 3/4 IN

GLUED AND NAILED WITH TONGUE AND GROOVE JOINTS

FASTENERS: 8d COMMON AT 6" OC ALONG SUPPORTED EDGES AND 12" OC

INTERMEDIATE

ALL SHEATHING EDGES SHALL BE SUPPORTED; PROVIDE 2x SOLID BLOCKING

AS REQUIRED

NOTE: USE APA RATED STURD-I-FLOOR OR ADVANTECH IF SPECIFIED ON

ARCHITECTURAL DRAWINGS

ROOF SHEATHING (100 MPH)

MINIMUM SPAN RATING: 32/16

MINIMUM THICKNESS: 9/16 IN

FASTENERS: 8d COMMON AT 6" OC ALONG SUPPORTED EDGES AND 6" OC

INTERMEDIATE

WALL SHEATHING (100 MPH)

MINIMUM THICKNESS: 7/16 IN

FASTENERS: 8d COMMON AT 6" OC ALONG SUPPORTED EDGES AND 12" OC

INTERMEDIATE UNLESS OTHERWISE INDICATED

WALL SHEATHING (SHEAR WALL PANELS)

MINIMUM THICKNESS: 7/16 IN

FASTENERS: 8d COMMON SPACED PER WALL BRACING SCHEDULE ALONG

SUPPORTED EDGES AND 12" OC INTERMEDIATE

ALL PANEL EDGES SHALL BE SUPPORTED; PROVIDE FULL-DEPTH BLOCKING

ALONG ALL HORIZONTAL PANEL EDGES

SEE WALL BRACING SCHEDULE AND WALL SECTIONS FOR ADDITIONAL

REQUIREMENTS

FRAMING INSTALLATION

ALL FRAMING SHALL BE ERECTED TRUE TO LINE, PLUMB AND LEVEL, AND SHALL BE FASTENED/HUNG TO DEVELOP THE FULL STRENGTH OF THE ASSEMBLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

DIMENSION LUMBER JOISTS FRAMING INTO FLUSH STEEL OR LVL BEAMS SHALL BE SET 1/4" ABOVE THE TOP OF BEAM ELEVATION TO ACCOMMODATE SHRINKAGE.

ALL CONTINUOUS POSTS SHALL BE LATERALLY BRACED IN BOTH DIRECTIONS AT EACH FLOOR AND CEILING LEVEL.

ALL ENGINEERED PRODUCTS SHALL BE STORED AND INSTALLED IN ACCORDANCE WITH PRODUCT MANUFACTURERS' SPECIFICATIONS AND INSTALLATION DETAILS. WITH THE EXCEPTION OF MANUFACTURER-PROVIDED KNOCKOUTS, NO HOLES SHALL BE FIELD-DRILLED IN MEMBERS. IF HOLES ARE REQUIRED, NOTIFY THE ARCHITECT PRIOR TO ORDERING AFFECTED MEMBERS.

FLOOR SHEATHING SHALL BE GLUED AND NAILED.

ALL FRAMING IN CONTACT WITH (OR WITHIN 1" OF) MASONRY OR CONCRETE SHALL HAVE A PRESSURE PRESERVATIVE TREATMENT. ALL HARDWARE SHALL BE CORROSION PROTECTED FROM ANY REACTION TO MATERIALS IN CONTACT AS INDICATED ABOVE.

PROVIDE 2X WOOD BLOCKING OR RIM JOIST AT ALL SAWN LUMBER FLOOR JOIST SUPPORT POINTS. FOR SAWN LUMBER JOISTS EXCEEDING 2X12, PROVIDE BLOCKING AT INTERVALS NOT EXCEEDING 8 FT.

PROVIDE BLOCKING OR RIM BOARD AT ALL ENGINEERED FLOOR JOIST SUPPORT POINTS. USE JOIST MANUFACTURER'S PRODUCTS AND COMPLY WITH JOIST MANUFACTURER'S INSTALLATION DETAILS.

PROVIDE DOUBLE FLOOR JOISTS OR BLOCKING BELOW ALL NEW INTERIOR PARTITION WALLS.

PROVIDE DOUBLE FLOOR JOISTS WITHIN LIMITS OF TUBS.

SIZES OF DIMENSION LUMBER ARE NOMINAL. ALL LUMBER SHALL BE SURFACED FOUR SIDES, UNLESS NOTED OTHERWISE.

STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.

NON-CONTINUOUS DIMENSION LUMBER JOISTS EXTENDING OVER LOAD-BEARING PARTITIONS OR BEAMS MAY BE BUTTED OR LAPPED, SUBJECT TO PROVIDING A MINIMUM BEARING LENGTH OF 1-1/2 INCHES. PROVIDE SOLID BLOCKING BETWEEN JOISTS.

ALL BUILT-UP LVL BEAMS SHALL BE ASSEMBLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

INTERIOR WALL FRAMED OPENINGS

AT EACH END OF SAWN LUMBER DOOR AND WINDOW HEADERS, PROVIDE ONE JACK STUD AND ONE KING STUD UNLESS OTHERWISE INDICATED.

AT EACH END OF LVL DOOR AND WINDOW HEADERS, PROVIDE TWO JACK STUDS AND ONE KING UNLESS OTHERWISE INDICATED.

EXTERIOR WALL FRAMED OPENINGS

ALL EXTERIOR HEADERS SHALL BE (3) 2x8, UNLESS OTHERWISE NOTED.

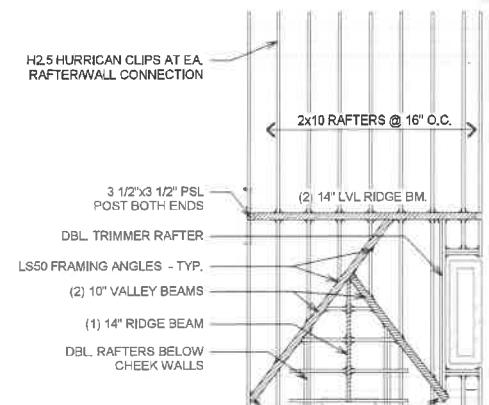
ALL EXTERIOR LOAD BEARING HEADERS SHALL BE (2) 2x8, UNLESS OTHERWISE NOTED.

AT EACH END OF SAWN LUMBER DOOR AND WINDOW HEADERS, PROVIDE ONE JACK STUD AND KING STUDS PER SCHEDULE BELOW, UNLESS OTHERWISE INDICATED.

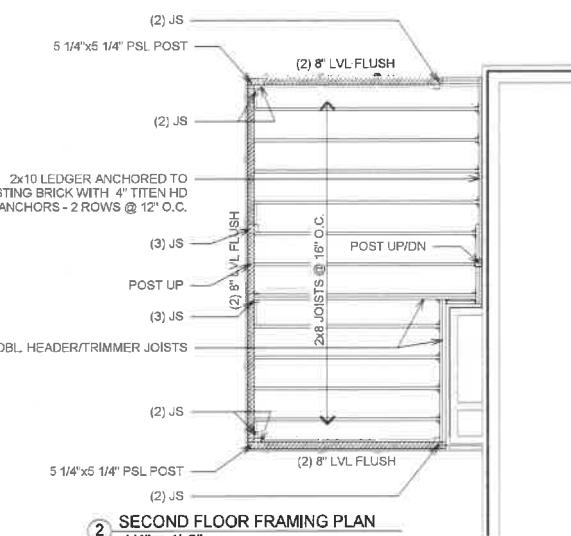
AT EACH END OF LVL DOOR AND WINDOW HEADERS, PROVIDE TWO JACK STUDS AND KING STUDS PER SCHEDULE BELOW, UNLESS OTHERWISE INDICATED.

SCOPE OF STRUCTURAL ENGINEERING SERVICES

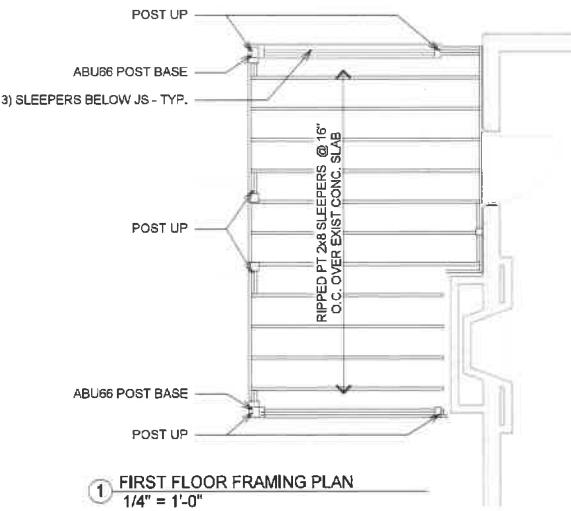
THE ARCHITECT HAS PERFORMED THE STRUCTURAL DESIGN AND PREPARED THE STRUCTURAL WORKING DRAWINGS FOR SPECIFIC ELEMENTS FOR THIS PROJECT. DESIGN IS LIMITED TO ONLY THOSE STRUCTURAL ELEMENTS IDENTIFIED ON THE ENCLOSED DRAWINGS. THE CONSTRUCTION MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE STRUCTURAL DETAILS AND LOCAL CODE REQUIREMENTS. ANY DEVIATION FROM THE DRAWINGS MUST BE APPROVED IN WRITING BY THE ARCHITECT. ANY DISCREPANCY BETWEEN THE STRUCTURAL DRAWINGS AND THE ARCHITECTURAL DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.



③ ROOF FRAMING PLAN
1/4" = 1'-0"



② SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



① FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



PROJECT NAME: FERRANTE RESIDENCE
14 OXBOW RD, WELLESLEY, MA 02481

DRAWING NAME: STRUCTURAL NOTES & FRAMING PLANS
DATE: 12.22.25
PROJECT NO: 25037
SCALE: 1/4" = 1'-0"
DRAWN & CHECKED BY: EB/CK
DRAWING NO: A1.2
TRUE NORTH
12/22/2025 3:35:20 PM

A1.2