

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

J. RANDOLPH BECKER, CHAIRMAN
ROBERT W. LEVY, VICE CHAIRMAN
DAVID G. SHEFFIELD

LENORE R. MAHONEY
Executive Secretary
Telephone
(781) 431-1019 Ext. 2208

WALTER B. ADAMS
DEREK B. REDGATE
PETER COVO

Date:

1/7/06

ZBA:

2026-08

Petition for:	Residential Fee	Commercial & Municipal Fee
Variance	<u> </u> \$200	<u> </u>
Special Permit	<input checked="" type="checkbox"/> \$200	<u> </u> \$500
Special Permit/Findings	<u> </u> \$200	<u> </u>
Special Permit Renewals	<u> </u> \$150	<u> </u>
Signs	<u> </u>	<u> </u> \$300
Site Plan Approval without PSI	<u> </u>	<u> </u> \$2,000 & Fire Department Consulting Fee
Site Plan Approval with PSI	<u> </u>	<u> </u> \$3,500
Appeals	<u> </u> \$200	<u> </u> \$300
Comprehensive Permit	<u> </u>	<u> </u> \$750
Publication & Mailing Fees/All Petitions	<input checked="" type="checkbox"/> \$25	<u> </u> \$25
Petitioner assumes all costs for Peer Review		

Property Location: 36 LAUREL AVENUEZoning District: SR10

Property located in a:

Historic District

☐

Yes

☒

No

Wetlands Protection Area

☐☒

Water Supply Protection District

☐☒

Prior Zoning Decisions:

Special Permit/Findings:

Variance:

Applicable Section(s) of the Zoning Bylaw:

SECTION 6.3

Explanation of Request:

Replacing low second floor bedroom shed roof
with new gable roof. New soffit overhang projects into
right (South) side yard. Asking for relief on right side yard.

Requested Relief:

 Lot Area Lot Coverage Frontage Front Yard Width☒

Front Yard Depth (Street Setback)

Side Yard Width (Side Line Setback)

Rear Yard Depth (Rear Line Setback)

Other

OWNER OF PROPERTY/PETITIONER:

DOLAN / BCA, INC. (ARCHITECT)

MAILING ADDRESS:

36 LAUREL AVENUE

PHONE:

WORK:

HOME:

(508) 274-2871

SIGNATURE OF OWNER:

[Signature]

AGENT FOR PETITIONER (PLEASE PRINT):

Brian Charles Alia, Inc.

MAILING ADDRESS:

4 Spaulding Rd. Georgetown, MA 01833

PHONE:

WORK:

HOME:

781.727.1966

EMAIL:

briancharlesalia@gmail.com

Brian Charles Alim, Inc.
Architectural Design Services
4 Spaulding Road
Georgetown, MA 01833
Phone: 781-727-1906
Email: briancharlesalim@gmail.com

Dated: 1.7.26

Wellesley Zoning Board of Appeals
888 Worcester Street
Suite 160
Wellesley, MA 02482
Phone: (781) 431 -1019, ext. 2208

Re: 36 Laurel Road – Wellesley, MA - Special Permit Application (Non-conforming lot)

To: Zoning Board of Appeals Committee

The residential home at 36 Laurel Avenue is an existing non-conforming lot on the front (West) and right (South) lot sides. The new second floor addition built off the rear and right side of the home looks to replace the lower height rear shed roof and replace it with a new gable roof for a new primary bedroom suite.

The new proposed primary bedroom suite addition would be built in-line with the existing first and second floor massing walls and only the new gable roof soffit would project further into the right (South) side yard building envelope setback. The projection of the new gable roof soffit grows 1'-0" into the side yard to match the existing homes typical rake and soffit details.

We ask the board for approval of a "special permit" on the right (South) side yard given the minimal impact of the new gable roof addition. The new addition would seamlessly blend with the existing site and neighborhood and not result in an undesirable change.

We appreciate your valued input on this proposed new primary bedroom suite addition.

Brian Charles Alim

A handwritten signature in dark ink, appearing to read 'Brian Alim', with a stylized flourish at the end.

PROPOSED PLOT PLAN
36 LAUREL AVENUE
WELLESLEY, MASS.

DATE: JANUARY 7, 2026

SCALE: 1" = 20'

PREPARED FOR:

PATRICK & CAITLIN DOLAN
36 LAUREL AVENUE
WELLESLEY, MASS. 02481

ENGINEERS & SURVEYORS:

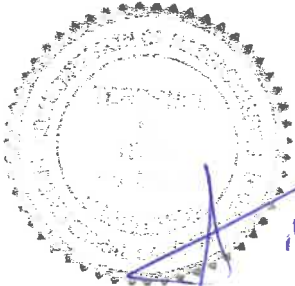
APPLEWOOD SURVEY CO. LLC
838 WASHINGTON STREET
HOLLISTON, MASS. 01746
TERRENCE M. RYAN R.L.S. 37057

ZONED: SINGLE RES.
AREA: 10,000 SF
FRONTAGE: 60 FT
SETBACK: 30 FT*
SIDEYARD: 20 FT
REARYARD: 20 FT**
COVERAGE: 2,500 SF

* SUBJECT TO 500' RULE
** PER ZONING SECTION 5.3.B

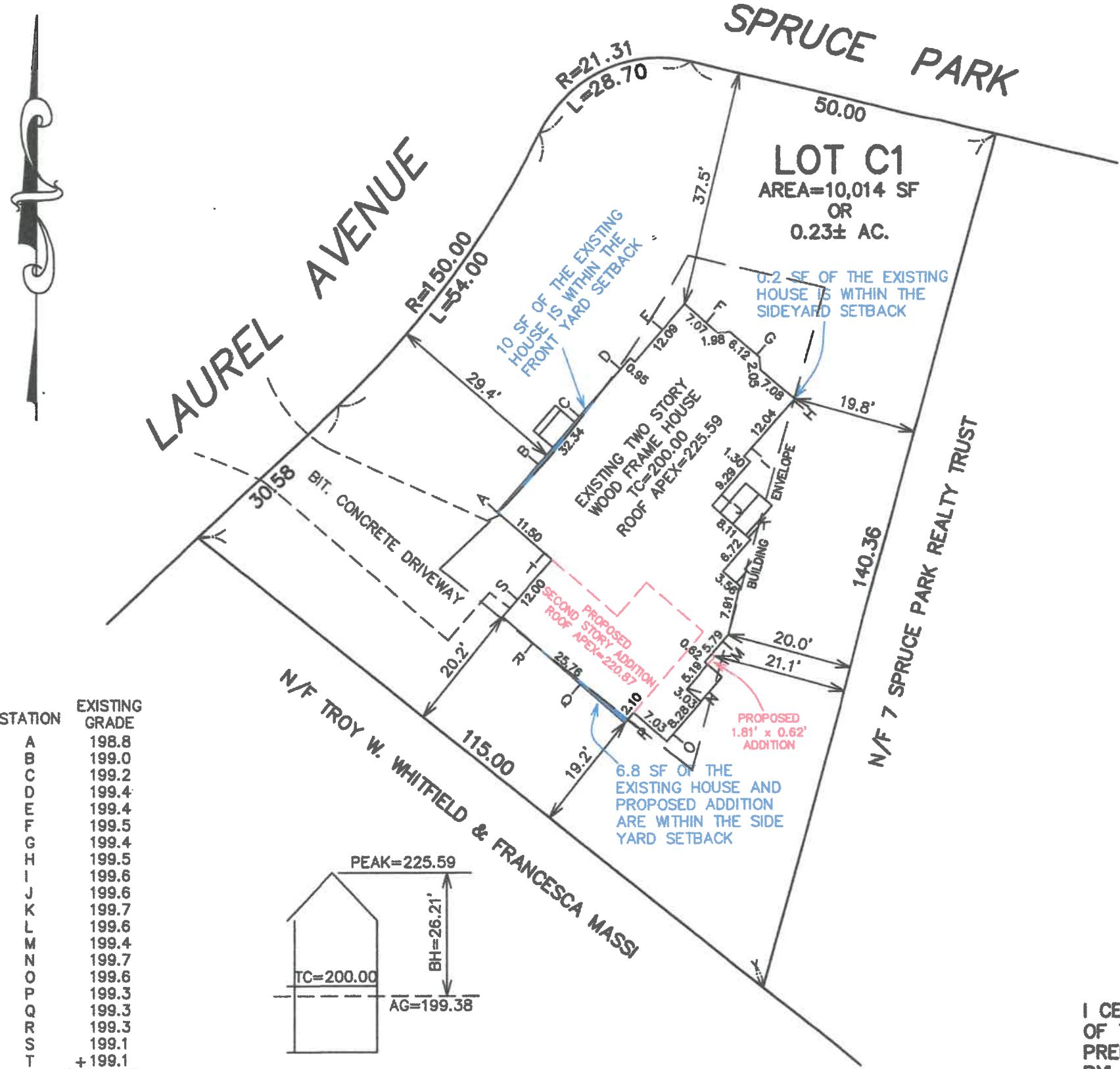
LAND COURT CERT. #209906
ASSESSORS MAP 75 LOT 77
EXISTING COVERAGE: 1,827 SF = 18.2%
PROPOSED COVERAGE: 1,828 SF = 18.2%

THE LOT WAS CREATED IN 1936.
THE HOUSE WAS BUILT IN 1937.
ALL ELEVATIONS SHOWN REFER TO ASSUMED DATUM.



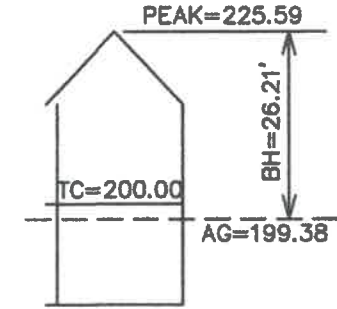
I CERTIFY THAT THE LOT SHOWN CONFORMS TO THE DIMENSIONAL REGULATIONS OF THE WELLESLEY ZONING BYLAWS AND THE EXISTING HOUSE SHOWN THEREON PREDATES THE DIMENSIONAL OFFSET REGULATIONS OF THE WELLESLEY ZONING BYLAWS.

I CERTIFY THAT THE LOT SHOWN AND EXISTING HOUSE SHOWN THEREON ARE LOCATED IN A FEDERAL FLOOD HAZARD ZONE "X" — SUBJECT TO MINIMAL FLOODING (SOURCE: F.I.R.M. 25021C0017F).



STATION	EXISTING GRADE
A	198.8
B	199.0
C	199.2
D	199.4
E	199.4
F	199.5
G	199.4
H	199.5
I	199.6
J	199.6
K	199.7
L	199.6
M	199.4
N	199.7
O	199.6
P	199.3
Q	199.3
R	199.3
S	199.1
T	+199.1
	3,987.5

3,987.5 / 20 = 199.38
AVERAGE GRADE = 199.38
APEX OF EXISTING ROOF = 225.59
225.59 - 199.38 = 26.21
BUILDING HEIGHT = 26.21'



BUILDING HEIGHT SKETCH
NOT TO SCALE

TC=TOP OF CONCRETE
AG=AVERAGE GRADE
BH=BUILDING HEIGHT

Project Owner
Mr. Patrick & Mrs. Caitlan Dolan
36 Laurel Avenue
Wellesley, MA 02481

Architectural Designer
Brian Charles Alim, Inc.
4 Spaulding Road
Georgetown, MA 01833
Email: briancharlesalim@gmail.com
Website: www.briancharlesalim.com
Phone: 781.727.1906

Structural Engineer
Cowen Associates
29 Vesta Road, Natick, MA 01760
Phone: 508.655-3976
Email: fred@cowenassoc.com
Website: cowenassoc.com

General Contractor
Sandro Contracting
162 Chestnut Street, Everett, MA 02149
Phone: (617) 878-1731
Email: Sandrocontracting@gmail.com

36 LAUREL AVENUE

WELLESLEY, MA



1 EXT./NEW FRONT FACADE ELEVATION
SCALE: 3/8" = 1'-0"

Project Drawing List	
A-1	Ext./New Rear Building Elevation
A-1b	Ext./New Left Side Building Elevation
A-2	Ext./New Front Building Elevation
A-2b	Ext./New Right Side Building Elevation
A-3	Ext./New First Floor Plan
A-3b	Ext./New First Floor Plan - Enlarged
A-4	Ext./New Second Floor Plan
A-4b	Ext./New Second Floor Plan - Enlarged
A-5	Existing Front and Right-Side Elevations
A-6	Existing Rear and Left-Side Elevations
A-7	Existing First Floor Plan
A-8	Existing Second Floor Plan
A-9	Typical Window and Door Schedule
S-0	Ext./New Foundation Plan
S-1	Ext./New First Floor Framing Plan
S-2	Ext./New Second Floor Framing Plan
S-3	Ext./New Attic Framing Plan
S-4	Ext./New Roof Framing Plan
S-5	Typical Framing Details
E-1	First Floor Electrical Plan
E-2	Second Floor Electrical Plan
FP-1	First Floor Fire Protection Plan
FP-2	Second Floor Fire Protection Plan

Project Requirements

- The Contractor(s) shall comply with all applicable codes, ordinances, regulations, and instructions of authorities having jurisdiction, including, but not limited to, the town of Wellesley, MA.
- The Contractor and Subcontractors shall not "scale" drawings in order to obtain dimensions. Any questions regarding dimensions shall be referred to the Architect who shall provide the information.
- The Contractor shall obtain all permits and construction approvals, and pay all fees relating to the construction of the project.
- The Contractor shall be responsible for notification to the town of Wellesley in conjunction with any required inspections performed by the town.
- Plumbing and electrical subcontractors shall be licensed within the Commonwealth of Massachusetts and shall meet the requirements of the Wellesley.

36 LAUREL AVENUE BUILDING PERMIT SET

Date: 1.7.24

LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN AS REQUIRED

NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

36 LAUREL AVENUE WELLESLEY, MA

Mr. Patrick and Mrs. Caitlin Dolan
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

Issue Date: 1.7.24

Revision:

Drawing Title:

EXT./NEW EXT.
BLDG. ELEV'S.

A-1



2 EXT./NEW LEFT-SIDE FACADE ELEVATION
SCALE: 3/8" = 1'-0"

36 LAUREL AVENUE
BUILDING PERMIT SET

Date: 1.7.26

LEGEND

- NEW WALLS
EXISTING WALLS TO REMAIN
AS REQUIRED

NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

36 LAUREL AVENUE
WELLESLEY, MA

Mr. Patrick and Mrs. Caitlin Dolan
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

Issue Date: 1.7.26

Revision:

Drawing Title:

EXT./NEW EXT.
BLDG. ELEV'S.

A-1b

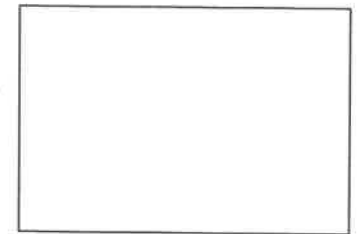


3 EXT./NEW FRONT FACADE ELEVATION
SCALE: 3/8" = 1'-0"

36 LAUREL AVENUE
BUILDING PERMIT SET
Date: 1.7.26

LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN AS REQUIRED



NEW HOMES, ADD/RENOV. & SPECULATIVE PROPERTIES

36 LAUREL AVENUE WELLESLEY, MA	
<small>Mr. Patrick and Mrs. Caitlin Dolan 36 Laurel Avenue, Wellesley, MA</small>	
<small>File No.: 36 Laurel Ave. - Building Permit Set</small>	
<small>Scale: AS NOTED</small>	
<small>Drawn By: B.C.A.</small>	
<small>Issue Date: 1.7.26</small>	
<small>Revision:</small>	
<small>Drawing Title:</small>	
EXT./NEW EXT. BLDG. ELEV'S.	A-2

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4 EXT./NEW RIGHT-SIDE FACADE ELEVATION
SCALE: 3/8" = 1'-0"

**36 LAUREL AVENUE
BUILDING PERMIT SET**

Date: 1.7.26

LEGEND

- NEW WALLS
EXISTING WALLS TO REMAIN
AS REQUIRED

NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE
WELLESLEY, MA**

Mr. Patrick and Mrs. Caitlin Dolan
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

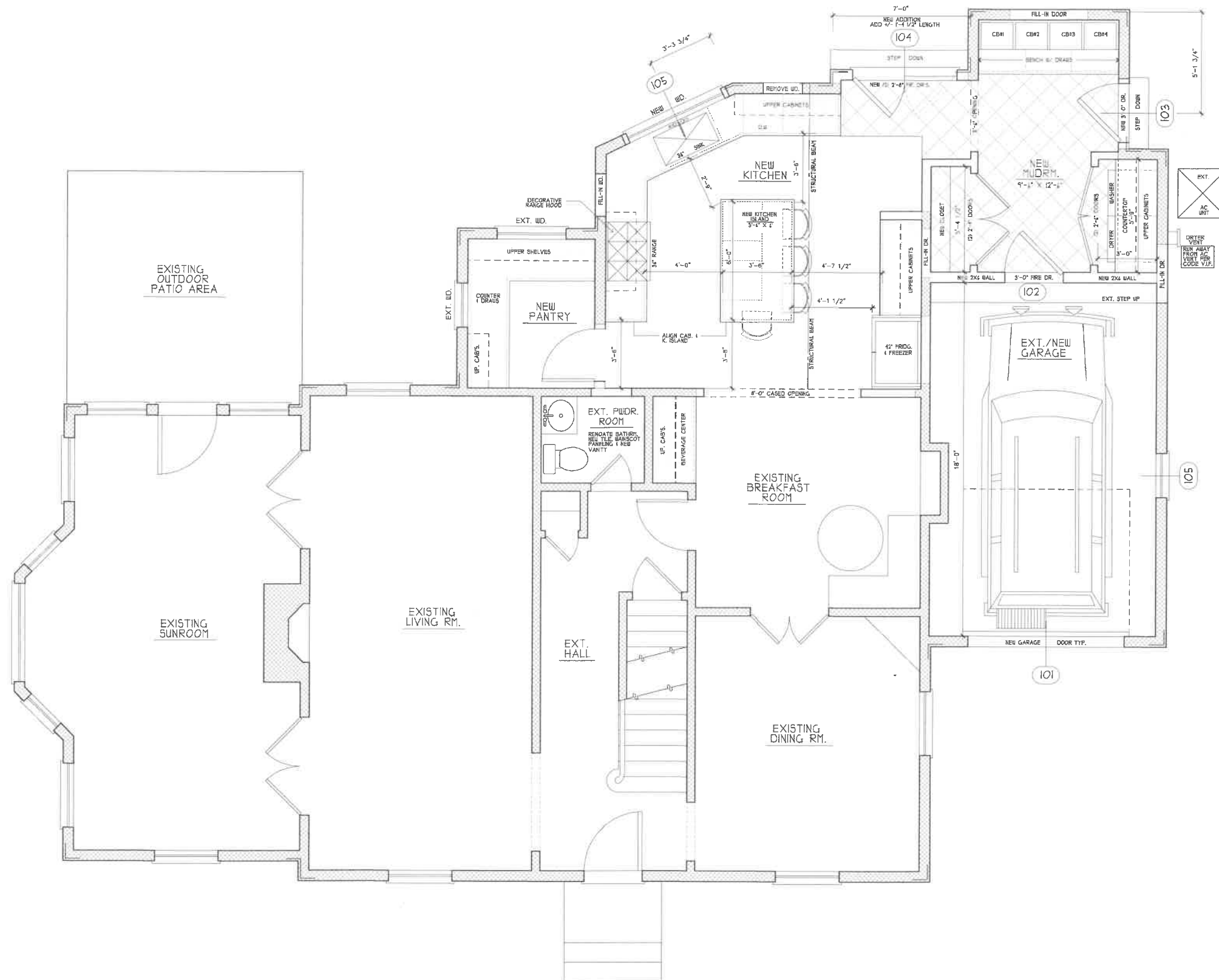
Issue Date: 1.7.26

Revision:

Drawing Title:

EXT./NEW EXT.
BLDG. ELEV'S.

A-2b



1 EXT./NEW FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"

36 LAUREL AVENUE BUILDING PERMIT SET

Date: 1.7.26

LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN AS REQUIRED

NEW HOMES, ADD/RENOV. & SPECULATIVE PROPERTIES

36 LAUREL AVENUE WELLESLEY, MA

Mr. Patrick and Mrs. Carlin Dolan
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

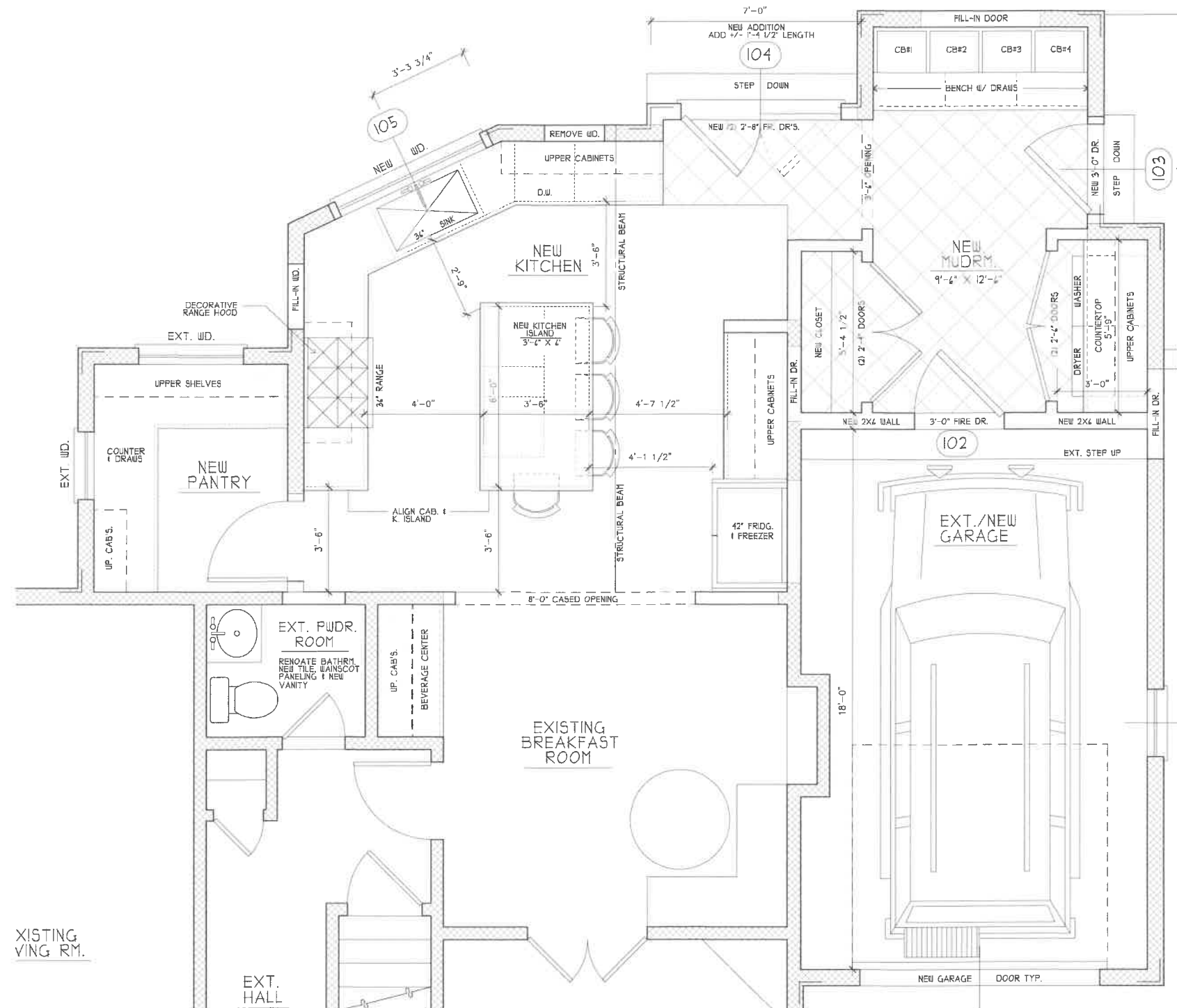
Issue Date: 1.7.26

Revision:

Drawing Title:

EXT./NEW 1ST
FLOOR PLAN

A-3



36 LAUREL AVENUE BUILDING PERMIT SET

Date: 1.7.26

LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN AS REQUIRED

NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

36 LAUREL AVENUE WELLESLEY, MA

Mr. Patrick and Mrs. Caitlin Dolan
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

Issue Date: 1.7.26

Revision:

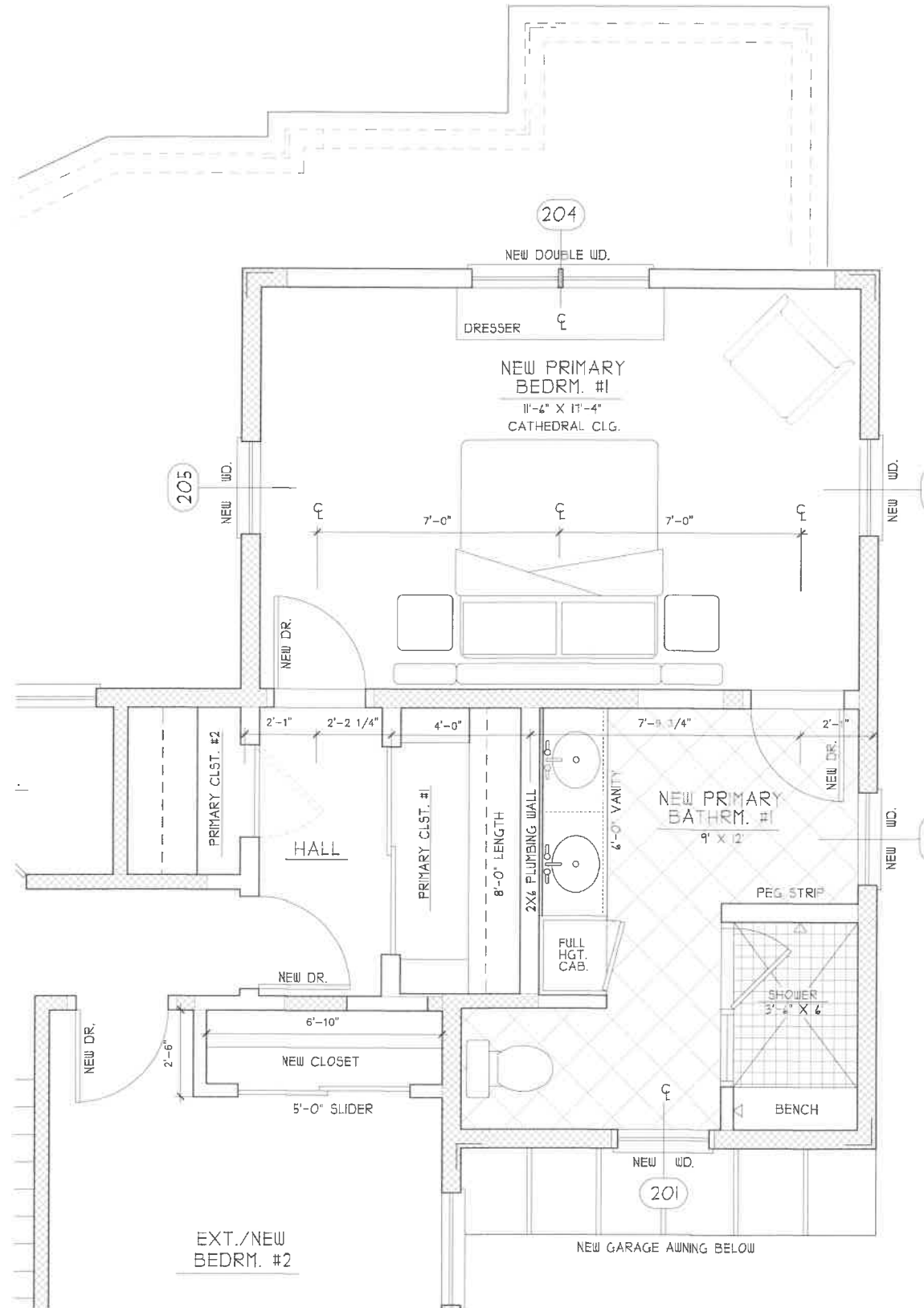
Drawing Title:

EXT./NEW 1ST
FLR. ENLARGED

A-3B

A EXT./NEW ENLARGED 1ST FLR. PLAN

SCALE: 1/2" = 1'-0"



B EXT./NEW ENLARGED 2ND FLR. PLAN

SCALE: 1/2" = 1'-0"

**36 LAUREL AVENUE
BUILDING PERMIT SET**

Date: 1.1.26

LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN AS REQUIRED

NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE
WELLESLEY, MA**

Mr. Patrick and Mrs. Caitlin Dolan
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

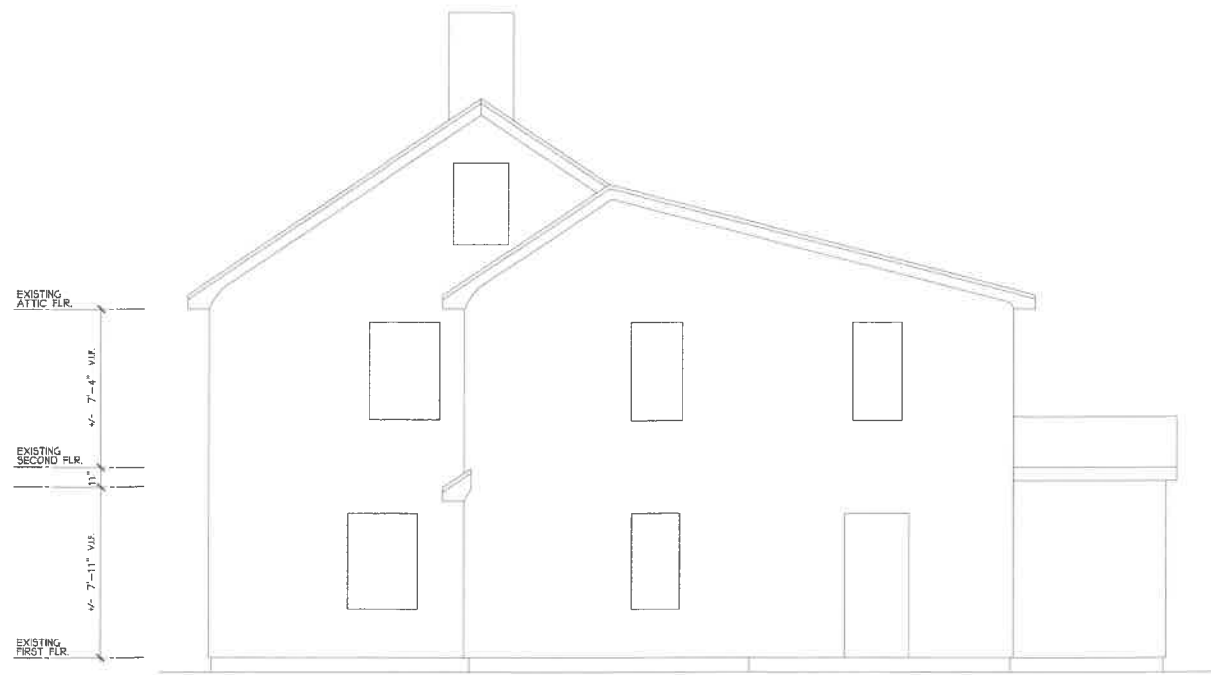
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Revision:

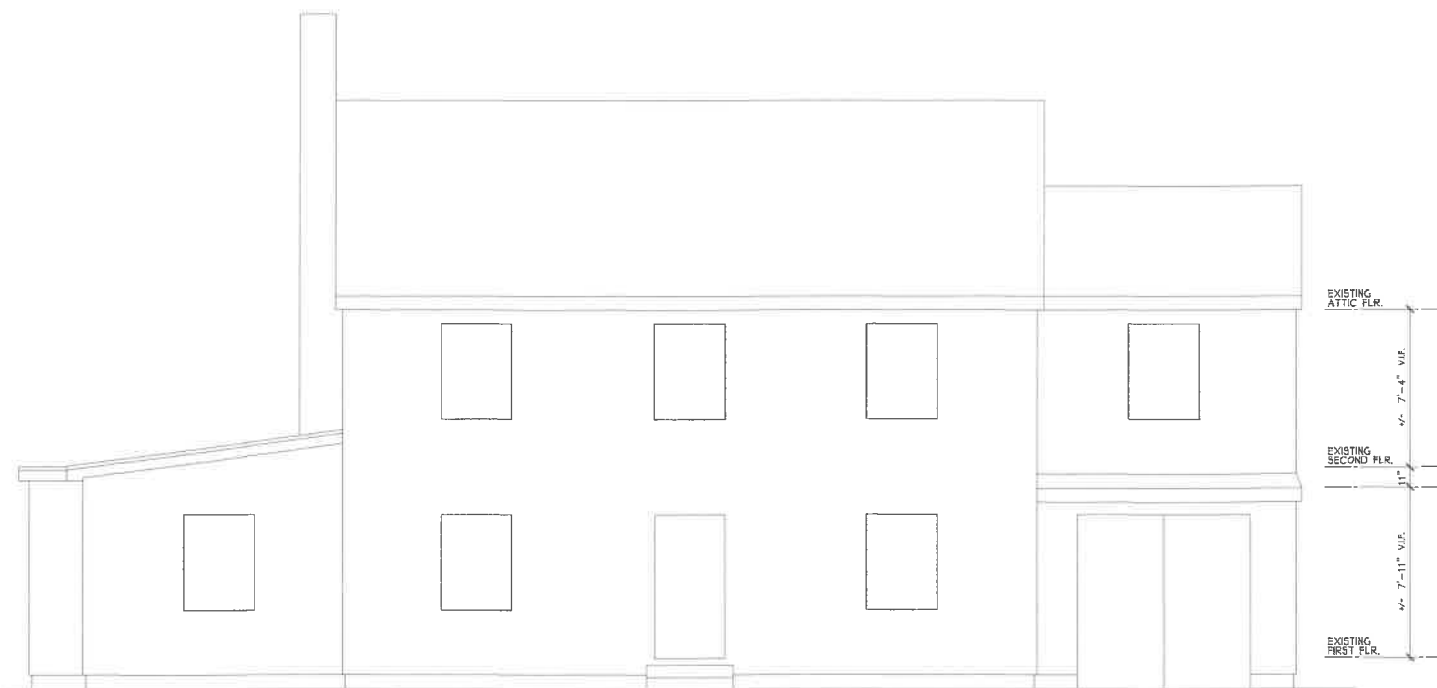
Drawing Title:

EXT./NEW 2ND
FLR. ENLARGED

A-4B



E EXISTING RIGHT-SIDE FACADE ELEVATION
SCALE: 1/4" = 1'-0"



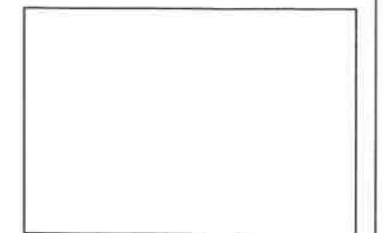
E EXISTING FRONT FACADE ELEVATION
SCALE: 1/4" = 1'-0"

**36 LAUREL AVENUE
BUILDING PERMIT SET**

Date: 1.7.26

LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN
AS REQUIRED



NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE
WELLESLEY, MA**

Mr. Patrick and Mrs. Caitlin Dolan
36 Laurel Avenue, Wellesley, MA

File No: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

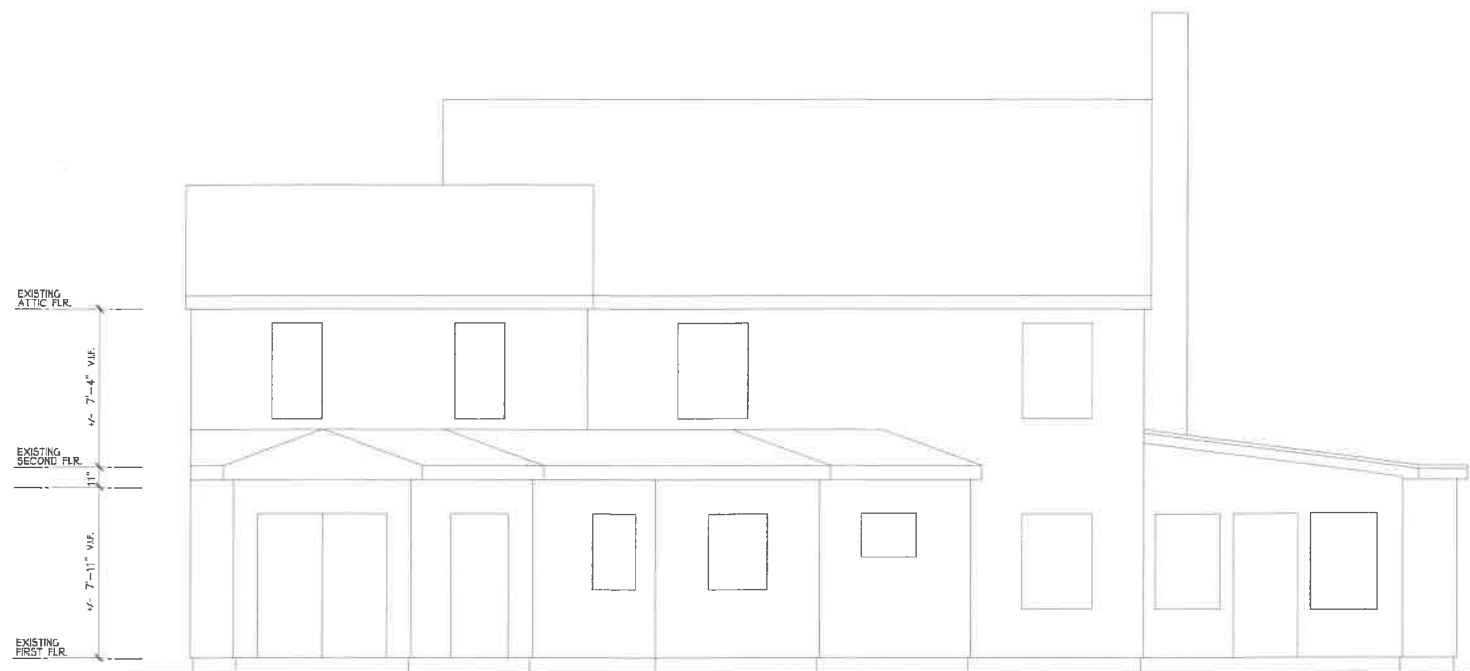
Issue Date: 1.7.26

Revision:

Drawing Title:

EXT. BUILDING
ELEVATIONS

A-5



E EXISTING FRONT FACADE ELEVATION
SCALE: 1/4" = 1'-0"



E EXISTING LEFT-SIDE FACADE ELEVATION
SCALE: 1/4" = 1'-0"

**36 LAUREL AVENUE
BUILDING PERMIT SET**

Date: 1.7.26

LEGEND

- NEW WALLS
 EXISTING WALLS TO REMAIN AS REQUIRED

NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE
WELLESLEY, MA**

Mr. Patrick and Mrs. Carlin Dolan
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

Issue Date: 1.7.26

Revision:

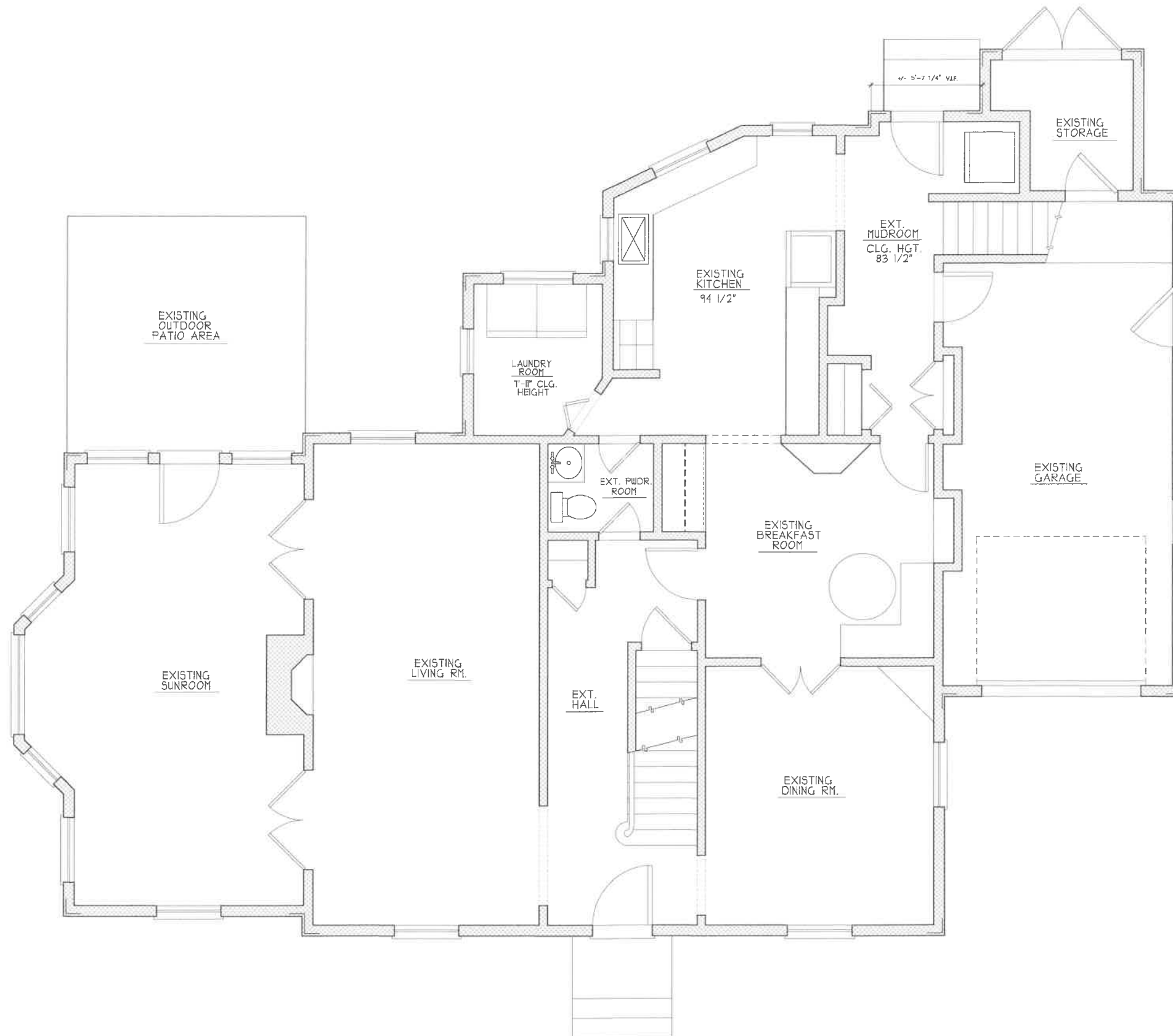
Drawing Title:

EXT. BUILDING
ELEVATIONS

A-6

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E EXISTING FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"

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**36 LAUREL AVENUE
BUILDING PERMIT SET**

Date: 1.1.26

LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN AS REQUIRED

NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE
WELLESLEY, MA**

Mr. Patrick and Mrs. Caitlin Dolan
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

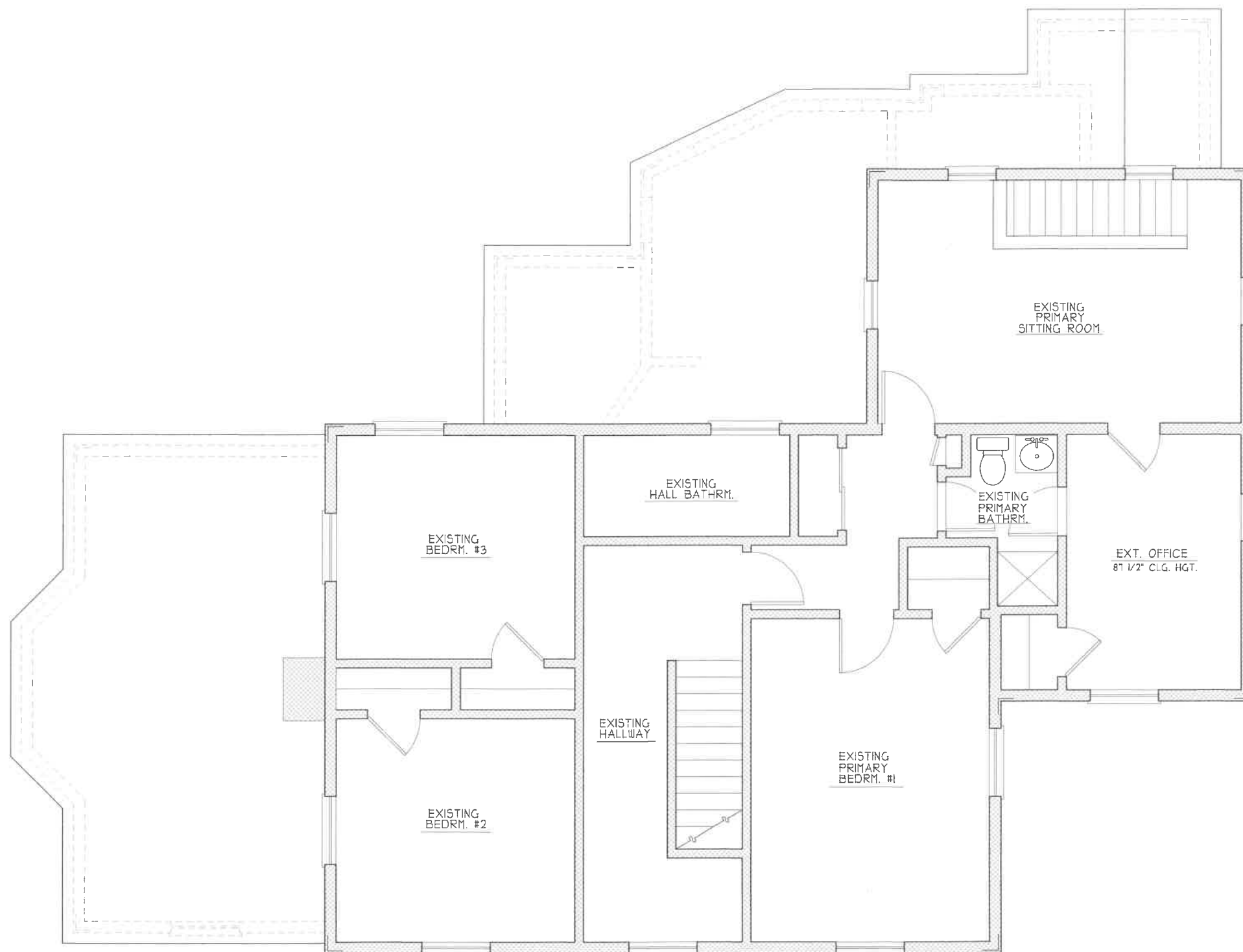
Issue Date: 1.1.26

Revision:

Drawing Title:

**EXISTING 1ST
FLOOR PLAN**

A-1



E EXISTING SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0"

**36 LAUREL AVENUE
BUILDING PERMIT SET**

Date: 1.7.26

LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN AS REQUIRED

NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

**36 LAUREL AVENUE
WELLESLEY, MA**

Mr. Patrick and Mrs. Caitlin Dolan
36 Laurel Avenue, Wellesley, MA

File No.: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

Issue Date: 1.7.26

Revision:

Drawing Title:

**EXISTING 2ND
FLOOR PLAN**

A-8

Window and Exterior Door Notes

Check and Review Schedule with plans and elevations for consistency. Bring any discrepancies to the attention of the Architect.
Contractor and Window Supplier to carefully check R.O.'s prior to placing window order and prior to start of framing.

CONFIRM SHOP DRAWINGS WITH ARCH. DESIGNER PRIOR TO PLACING FINAL ORDER.

ALL WINDOWS CLAD EXT. (VERIFY) AND WOOD INTERIOR PRIMED (VERIFY COLOR - WHITE) - CONFIRM W/. OWNER

36 LAUREL AVENUE – WELLESLEY, MA

LOCATION		MARVIN OR PELLA - EXTERIOR WINDOWS AND DOORS - D.H. WD.							REMARKS	
WINDOW #	ROOM NAME	TYPE	MODEL NUMBER	S.O. WIDTH	S.O. HEIGHT	LITES	EGRESS	NET CLEAR OPENING	TEMP.	
FIRST FLOOR PLAN										
101	MAIN GARAGE DOOR	GAR. DR.		8'-0"	7'-0"	T.B.D.	NO		NO	BY OTHERS - T.B.D.
102	EXT. /NEW GARAGE	FIRE DR.		3'-0"	4'-8"	0	YES		NO	FIRE RATED
103	MUDROOM/KITCHEN	FR. DR.'S.		(2) 2'-8"	4'-8"	(2) 10	YES		YES	
104	EXT./NEW KITCHEN	FIXED WD.		5'-4"	3'-4'	T.B.D.	NO		YES	BY OTHERS - T.B.D.
105	EXISTING GARAGE	DH. WD.		2'-8"	4'-6"	4/4	NO		NO	
* MATCH CLOSETS SASH OPNG. SIZE TO SIZES SPEC'D. (VARIES PER MFR.)										

36 LAUREL AVENUE – WELLESLEY, MA

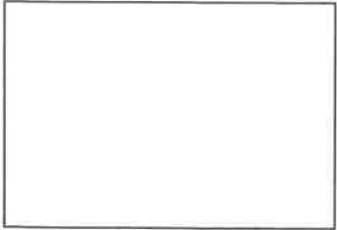
LOCATION		MARVIN OR PELLA- EXTERIOR WINDOWS AND DOORS - D.H. WD.							REMARKS	
WINDOW #	ROOM NAME	TYPE	MODEL NUMBER	S.O. WIDTH	S.O. HEIGHT	LITES	EGRESS	NET CLEAR OPENING	TEMP.	
SECOND FLOOR PLAN										
201	NEW PRIMARY BATHROOM	D.H. WD.		2'-8"	4'-6"	4/4	YES		NO	
202	NEW PRIMARY BATHROOM	D.H. WD.		2'-8"	4'-6"	4/4	YES		NO	
203	NEW PRIMARY BEDROOM	CSMT. WD.		2'-8"	3'-6"	6	NO		NO	
204	NEW PRIMARY BEDROOM	D.H. WD'S.		(2) 2'-8"	4'-6"	4/4	YES		NO	
205	NEW PRIMARY BEDROOM	CSMT. WD.		2'-8"	3'-6"	6	NO		NO	
* MATCH CLOSETS SASH OPNG. SIZE TO SIZES SPEC'D. (VARIES PER MFR.)										

36 LAUREL AVENUE
BUILDING PERMIT SET

Date: 1.1.24

LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN AS REQUIRED



NEW HOMES, ADD/RENOV, & SPECULATIVE PROPERTIES

36 LAUREL AVENUE
WELLESLEY, MA

Mr. Patrick and Mrs. Caitlin Dolan
36 Laurel Avenue, Wellesley, MA

File No: 36 Laurel Ave. - Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

Issue Date: 1.1.24

Revision:

Drawing Title:

TYPICAL WD. &
DOOR SCHEDULE

A-9



EXT FOR BIRN



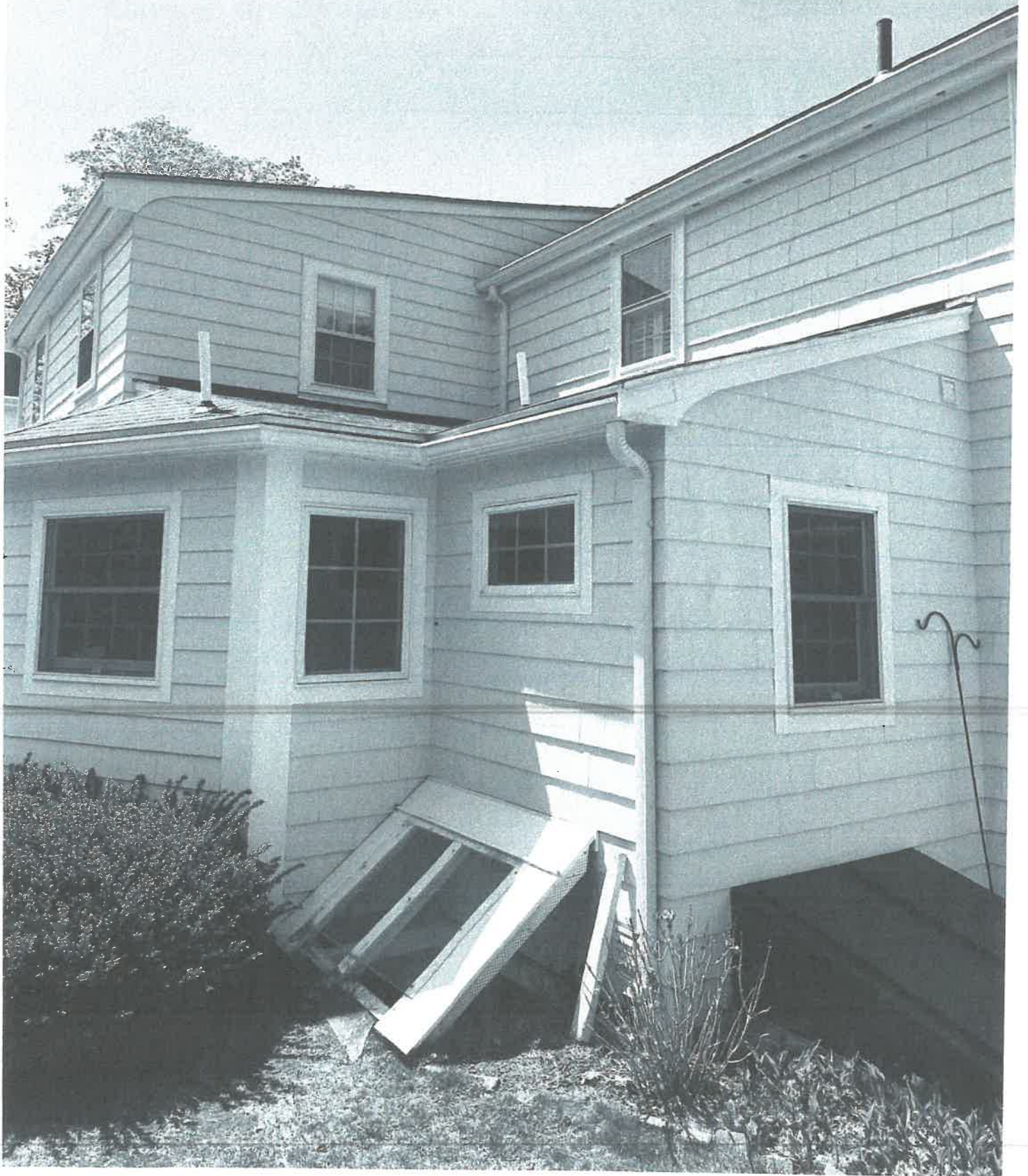
EXT. FAY VIEW AT 600000



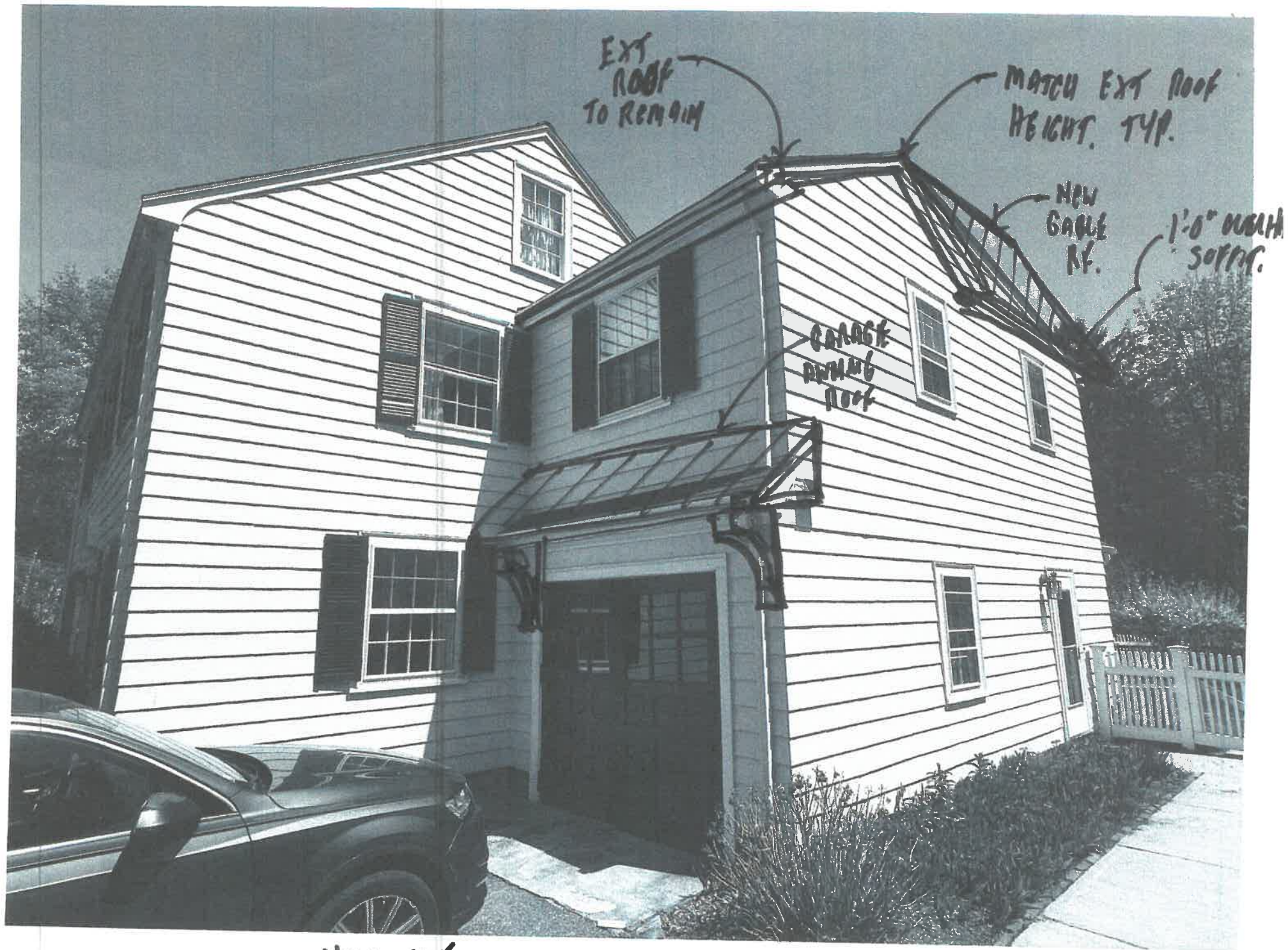
BY 1060 1/10/11



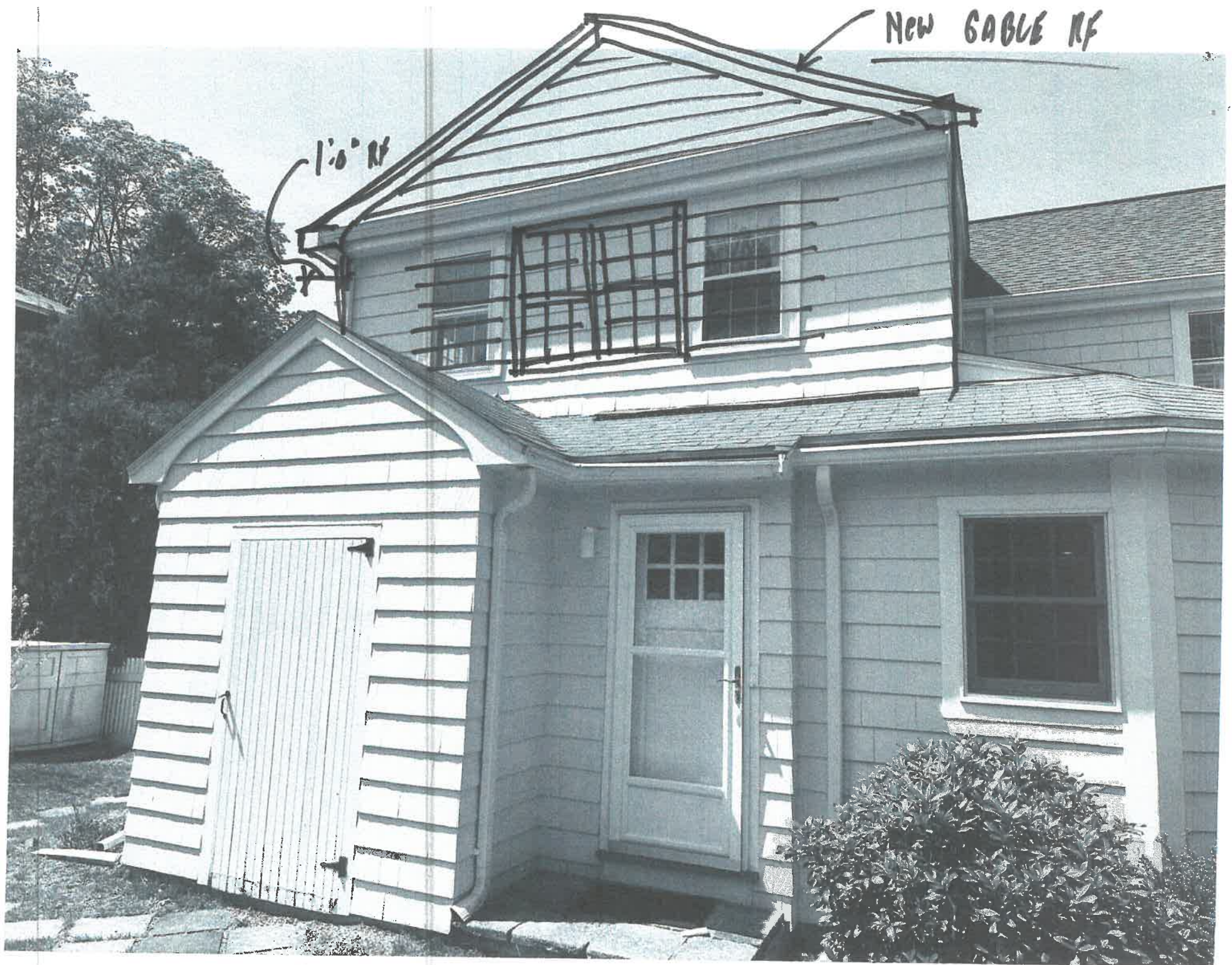
EXT RIGHT ELEV.



EXT REAR ELEV.



NEW EXT - BLD LWA 1221



NEW REAR - REAR INCH - 1796