



Town of Wellesley  
Planning Department  
888 Worcester Street  
Suite 160  
Wellesley, MA 02482  
(781) 431-1019 x2232

## Historic Preservation Demolition Review APPLICATION FOR ELIGIBILITY NOTICE

Pursuant to Article 46C of the Town Bylaws, **submission of this application (SIDE 1) to the Planning Department and issuance of an Eligibility Notice is required before a permit to demolish (or remove or envelope more than 50%) will be issued by the Building Department for a building or structure used as a dwelling within the last 3 years;** if the dwelling is determined to have been built on or prior to December 31, 1949, a Preservation Determination (SIDE 2) must be made by the Historical Commission (and any imposed Delay Period shall have expired or been waived) before issuance of a permit to demolish (or remove or envelope more than 50%).

### Application Information:

Property Address: 202 Cedar St

Check One: ☒ Full/Complete Demolition  
☐ Partial Demolition/Envelopment (50% or more)  
☐ Less than 50% Demolition/Envelopment

What year was the structure built? 1914 Source of information: Assessor

Please Attach the Following Required Information:

- Assessor's map showing property location
- Photocopies of Assessors Record, Building Permit(s), and any other documentation to support construction date
- If a partial demolition or envelopment (50% or more), plans or drawings showing such partial demolition or envelopment.
- Photographs of all existing façade elevations of the building.

Property Owner Name: 202 Cedar LLC Phone: 781-484-3539

Mailing Address: 22 Milton Rd, Reading, MA 01867

Email Address: john@bluecedarpropertygroup.com

Fees: ☐ Eligibility Notice Only - \$50  
☐ Eligibility Notice and Preservation Determination - \$850  
☐ <50% Demo - Calculations and Elevations Submitted - No Fee

### Application Authorization:

Signature of Property Owner: [Signature] Date: 11/10/2025

*By signing above, the applicant states that they are duly authorized to apply for demolition on behalf of all persons or entities which have an ownership interest in the property.*

Submission Date: \_\_\_\_\_ Received By: \_\_\_\_\_

Fee Paid: \$ \_\_\_\_\_ Case Number: DR \_\_\_\_\_

### Determination (refer to issued Eligibility Notice):

☐ Not an Eligible Building Date Issued: \_\_\_\_\_  
☐ Eligible Building\* Expiration Date: \_\_\_\_\_

\*A Preservation Determination is required; please see **SIDE 2**

## Application for Preservation Determination

Based on the Eligibility Notice issued for the subject property noted on **Side 1** of this form, pursuant to Article 46C of the Town Bylaws, a Preservation Determination must be made by the Historical Commission (and any imposed Delay Period shall have expired or been waived) before issuance of a permit to demolish (or remove or envelope more than 50%).

### Application Authorization:

As Owner of the subject property identified on Side 1 of this form, the structure(s) located thereon determined to be an Eligible Building, I am requesting that the Wellesley Historical Commission make a Preservation Determination for the applicable structure(s); if I am making this request at the same time that I am seeking an Eligibility Notice, I am acknowledging that the structure is an Eligible Building and waiving my right to appeal such a determination:

Property Owner Name: 202 Cedar LLC

Signature of Property Owner:  Date: 11/10/2025

### Documentation Requirements:

Please submit the following additional information for consideration by the Historical Commission, as applicable:

- **In the case of partial demolition**, plans showing the use or development of the site after such demolition, if known, and a statement identifying all zoning variances and/or special permits which may be required in order to implement the proposed use or development, if known; and
- **In the case of ANY demolition**, photographs of all existing façade elevations of the Building

### For Town Use Only

Documentation Submission Date: \_\_\_\_\_ Received By: \_\_\_\_\_

Fee Paid: \$ \_\_\_\_\_ WHC Public Hearing Date: \_\_\_\_\_

### Historical Commission Determination (refer to issued Notice of Preservation Determination):

☐ Not Preferably Preserved Date Issued: \_\_\_\_\_

☐ Preferably Preserved Expiration of Delay Period (if applicable): \_\_\_\_\_

### Request to Reduce Delay Period (Waiver)\*

\*May not be sought until a Preservation Determination is made by the Historical Commission

As Owner of the subject property identified on Side 1 of this form, the structure(s) located thereon determined to be an Eligible Building and Determined to be Preferably Preserved, I am requesting that the Wellesley Historical Commission make a determination as to whether or not to reduce or modify the Delay Period.

Property Owner Name: 202 Cedar LLC

Signature of Property Owner:  Date: 01/14/2026

**To accompany this request, the Owner should submit documentation evidencing any attempts to sell the property or plans and elevations for proposed construction to follow any Demolition.**

Robert H. Williamson, Architect  
RHWA, LLC.  
78 Cochrane Street  
Melrose, MA 02176  
[www.rhwarchitect.com](http://www.rhwarchitect.com)

January 14, 2026

Wellesley Historic Commission  
Town of Wellesley Planning Department  
888 Worcester Street  
Suite 160  
Wellesley, MA 02482

Dear Members of the Historic Commission

On behalf of the John Anderson of Blue Cedar Property Group, I am submitting the application for a demolition waiver for the structure at 202 Cedar Street. The existing property is unique because of the close proximity to a gravel road in a neighborhood with a variety of architectural styles and sizes of both homes and lots. We have determined that the right move on the site is to build a new home within the setback constraints of the current zoning bylaw, rather than seek special permits because of the existing non-conforming condition.

The new home meets all zoning bylaws for lot dimensions, setbacks, coverage and TLAG area limitations. We explored different design options, and found that a Dutch Colonial style worked well with our architectural goals and within the context of the neighborhood at large. This classic revival style of residential architecture is a staple in many New England communities and will serve us well for this new home.

Sincerely,

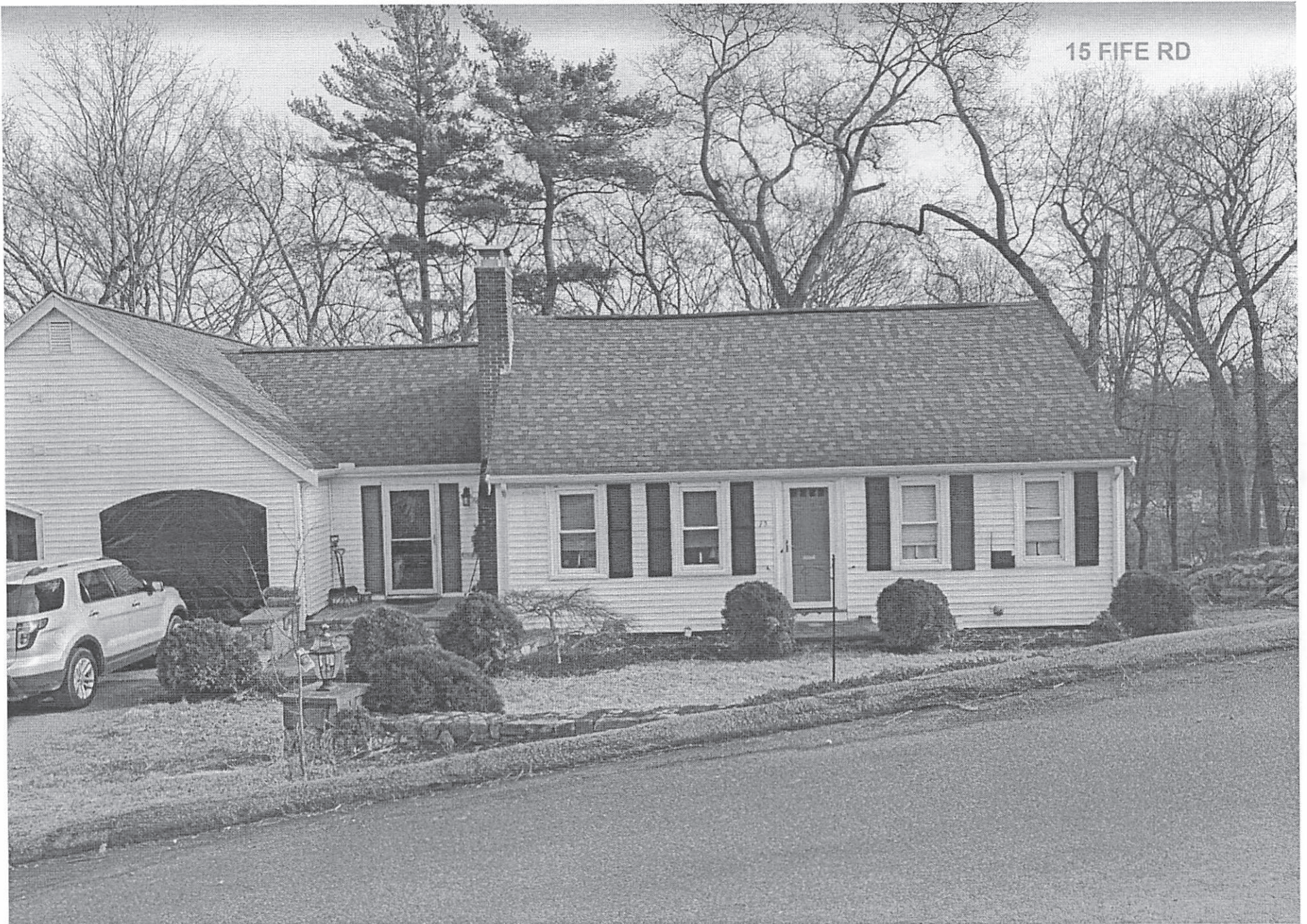
A handwritten signature in black ink, appearing to read "Robert H. Williamson", with a stylized flourish at the end.

Robert H. Williamson, Architect





















EXISTING WEST FACADE



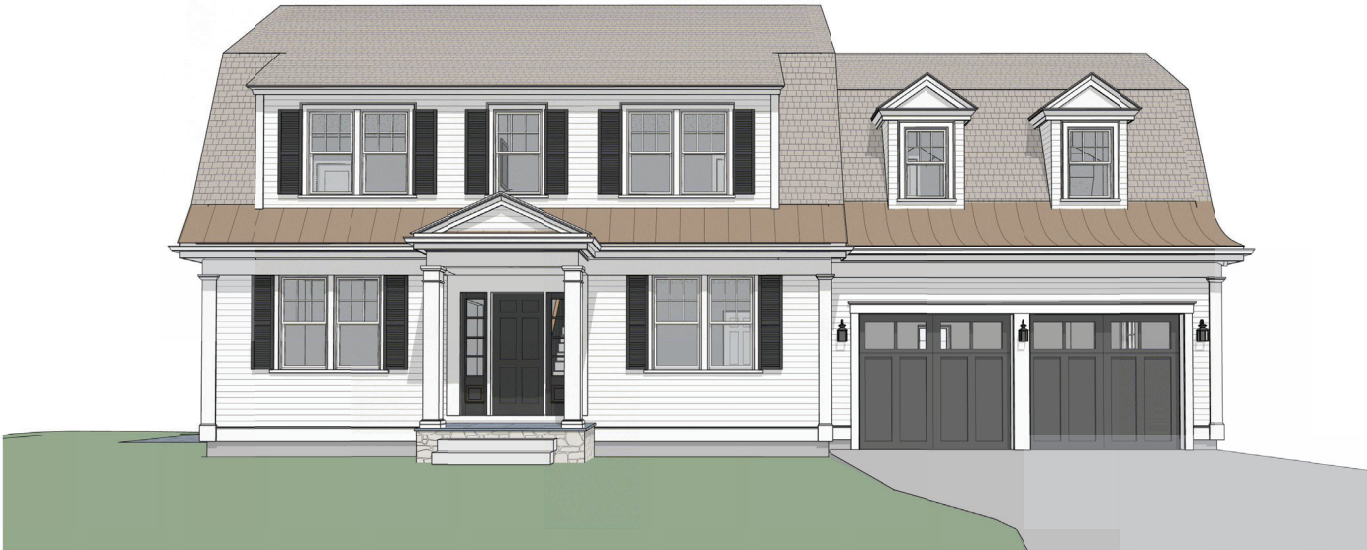
EXISTING SOUTH FACADE



EXISTING EAST FACADE



EXISTING NORTH FACADE



NOTE: 3D VIEWS DO NOT SHOW ALL LANDSCAPE DETAIL. THESE DRAWINGS ARE PROVIDED TO REPRESENT THE ARCHITECTURAL DESIGN ONLY.

# New Construction Residence for Blue Cedar Property Group

202 Cedar St, Wellesley, MA 02481

HISTORIC COMMISSION SET  
ARCHITECTURAL DRAWINGS  
JANUARY 14, 2026

SHEET LIST	
SHEET NUMBER	SHEET NAME
T0.01	TITLE PAGE
T0.02	3D VIEWS
T0.03	NEIGHBORHOOD PLAN
A0.01	ARCHITECTURAL SITE PLAN
A0.02	FLAG PLANS
A1.01	PROPOSED FLOOR PLANS
A1.02	PROPOSED FLOOR PLANS
A1.03	PROPOSED FLOOR PLANS
A1.04	PROPOSED FLOOR PLANS
A4.01	EXTERIOR ELEVATIONS
A4.02	EXTERIOR ELEVATIONS

Architect:  
RHWA, LLC.  
78 Cochran Street  
Melrose, MA 02176  
802-342-2502  
www.rhwaarchitect.com

Consultant:

Project Name:  
NEW RESIDENCE AT  
202 CEDAR ST FOR  
BLUE CEDAR  
PROPERTY GROUP

Client: Blue Cedar Property Group  
Location: 202 Cedar St, Wellesley, MA 02481  
Sheet Name:  
TITLE PAGE

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CONSTRUCT A SPECIFIC PROJECT  
ON THE SITE AS INDICATED.



Revision:

Issue Date:  
JANUARY 14, 2026

Project No: 25022

Scale:

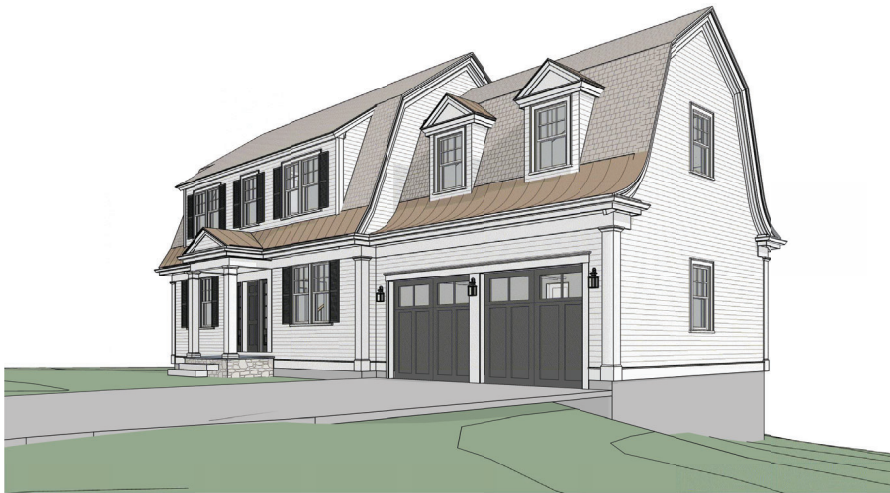
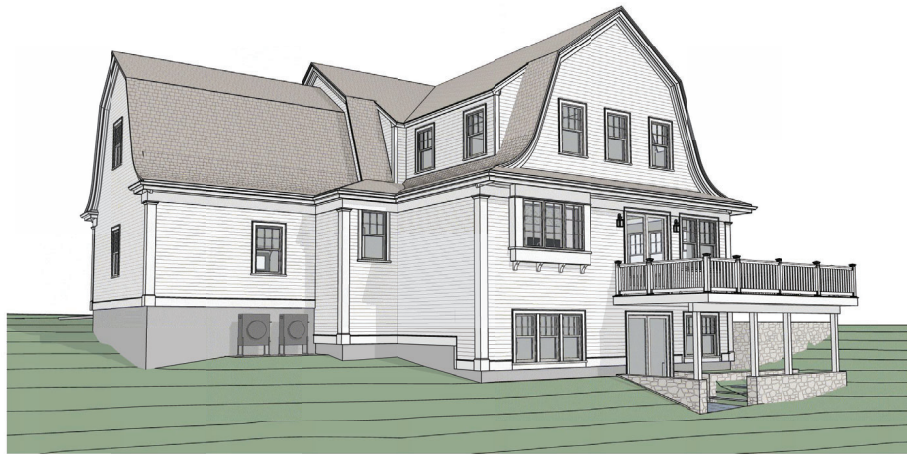
Sheet Number:

T0.01



SITE LOCATION PLAN





Architect:  
RHWA, LLC.  
78 Cochrane Street  
Melrose, MA 02176  
802-342-2502  
www.rhwarchitect.com

Consultant:

Project Name:  
NEW RESIDENCE AT  
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Client: Blue Cedar Property Group  
Location: 202 Cedar St, Wellesley, MA 02481  
Sheet Name:

3D VIEWS

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T0.02



200 CEDAR ST LOT SIZE: 10,569 SF +/-  
HEIGHT: 2 STORIES



202 CEDAR ST LOT SIZE: 23,221 SF +/-  
HEIGHT: 2.5 STORIES



19 FIFE RD LOT SIZE: 17,758 SF +/-  
HEIGHT: 1.5 STORIES



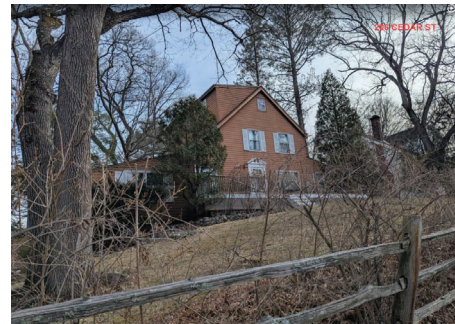
15 FIFE RD LOT SIZE: 12,175 SF +/-  
HEIGHT: 1 STORY



196 CEDAR ST LOT SIZE: 13,708 SF +/-  
HEIGHT: 2 STORIES



11 FIFE RD LOT SIZE: 10,050 SF +/-  
HEIGHT: 2 STORIES



206 CEDAR ST LOT SIZE: 19,294 SF +/-  
HEIGHT: 2 STORIES



206R CEDAR ST LOT SIZE: 11,823 SF +/-  
HEIGHT: 1 STORY



14 FIFE RD LOT SIZE: 6,848 SF +/-  
HEIGHT: 2 STORIES



10 FIFE RD LOT SIZE: 6,956 SF +/-  
HEIGHT: 2.5 STORIES

Architect:  
RHWA, LLC.  
78 Cochrane Street  
Melrose, MA 02176  
802-342-2507  
www.rhwaarchitect.com

Consultant:

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NEW RESIDENCE AT  
202 CEDAR ST FOR  
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PROPERTY GROUP

Client: Blue Cedar Property Group  
Location: 202 Cedar St, Wellesley, MA 02481  
Sheet Name:  
NEIGHBORHOOD PLAN

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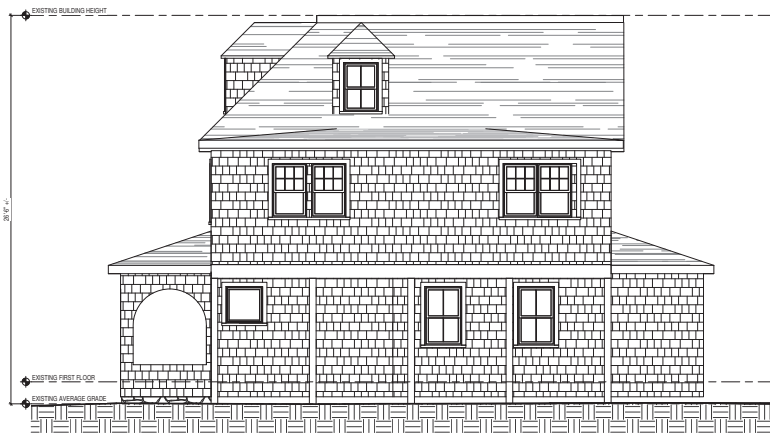
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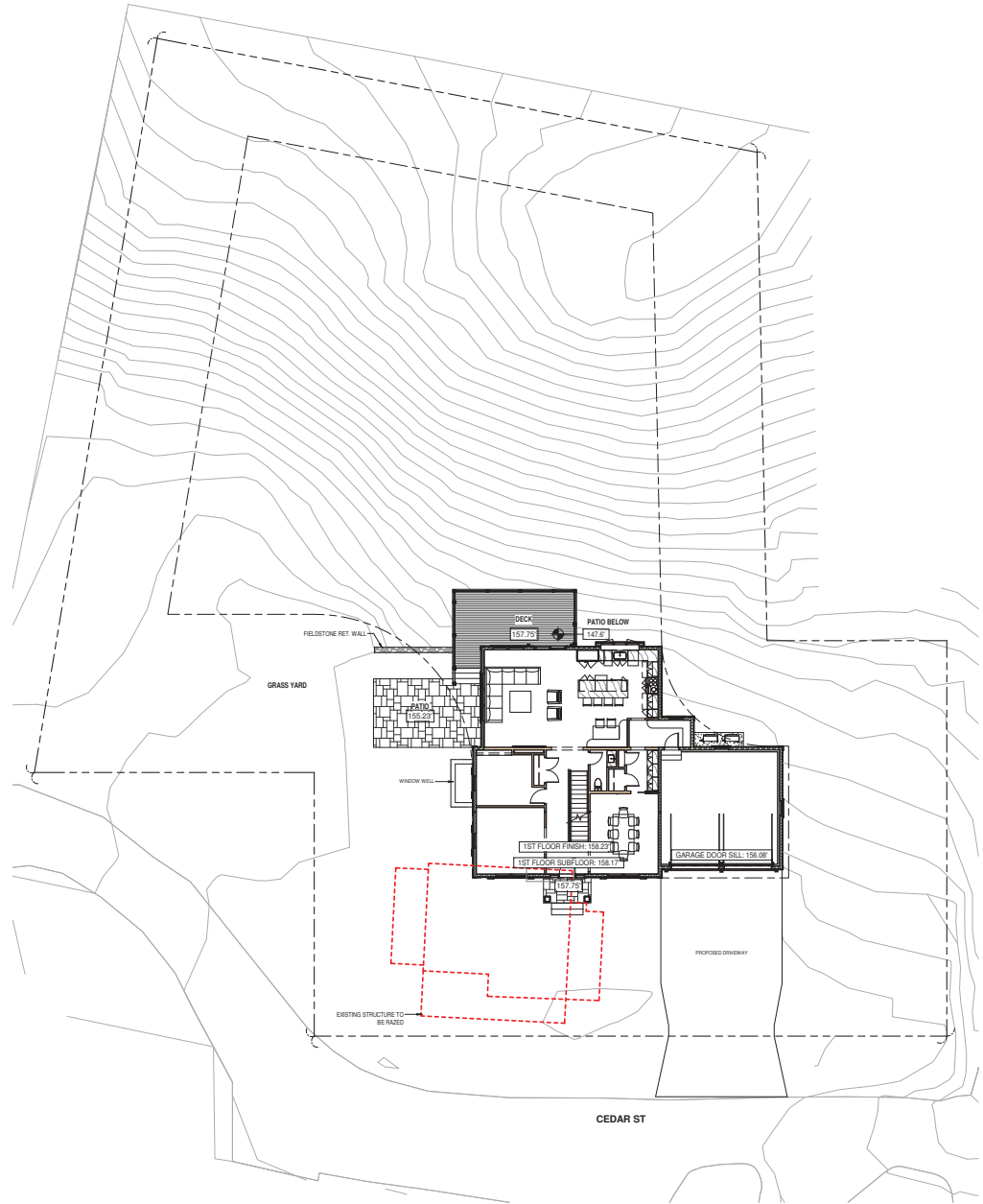
T0.03



3 EXISTING WEST ELEVATION  
Scale: 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



1 ARCHITECTURAL SITE PLAN  
Scale: 3/32" = 1'-0"

Architect:  
RHWA, LLC.  
78 Cochrane Street  
Melrose, MA 02176  
802-342-2502  
www.rhwaarchitect.com

Consultant:

Project Name:  
NEW RESIDENCE AT  
202 CEDAR ST FOR  
BLUE CEDAR  
PROPERTY GROUP

Client: Blue Cedar Property Group  
Location: 202 Cedar St, Wellesley, MA 02461  
Sheet Name:  
ARCHITECTURAL SITE PLAN

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Revision:  
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\_\_\_\_\_  
\_\_\_\_\_

Issue Date:  
JANUARY 14, 2026

Project No: 25022

Scale: As indicated

Sheet Number:

A0.01

**ZONING DISTRICT: SR-15**

**EXISTING TLAG SUMMARY**

**BASEMENT:** 0 SF  
**1ST FLOOR:** 730 SF  
**2ND FLOOR:** 791 SF  
**ATTIC:** 235 SF

**TOTAL:** 1,756 SF

**PROPOSED TLAG SUMMARY**

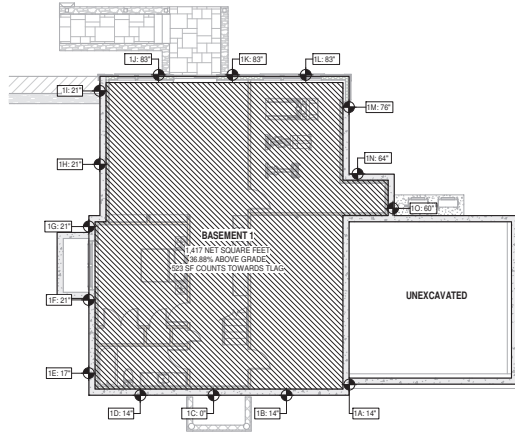
**BASEMENT:** 523 SF  
**1ST FLOOR:** 2,114 SF  
**2ND FLOOR:** 1,649 SF  
**ATTIC:** 0 SF

**TOTAL:** 4,286 SF

BASEMENT 1	
LOCATION	HEIGHT
1A	14"
1B	14"
1C	8"
1D	14"
1E	17"
1F	21"
1G	21"
1H	21"
1I	21"
1J	83"
1K	83"
1L	83"
1M	76"
1N	64"
1O	60"
TOTAL	592"
COUNT	15
AVERAGE	39.47"

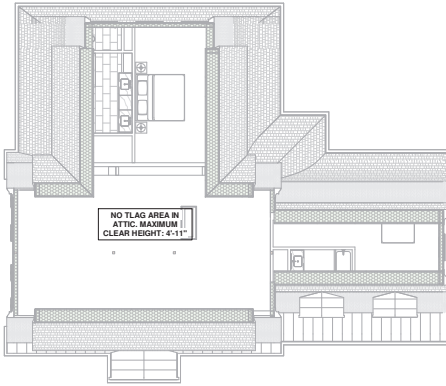
PROPOSED BASEMENT 1	
AVERAGE HEIGHT OF BASEMENT WALLS ABOVE GRADE	39.47"
HEIGHT FROM BASEMENT SLAB TO FLOOR JOISTS	107"
PERCENTAGE OF WALL ABOVE GRADE	36.88%

GROSS AREA SCHEDULE			
LEVEL	NAME	AREA	COMMENTS
BASEMENT	0.1	523 SF	PROPOSED
FIRST FLOOR	1.1	1,571 SF	PROPOSED
FIRST FLOOR	1.2	543 SF	PROPOSED
SECOND FLOOR	2.1	1,649 SF	PROPOSED
		4,286 SF	

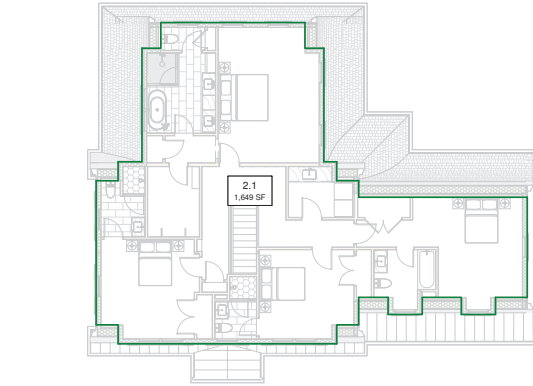


1 BASEMENT PLAN - TLAG  
Scale: 1/8" = 1'-0"

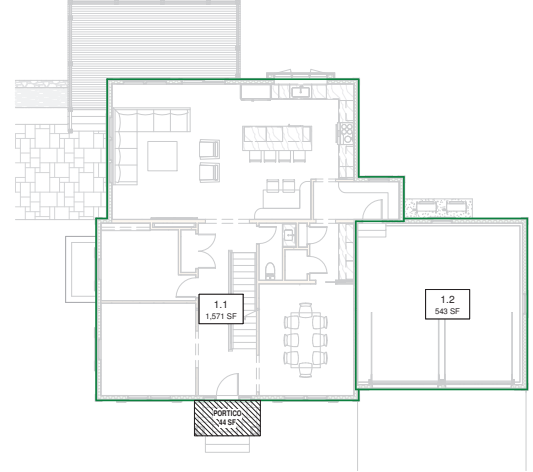
NOTE: TLAG BOUNDARIES ARE MEASURED TO THE FINISH FACE OF EXTERIOR WALLS ABOVE GRADE. TLAG BOUNDARIES BELOW SLOPED ROOFS, IF APPLICABLE, ARE MEASURED TO THE 5 FT. VERTICAL LINE PER SECTION 5.5 OF THE WELLESLEY BY-LAWS.



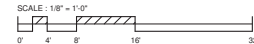
5 ATTIC PLAN - TLAG  
Scale: 1/8" = 1'-0"



3 2ND FLOOR PLAN - TLAG  
Scale: 1/8" = 1'-0"



2 1ST FLOOR PLAN - TLAG  
Scale: 1/8" = 1'-0"



Architect:  
RHWA, LLC.  
78 Cochrane Street  
Melrose, MA 02176  
802-342-2502  
www.rhwarearchitect.com

Consultant:

Project Name:  
NEW RESIDENCE AT  
202 CEDAR ST FOR  
BLUE CEDAR  
PROPERTY GROUP

Client: Blue Cedar Property Group  
Location: 202 Cedar St, Wellesley, MA 02461  
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TLAG PLANS

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Revision:  
  
  
  
  
Issue Date:  
JANUARY 14, 2026  
Project No: 25022  
Scale: As indicated  
Sheet Number:

A0.02

FLOOR PLAN LEGEND

- WINDOW TAG, SEE A4.02
- DOOR TAG, SEE A4.03
- CAST-IN PLACE CONCRETE WALL
- PARTITION STUD WALL, 2x4 OR 2x6 AT 16" O.C.  
SEE INSULATION SCHEDULE FOR ACoustIC TREATMENT
- EXTERIOR STUD WALL, 2x4 AT 16" O.C., INSULATED
- COLUMN / POST, SEE A4 FRAMING PLANS
- SIMPSON HOOK BOLTS, HOLD-DOWN ANCHOR BOLT TO BE CAST INTO FOUNDATION PER MANUFACTURER'S DETAILS

FLOOR PLAN NOTES:

1. EXTERIOR WALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STUD OR CONCRETE.
2. INTERIOR PARTITION DIMENSIONS ARE TO THE FINISH FACE OF THE WALL OR TO THE CENTERLINE OF THE WALL.
3. WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING.
4. DOORS ARE DIMENSIONED TO THE FINISH EDGE OF DOOR JAMBS.
5. INTERIOR SQUARE FOOTAGES LISTED ON PLANS ARE NET SQUARE FOOTAGE OF EACH ROOM, NOT INCLUDING CLOSETS, UNLESS OTHERWISE NOTED. SEE AREA SCHEDULE FOR GROSS SQUARE FOOTAGE.

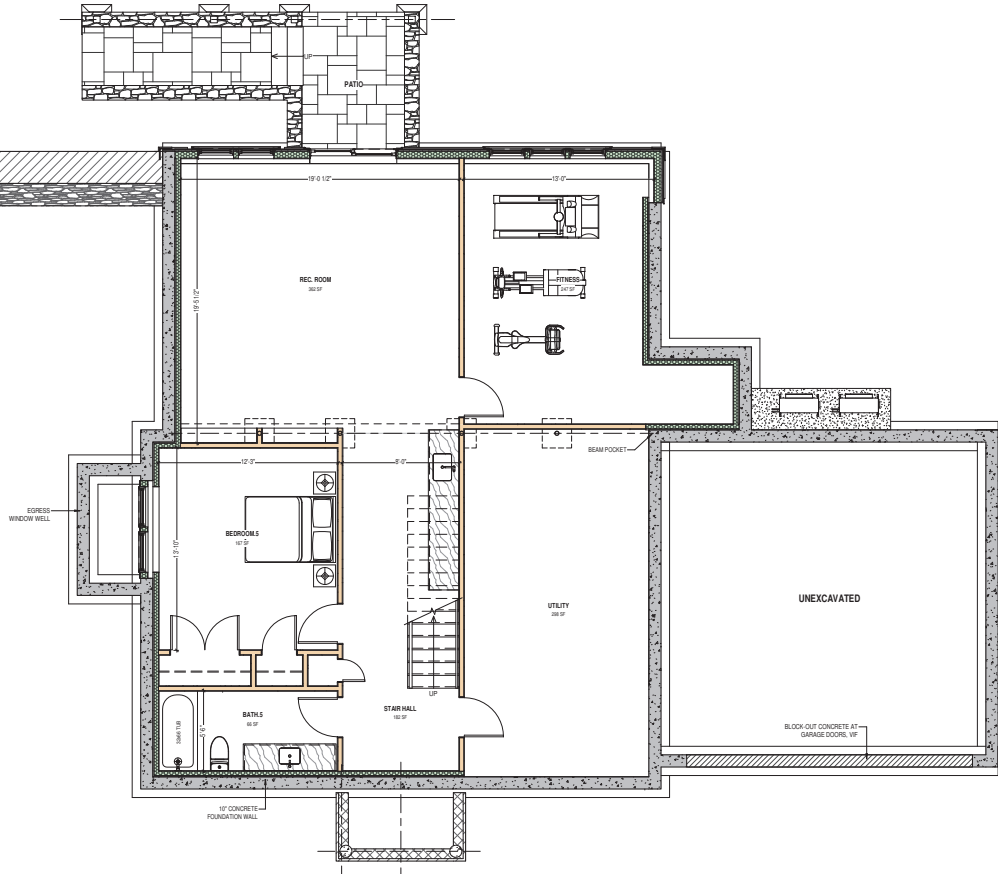
GENERAL NOTES - CONCRETE

- ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- EXTERIOR FOUNDATIONS SHALL BE A MINIMUM OF 4" F.T. BELOW FINISH GRADE.
- CONCRETE FOOTINGS SHALL BE CONTINUOUS 24" WIDE, A 12" DEEP CARRIED DOWN IF INTO UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 2 TONS PER SQUARE FOOT, UNLESS OTHERWISE NOTED.
- FOUNDATION WALLS SHALL BE MINIMUM 12" WIDE AND HAVE (2) #5 REINFORCEMENT RODS TOP & BOTTOM, RUNNING CONTINUOUSLY UNLESS OTHERWISE NOTED.
- PROVIDE 1-1/2" MINIMUM CONCRETE COVER OVER ALL STEEL REINFORCEMENT.
- FORMED IN PLACE CONCRETE SHALL BE NORMAL WEIGHT, 3000 PSI, MAXIMUM AGGREGATE SIZE OF 1/2", AND SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH CURVE TIME.
- DO NOT PLACE CONCRETE IN WATER OR ON FROZEN SUBGRADE.
- ALL CONCRETE FOUNDATIONS WITH EMBASED SPACES SHALL HAVE BUTYLMUM DAMPROOFING FROM THE TOP OF THE FOOTING TO FINISHED GRADE.
- FOUNDATION WATERPROOFING MAY BE REQUIRED WHERE A HIGH WATER TABLE OR OTHER ADVERSE SOIL WATER CONDITIONS ARE KNOWN TO EXIST. THE GC SHALL INFORM THE ARCHITECT IF SUCH CONDITIONS ARE DISCOVERED.
- PROVIDE PERIMETER FOOTING DRAIN PERFORATED PIPE, 4" DIA. AT THE EXTENSION OF ALL FOOTINGS OF FULL HEIGHT FOUNDATION WALLS. FOOTING DRAIN PIPE SHALL DRAIN TOWARDS DRAINAGE.
- PROVIDE 1/2" MINIMUM CRUSHED STONE OVER COMPACTED STRUCTURAL FILL BELOW ALL FOUNDATIONS AND CONCRETE SLABS.
- PROVIDE 1/2" MIN. CRUSHED STONE UNDERLAYMENT BELOW SLABS THAT REQUIRE RADON MITIGATION SYSTEM AND/OR UNDERSLAB DRAINAGE SYSTEMS.
- PROVIDE 10 MIL POLY VAPOR BARRIER BELOW CONCRETE SLABS ON GRADE.
- PROVIDE 2" RFS INSULATION BELOW SLAB PER INSULATION SCHEDULE.
- PROVIDE 1/2" PERIMETER JOINT FILLER AT THE EDGE OF ALL CONCRETE SLABS ON GRADE.
- PROVIDE CONSTRUCTION JOINTS IN CONCRETE SLABS ON GRADE AT 20' BOTH DIRECTIONS, UNLESS OTHERWISE NOTED.
- CONCRETE SLABS ON GRADE SHALL BE REINFORCED WITH #10 GAL. WELDED WIRE MESH IN THE MIDDLE OF THE SLAB.
- WOOD FRAMED WALLS SHALL BE MORTARED TO CONCRETE FOUNDATION WITH 5/8" DIA. GALVANIZED J-BOLTS AT 32" O.C.

A4.01

A5.07

A4.02



A5.07

A4.02

A5.07

A5.01

A5.01

A5.02

A4.01

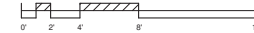
A5.03

A5.02

A5.04

1 PROPOSED BASEMENT PLAN  
Scale: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



Architect:  
RHWA, LLC.  
78 Cochrane Street  
Methuen, MA 02176  
802-342-2502  
www.rhwaarchitect.com

Consultant:

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202 CEDAR ST FOR  
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PROPERTY GROUP

Client: Blue Cedar Property Group  
Location: 202 Cedar St. Wilestey, MA 02481  
Sheet Name:  
PROPOSED FLOOR PLANS

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Sheet Number:

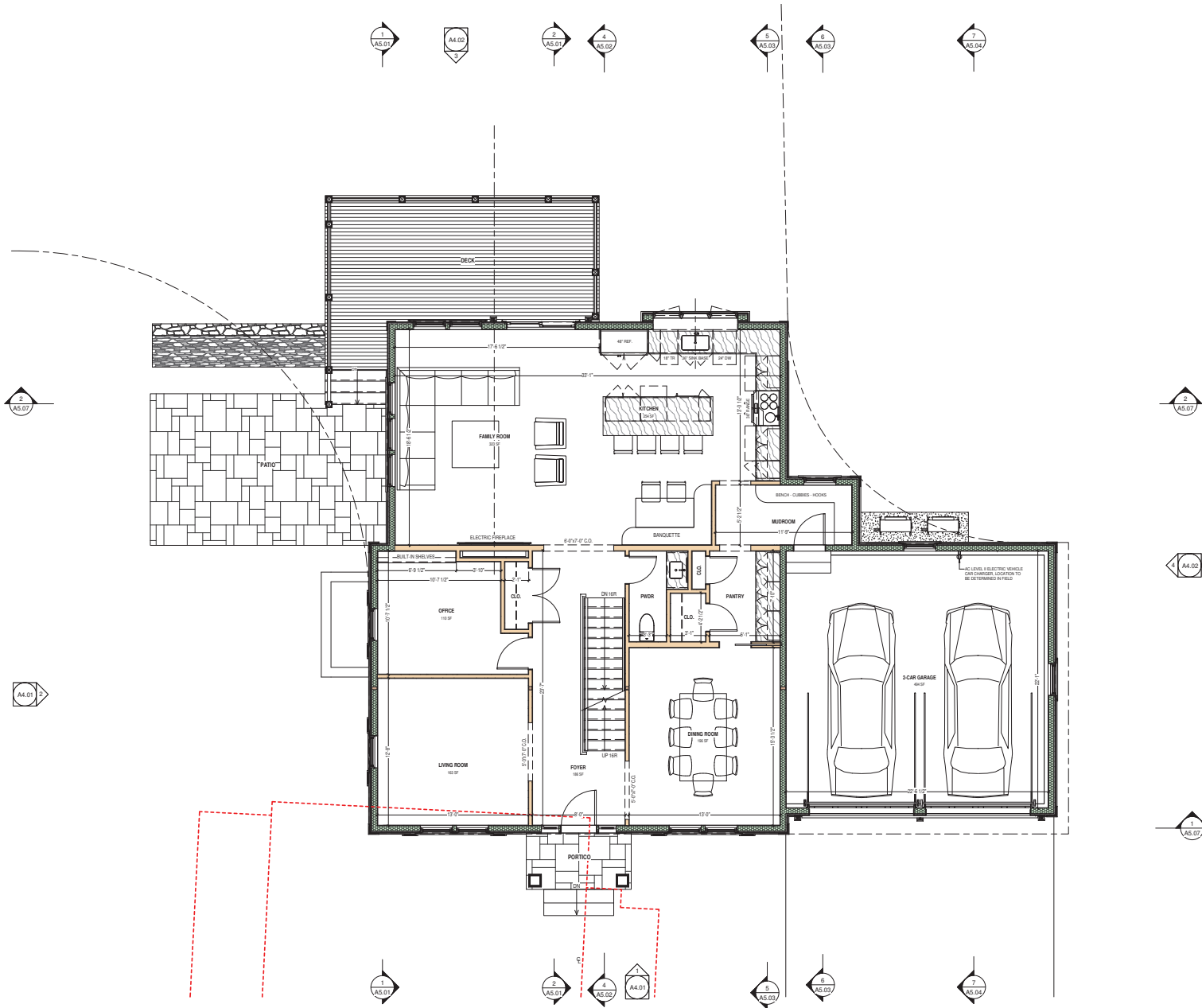
A1.01

# FLOOR PLAN LEGEND

- WINDOW TAG, SEE A4.02
- DOOR TAG, SEE A4.03
- CAST-IN PLACE CONCRETE WALL
- PARTITION STUD WALL, 2x4 OR 2x6 AT 16" O.C.  
SEE INSULATION SCHEDULE FOR ACoustIC BATT
- EXTERIOR STUD WALL, 2x6 AT 16" O.C., INSULATED
- COLUMN / POST, SEE A4  
FRAMING PLANS
- IMPRESSION NAILS, 30D x 5, HOLD DOWN ANCHOR BOLT TO  
BE CAST INTO FOUNDATION PER MANUFACTURER'S  
DETAILS

## GENERAL NOTES

- EXTERIOR WALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STUD AND/OR CONCRETE.
- INTERIOR PARTITION DIMENSIONS ARE TO THE FINISH FACE OF THE WALL, OR TO THE CENTERLINE OF THE WALL.
- WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING.
- DOORS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING OR TO THE FINISH EDGE OF DOOR JAMB.
- INTERIOR SQUARE FOOTAGES LISTED ON PLANS IS NET SQUARE FOOTAGE OF EACH ROOM, NOT INCLUDING CLOSETS, UNLESS OTHERWISE NOTED. SEE AREA SCHEDULE FOR GROSS SQUARE FOOTAGE.



1 PROPOSED FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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Revision:

Issue Date:  
JANUARY 14, 2026

Project No: 25022

Scale: 1/4" = 1'-0"

Sheet Number:

A1.02

- FLOOR PLAN LEGEND**
- WINDOW TAG, SEE A4.02
  - DOOR TAG, SEE A4.03
  - CAST-IN-PLACE CONCRETE WALL
  - PARTITION STUD WALL, 2x4 OR 2x6 AT 16" O.C.  
SEE INSULATION SCHEDULE FOR ACoustic BATT
  - EXTERIOR STUD WALL, 2x6 AT 16" O.C., INSULATED
  - COLUMN POST, SEE A4  
FRAMING PLANS
  - SIMPSON HUB-BOLTS & HOLD-DOWN ANCHORS BOLT TO  
BE CAST INTO FOUNDATION PER MANUFACTURER'S  
DETAILS

**ROOM DIMENSIONS**

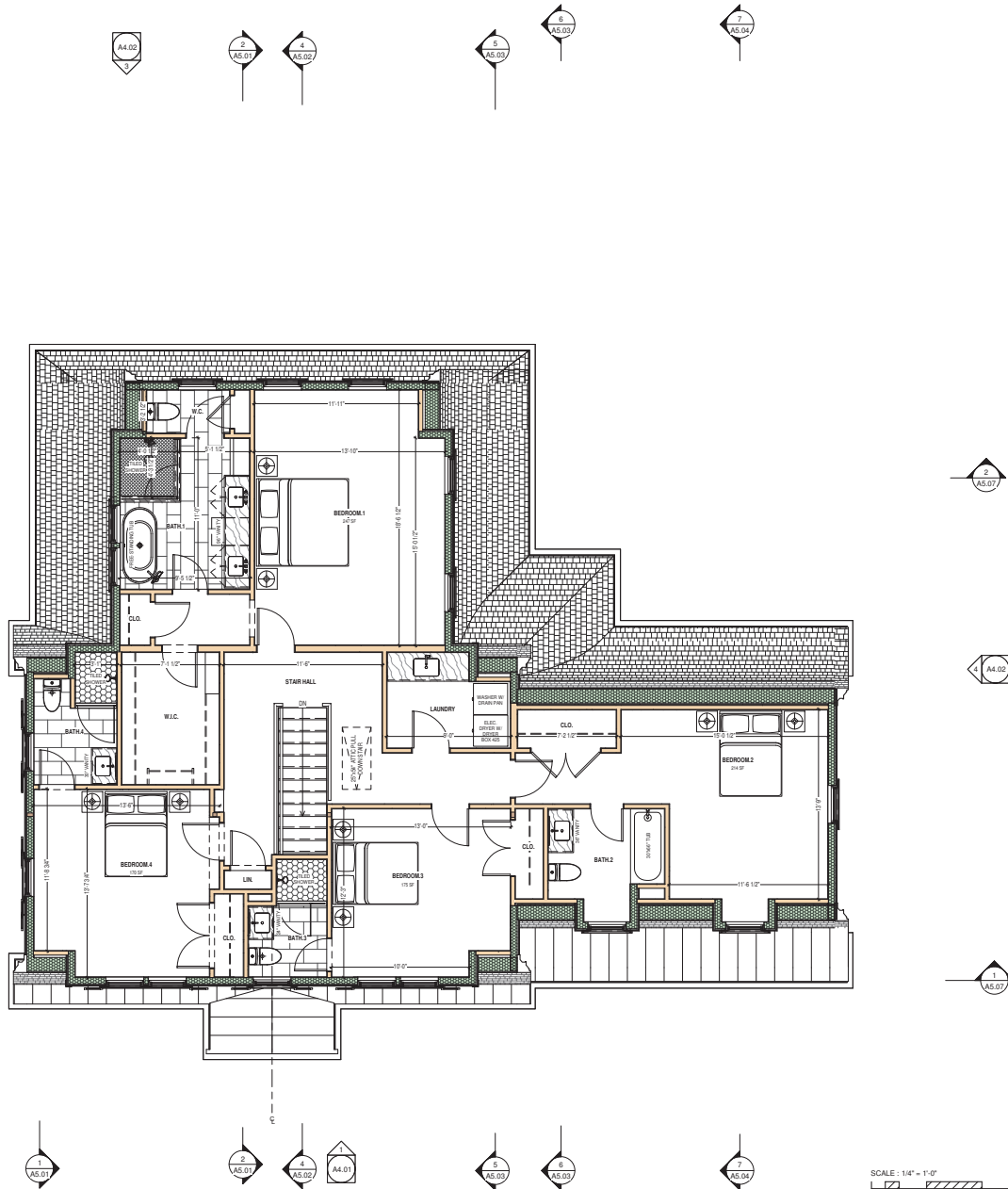
1. EXTERIOR WALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STUD  
AND/OR CONCRETE

2. INTERIOR PARTITION DIMENSIONS ARE TO THE FINISH FACE OF THE  
WALL, UP TO THE CENTERLINE OF THE WALL

3. WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH  
OPENING

4. DOORS ARE DIMENSIONED TO THE CENTERLINE OF THE  
ROUGH OPENING OR TO THE FINISH EDGE OF DOOR JAMB

5. INTERIOR SQUARE FOOTAGES LISTED ON PLANS IS NET SQUARE  
FOOTAGE OF EACH ROOM, NOT INCLUDING CLOSETS, UNLESS  
OTHERWISE NOTED. SEE AREA SCHEDULE FOR GROSS SQUARE  
FOOTAGE.



1 PROPOSED SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"

**Architect:**  
RHWA, LLC.  
78 Cochrane Street  
Melrose, MA 02176  
802-342-2502  
www.rhwaarchitect.com

**Consultant:**

**Project Name:**  
NEW RESIDENCE AT  
202 CEDAR ST FOR  
BLUE CEDAR  
PROPERTY GROUP

**Client:** Blue Cedar Property Group  
**Location:** 202 Cedar St, Wellesley, MA 02461  
**Sheet Name:**  
PROPOSED FLOOR PLANS

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**Revision:**


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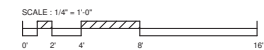
**Project No:** 25022

**Scale:** 1/4" = 1'-0"

**Sheet Number:**

**A1.03**

1. PROVIDE NEW GAF TIMBERLINE RO SHINGLE ROOF SYSTEM AT ALL SLOPED ROOFS, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED. COLOR TO BE SELECTED BY ARCHITECT AND/OR OWNER FROM GAF COLOR CHART.
2. PROVIDE SAME METAL ROOFING SYSTEM AT LOCATIONS INDICATED IN DRAWINGS. 16 PANEL WIDE. PROVIDE S/P SHEET BETWEEN METAL PANELS.
3. PROVIDE FULL ICE & WATER SHEED UNDERLAYMENT OVER ENTIRE ROOF SURFACE.
4. ICE & WATER SHEED SHALL LAP OVER FLASH BOARD 1" MINIMUM TO HELP PREVENT ICE DAMMING.
5. ICE & WATER SHEED SHALL EXTEND ADJACENT VERTICAL WALLS 6" MINIMUM.
6. PROVIDE STANDARD 0.25 GAUGE 1" METAL Drip EDGE AND STEP FLASHING AT ALL ROOF EAVES AND GUTTERS. Drip EDGES WITH EXTENDED FLASHING TO COVER ICE & WATER SHEED.
7. GUTTERS TO BE ALUMINUM 6" HALF-ROUND STYLE. BLACK.
8. PROVIDE 1/2" ALUMINUM DRAINAGE CHANNELS AT ALL ROOF EAVES. DO NOT INSTALL ANY PLUMBING VENTS IN THE FRONT OF THE HOUSE. THEY SHOULD BE INSTALLED AT THE REAR FACING SLOPES.
9. INSTALL 1/2" SEWAGE/STORM DRAINAGE IN ALL SLOPED ROOF SURFACES. SEE REFLECTED CEILING PLANS & EXTERIOR ELEVATIONS FOR SIDEWALL EXHAUST LOCATIONS.



Consultant:

Project Name: **NEW RESIDENCE AT  
202 CEDAR ST FOR  
BLUE CEDAR  
PROPERTY GROUP**

Client: Blue Cedar Property Group  
Location: 202 Cedar St. Wellesley, MA 02481  
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**PROPOSED FLOOR PLANS**

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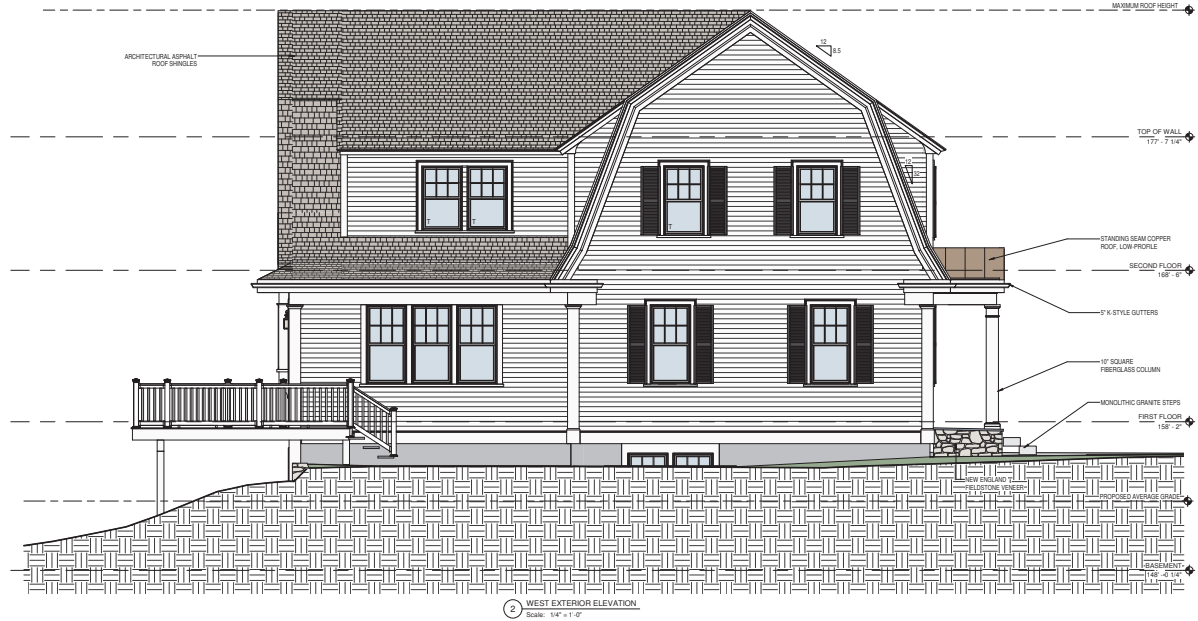
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JANUARY 14, 2026

Project No: 25022

Scale: 1/4" = 1'-0"

Sheet Number:

## A1.04



Architect:  
RHWA, LLC.  
78 Cochrane Street  
Melrose, MA 02176  
802-342-2502  
www.rhwarearchitect.com

Consultant:

Project Name:  
NEW RESIDENCE AT  
202 CEDAR ST FOR  
BLUE CEDAR  
PROPERTY GROUP

Client: Blue Cedar Property Group  
Location: 202 Cedar St. Wellesley, MA 02481  
Sheet Name:  
EXTERIOR ELEVATIONS

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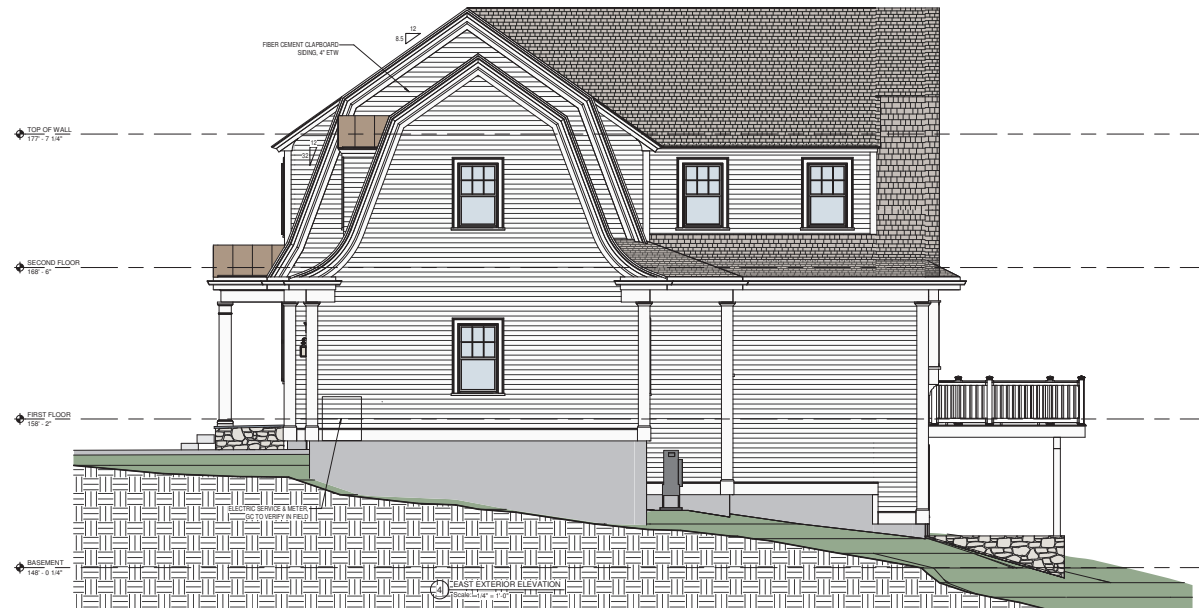
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Project No: 25022

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Sheet Number:

A4.01



Architect:  
RHWA, LLC.  
78 Cochrane Street  
Melrose, MA 02176  
802-342-2502  
www.rhwarchitect.com

Consultant:

Project Name:  
NEW RESIDENCE AT  
202 CEDAR ST FOR  
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PROPERTY GROUP

Client: Blue Cedar Property Group  
Location: 202 Cedar St. Wellesley, MA 02481  
Sheet Name:  
EXTERIOR ELEVATIONS

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Revision:

Issue Date:  
JANUARY 14, 2026

Project No: 25022

Scale: 1/4" = 1'-0"

Sheet Number:

A4.02

# NOTES

1. VERTICAL DATUM IS TOWN OF WELLESLEY SEWER DATUM AS REFERENCED BY PLAN ENTITLED "SEWER SYSTEM IMPROVEMENTS CEDAR STREET" PROJECT NO. DMF-50-315.
2. READING LAND SURVEYORS, LLC DOES NOT WARRANT THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN OR THAT ALL UNDERGROUND UTILITIES PRESENT ARE SHOWN.
3. DIGSAFE SHALL BE CALLED PRIOR TO ANY EXCAVATIONS.
4. ACCORDING TO FLOOD INSURANCE RATE MAP NO. 25021C0036F WITH AN EFFECTIVE DATE OF 7/8/25 THE PROPERTY IS NOT LOCATED IN AN ESTABLISHED 100-YEAR FLOOD HAZARD ZONE.

OWNER OF RECORD  
202 CEDAR LLC

DEED REFERENCE  
NORFOLK COUNTY  
DEED BOOK 42829 PAGE 253

PLAN REFERENCE  
LOT 5 & 5A PLAN 956 OF 1956

TOWN OF WELLESLEY  
ASSESSORS MAP 11 PARCEL 13

ZONE: SR-15 SINGLE RESIDENCE

## REQUIRED

LOT AREA: 15,000  
FRONTAGE: 60'  
FRONT YARD SETBACK: 30'  
SIDE YARD SETBACK: 20'  
REAR YARD SETBACK: 15'  
BUILDING COVERAGE: GREATER OF 18% OR 4,000 S.F. = 4,179 S.F.  
BUILDING HEIGHT: 36'

## EXISTING

LOT AREA: 23,221 S.F.  
FRONTAGE: 120.00'  
FRONT YARD SETBACK: 2.4'  
SIDE YARD SETBACK: 57.2'  
REAR YARD SETBACK: 144.1'  
BUILDING COVERAGE: 1,196 S.F. = 5.1%  
BUILDING HEIGHT: 26.3'



## EXISTING CONDITIONS

202 CEDAR STREET  
ASSESSORS MAP 11 PARCEL 13  
WELLESLEY, MA  
PREPARED FOR  
BLUE CEDAR PROPERTY GROUP, LLC  
558 NORTH AVENUE  
WAKEFIELD, MA

READING LAND SURVEYORS, LLC  
PROFESSIONAL LAND SURVEYOR #39049

63 CENTRAL STREET UNIT 111  
NORTH READING, MA 01864  
(781) 844-7108

SCALE: 1"= 20'

DATE: DECEMBER 15, 2025

NOTES

1. VERTICAL DATUM IS TOWN OF WELLESLEY SEWER DATUM AS REFERENCED BY PLAN ENTITLED "SEWER SYSTEM IMPROVEMENTS CEDAR STREET" PROJECT NO. BMF-50-315.
2. READING LAND SURVEYORS, LLC DOES NOT WARRANT THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN OR THAT ALL UNDERGROUND UTILITIES PRESENT ARE SHOWN.
3. DIGSAFE SHALL BE CALLED PRIOR TO ANY EXCAVATIONS.
4. ACCORDING TO FLOOD INSURANCE RATE MAP NO. 25021C0036F WITH AN EFFECTIVE DATE OF 7/8/25 THE PROPERTY IS NOT LOCATED IN AN ESTABLISHED 100-YEAR FLOOD HAZARD ZONE.

OWNER OF RECORD  
202 CEDAR LLC

DEED REFERENCE  
NORFOLK COUNTY  
DEED BOOK 42829 PAGE 253

PLAN REFERENCE  
LOT 5 & 5A PLAN 717 OF 1951

TOWN OF WELLESLEY  
ASSESSORS MAP 11 PARCEL 13

ZONE: SR-15 SINGLE RESIDENCE

REQUIRED

LOT AREA: 15,000  
FRONTAGE: 60'  
FRONT YARD SETBACK: 30'  
SIDE YARD SETBACK: 20'  
REAR YARD SETBACK: 15'  
BUILDING COVERAGE: GREATER OF 18% OR 4,000 S.F. = 4,179 S.F.  
BUILDING HEIGHT: 36'

EXISTING

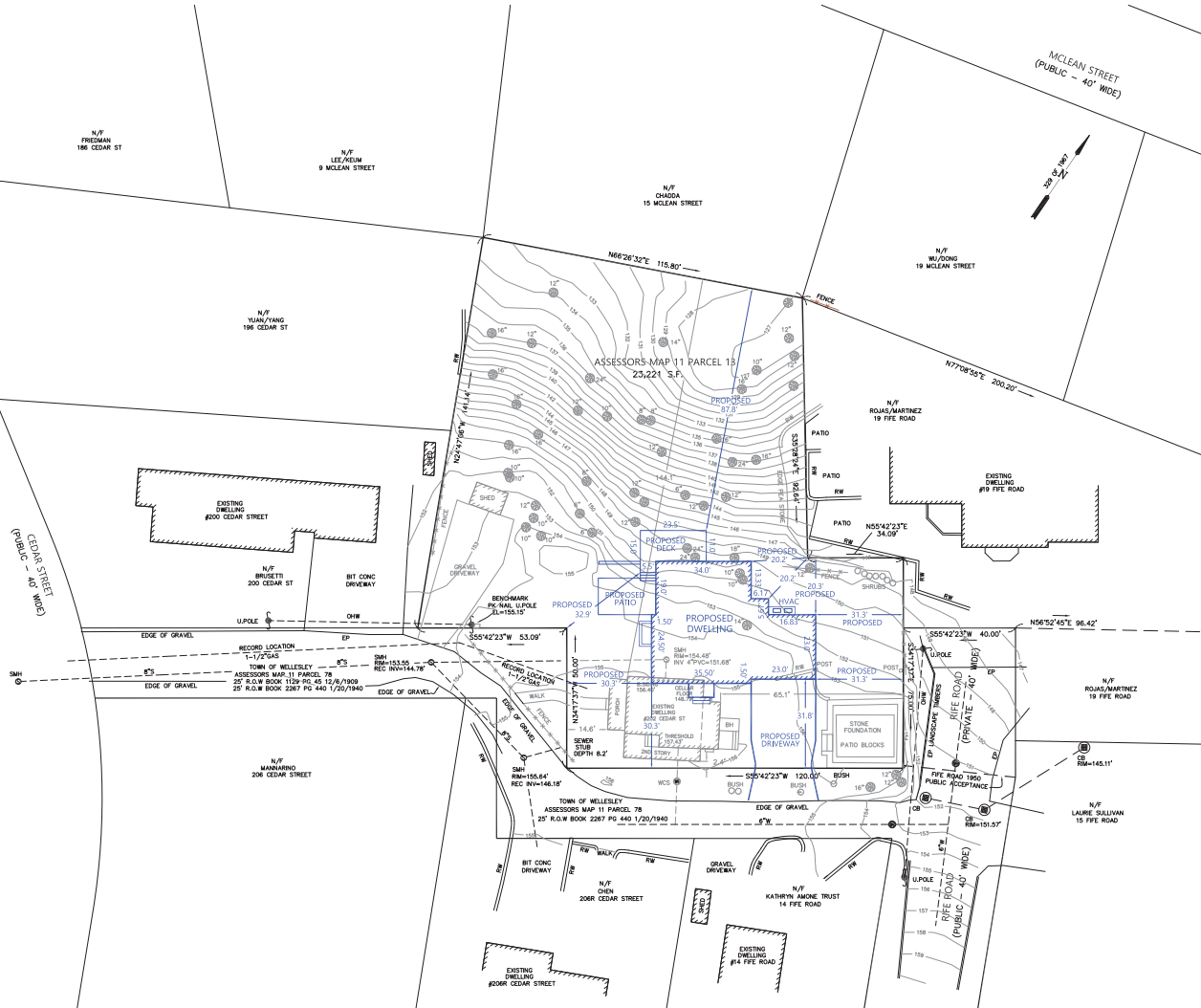
LOT AREA: 23,221 S.F.  
FRONTAGE: 120.0'  
FRONT YARD SETBACK: 2.4'  
SIDE YARD SETBACK: 57.2'  
REAR YARD SETBACK: 144.1'  
BUILDING COVERAGE: 1,196 S.F. = 5.1%  
BUILDING HEIGHT: 26.3'

PROPOSED

LOT AREA: 23,221 S.F.  
FRONTAGE: 120.0'  
FRONT YARD SETBACK: 30.3'  
SIDE YARD SETBACK: 20.2'  
REAR YARD SETBACK: 87.8'  
BUILDING COVERAGE: 2,572 S.F. = 11%  
BUILDING HEIGHT: 33.5'  
AVERAGE GRADE: 152.75'

PROPOSED BUILDING ELEVATIONS

ROOF RIDGE: 186'-3" (186.25')  
1ST FLOOR FINISH: 158'-2 3/4" (158.23')  
TOP OF CONCRETE: 156'-8 1/4" (156.69')  
GARAGE DOOR: 156'-1" (156.08')  
AVERAGE GRADE: 152'-4" (152.33')  
BASEMENT SLAB: 148'-0 1/4" (148.02')  
BOTTOM OF FOOTING: 140'-8 1/4" (140.69')



PROPOSED HISTORIC COMMISSION PLAN

202 CEDAR STREET  
ASSESSORS MAP 11 PARCEL 13  
WELLESLEY, MA  
PREPARED FOR  
BLUE CEDAR PROPERTY GROUP, LLC  
559 NORTH AVENUE  
WAKEFIELD, MA

READING LAND SURVEYORS, LLC  
PROFESSIONAL LAND SURVEYOR #39049

63 CENTRAL STREET UNIT 111  
NORTH READING, MA 01864  
(781) 844-7108

SCALE: 1"= 20'

DATE: JANUARY 13, 2025