



**Brian Charles Alim, Inc.**  
**Architectural Design Services**  
4 Spaulding Road  
Georgetown, MA 01833  
Phone: 781-727-1906  
Email: briancharlesalim@gmail.com

Dated: 1.7.26

Wellesley Zoning Board of Appeals  
888 Worcester Street  
Suite 160  
Wellesley, MA 02482  
Phone: (781) 431-1019, ext. 2208

Re: 36 Laurel Road – Wellesley, MA - Special Permit Application (Non-conforming lot)

**To: Zoning Board of Appeals Committee**

The residential home at 36 Laurel Avenue is an existing non-conforming lot on the front (West) and right (South) lot sides. The new second floor addition built off the rear and right side of the home looks to replace the lower height rear shed roof and replace it with a new gable roof for a new primary bedroom suite.

The new proposed primary bedroom suite addition would be built in-line with the existing first and second floor massing walls and only the new gable roof soffit would project further into the right (South) side yard building envelope setback. The projection of the new gable roof soffit grows 1'-0" into the side yard to match the existing homes typical rake and soffit details.

We ask the board for approval of a "special permit" on the right (South) side yard given the minimal impact of the new gable roof addition. The new addition would seamlessly blend with the existing site and neighborhood and not result in an undesirable change.

We appreciate your valued input on this proposed new primary bedroom suite addition.

Brian Charles Alim



# PROPOSED PLOT PLAN 36 LAUREL AVENUE WELLESLEY, MASS.

DATE: JANUARY 7, 2026

SCALE: 1" = 20'

PREPARED FOR:

PATRICK & CAITLIN DOLAN  
36 LAUREL AVENUE  
WELLESLEY, MASS. 02481

ENGINEERS & SURVEYORS:

APPLEWOOD SURVEY CO. LLC  
838 WASHINGTON STREET  
HOLLISTON, MASS. 01746  
TERRENCE M. RYAN R.L.S. 37057

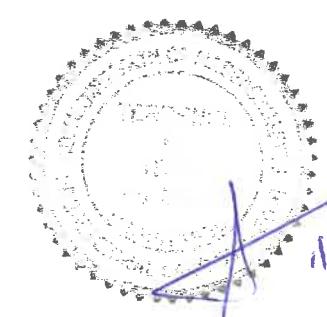
ZONED: SINGLE RES.  
AREA: 10,000 SF  
FRONTAGE: 60 FT  
SETBACK: 30 FT\*  
SIDEYARD: 20 FT  
REARYARD: 20 FT\*\*  
COVERAGE: 2,500 SF

\* SUBJECT TO 500' RULE

\*\* PER ZONING SECTION 5.3.B

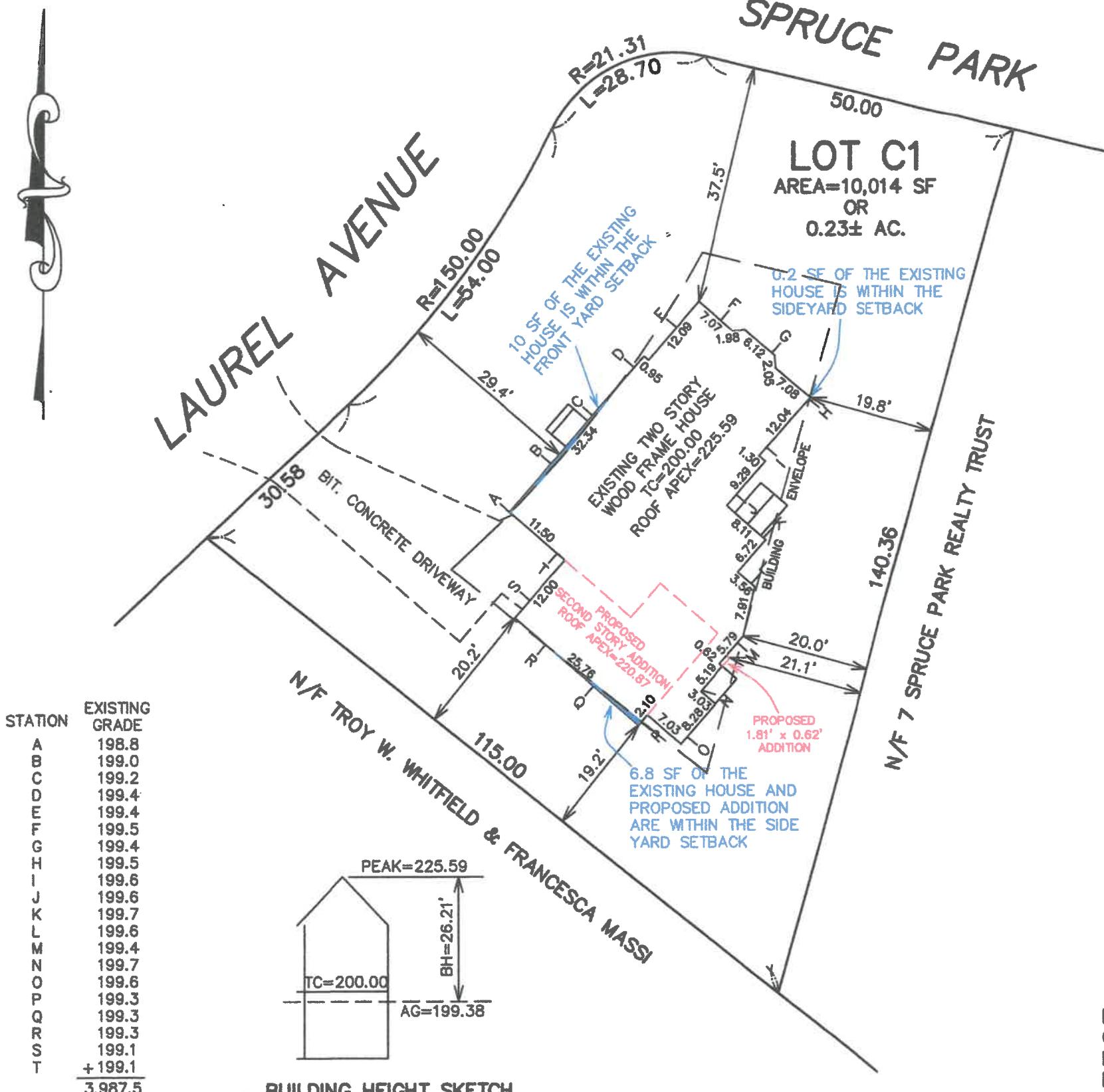
LAND COURT CERT. #209906  
ASSESSORS MAP 75 LOT 77  
EXISTING COVERAGE: 1,827 SF = 18.2%  
PROPOSED COVERAGE: 1,828 SF = 18.2%

THE LOT WAS CREATED IN 1936.  
THE HOUSE WAS BUILT IN 1937.  
ALL ELEVATIONS SHOWN REFER TO ASSUMED DATUM.



I CERTIFY THAT THE LOT SHOWN CONFORMS TO THE DIMENSIONAL REGULATIONS  
OF THE WELLESLEY ZONING BYLAWS AND THE EXISTING HOUSE SHOWN THEREON  
PREDATES THE DIMENSIONAL OFFSET REGULATIONS OF THE WELLESLEY ZONING  
BYLAWS.

I CERTIFY THAT THE LOT SHOWN AND EXISTING HOUSE SHOWN THEREON ARE  
LOCATED IN A FEDERAL FLOOD HAZARD ZONE "X" - SUBJECT TO MINIMAL  
FLOODING (SOURCE: F.I.R.M. 25021C0017F).



Project Owner  
Mr. Patrick & Mrs. Caitlin Dolan  
36 Laurel Avenue  
Wellesley, MA 02481

Architectural Designer  
Brian Charles Alim, Inc.  
4 Spaulding Road  
Georgetown, MA 01833  
Email: briancharlesalim@gmail.com  
Website: www.briancharlesalim.com  
Phone: 781.727.1906

Structural Engineer  
Cowen Associates  
29 Vesta Road, Natick, MA 01760  
Phone: 508.655-3976  
Email: fred@cowenassoc.com  
Website: cowenassoc.com

General Contractor  
Sandro Contracting  
162 Chestnut Street, Everett, MA 02149  
Phone: (617) 878-1731  
Email: Sandroscontracting@gmail.com

# 36 LAUREL AVENUE

## WELLESLEY, MA

### Project Drawing List

A-1	Ext./New Rear Building Elevation
A-1b	Ext./New Left Side Building Elevation
A-2	Ext./New Front Building Elevation
A-2b	Ext./New Right Side Building Elevation
A-3	Ext./New First Floor Plan
A-3b	Ext./New First Floor Plan - Enlarged
A-4	Ext./New Second Floor Plan
A-4b	Ext./New Second Floor Plan - Enlarged
A-5	Existing Front and Right-Side Elevations
A-6	Existing Rear and Left-Side Elevations
A-7	Existing First Floor Plan
A-8	Existing Second Floor Plan
A-9	Typical Window and Door Schedule
S-0	Ext./New Foundation Plan
S-1	Ext./New First Floor Framing Plan
S-2	Ext./New Second Floor Framing Plan
S-3	Ext./New Attic Framing Plan
S-4	Ext./New Roof Framing Plan
S-5	Typical Framing Details
E-1	First Floor Electrical Plan
E-2	Second Floor Electrical Plan
FP-1	First Floor Fire Protection Plan
FP-2	Second Floor Fire Protection Plan

### Project Requirements

- The Contractor(s) shall comply with all applicable codes, ordinances, regulations, and instructions of authorities having jurisdiction, including, but not limited to, the town of Wellesley, MA.
- The Contractor and Subcontractors shall not "scale" drawings in order to obtain dimensions. Any questions regarding dimensions shall be referred to the Architect who shall provide the information.
- The Contractor shall obtain all permits and construction approvals, and pay all fees relating to the construction of the project.
- The Contractor shall be responsible for notification to the town of Wellesley in conjunction with any required inspections performed by the town.
- Plumbing and electrical subcontractors shall be licensed within the Commonwealth of Massachusetts and shall meet the requirements of the Wellesley.



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These documents are not to be used in whole or part for any other projects or purposes, or by any other parties, than those properly authorized by contract, without the specific written authorization of Brian Charles Alim, Inc.

36 LAUREL AVENUE  
WELLESLEY, MA

Mr. Patrick and Mrs. Caitlin Dolan  
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

Issue Date: 1.7.26

Revision:

Drawing Title:

EXT./NEW EXT.  
BLDG. ELEV'S.

A-1



2 EXT./NEW LEFT-SIDE FAÇADE ELEVATION

SCALE: 3/8" = 1'-0"

**36 LAUREL AVENUE  
BUILDING PERMIT SET**

Date: 1.7.26

**LEGEND**

- NEW WALLS
- EXISTING WALLS TO REMAIN AS REQUIRED

NEW HOMES, ADD/RENOV. & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE  
WELLESLEY, MA**

Mr. Patrick and Mrs. Caitlin Dolan  
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

Issue Date: 1.7.26

Revision:

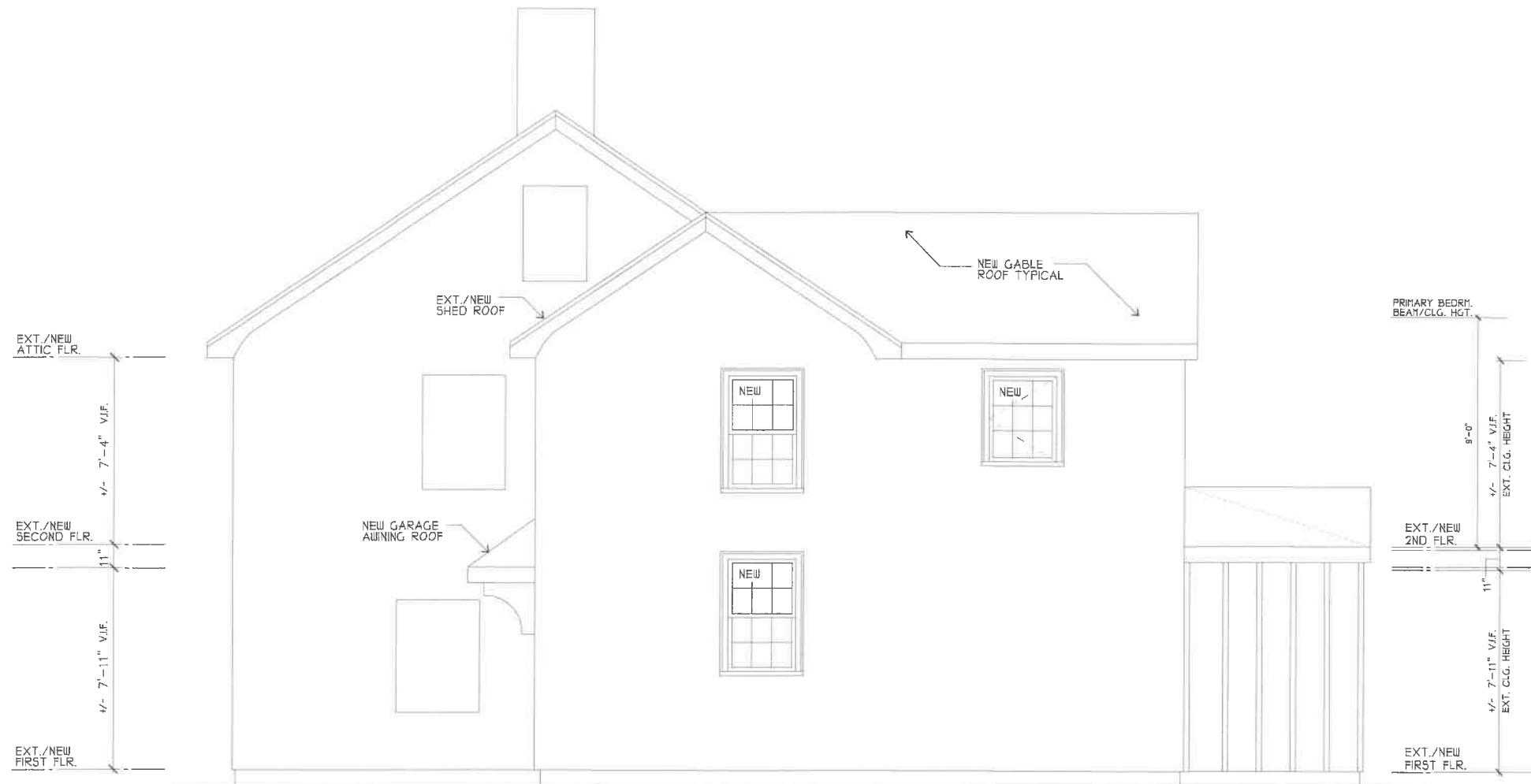
Drawing Title:

EXT./NEW EXT.  
BLDG. ELEV'S.

**A-1b**



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4 EXT./NEW RIGHT-SIDE FAÇADE ELEVATION

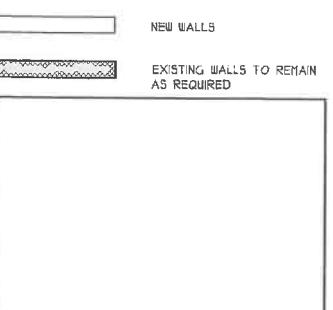
SCALE: 3/8" = 1'-0"

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**36 LAUREL AVENUE  
BUILDING PERMIT SET**

Date: 1.7.26

**LEGEND**



NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE  
WELLESLEY, MA**

Mr. Patrick and Mrs. Caitlin Dolan  
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: A5 NOTED

Drawn By: B.C.A.

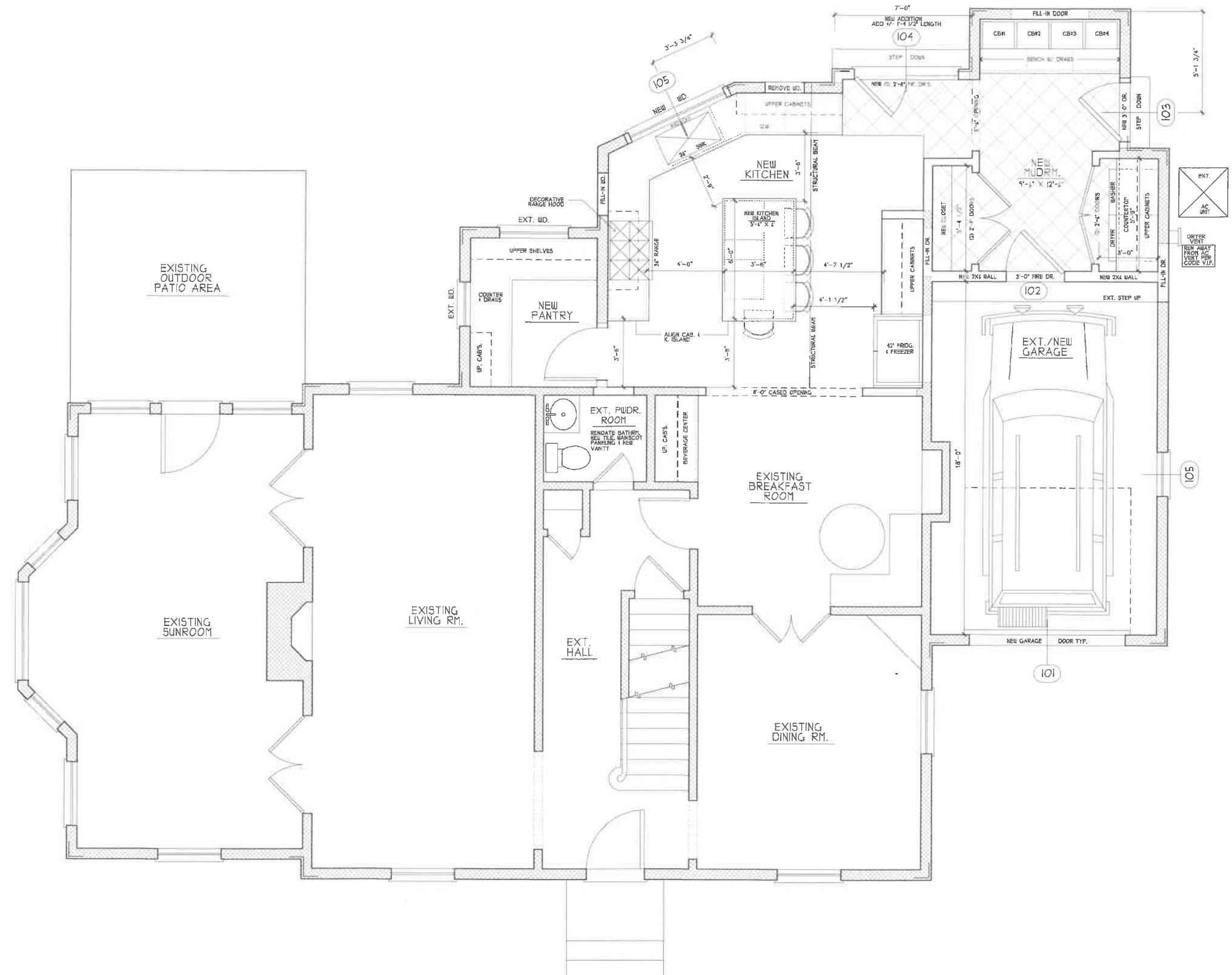
Issue Date: 1.7.26

Revision:

Drawing Title:

EXT./NEW EXT.  
BLDG. ELEV'S.

**A-2b**



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36 LAUREL AVENUE  
BUILDING PERMIT SET

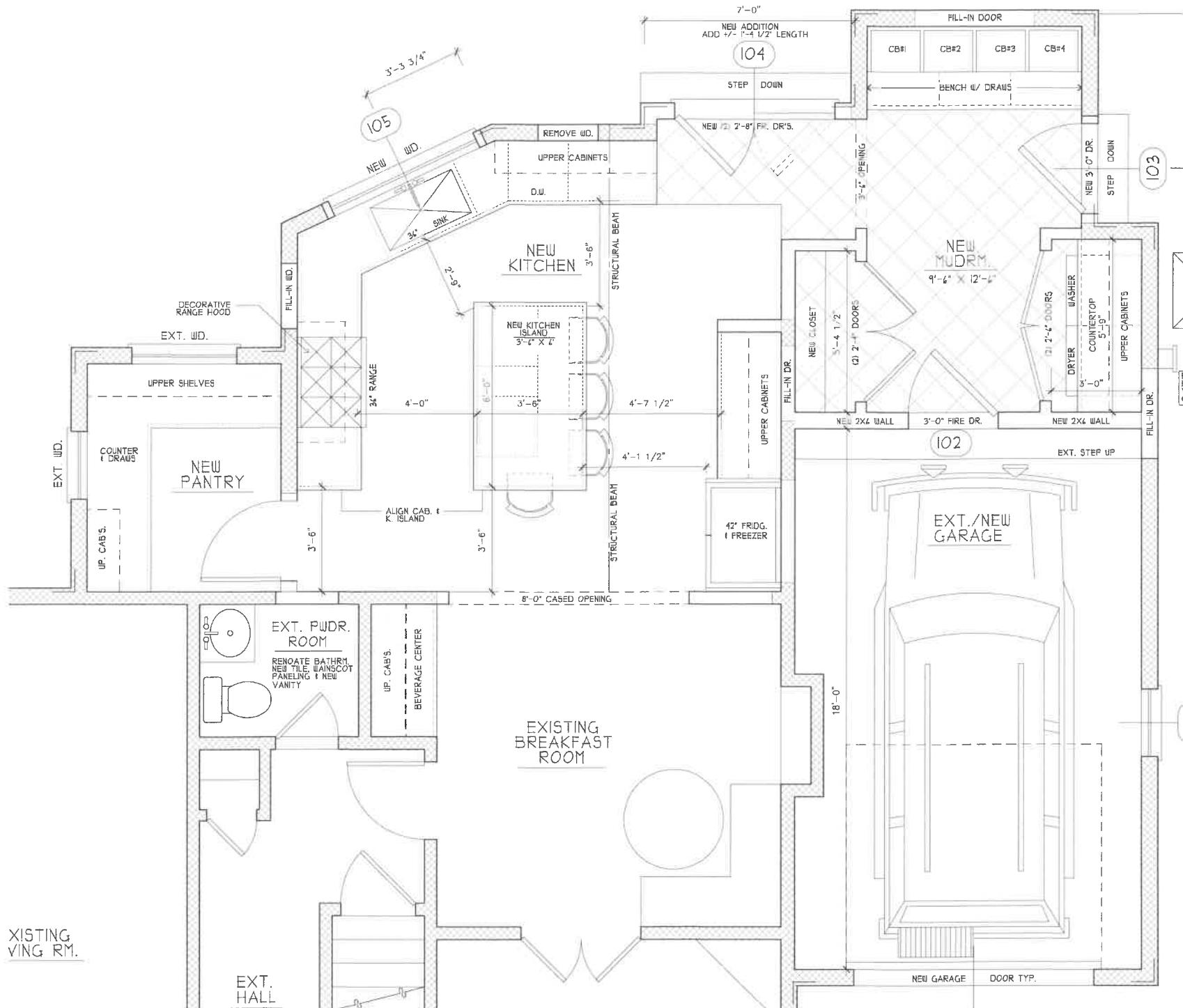
Date: 1.7.26

## LEGEND

An architectural cross-section drawing of a wall. The top portion of the wall is labeled 'NEW WALLS' and the bottom portion is labeled 'EXISTING WALLS TO REMAIN AS REQUIRED'. A decorative border consisting of a repeating pattern of small squares is shown at the base of the wall.

36 LAUREL AVENUE  
WELLESLEY, MA

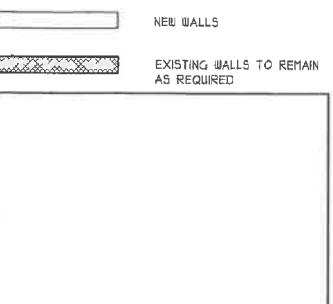
File No.: 36 Laurel Ave. - Building Permit Set  
Scale: AS NOTED  
Drawn By: B.C.A.  
Issue Date: 1.7.26  
Revision:  
Drawing Title:  
EXT./NEW 1ST  
FLOOR PLAN  
A-3



36 LAUREL AVENUE  
BUILDING PERMIT SET

Date: 1.7.26

LEGEND



36 LAUREL AVENUE  
WELLESLEY, MA

Mr. Patrick and Mrs. Caitlin Dolan  
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

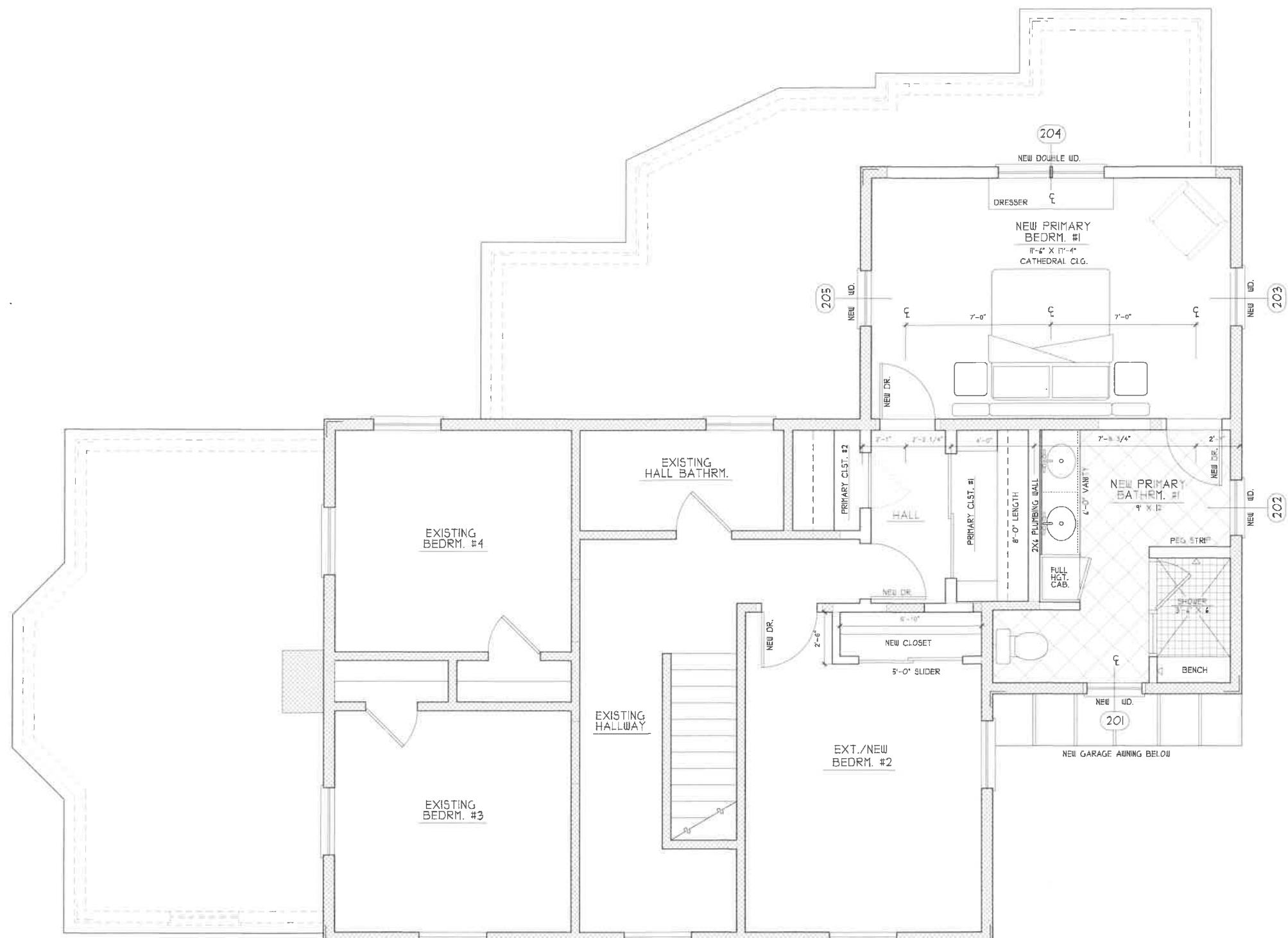
Issue Date: 1.7.26

Revision:

Drawing Title:

EXT./NEW 1ST  
FLR. ENLARGED

A-3B



2 EXT./NEW SECOND FLOOR PLAN

SCALE: 3/8" = 1'-0"

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36 LAUREL AVENUE  
BUILDING PERMIT SET

Date: 1.7.26

## LEGEND

## NEW WALLS

EXISTING WALLS TO REMAIN  
AS REQUIRED

**NEW HOMES, ADD/RENOV. & SPECULATIVE PROPERTIES**

WELLESLEY, MA  
Mr. Patrick and Mrs. Caitlin Dolan  
36 Laurel Avenue, Wellesley, MA

Digitized by srujanika@gmail.com

46. 112727-2

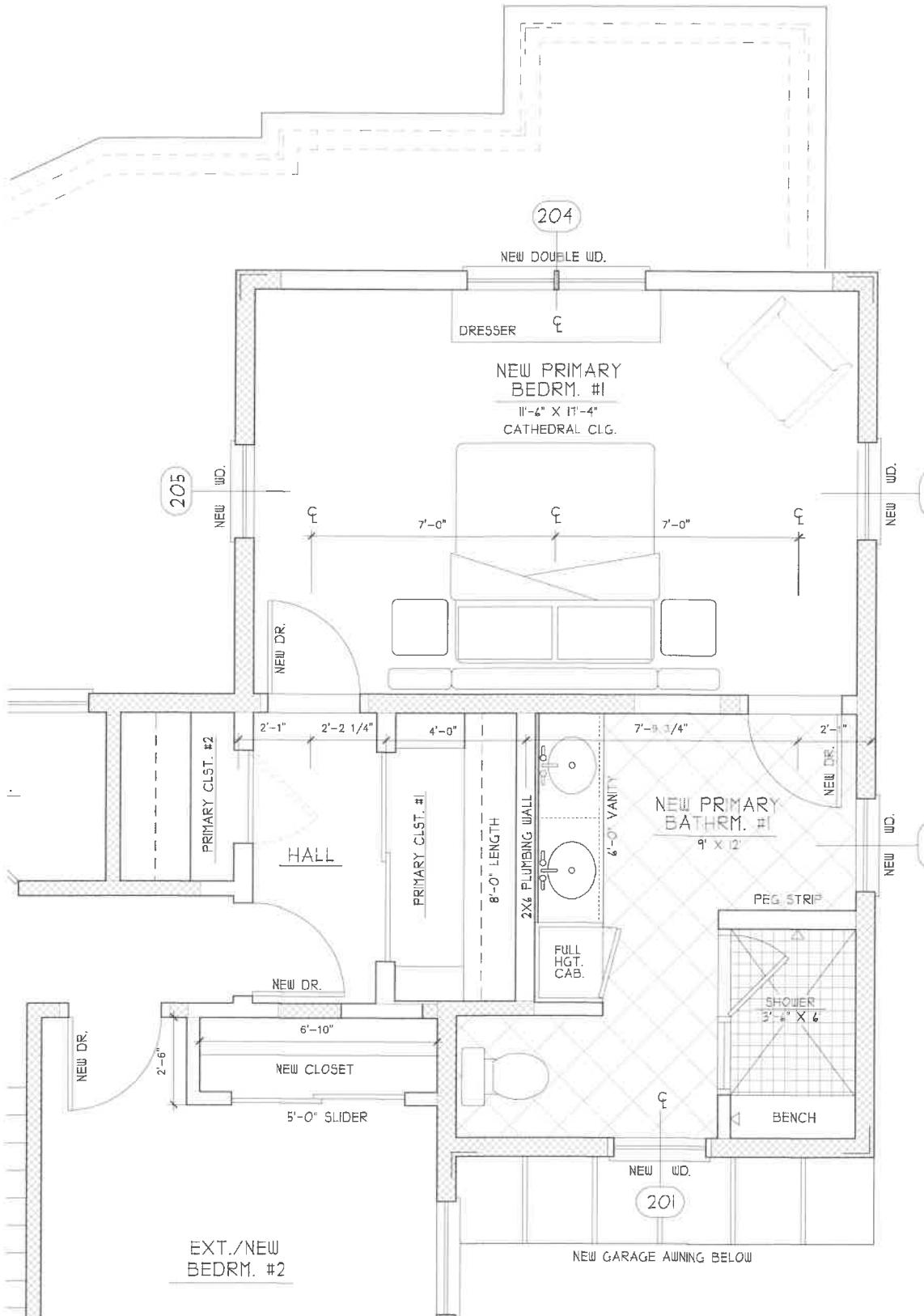
Page 864

Date: 17.26

ion:

ng Title:

A-4



B EXT./NEW ENLARGED 2ND FLR. PLAN

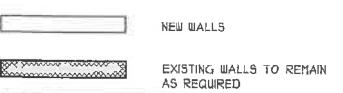
SCALE: 1/2" = 1'-0"

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**36 LAUREL AVENUE  
BUILDING PERMIT SET**

Date: 1.7.26

**LEGEND**



NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE  
WELLESLEY, MA**

Mr. Patrick and Mrs. Caitlin Dolan  
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

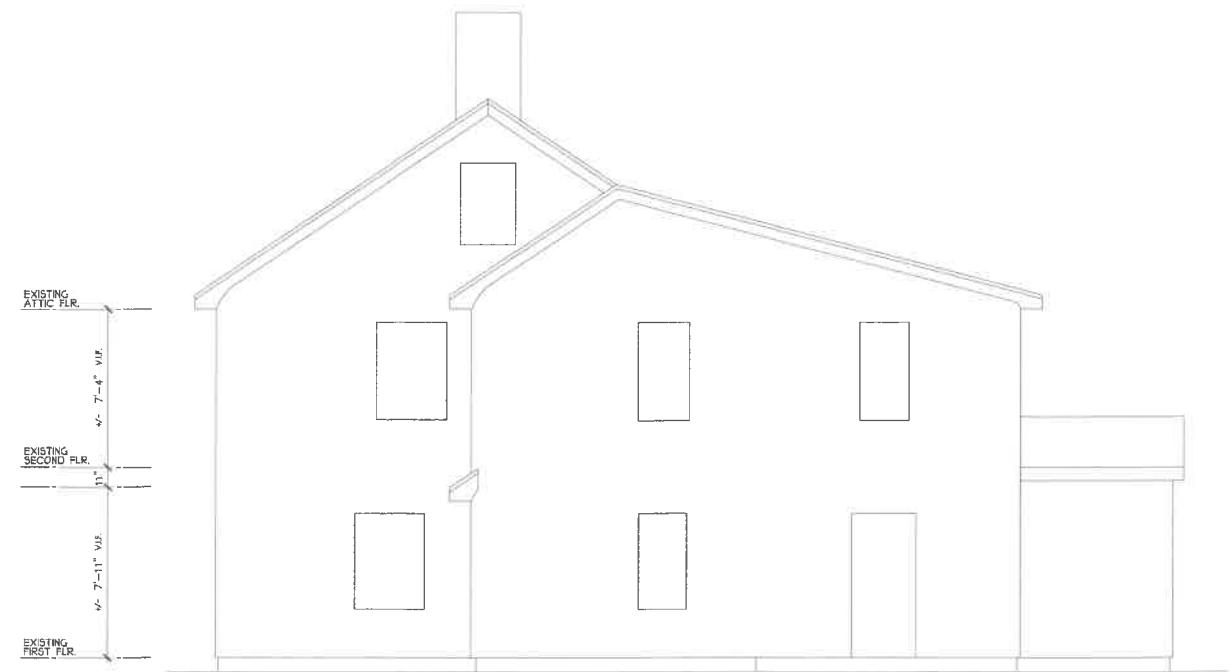
Issue Date: 1.7.26

Revision:

Drawing Title:

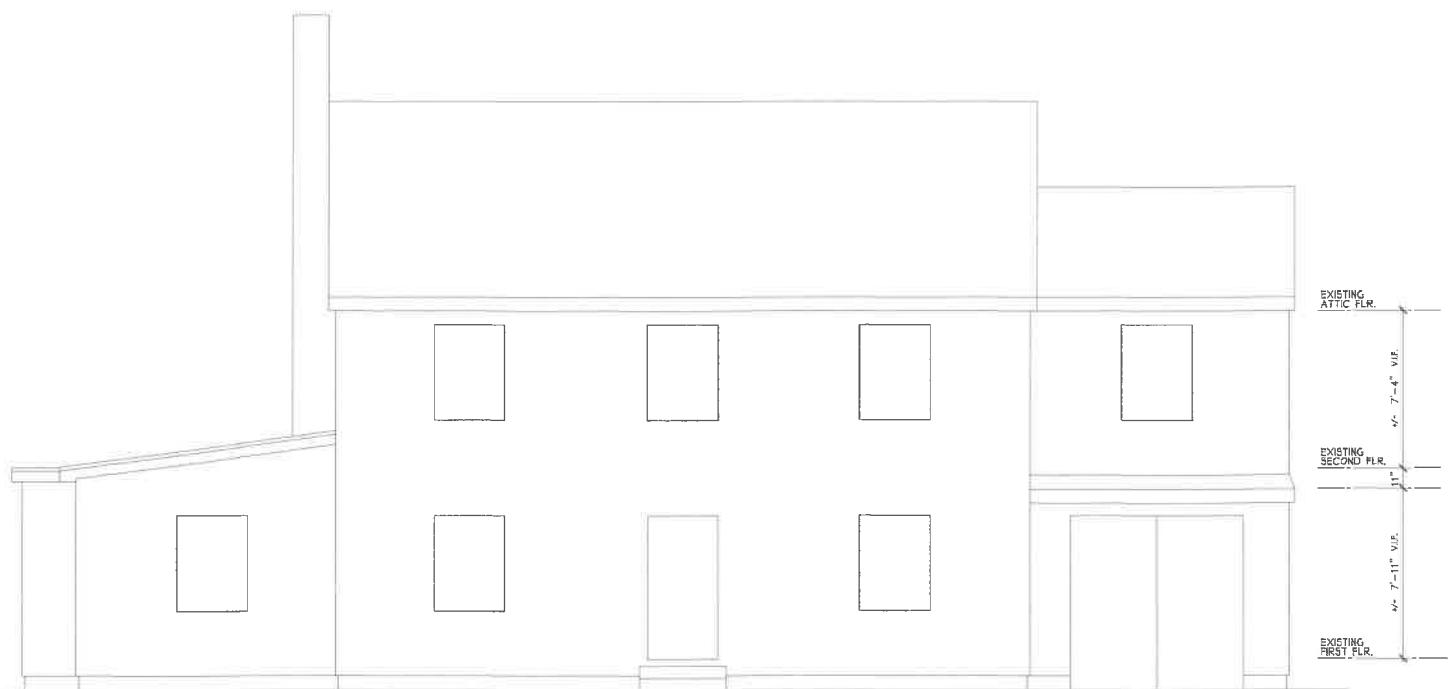
EXT./NEW 2ND  
FLR. ENLARGED

A-4B



E EXISTING RIGHT-SIDE FACADE ELEVATION

SCALE: 1/4" = 1'-0"



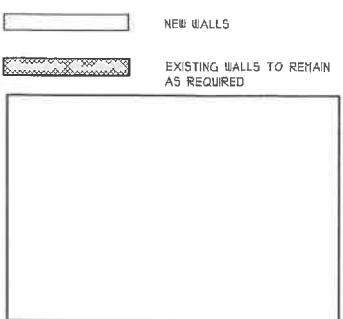
E EXISTING FRONT FACADE ELEVATION

SCALE: 1/4" = 1'-0"

**36 LAUREL AVENUE  
BUILDING PERMIT SET**

Date: 1.7.26

**LEGEND**



NEW HOMES, ADD/RENOV. & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE  
WELLESLEY, MA**

Mr. Patrick and Mrs. Caitlin Dolan  
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

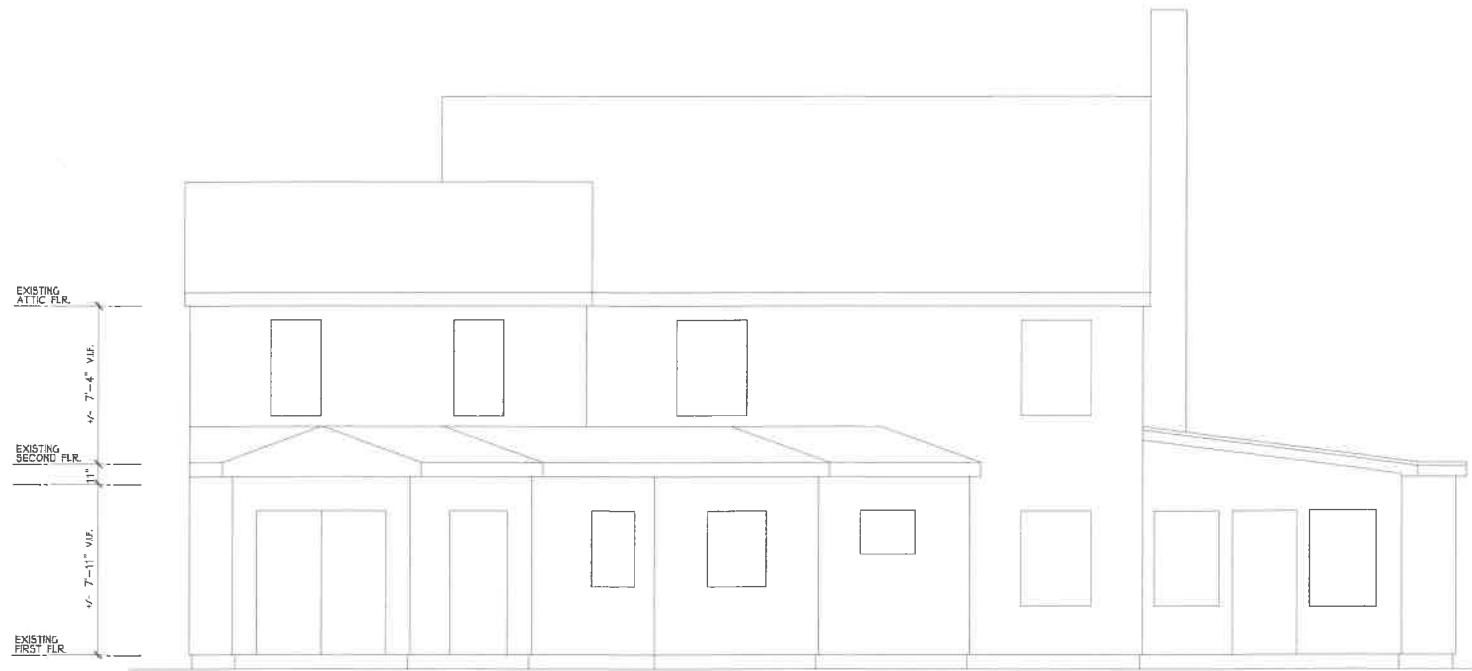
Issue Date: 1.7.26

Revision:

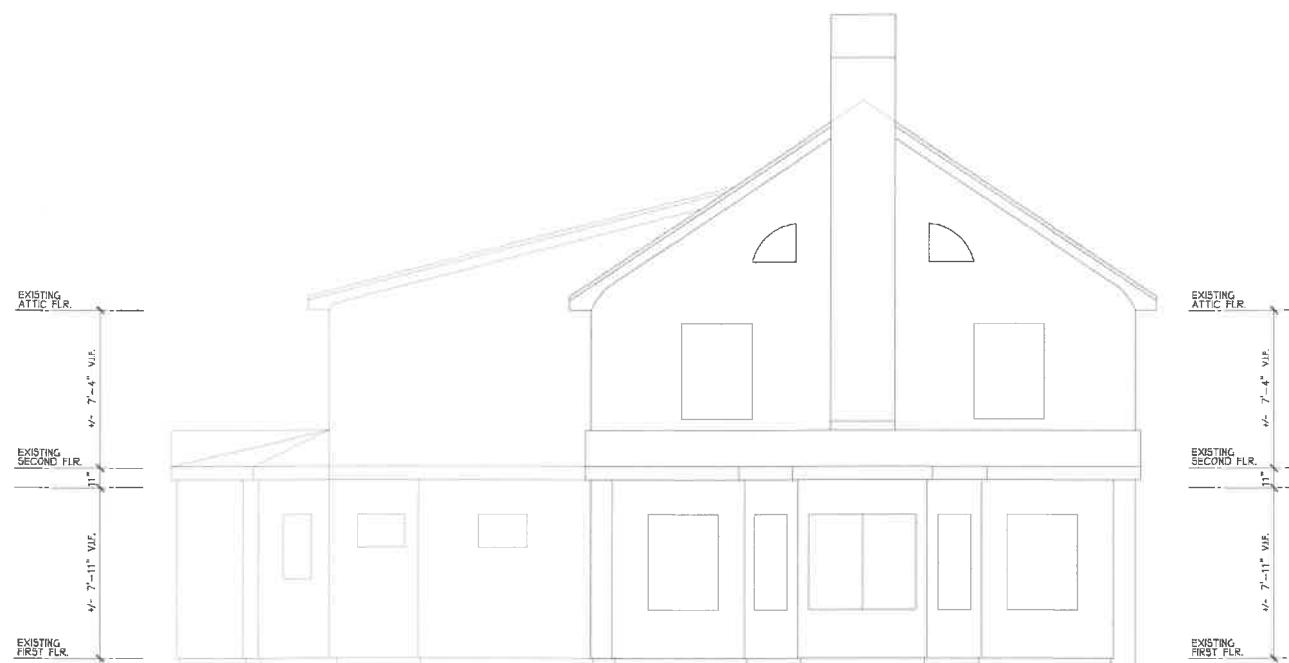
Drawing Title:

**EXT. BUILDING  
ELEVATIONS**

**A-5**



E EXISTING FRONT FACADE ELEVATION  
SCALE: 1/4" = 1'-0"

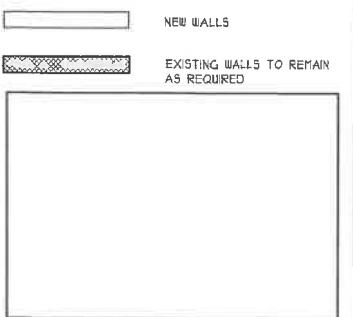


E EXISTING LEFT-SIDE FACADE ELEVATION  
SCALE: 1/4" = 1'-0"

36 LAUREL AVENUE  
BUILDING PERMIT SET

Date: 1.7.26

LEGEND



36 LAUREL AVENUE  
WELLESLEY, MA

Mr. Patrick and Mrs. Caitlin Dolan  
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

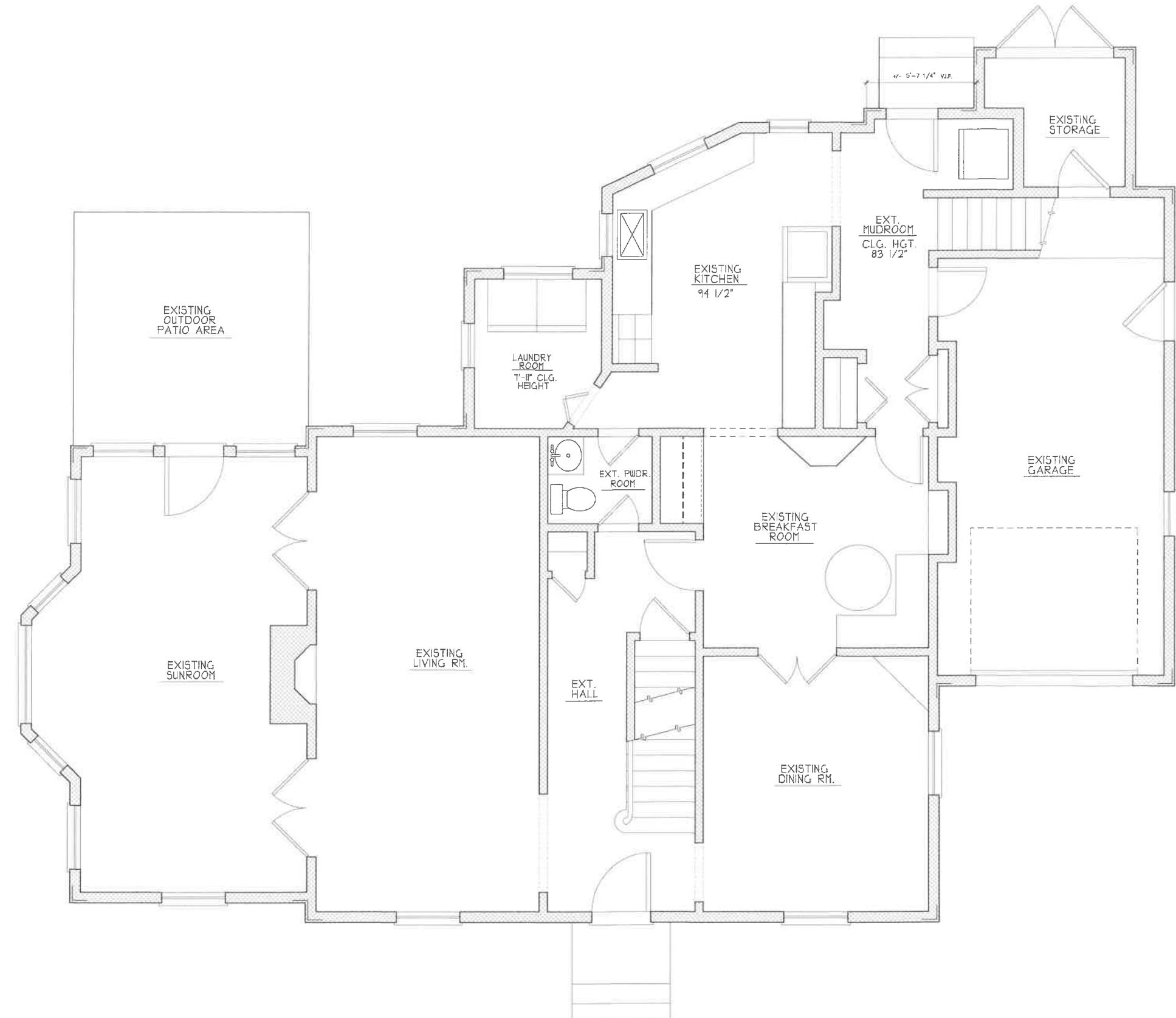
Issue Date: 1.7.26

Revision:

Drawing Title:

EXT. BUILDING  
ELEVATIONS

A-6



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**36 LAUREL AVENUE  
BUILDING PERMIT SET**

Date: 1.7.26

**LEGEND**

NEW WALLS  
 EXISTING WALLS TO REMAIN AS REQUIRED

NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE  
WELLESLEY, MA**

Mr. Patrick and Mrs. Caitlin Dolan  
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

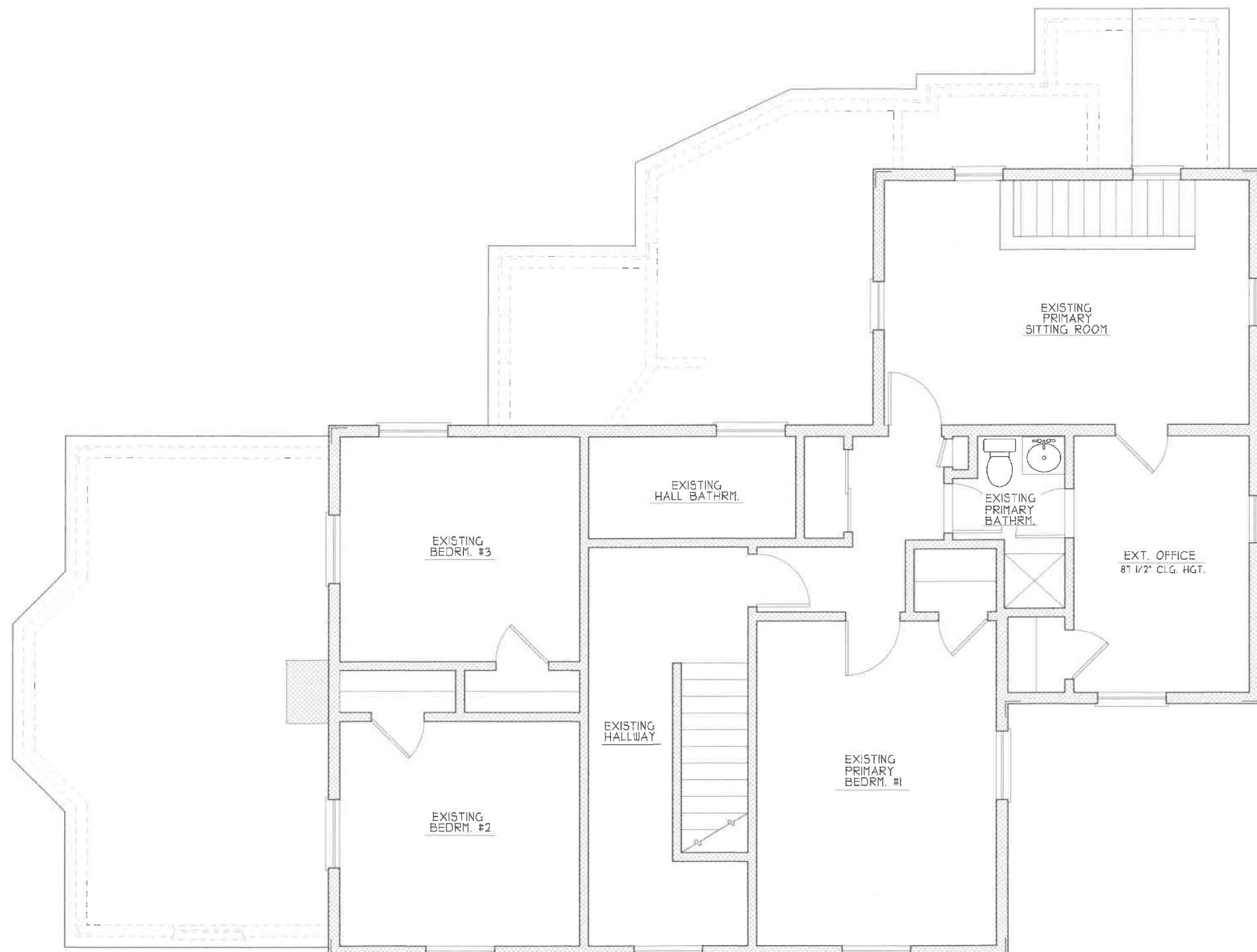
Issue Date: 1.7.26

Revision:

Drawing Title:

**EXISTING 1ST  
FLOOR PLAN**

**A-1**



E EXISTING SECOND FLOOR PLAN

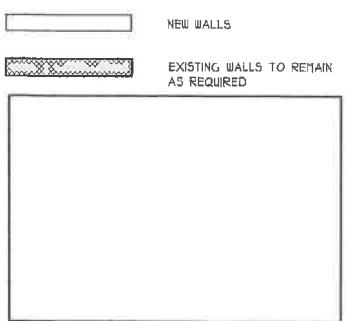
SCALE: 3/8" = 1'-0"

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**36 LAUREL AVENUE  
BUILDING PERMIT SET**

Date: 1.7.26

**LEGEND**



NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE  
WELLESLEY, MA**

Mr. Patrick and Mrs. Caitlin Dolan  
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

Issue Date: 1.7.26

Revision:

Drawing Title:

EXISTING 2ND  
FLOOR PLAN

**A-8**

### Window and Exterior Door Notes

Check and Review Schedule with plans and elevations for consistency. Bring any discrepancies to the attention of the Architect. Contractor and Window Supplier to carefully check R.O.'s prior to placing window order and prior to start of framing.

CONFIRM SHOP DRAWINGS WITH ARCH. DESIGNER PRIOR TO PLACING FINAL ORDER.

ALL WINDOWS CLAD EXT. (VERIFY) AND WOOD INTERIOR PRIMED (VERIFY COLOR - WHITE) - CONFIRM W/ OWNER

36 LAUREL AVENUE - WELLESLEY, MA									
LOCATION		MARVIN OR PELLA - EXTERIOR WINDOWS AND DOORS - D.H. WD.							REMARKS
WINDOW #	ROOM NAME	TYPE	MODEL NUMBER	S.O. WIDTH	S.O. HEIGHT	LITES	EGRESS	NET CLEAR OPENING	TEMP
<b>FIRST FLOOR PLAN</b>									
101	MAIN GARAGE DOOR	GAR. DR.		8'-0"	7'-0"	T.B.D.	NO		NO BY OTHERS - T.B.D.
102	EXT. /NEW GARAGE	FIRE DR.		3'-0"	6'-8"	0	YES		NO FIRE RATED
103	MUDROOM/KITCHEN	FR. DR'S.		(2) 2'-8"	6'-8"	(2) 10	YES		YES
104	EXT./NEW KITCHEN	FIXED WD.		5'-4"	3'-6"	T.B.D.	NO		YES BY OTHERS - T.B.D.
105	EXISTING GARAGE	DH. WD.		2'-8"	4'-6"	4/4	NO		NO

\* MATCH CLOSETS SASH OPNG. SIZE TO SIZES SPEC'D. (VARIES PER MFR.)

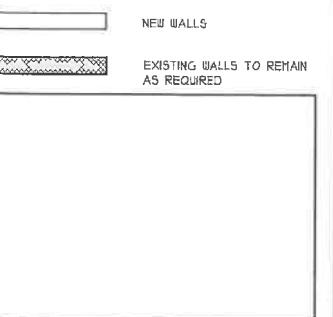
36 LAUREL AVENUE - WELLESLEY, MA									
LOCATION		MARVIN OR PELLA- EXTERIOR WINDOWS AND DOORS - D.H. WD.							REMARKS
WINDOW #	ROOM NAME	TYPE	MODEL NUMBER	S.O. WIDTH	S.O. HEIGHT	LITES	EGRESS	NET CLEAR OPENING	TEMP
<b>SECOND FLOOR PLAN</b>									
201	NEW PRIMARY BATHROOM	D.H. WD.		2'-8"	4'-6"	4/4	YES		NO
202	NEW PRIMARY BATHROOM	D.H. WD.		2'-8"	4'-6"	4/4	YES		NO
203	NEW PRIMARY BEDROOM	CSMT. WD.		2'-8"	3'-6"	6	NO		NO
204	NEW PRIMARY BEDROOM	D.H. WD'S.		(2) 2'-8"	4'-6"	4/4	YES		NO
205	NEW PRIMARY BEDROOM	CSMT. WD.		2'-8"	3'-6"	6	NO		NO

\* MATCH CLOSETS SASH OPNG. SIZE TO SIZES SPEC'D. (VARIES PER MFR.)

### 36 LAUREL AVENUE BUILDING PERMIT SET

Date: 1.1.26

#### LEGEND



36 LAUREL AVENUE  
WELLESLEY, MA  
Mr. Patrick and Mrs. Caitlin Dolan  
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

Issue Date: 1.1.26

Revision:

Drawing Title:

TYPICAL WD. &  
DOOR SCHEDULE

A-9



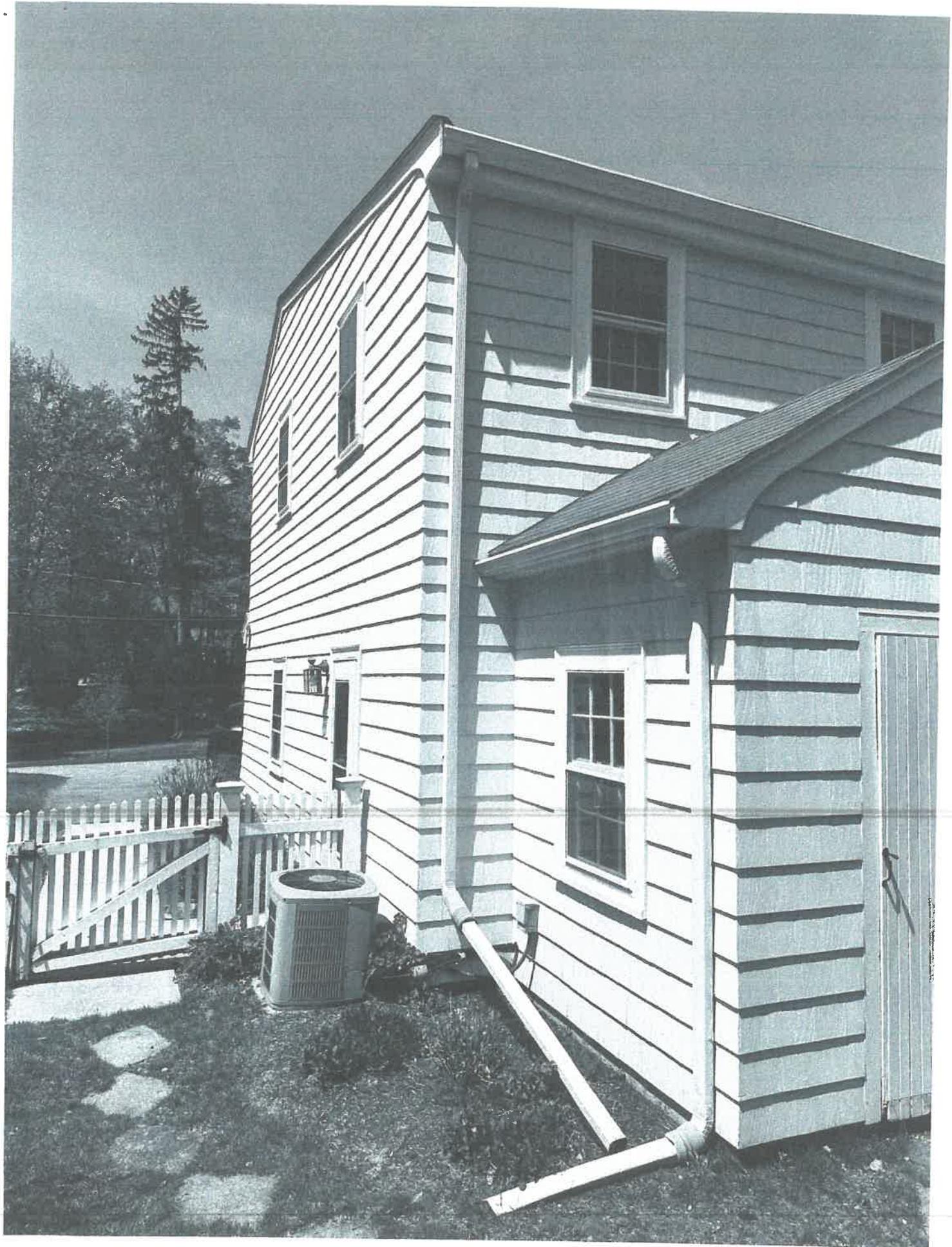
EXT ENTR BLDG



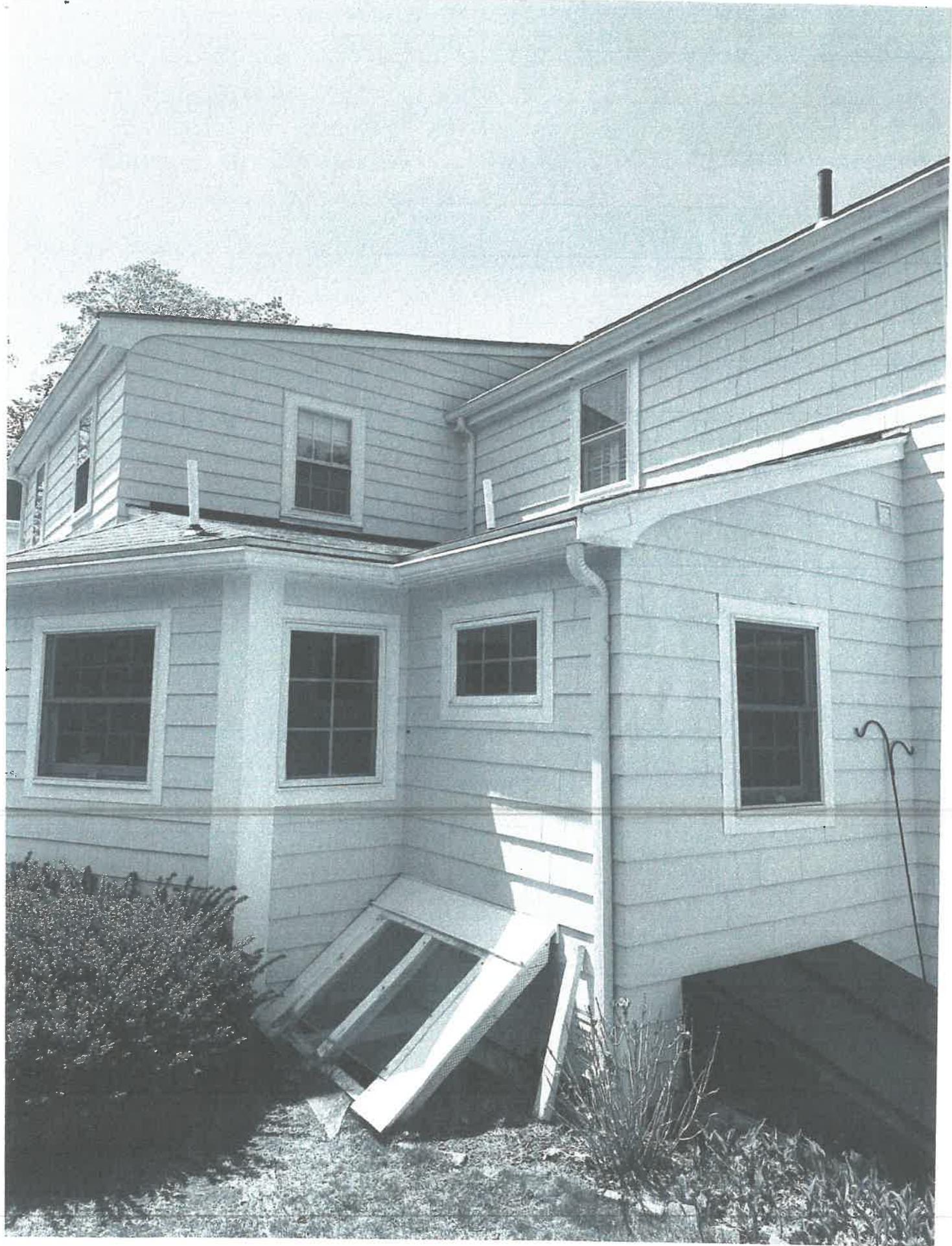
EXT. END VIEW AT CORNER



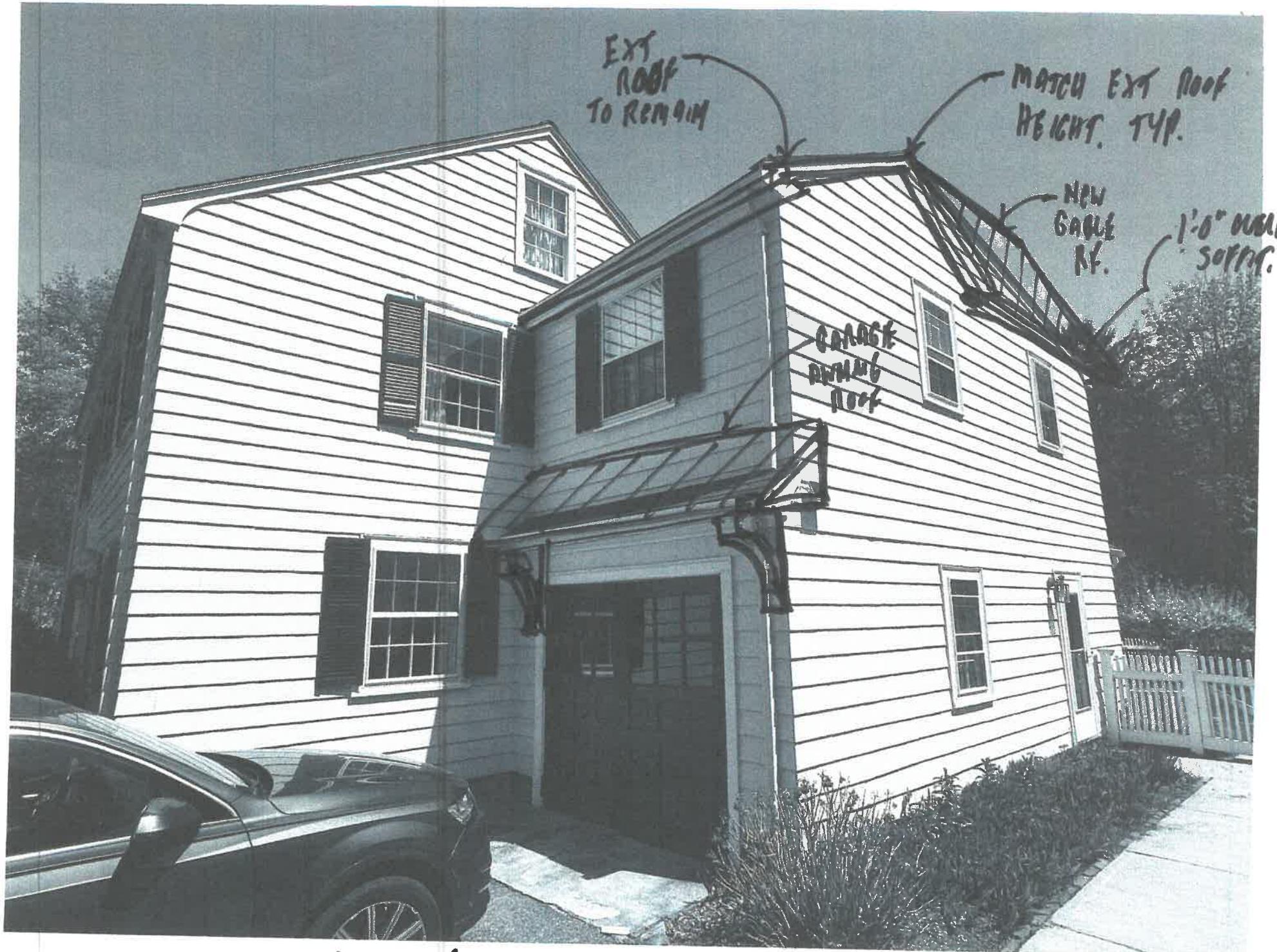
Exterior view of a house



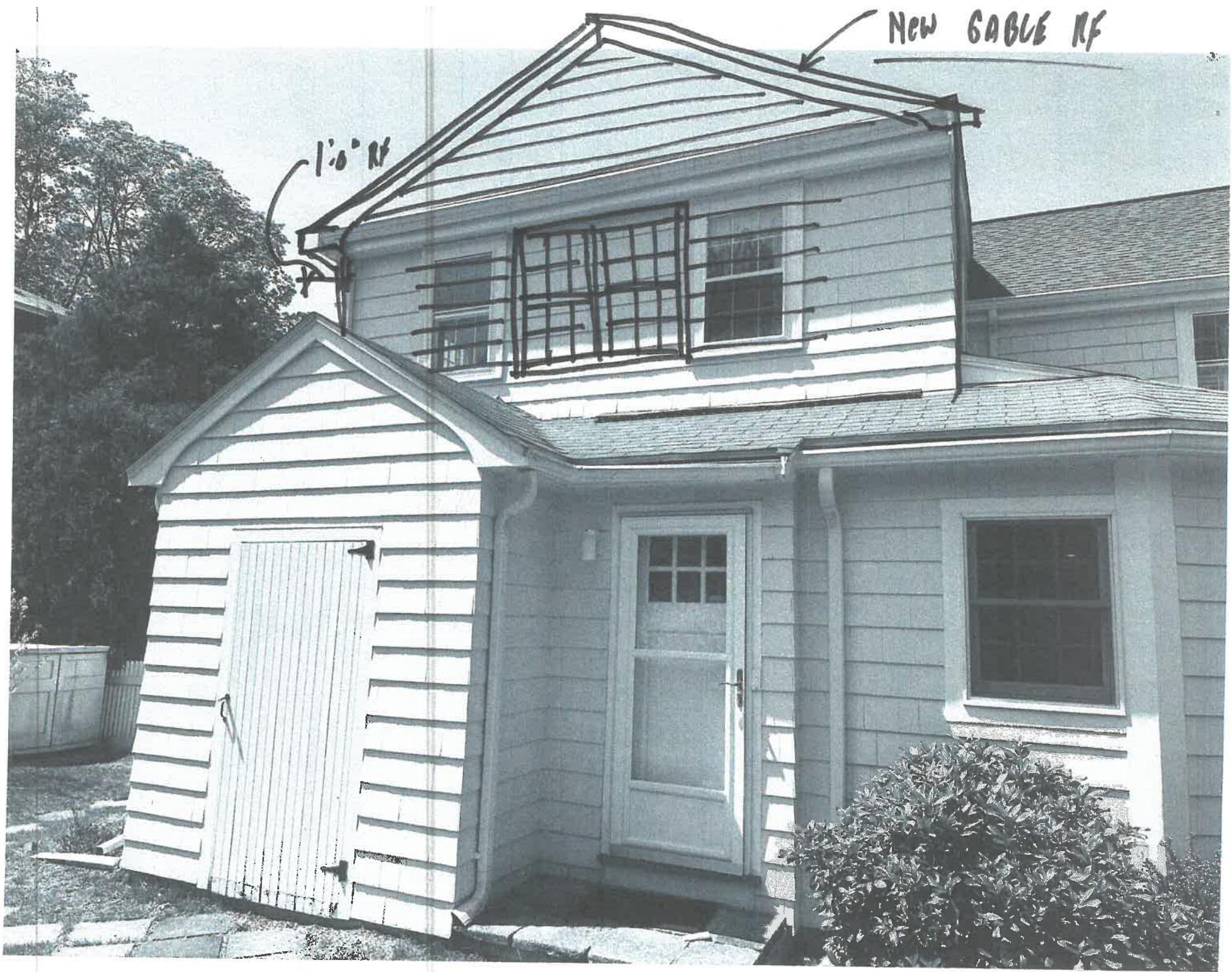
EXT RIGHT ELEV.



EXT REAR BLDG.



NEW FNR - BAA 112 17-11



NEW REAR - DEC 19A - 1701