

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

J. RANDOLPH BECKER, CHAIRMAN
ROBERT W. LEVY, VICE CHAIRMAN
DAVID G. SHEFFIELD

LENORE R. MAHONEY
Executive Secretary
Telephone
(781) 431-1019 Ext. 2208

WALTER B. ADAMS
DEREK B. REDGATE
PETER COVO

Date:

1/22/26

ZBA:

2026-09

Petition for:	Residential Fee	Commercial & Municipal Fee
Variance	\$200	
Special Permit	\$200	\$500
Special Permit/Findings	<input checked="" type="checkbox"/> \$200	
Special Permit Renewals	\$150	
Signs		\$300
Site Plan Approval without PSI		\$2,000 & Fire Department Consulting Fee
Site Plan Approval with PSI		\$3,500
Appeals	\$200	\$300
Comprehensive Permit		\$750
Publication & Mailing Fees/All Petitions	\$25	\$25
Petitioner assumes all costs for Peer Review		

Property Location:

14 Ox Bow Road

Zoning District:

SR20

Property located in a:

Historic District

☐

Yes

☒

No

Wetlands Protection Area

☐
☒

Water Supply Protection District

☐
☒

Prior Zoning Decisions:

Special Permit/Finding:

ZBA 2018-73/2023-21

Variance:

Applicable Section(s) of the Zoning Bylaw:

5.1 and 6.3

Explanation of Request:

We would like to take an existing screen porch and turn into an office, given there is no existing office space in the home. We would also like the addition of a walk-in closet above the existing porch space.

Requested Relief:

☒

Lot Area

☐

Lot Coverage

☒

Front Yard Depth (Street Setback)

☐

Frontage

Side Yard Width (Side Line Setback)

☐

Front Yard Width

Rear Yard Depth (Rear Line Setback)

Other

OWNER OF PROPERTY/PETITIONER:

Michael and Nicole Ferrante

MAILING ADDRESS:

14 Ox Bow Rd Wellesley, MA 02481

PHONE:

WORK:

(617) 375-8822

HOME:

(781) 223-8356

SIGNATURE OF OWNER:

AGENT FOR PETITIONER (PLEASE PRINT):

MAILING ADDRESS:

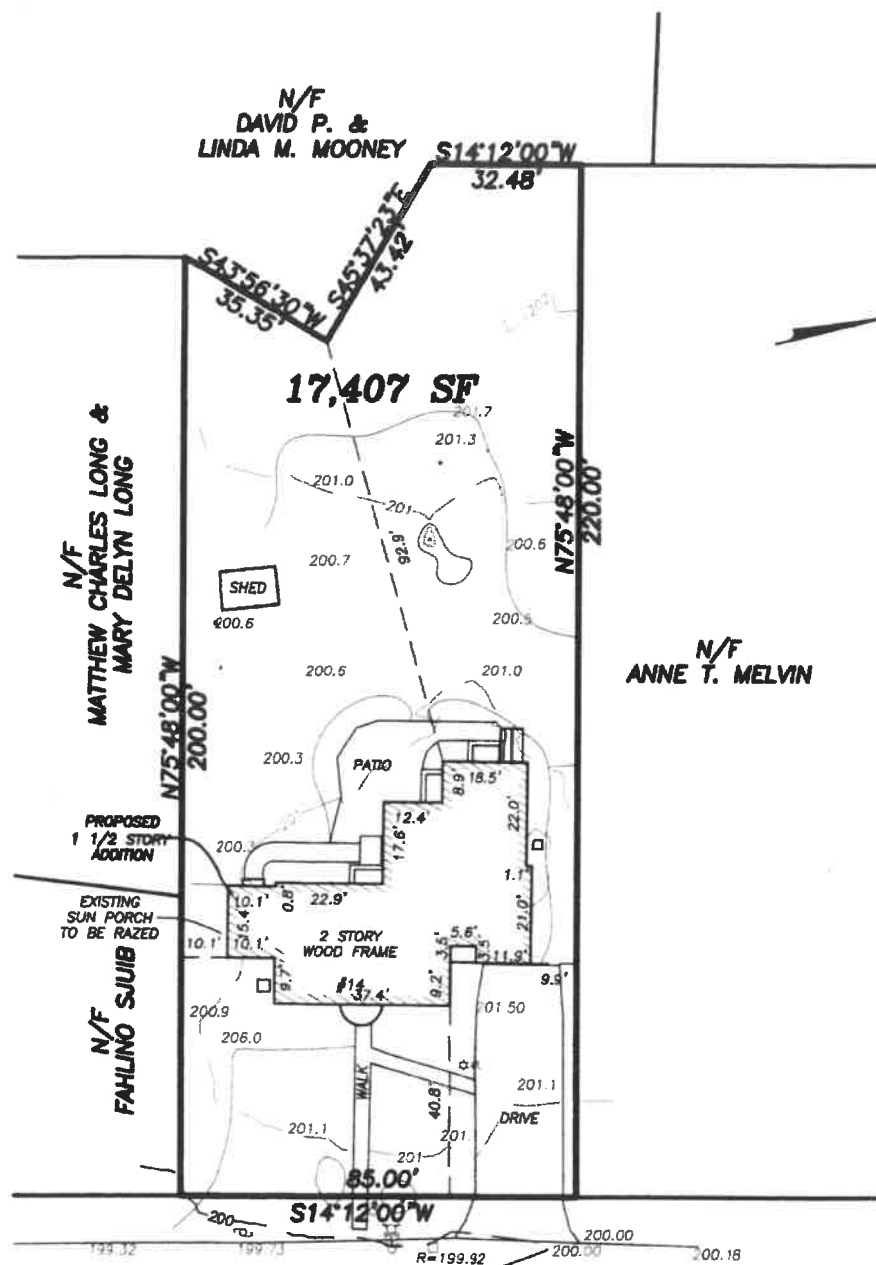
PHONE:

WORK:

HOME:

EMAIL:

mferrante11@gmail.com



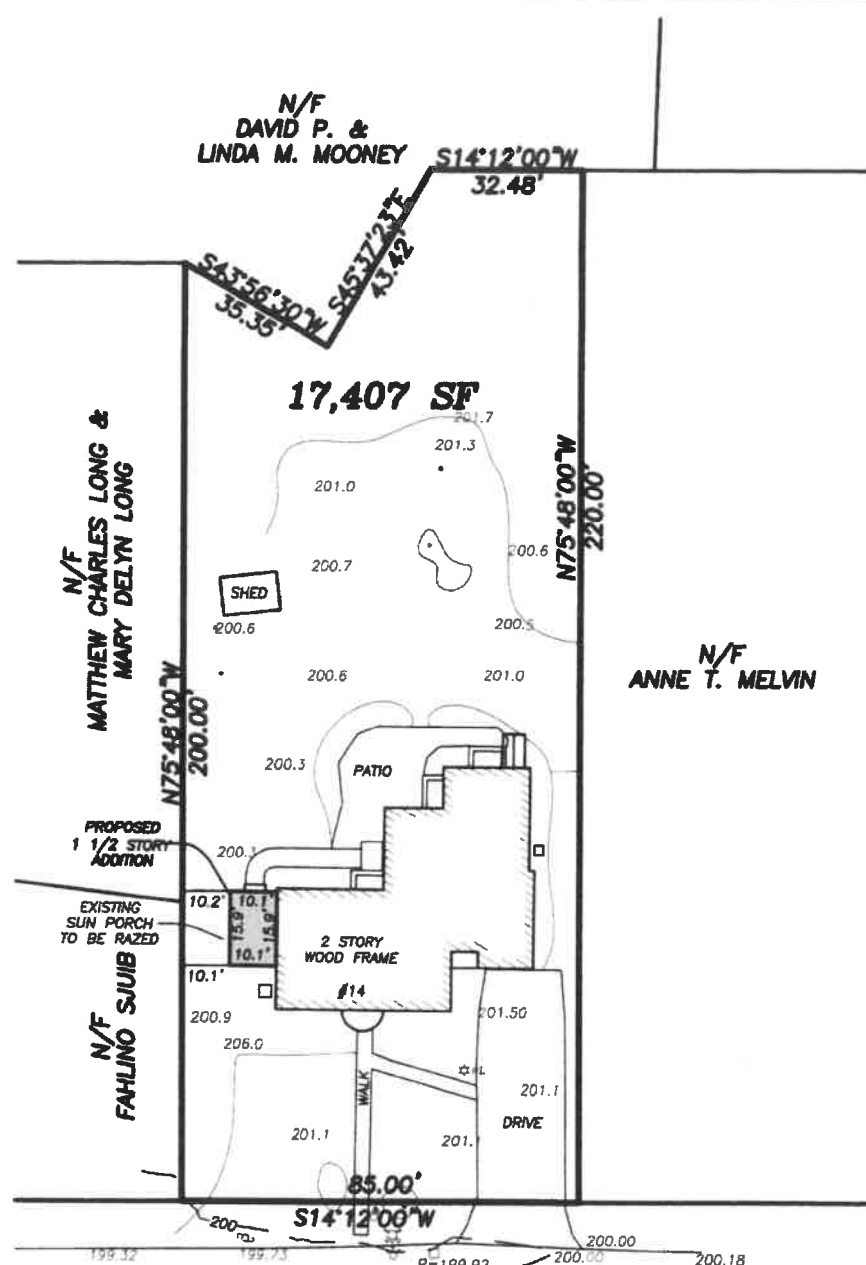
OX BOW ROAD

EXISTING SITE PLAN

ZONING INFORMATION: SINGLE RESIDENCE 20 (SR20)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 SF	17,407 SF	17,407 SF
MINIMUM LOT FRONTAGE	60 FEET	85.00 FEET	85.00 FEET
MINIMUM FRONT SETBACK	30 FEET	41.1 FEET	41.1 FEET
MINIMUM SIDE YARD	20 FEET	9.9 FEET	9.9 FEET
		10.1 FEET	10.1 FEET
MINIMUM REAR YARD	20 FEET	92.9 FEET	92.9 FEET
MAXIMUM BUILDING COVERAGE	20%	13.0%(2264 SF)	13.0%(2269 SF)
MAXIMUM BUILDING HEIGHT	36 FEET		NO CHANGE
MAXIMUM BUILDING HEIGHT	2 1/2 STORIES	2 STORIES	2 STORIES

189-97



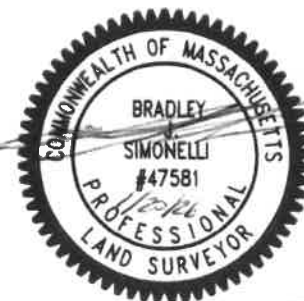
OX BOW ROAD

PROPOSED SITE PLAN

TOWN OF WELLESLEY
MAP 61 PARCEL 7

NORFOLK COUNTY
REGISTRY OF DEEDS
BOOK 31700 PAGE 238

OWNER/APPLICANT:
MICHAEL R. & NICOLE D. FERRANTE



REVISED:

ZONING BOARD OF APPEALS
PLAN OF LAND
14 OX BOW ROAD
WELLESLEY, MASS.

Field Resources, Inc.
LAND SURVEYORS

JANUARY 20, 2026 SCALE 1"=40'
P.O. BOX 324 281 CHESTNUT ST.
AUBURN, MA NEEDHAM, MA.
508 832 4332 781 444 5936
fieldresources@hotmail.com

GENERAL CONDITIONS
Temporary Utilities During Construction
Temporary Toilet
Dumpsters and Clean-up
Worker's Compensation and Liability Insurance
Permits and Fees
All Work to be Performed in Accordance with all Local Codes/Ordinances

CONCRETE & MASONRY
Existing Conc. Foundation and Slab to Remain - Verify Condition/Depth

METAL
5" Copper Half-Round Gutters and 3" Smooth Round Downspouts to Match Existing

THERMAL AND MOISTURE PROTECTION
 Min. R-30 Closed-Cell Spray Foam Insul. @ All Above Grade Exterior Walls
 Min. R-10 Continuous Insul. Board Over Slab (Below Sleeper Framing)
 Min. 4" Closed-Cell Spray Foam Insul. @ New First Floor Sleeper Framing
 Min. R-49 Closed-Cell Spray Foam Insul. @ Entire Roof
 Min. R-30 Spray Foam Insul. at All Joist Blockers and Overhangs
 Slate Roof @ New Addition to Match Existing w/Copper Flashing at Brick
 Ice and Water Barrier @ Entire New Roof
 Self-Adhered Flashing and Sill Pan Flashing at Windows per Window Manufacturer Rec.

FINISHES
Gypsum Veneer Plaster on 1/2" Blueboard @ All New & Affected Areas - Smooth Finish Throughout
Benjamin Moore Primer & Two Coats 'Regal Select' Finish Paint @ All New & Affected Interior Surfaces
Benjamin Moore Primer & Two Coats 'Advance' Finish @ All New & Affected Interior Trim
Benjamin Moore Primer & Two Coats Flat Ceiling Paint @ All New & Affected Ceilings

ELECTRICAL
All Power/Lighting per Code
Recessed Lighting
Cable TV & Ethernet Connection in New Office

PROJECT DESCRIPTION: ADDITION/ALTERATIONS TO AN EXIST. SINGLE FAMILY RESIDENCE
BUILDING TYPE: DETACHED SINGLE-FAMILY DWELLING
BUILDING CODE REFERENCES: MASS. ONE & TWO FAMILY DWELLING CODE - 10TH ED.
IECC 2021 ENERGY CODE WITH MASS. AMENDMENTS

SHEET INDEX		
DWG #:	DRAWING TITLE	ISSUE DATES
		PROGRESS SET 2025.12.19
T1.0	TITLE SHEET	X
EC1.1	EXISTING FLOOR PLANS AND ELEVATIONS WITH DEMOLITION SHOWN	X
A1.1	FLOOR PLANS & INTERIOR VIEWS	X
A1.2	STRUCTURAL NOTES & FRAMING PLANS	X
A2.1	ELEVATIONS, EXTERIOR VIEWS & WINDOW SCHEDULE	X



PROPOSED ADDITION & ALTERATIONS AT:
14 OX BOW RD WELLESLEY, MA



66 CENTRAL STREET STE. 2
WELLESLEY, MA 02482
(781) 431-7400
WWW.KRAUSAB.COM

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DO NOT SCALE THE DRAWINGS. USE ALL
DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON
SITE & NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

[illegible]

PROJECT NAME:

FERRANTE RESIDENCE

14 OXBOW RD,
WELLESLEY, MA 02481

DRAWING NAME:

TITLE SHEET

DATE:	12.22.25
PROJECT NO:	25037
SCALE:	12" = 1'-0"
DRAWN & CHECKED BY:	EB/CK

DRAWING NO:

T1.1



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No.	Date	Description

PROJECT NAME:

FERRANTE RESIDENCE

**14 OXBOW RD,
WELLESLEY, MA 02481**

DRAWING NAME:

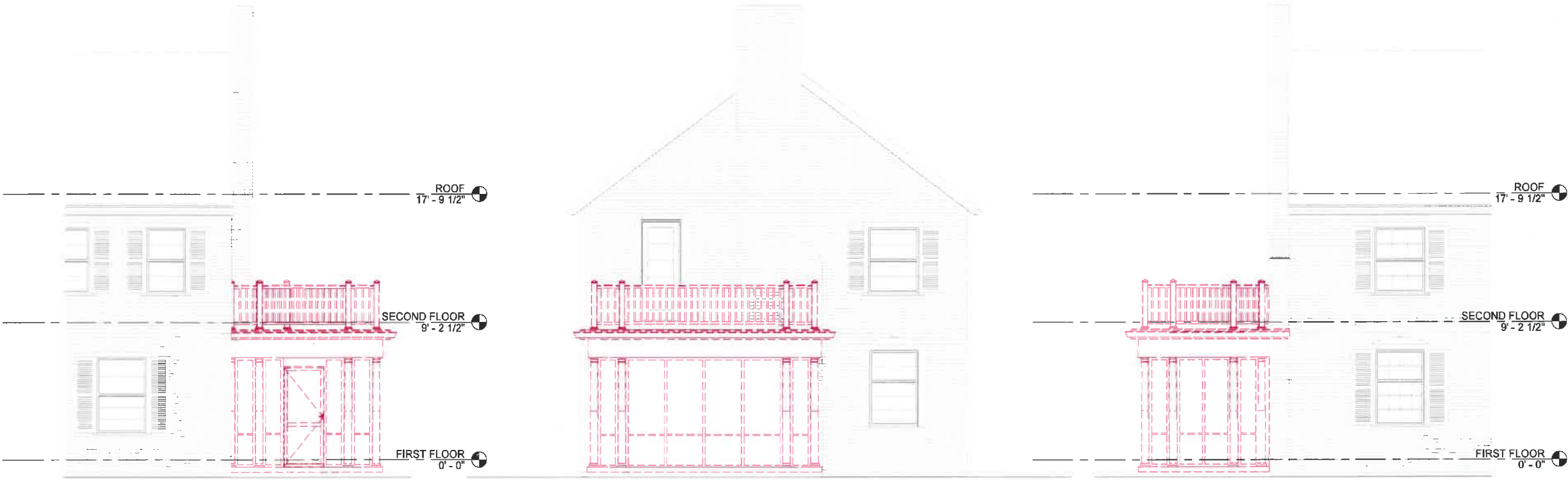
**EXISTING FLOOR PLANS
AND EXTERIOR
ELEVATIONS WITH
DEMOLITION SHOWN**

DATE:	12.22.25
PROJECT NO:	25037
SCALE:	1/4" = 1'-0"
DRAWN & CHECKED BY:	EB/CK

DRAWING NO:

EC1.1

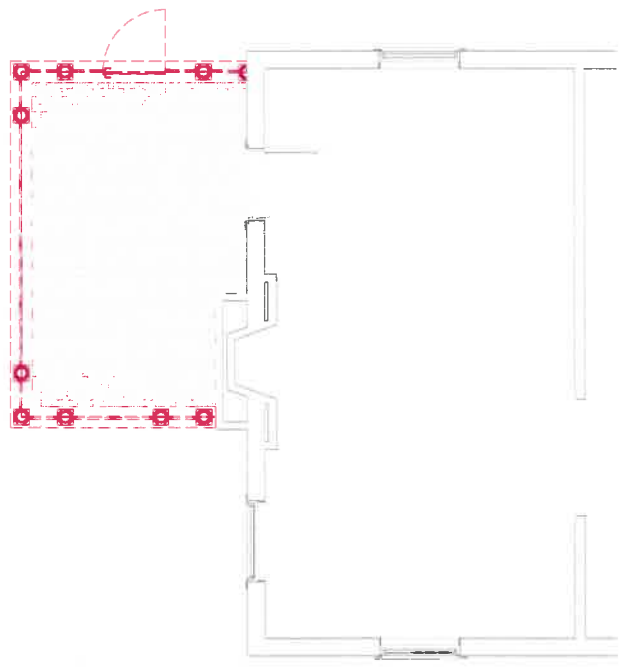
12/22/2025 3:35:21 PM



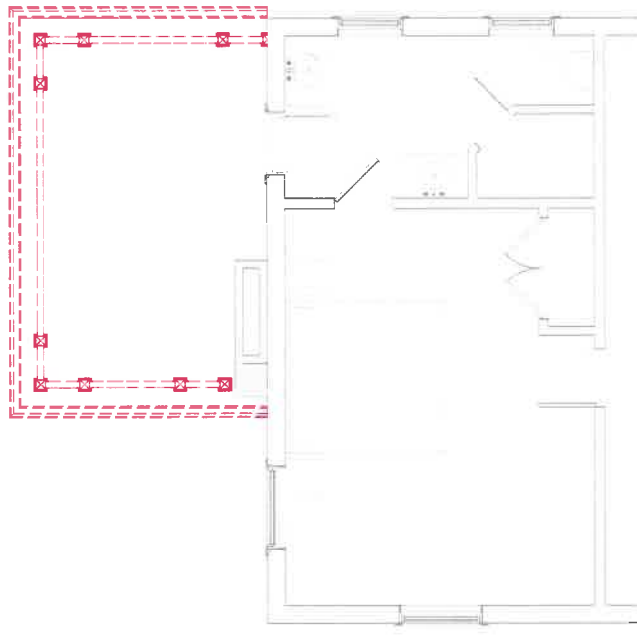
3 EXISTING WEST ELEVATION
1/4" = 1'-0"

4 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

5 EXISTING EAST ELEVATION
1/4" = 1'-0"

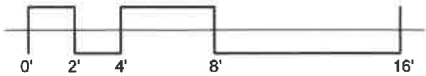


1 EXISTING FIRST FLOOR
1/4" = 1'-0"



2 EXISTING SECOND FLOOR
1/4" = 1'-0"

WALL LEGEND
—— EXISTING
- - - DEMO



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[illegible]

PROJECT NAME:

FERRANTE RESIDENCE

14 OXBOW RD,
WELLESLEY, MA 02481

DRAWING NAME:

FLOOR PLANS & INTERIOR VIEWS

DATE:	12.22.25
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PROJECT NO:	25037
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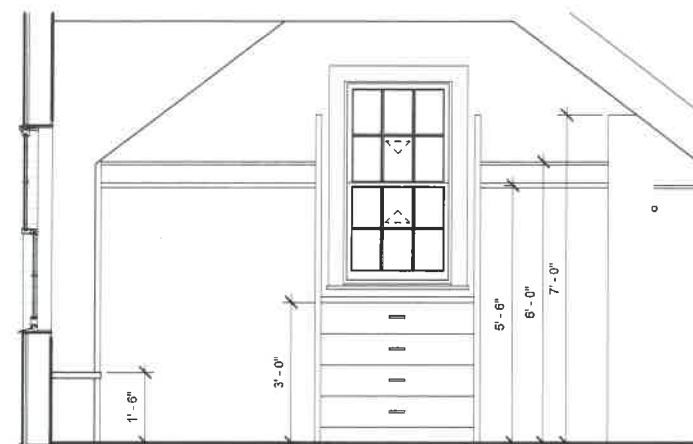
SCALE:	As indicated
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DRAWN & CHECKED BY:	FB/CK
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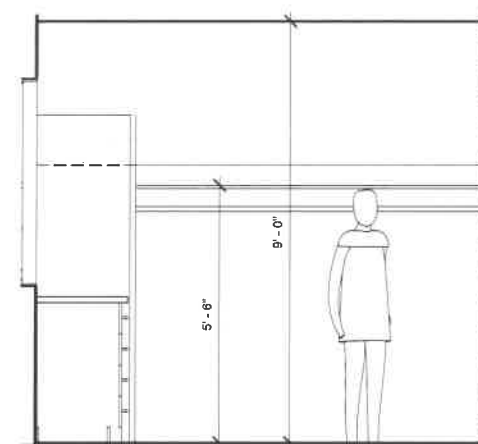
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A1.1

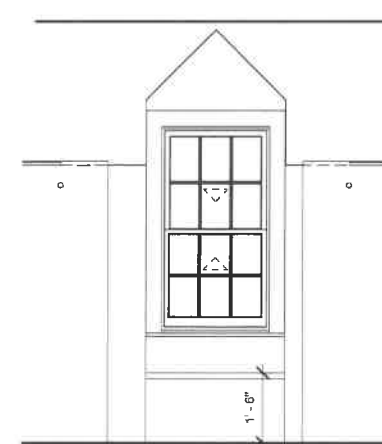
11



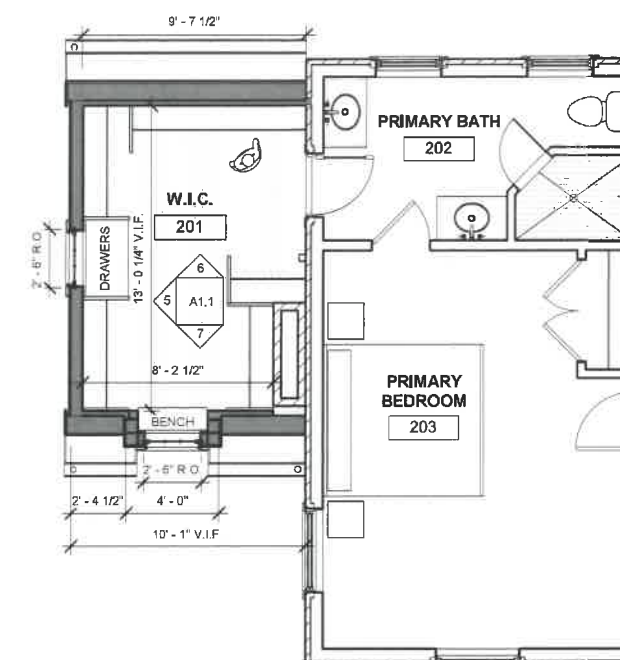
⑤ Elevation 1 - a
 $1/2" = 1'-0"$



⑥ Elevation 1 - b
 $1/2" = 1'-0"$



⑦ Elevation 1 - c
 $1/2" = 1'-0"$



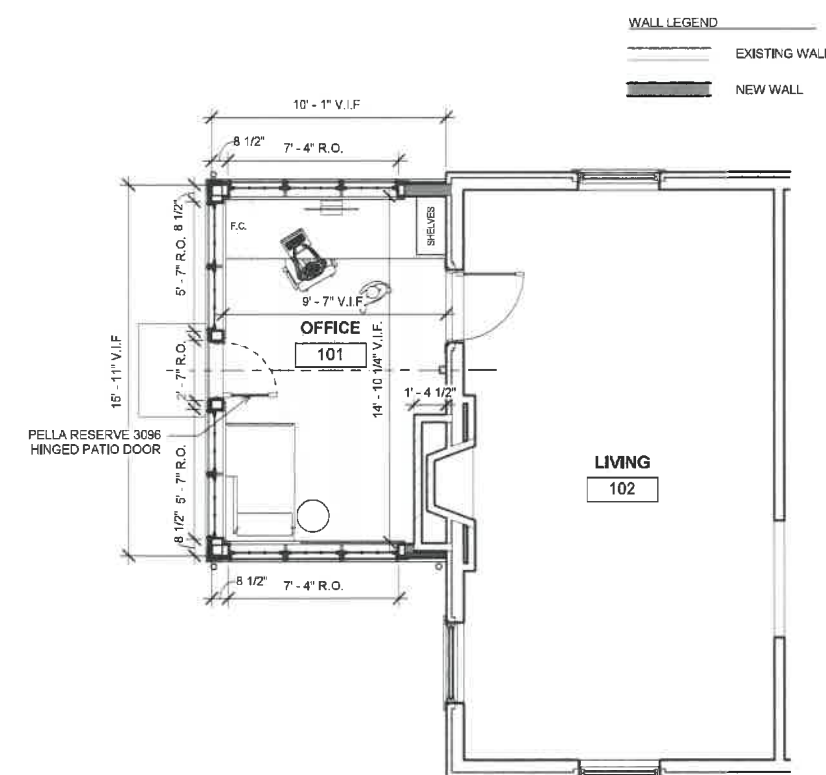
④ SECOND FLOOR
1/4" = 1'-0"



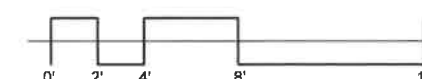
② OFFICE VIEW 1
12" = 1'-0"



③ OFFICE VIEW 2
12" = 1'-0"



① FIRST FLOOR
1/4" = 1'-0"



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[illegible]

PROJECT NAME:

FERRANTE RESIDENCE

14 OXBOW RD,
WELLESLEY, MA 02481

DRAWING NAME:

ELEVATIONS, EXTERIOR VIEWS & WINDOW SCHEDULE

DATE:	12.22.25
PROJECT NO:	25037
SCALE:	As indicated
DRAWN & CHECKED BY:	EB/CK
DRAWING NO:	

A2.1

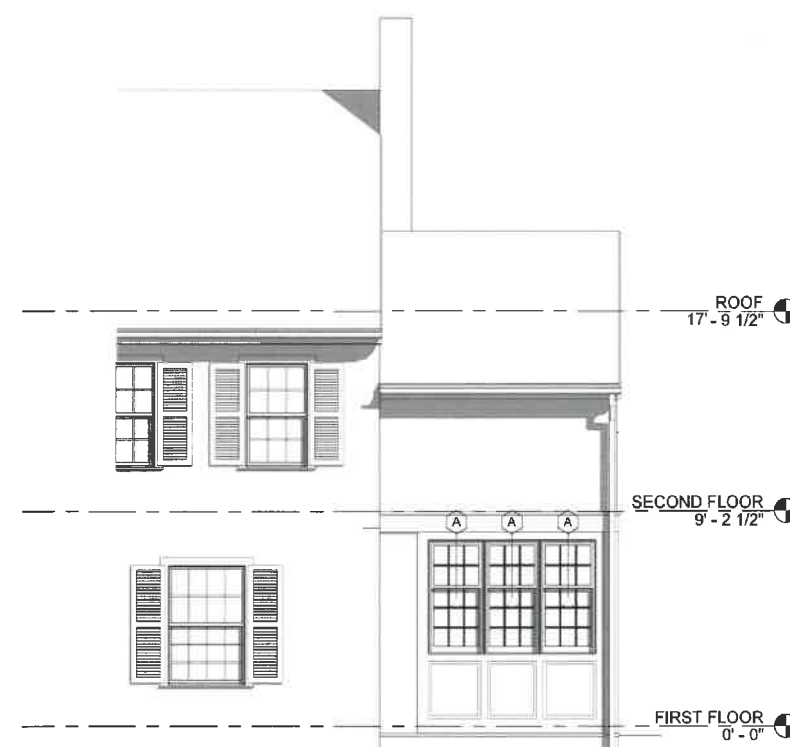


5 BACK RIGHT PERSPECTIVE
12" = 1'-0"



4 FRONT LEFT PERSPECTIVE
12" = 1'-0"

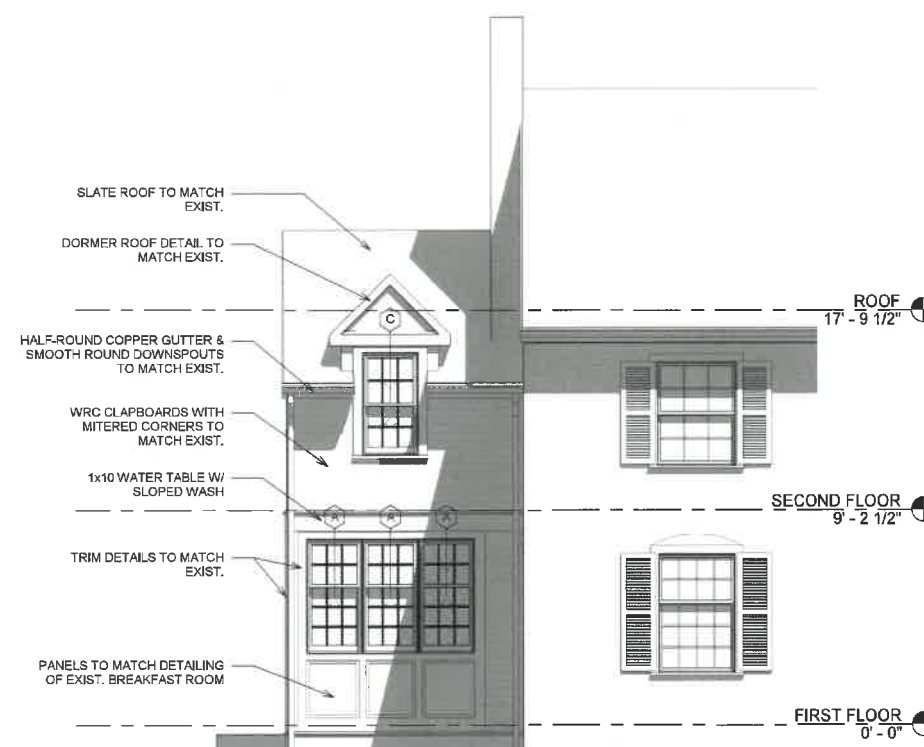
WINDOW SCHEDULE				
MARK	ROUGH OPENING		MODEL	NOTES
	WIDTH	HEIGHT		
A	2' - 5 3/4"	4' - 11 3/4"	Reserve Double Hung	2559 Factory Mull'd
B	2' - 9 3/4"	4' - 11 3/4"	Reserve Double Hung	3359 Factory Mull'd
C	2' - 5 3/4"	4' - 5 3/4"	Reserve Double Hung	2553



1 WEST ELEVATION
1/4" = 1'-0"



② SOUTH ELEVATION
1/4" = 1'-0"



③ EAST ELEVATION
1/4" = 1'-0"

