

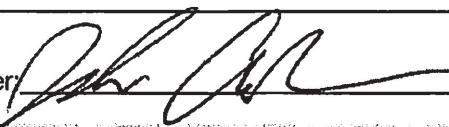
Application for Preservation Determination

Based on the Eligibility Notice issued for the subject property noted on **Side 1** of this form, pursuant to Article 46C of the Town Bylaws, a Preservation Determination must be made by the Historical Commission (and any imposed Delay Period shall have expired or been waived) before issuance of a permit to demolish (or remove or envelope more than 50%).

Application Authorization:

As Owner of the subject property identified on **Side 1** of this form, the structure(s) located thereon determined to be an *Eligible Building*, I am requesting that the Wellesley Historical Commission make a *Preservation Determination* for the applicable structure(s); if I am making this request at the same time that I am seeking an Eligibility Notice, I am acknowledging that the structure is an Eligible Building and waiving my right to appeal such a determination:

Property Owner Name: 202 Cedar LLC

Signature of Property Owner: 

Date: 11/10/2025

Documentation Requirements:

Please submit the following additional information for consideration by the Historical Commission, as applicable:

- **In the case of partial demolition**, plans showing the use or development of the site after such demolition, if known, and a statement identifying all zoning variances and/or special permits which may be required in order to implement the proposed use or development, if known; and
- **In the case of ANY demolition**, photographs of all existing façade elevations of the Building

For Town Use Only

Documentation Submission Date: _____ Received By: _____

Fee Paid: \$ _____ WHC Public Hearing Date: _____

Historical Commission Determination (refer to issued Notice of Preservation Determination):

Not Preferably Preserved

Date Issued: _____

Preferably Preserved

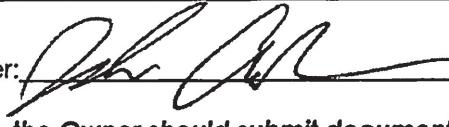
Expiration of Delay Period (if applicable): _____

Request to Reduce Delay Period (Waiver)*

*May not be sought until a Preservation Determination is made by the Historical Commission

As Owner of the subject property identified on **Side 1** of this form, the structure(s) located thereon determined to be an *Eligible Building* and Determined to be *Preferably Preserved*, I am requesting that the Wellesley Historical Commission make a determination as to whether or not to reduce or modify the Delay Period.

Property Owner Name: 202 Cedar LLC

Signature of Property Owner: 

Date: 01/14/2026

To accompany this request, the Owner should submit documentation evidencing any attempts to sell the property or plans and elevations for proposed construction to follow any Demolition.

Robert H. Williamson, Architect
RHWA, LLC.
78 Cochrane Street
Melrose, MA 02176
www.rhwarchitect.com

January 14, 2026

Wellesley Historic Commission
Town of Wellesley Planning Department
888 Worcester Street
Suite 160
Wellesley, MA 02482

Dear Members of the Historic Commission

On behalf of the John Anderson of Blue Cedar Property Group, I am submitting the application for a demolition waiver for the structure at 202 Cedar Street. The existing property is unique because of the close proximity to a gravel road in a neighborhood with a variety of architectural styles and sizes of both homes and lots. We have determined that the right move on the site is to build a new home within the setback constraints of the current zoning bylaw, rather than seek special permits because of the existing non-conforming condition.

The new home meets all zoning bylaws for lot dimensions, setbacks, coverage and TLAG area limitations. We explored different design options, and found that a Dutch Colonial style worked well with our architectural goals and within the context of the neighborhood at large. This classic revival style of residential architecture is a staple in many New England communities and will serve us well for this new home.

Sincerely,



Robert H. Williamson, Architect





















EXISTING WEST FACADE



EXISTING SOUTH FACADE



EXISTING EAST FACADE



EXISTING NORTH FACADE

New Construction Residence for Blue Cedar Property Group

202 Cedar St, Wellesley, MA 02481

HISTORIC COMMISSION SET
ARCHITECTURAL DRAWINGS
JANUARY 14, 2026

SHEET LIST

SHEET NUMBER	SHEET NAME
--------------	------------

T0.01	TITLE PAGE
T0.02	3D VIEWS
T0.03	NEIGHBORHOOD PLAN

A0.01	ARCHITECTURAL SITE PLAN
A0.02	TLAG PLANS

A1.01	PROPOSED FLOOR PLANS
A1.02	PROPOSED FLOOR PLANS
A1.03	PROPOSED FLOOR PLANS
A1.04	PROPOSED FLOOR PLANS

A4.01	EXTERIOR ELEVATIONS
A4.02	EXTERIOR ELEVATIONS

Project Name:

NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUPClient: Blue Cedar Property Group
Location: 202 Cedar St, Wellesley, MA 02481
Sheet Name:

TITLE PAGE

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ON THE SITE AS INDICATED.



Revision:

Issue Date:
JANUARY 14, 2026

Project No.: 25022

Scale:

Sheet Number:

T0.01



SITE LOCATION PLAN

NOTE: 3D VIEWS DO NOT SHOW ALL LANDSCAPE DETAIL. THESE DRAWINGS ARE PROVIDED TO REPRESENT THE ARCHITECTURAL DESIGN ONLY.



Architect:
RHWA, LLC
79 Cochrane Street
Melrose, MA 02176
802-342-2502
www.rharchitect.com

Consultant:

Project Name:
NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Melrose, MA 02176
Sheet Name:
3D VIEWS

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Revision:

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JANUARY 14, 2026

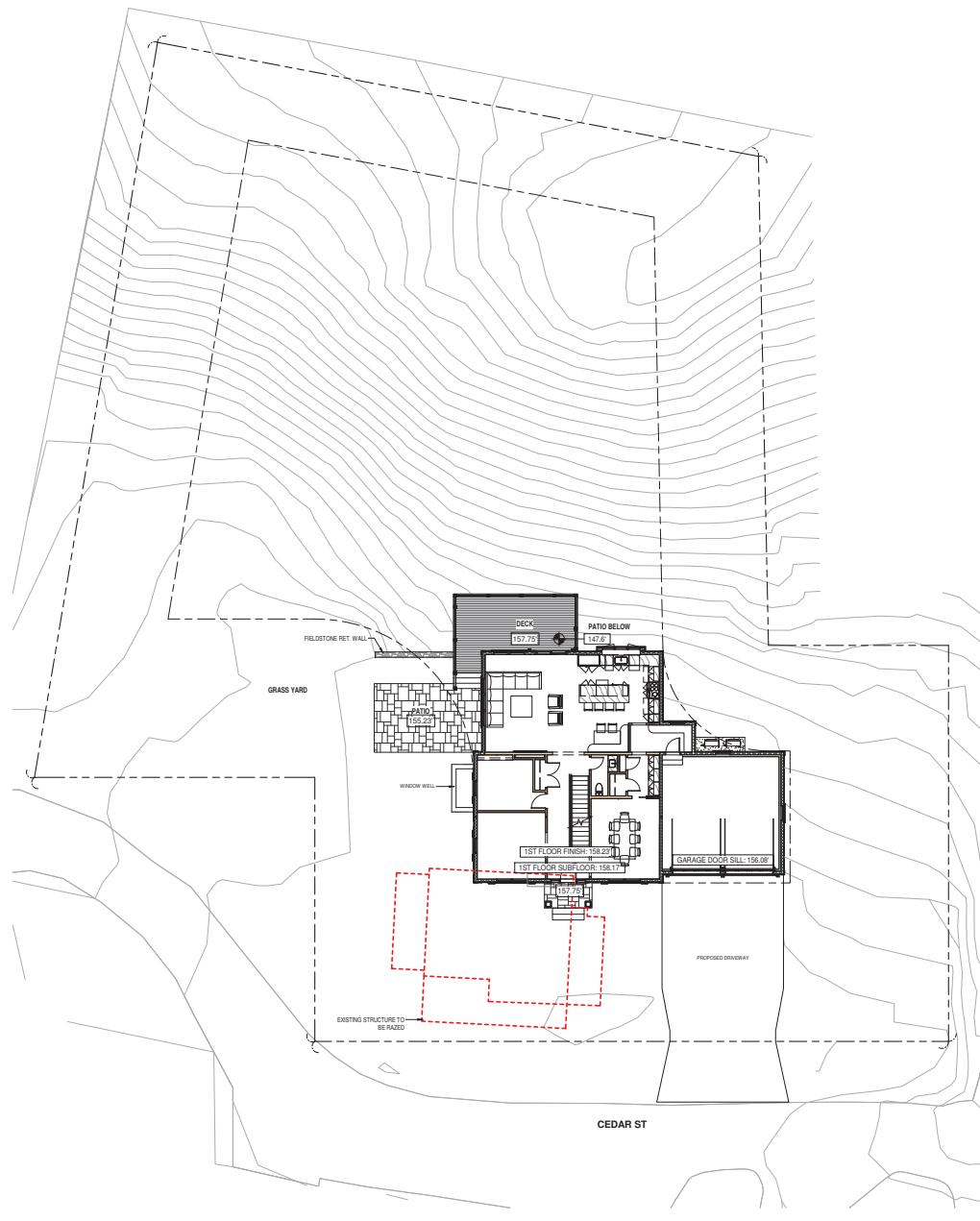
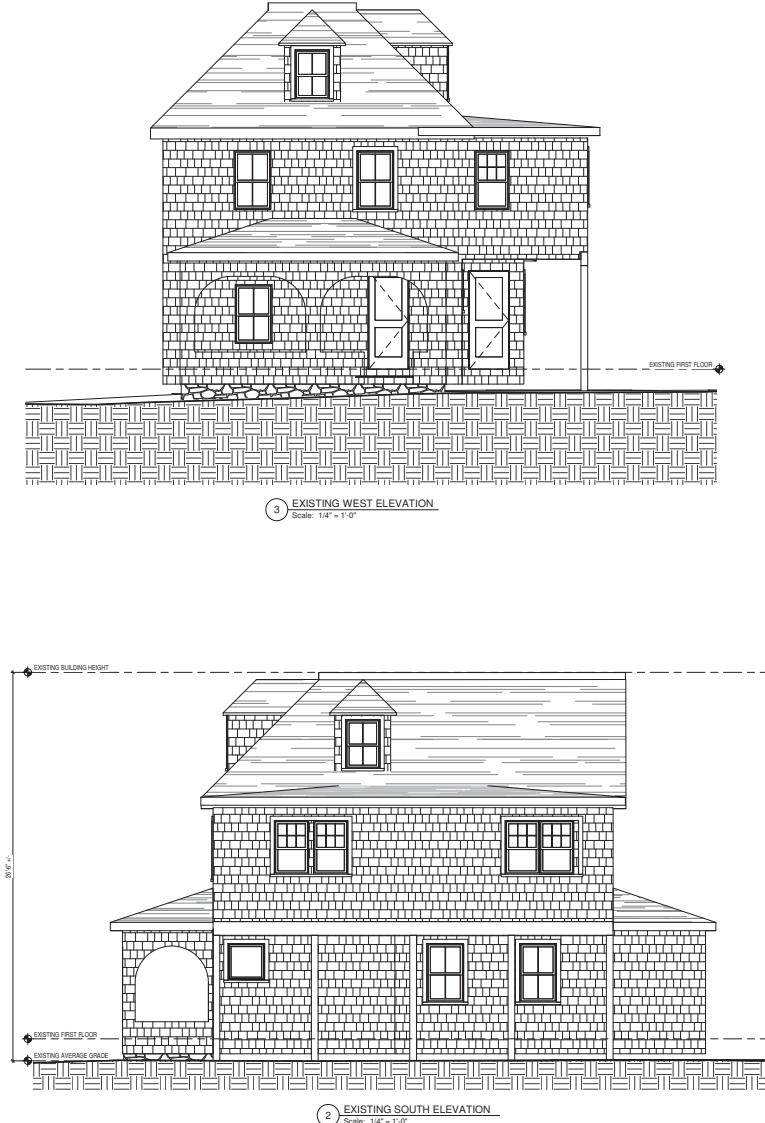
Project No.: 25022

Scale:

Sheet Number:

T0.02

				<p>Architect: RHWA, LLC 79 Cochran Street Melrose, MA 02176 802-342-2502 www.rhwaarchitect.com</p>
<p>200 CEDAR ST LOT SIZE: 10,569 SF +/- HEIGHT: 2 STORIES</p>	<p>202 CEDAR ST LOT SIZE: 23,221 SF +/- HEIGHT: 2.5 STORIES</p>	<p>19 FIFE RD LOT SIZE: 17,758 SF +/- HEIGHT: 1.5 STORIES</p>	<p>15 FIFE RD LOT SIZE: 12,175 SF +/- HEIGHT: 1 STORY</p>	<p>Consultant:</p>
			<p>Project Name: NEW RESIDENCE AT 202 CEDAR ST FOR BLUE CEDAR PROPERTY GROUP</p>	
<p>196 CEDAR ST LOT SIZE: 13,708 SF +/- HEIGHT: 2 STORIES</p>	<p>11 FIFE RD LOT SIZE: 10,050 SF +/- HEIGHT: 2 STORIES</p>	<p>Client: Blue Cedar Property Group Location: 202 Cedar St, Wellesley, MA 02481 Sheet Name: NEIGHBORHOOD PLAN</p>		
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<p>206 CEDAR ST LOT SIZE: 19,294 SF +/- HEIGHT: 2 STORIES</p>	<p>206R CEDAR ST LOT SIZE: 11,823 SF +/- HEIGHT: 1 STORY</p>	<p>14 FIFE RD LOT SIZE: 6,848 SF +/- HEIGHT: 2 STORIES</p>	<p>10 FIFE RD LOT SIZE: 6,956 SF +/- HEIGHT: 2.5 STORIES</p>	



Architect:
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www.rhwaarchitect.com

Consultant:

Project Name:
NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Wellesley, MA 02481
Sheet Name:
ARCHITECTURAL SITE PLAN

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Revision:

Issue Date:
JANUARY 14, 2026

Project No.:
25022

Scale:
As indicated

Sheet Number:

A0.01

Architect:
RHWA, LLC
79 Cochrane Street
Melrose, MA 02176
802-342-2502
www.rhwarchitect.com

Consultant:

Project Name:
NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Wellesley, MA 02481
Sheet Name: TLAG PLANS

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Revision:

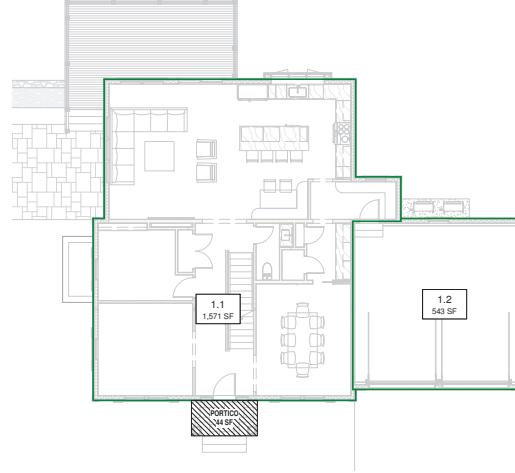
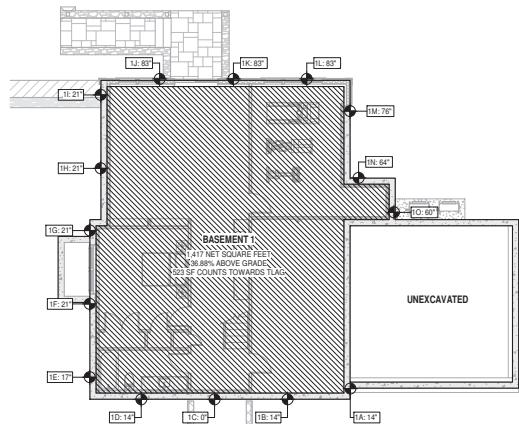
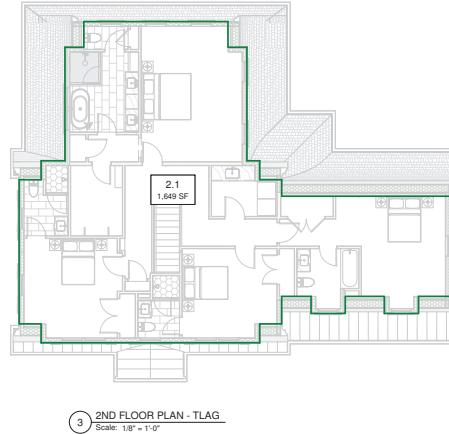
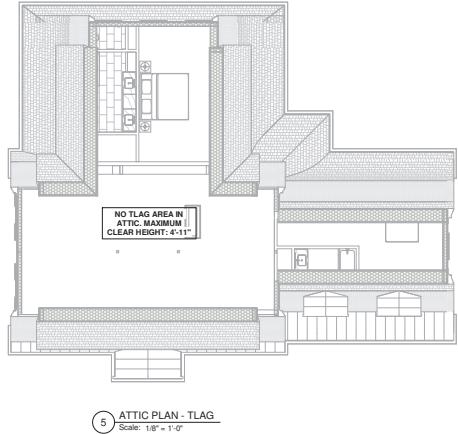
Issue Date:
JANUARY 14, 2026

Project No.: 25022

Scale: As indicated

Sheet Number:

A0.02



ZONING DISTRICT: SR-15

EXISTING TLAG SUMMARY

BASEMENT: 0 SF
1ST FLOOR: 730 SF
2ND FLOOR: 791 SF
ATTIC: 235 SF
TOTAL: 1,756 SF

PROPOSED TLAG SUMMARY

BASEMENT: 523 SF
1ST FLOOR: 2,114 SF
2ND FLOOR: 1,649 SF
ATTIC: 0 SF
TOTAL: 4,286 SF

GROSS AREA SCHEDULE			
LEVEL	NAME	AREA	COMMENTS
BASEMENT	0.1	523 SF	PROPOSED
FIRST FLOOR	1.1	1,571 SF	PROPOSED
FIRST FLOOR	1.2	543 SF	PROPOSED
SECOND FLOOR	2.1	1,649 SF	PROPOSED
		4,286 SF	

NOTE: TLAG BOUNDARIES ARE MEASURED TO THE FINISH FACE OF EXTERIOR WALLS AND ROOFS. TURN BOUNDARIES BELOW SLOPED ROOFS, IF APPLICABLE, ARE MEASURED TO THE 8 FT VERTICAL LINE PER SECTION 5.9 OF THE WELLESLEY BY LAWS.



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Page 1 of 10

Architect:
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Melrose, MA 02176
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Consultant:

A legend box containing symbols and text for floor plan elements. It includes symbols for windows, doors, concrete walls, partitions, exterior walls, columns, and Simpson H.D. bolts. Text descriptions next to the symbols include: 'WINDOW TAG, SEE A0.02', 'DOOR TAG, SEE A0.03', 'CAST IN PLACE CONCRETE WALL', 'PARTITION STLD WALL, 2x4 OR 2x6 AT 16" O.C., SEE INSULATION SCHEDULE FOR ACUSIC BTTS', 'EXTERIOR STUW WALL, 2x6 AT 16" O.C., INSULATED', 'COLUMN / POST, SEE A4 FRAMING DETAILS', and 'SIMPSON H.D. S25.1 HOLD DOWN ANCHOR BOLT TO BE CALLED OUT FOUNDATION PER MANUFACTURER'S DETAILS'.

EXTERIOR WALL DIMENSIONS

1. EXTERIOR WALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STUD AND CONCRETE.
2. INTERIOR WALL DIMENSIONS ARE TO THE FINISH FACE OF THE WALL OR TO THE CENTERLINE OF THE WALL.
3. WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING.
4. DOORS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING OR TO THE FINISH EDGE OF DOOR JAMBS.
5. INTERIOR SQUARE FOOTAGES LISTED ON PLANS IS NET SQUARE FOOTAGE OF EACH ROOM, NOT INCLUDING CLOSETS, UNLESS OTHERWISE NOTED. SEE AREA SCHEDULE FOR GROSS SQUARE FOOTAGE.

GENERAL NOTES - CONCRETE

- CONCRETE SLABS ON GRADE SHALL BE REINFORCED WITH 6x6 10 GA. WELDED WIRE MESH IN THE MIDDLE OF THE SLAB.
- WOOD FRAMED WALLS SHALL BE ANCHORED TO CONCRETE FOUNDATION WITH 5/8" DIA. GALVANIZED J-BOLTS AT 32" O.C.

This figure consists of two architectural drawings of a proposed basement structure. The top drawing is a cross-section showing the foundation wall, a 10' concrete foundation wall, and a 10' high concrete foundation wall. The bottom drawing is a floor plan showing the layout of the basement. The floor plan includes a Rec Room (302 SF), a Bedroom (10' SF), a Bath (66 SF), a Stair Hall, a Utility room (208 SF), and an Unexcavated area. A Beam Pocket is indicated on the right side. An Express Window Well is shown on the left. The patio area is labeled 'PATIO'. The drawing is labeled 'A4.02' at the top and 'A4.01' on the left. A scale bar is located at the bottom right.

1 PROPOSED BASEMENT PLAN
Scale: 1/4" = 1'-0"

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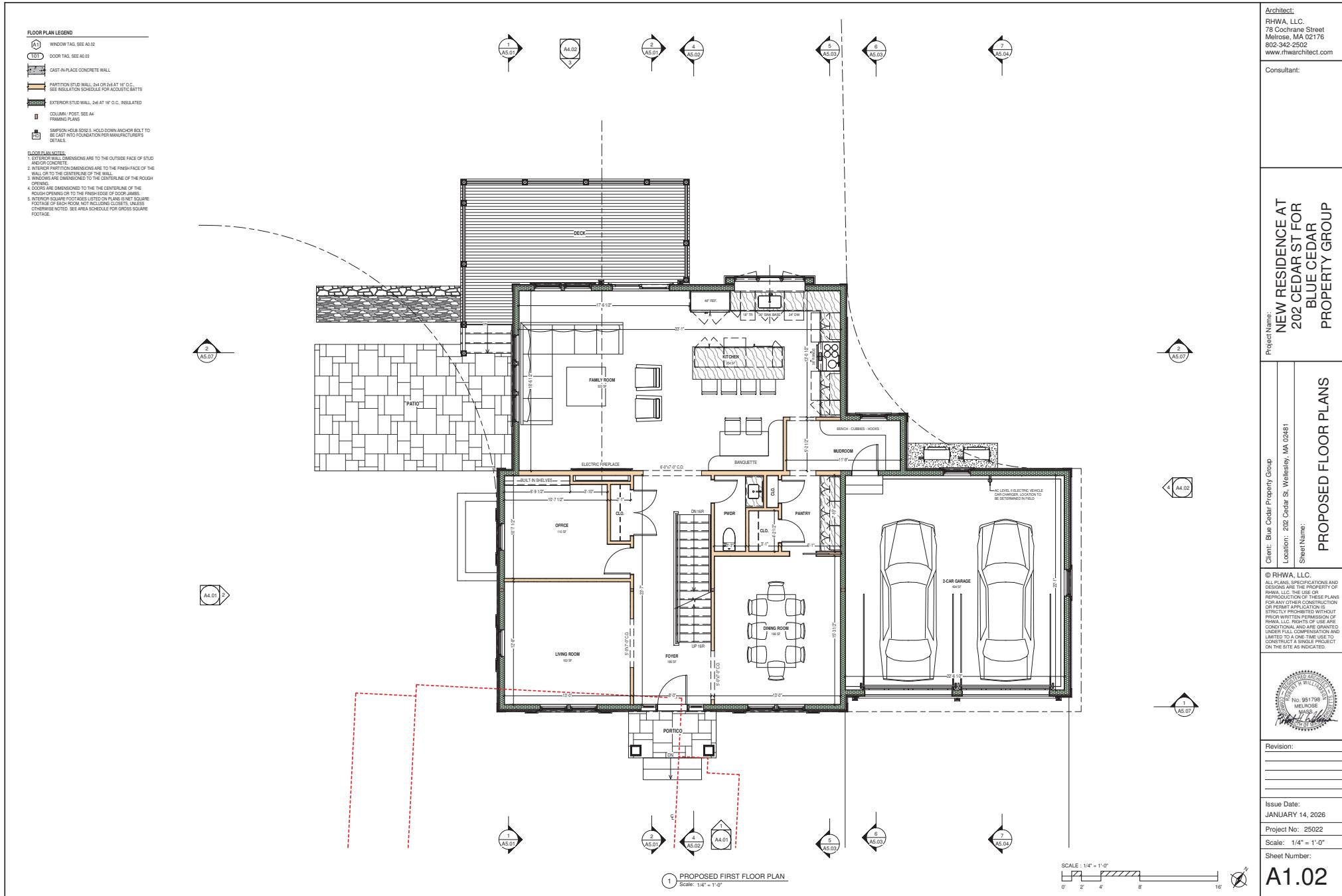
Issue Date:
JANUARY 14, 2026

Project No:

Scale: 1/4" = 1'-0"

Street Number

A1.01



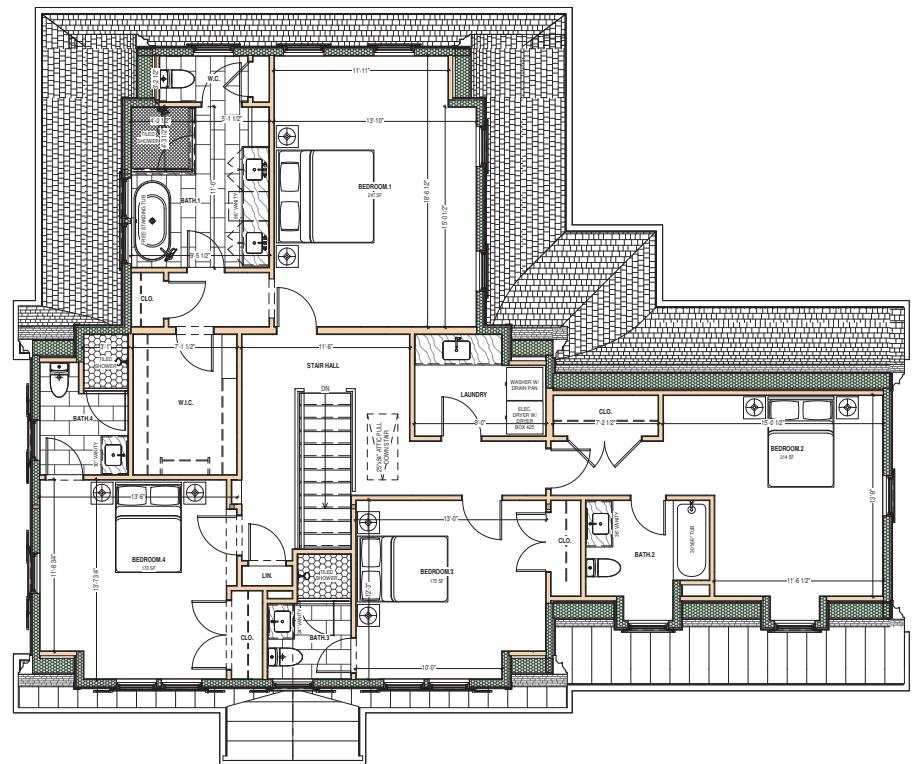
FLOOR PLAN LEGEND

- WINDOW TAG. SEE A0.02
- DOOR TAG. SEE A0.03
- CAST-IN-PLACE CONCRETE WALL
- PARTITION STUD WALL. 24 OR 26 AT 16" O.C. SEE INSULATION SCHEDULE FOR ACOUSTIC BATT'S
- EXTERIOR STUD WALL. 26 AT 16" O.C. INSULATED
- COLUMN / POST. SEE A4
- FRAMING PLANS
- SIMPSON HOU. S225. HOLD-DOWN ANCHOR BOLT TO BE CAST INTO FOUNDATION PER MANUFACTURER'S DETAILS

NOTES:

- 1 EXTERIOR WALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STUD AND CONCRETE.
- 2 INTERIOR PARTITION DIMENSIONS ARE TO THE FINISH FACE OF THE WALL OR TO THE CENTRELINE OF THE WALL.
- 3 WIDTH DIMENSIONS ARE TO THE OUTSIDE EDGE OF THE ROUGH OPENING.
- 4 DOORS ARE DIMMED TO THE CENTERLINE OF THE ROUGH OPENING TO THE FINISH EDGE OF DOOR JAMBS.
- 5 INTERIOR DOOR LOCATIONS LISTED ON PLANS ARE NET. INSURE FOLIAGE OF EACH DOOR IS ADDED TO THE DIMENSIONS LISTED OTHERWISE NOTED. SEE AREA SCHEDULE FOR GROSS SQUARE FOOTAGE.

1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"
0' 2' 4' 6' 8' 10' 12' 14' 16'

A1.03

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802-342-2502
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Consultant:

Project Name:
NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Wellesley, MA 02481
Sheet Name:
PROPOSED FLOOR PLANS

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Revision:

Issue Date:
JANUARY 14, 2026

Project No.: 25022

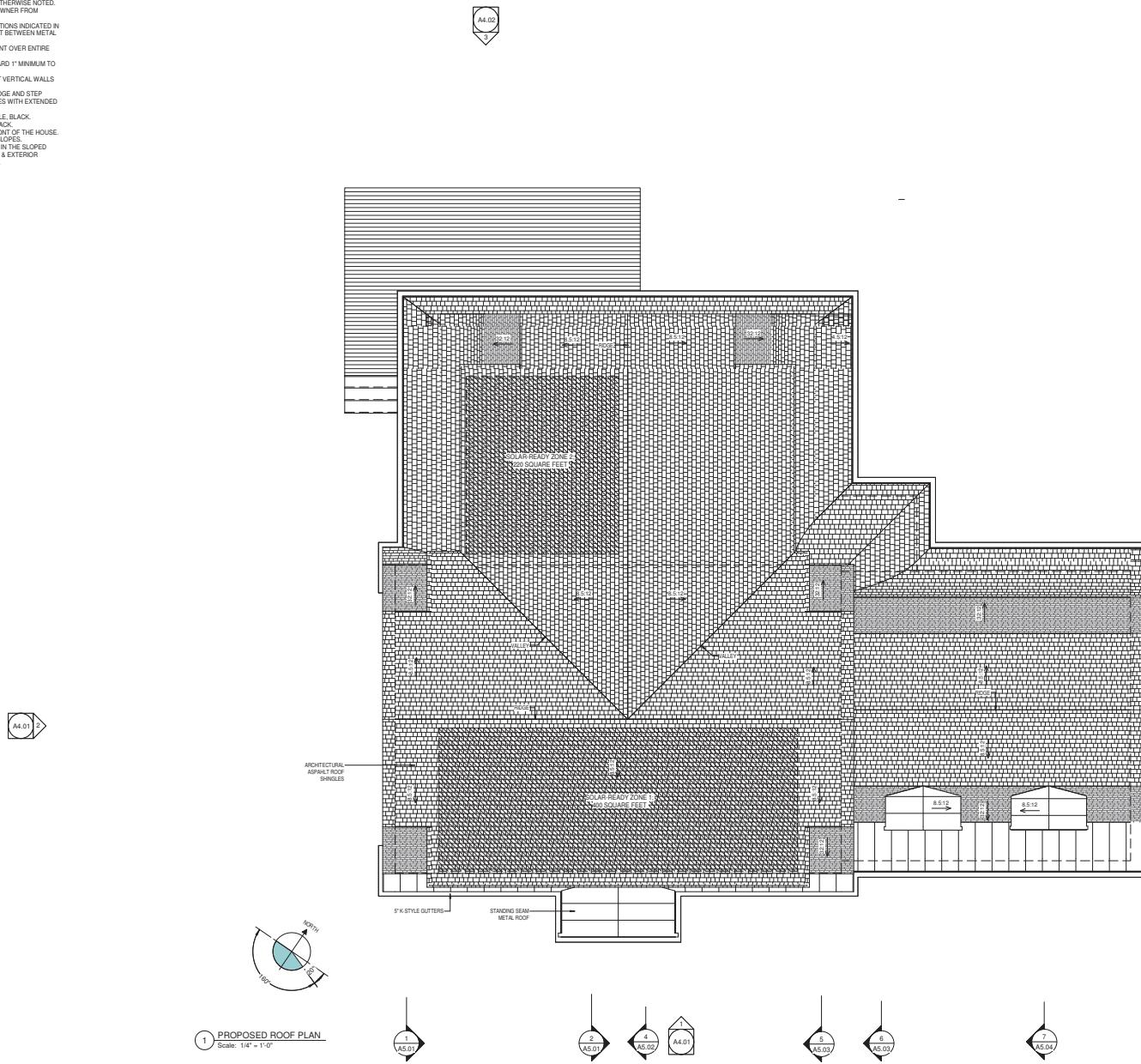
Scale: 1/4" = 1'-0"

Sheet Number:

A1.03

GENERAL NOTES - ROOF PLANS

1. PROVIDE NEW GAF TIMBERLINE HD SHINGLE ROOF SYSTEM AT ALL SLOPED ROOFS, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED. COLOR TO BE SELECTED BY ARCHITECT AND/OR OWNER FROM MAINTAIN COLOR SWATCH.
2. PROVIDE SEAM METAL ROOFING SYSTEM AT LOCATIONS INDICATED IN DRAWINGS. 16" PAN LENGTH. PROVIDE SLIP SHEET BETWEEN METAL ROOFING AND UNDERLAYMENT.
3. PROVIDE FULL ICE & WATER SHIELD UNDERLAYMENT OVER ENTIRE ICE & WATER SHIELD SHALL LAP OVER FASIA BOARD 1" MINIMUM TO HELP PREVENT ICE DAMING.
4. ICE & WATER SHIELD SHALL EXTEND UP ADJACENT VERTICAL WALLS 18" MINIMUM.
5. ICE & WATER SHIELD SHALL EXTEND UP ADJACENT VERTICAL WALLS 18" MINIMUM.
6. PROVIDE STAINLESS 0.03 GAUZE 1" METAL DRIP EDGE AND STEP FASCIA TO COVER ICE & WATER SHIELD. COLOR TO BE SELECTED BY OWNER. COLOR SHOULD BE BLACK.
7. DOWNSPOUTS SHALL BE 3" DIA. PIPE, SMOOTH, BLACK.
8. DO NOT INSTALL ANY PLUMBING VENTS IN THE FRONT OF THE HOUSE.
9. DO NOT INSTALL ANY ENVIRONMENTAL EXHAUSTS IN THE SLOPED ROOF SURFACES. SEE REFLECTED CEILING PLANS & EXTERIOR ELEVATIONS FOR SIDEWALL EXHAUST LOCATIONS.





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Consultant:

Project Name:
NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Wellesley, MA 02481
Sheet Name:
EXTERIOR ELEVATIONS

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Revision:

Issue Date:
JANUARY 14, 2026

Project No.: 25022

Scale: 1/4" = 1'-0"

Sheet Number:

A4.01



NOTES

1. VERTICAL DATUM IS TOWN OF WELLESLEY SEWER DATUM AS REFERENCED BY PLAN ENTITLED "SEWER SYSTEM IMPROVEMENTS CEDAR STREET" PROJECT NO. BFM-50-315.
2. READING LAND SURVEYORS, LLC DOES NOT WARRANT THE LOCATION OF THE UNDERGROUND SERVICES, WATER, SEWER, GAS, TELEPHONE, ELECTRIC, CABLE, AND UTILITIES PRESENT ARE SHOWN.
3. DISGSAFE SHALL BE CALLED PRIOR TO ANY EXCAVATIONS.
4. ACCORDING TO FLOOD INSURANCE RATE MAP NO. 25021C036F WITH AN EFFECTIVE DATE OF 7/8/2012 THE PROPERTY IS NOT LOCATED IN AN ESTABLISHED 100-YEAR FLOOD HAZARD ZONE.

OWNER OF RECORD
202 CEDAR LLC

DEED REFERENCE
NORFOLK COUNTY
DEED BOOK 42829 PAGE 253

PLAN REFERENCE
LOT 5 & 5A PLAN 956 OF 195

TOWN OF WELLESLEY
ASSESSORS MAP 11 PARCEL 13

ZONE: SR-15 SINGLE RESIDENCE

REQUIR

LOT AREA: 15,000
FRONTAGE: 60'
FRONT YARD SETBACK: 30'
SIDE YARD SETBACK: 20'
REAR YARD SETBACK: 15'
BUILDING COVERAGE: GREATER OF 18% OR 4,000 S.F. = 4,179 S.F.
BUILDING HEIGHT: 36'

EX

LOT AREA: 23,221 S.F.
FRONTAGE: 120.00'
FRONT YARD SETBACK: 2.4'
SIDE YARD SETBACK: 57.2'
REAR YARD SETBACK: 144.1'
BUILDING COVERAGE: 1,196 S.F. = 5.1%
BUILDING HEIGHT: 26.3'



202 CEDAR STREET
ASSESSORS MAP 11 PARCEL 13
WELLESLEY, MA
PREPARED FOR
BLUE CEDAR PROPERTY GROUP, LLC
559 NORTH AVENUE
WELLESLEY, MA

READING LAND SURVEYORS, LLC
PROFESSIONAL LAND SURVEYOR #39049

63 CENTRAL STREET UNIT 111
NORTH READING, MA 01864
(781) 844-7108

SCALE: 1" = 20'

NOTES

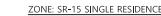
1. VERTICAL DATUM IS THAT OF WELLESLEY SEWER DATUM AS REFERENCED BY PLAN ENTITLED "SEWER SYSTEM IMPROVEMENTS GEDAR STREET PROJECT NO. BFM-50-315".
2. READING LAND SURVEYORS, LLC DOES NOT WARRANT THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THE PLAN OR WHETHER UNKNOWN UTILITIES PRESENT ARE SHOWN.
3. MISGATE SHALL BE HELD LIABLE TO ANY EXCAVATORS.
4. ACCORDING TO FLOOD INSURANCE RATE MAP, 250210036F WITH AN EFFECTIVE DATE OF 7/8/25 THE PROPERTY IS NOT LOCATED IN AN ESTABLISHED 100-YEAR FLOOD HAZARD ZONE.

OWNER OF RECORD
202 CEDAR LLC

DEED REFERENCE
NORFOLK COUNTY
DEED BOOK 42829 PAGE 253

PLAN REFERENCE
LOT 5 & 5A PLAN 717 OF 1951

TOWN OF WELLESLEY
ASSESSORS MAP 11 PARCEL 13



REQUIRED
LOT AREA: 15,000
FRONTAGE: 60'
FRONT YARD SETBACK: 30'
SIDE YARD SETBACK: 20'
REAR YARD SETBACK: 15'
BUILDING COVERAGE: GREATER OF 18% OR 4,000 S.F. = 4,179 S.F.
BUILDING HEIGHT: 36'

EXISTING
LOT AREA: 23,221 S.F.
FRONTAGE: 120.0'
FRONT YARD SETBACK: 2.4'
SIDE YARD SETBACK: 57.2'
REAR YARD SETBACK: 144.1'
BUILDING COVERAGE: 1,196 S.F. = 5.1%
BUILDING HEIGHT: 26.3'

PROPOSED
LOT AREA: 23,221 S.F.
FRONTAGE: 120.0'
FRONT YARD SETBACK: 30.3'
SIDE YARD SETBACK: 20.2'
REAR YARD SETBACK: 87.8'
BUILDING COVERAGE: 2,572 S.F. = 11%
BUILDING HEIGHT: 33.5'
AVERAGE GRADE: 152.75'

<u>PROPOSED BUILDING ELEVATIONS</u>	
ROOF RIDGE:	186'-3" (186.25')
1ST FLOOR FINISH:	158'-2 3/4" (158.23')
TOP OF CONCRETE:	156'-8 1/4" (156.68')
GARAGE DOOR:	156'-1" (156.08')
AVERAGE GRADE:	152'-9" (152.75')
BASEMENT SLAB:	148'-0 1/4" (148.02')
BOTTOM OF FOOTING:	148'-3 1/4" (148.69')



PROPOSED HISTORIC COMMISSION PLAN

202 CEDAR STREET
ASSESSORS MAP 11 PARCEL 13
WELLESLEY, MA
PREPARED FOR
BLUE CEDAR PROPERTY GROUP, LLC
550 NORTH AVENUE

READING LAND SURVEYORS, LLC
PROFESSIONAL LAND SURVEYOR #39049

63 CENTRAL STREET UNIT 111
NORTH READING, MA 01864
(781) 844-7108

SCALE: 1" = 20' DATE: JANUARY 13, 2025