



**WELLESLEY PLANNING BOARD  
APPLICATION FORM FOR REVIEW OF A  
PROJECT OF SIGNIFICANT IMPACT**

DATE: 11/24/25 592 WASHINGTON ST, WELLESLEY,  
ADDRESS OF PROPERTY: MA 02482 PRECINCT G  
NAME OF OWNER OF RECORD: 592 WASHINGTON LLC

\_\_\_\_\_  
signature

EXISTING USE OF  
LAND/BUILDINGS: OFFICE BUILDING  
PRESENT ZONING: WELLESLEY SQUARE COMMERCIAL DISTRICT  
PROPOSED USE OF  
LAND/BUILDINGS: MULTI-FAMILY HOUSING (RESIDENTIAL)

FLOOR AREA OF BUILDING(S) NOW EXISTING ON THE  
SITE: \_\_\_\_\_ SQUARE FEET.

TOTAL FLOOR AREA OF BUILDING(S) PROPOSED ON THE  
SITE: \_\_\_\_\_ SQUARE FEET.

AGGREGATE TOTAL FLOOR AREA OF PROPOSED NEW CONSTRUCTION  
ONLY \_\_\_\_\_ SQUARE FEET.

(IF RESIDENTIAL) NUMBER OF DWELLING UNITS 19

AREA OF LOT OR DEVELOPMENT SITE 35,861 SQUARE FEET.

CONSULTANT(S) FOR IMPACT ANALYSIS METROWEST ENGINEERING - SITE/PLAN  
508-626-0063 Phone \_\_\_\_\_

VANASSE & ASSOCIATES - TRAFFIC ENGINEER. (978) 474-8800

MCKAY ARCHITECTS 781-326-5400

\*\*\*\*\*

This portion to be completed by Planning Department

APPLICATION FORM AND IMPACT ANALYSIS AS REQUIRED BY PLANNING BOARD  
RECEIVED BY \_\_\_\_\_

signature

date

REVIEW COMPONENTS WAIVED BY PLANNING BOARD

\_\_\_\_\_  
date of vote

\_\_\_\_\_  
date of vote

\_\_\_\_\_  
date of vote

\_\_\_\_\_  
date of vote

SUBMISSION FEE RECEIVED \$ \_\_\_\_\_  
date

IMPACT ANALYSIS TRANSMITTED TO REVIEW DEPARTMENTS \_\_\_\_\_  
date

IMPACT ANALYSIS APPROVED BY:

Board of Selectmen \_\_\_\_\_  
date

Board of Public Works \_\_\_\_\_  
date

Fire Chief \_\_\_\_\_  
date

Special Permit Approved by Planning Board \_\_\_\_\_ date.

WELLESLEY PLANNING BOARD

DEFINITIVE SUBMISSION - PROJECT PLAN SPECIFICATIONS

PROJECT OF SIGNIFICANT IMPACT

The Definitive Submission Project Plan shall be drawn to a scale of 1"=40' and shall show:

- a. Title and North arrow;
- b. Name of owner of record;
- c. Name of applicant (if different than owner);
- d. Names of all abutters as they appear on the most recent tax list;
- e. The general topography including an indication of open and wooded areas, permanent monuments, natural objects such as waterways, drainage courses, large boulders or ledge outcroppings, stone walls and the like;
- f. Proposed location of building(s) and structures, roads, drives, and parking areas, with the proposed rough layout of storm drains, water supply, sewage disposal system and necessary easements;
- g. The general relation of the proposed driveway(s), water, sewer and drainage systems and easements to adjoining properties and ways.

Should the plan be submitted on more than one sheet, all sheets shall be of the same size.

# WELLESLEY PLANNING BOARD

## Application Form



Planning Department  
888 Worcester Street, Suite 160  
Wellesley, MA 02482

Tel. (781) 431-1019 ext. 2232

Fax (781) 237-6495

Eric Arbeene, AICP, Interim Planning Director

<p>Name of applicant: <u>592 WASHINGTON LLC</u></p> <p>Mailing Address: <u>869 WORCESTER ST</u></p> <p>Phone: <u>(781) 235-2555</u></p>	<p>Land owner(s): <u>592 WASHINGTON LLC</u></p> <p>Mailing address: <u>869 WORCESTER ST</u></p> <p>Phone: <u>(781) 235-2555</u></p>	<p>Address or location of property: <u>592 WASHINGTON ST. WELLESLEY MA</u></p> <p>Area in square feet: <u>35,861</u></p> <p>Town Plan number: <u>124</u></p>
<p>Type of application:</p> <p><input type="checkbox"/> Approval Not Required Plan (ANR)</p> <p><input type="checkbox"/> Preliminary Subdivision Plan</p> <p><input type="checkbox"/> Definitive Subdivision Plan</p> <p><input type="checkbox"/> Plan to Upgrade Inadequate Way</p> <p><input checked="" type="checkbox"/> Other <u>WELLESLEY SQ.</u></p>	<p>Materials and information required:</p> <p>For ANR submissions:</p> <p><input type="checkbox"/> Original and six prints of all plan(s)</p> <p>For Subdivision Plan submissions:</p> <p><input type="checkbox"/> Original and six prints of all plan(s)</p> <p><input type="checkbox"/> Runoff calculations and other submission materials</p> <p><input type="checkbox"/> Municipal systems analysis for subdivisions of 5 or more lots or 2 or more acres</p> <p><input type="checkbox"/> Plans to Board of Health</p> <p><input type="checkbox"/> Notice to Town Clerk</p>	<p>FOR ALL APPLICATIONS</p> <p>Name of land surveyor: <u>METROWEST ENGINEERING</u></p> <p>Mailing address of surveyor: <u>75 FRANKLIN ST, FRAMINGHAM MA</u></p> <p>Phone number of surveyor: <u>508-626-0063</u></p> <p>Zoning and area district: <u>WELLESLEY SQ COMMERCIAL DISTRICT</u></p> <p>Present use of property: <u>OFFICE BUILDING</u></p> <p>Proposed use of property: <u>MULTI-FAMILY HOUSING (RESIDENTIAL)</u></p> <p>FOR SUBDIVISION AND STREET UPGRADE PLANS</p> <p>Name of engineer:</p> <p>Number of lots:</p> <p>Length of street to be built:</p> <p>AREA IN SQUARE FEET OF</p> <p>Street right of way:</p> <p>Paved travel way:</p> <p>Total combined lot area:</p> <p>Estimated impervious cover including new roof surface:</p>
<p style="text-align: center;"><b>DO NOT WRITE IN THIS BOX</b></p> <p style="text-align: center;">To be completed by Planning Staff</p> <p>Date submitted: _____</p> <p>Action Required By: _____</p> <p>Action Taken: _____</p> <p>Date: _____</p> <p>File designation: _____</p>		
<p>I give permission for agents of the Planning Board to enter upon my land for purposes related to this application during regular business hours.</p>	<p>Signature of land owner: _____ _____</p>	<p>Signature of applicant (if other than owner): _____ _____</p>

**592 Washington LLC  
869 Worcester St  
Wellesley, MA 02482**

**November 24<sup>th</sup>, 2025**

**Wellesley Planning Board**

Town of Wellesley  
525 Washington Street  
Wellesley, MA 02482

**Re: Special Permit Request – 3-Story, 19-Unit Condominium Building**

Dear Members of the Wellesley Planning Board:

On behalf of **592 Washington LLC**, I respectfully request approval of a **Special Permit** for a **three-story, 19-unit high-end condominium building** of approximately **50,000 square feet**, including **19 underground parking spaces**, at **592 Washington St, Wellesley, MA 02482**.

This project has been carefully designed to fit seamlessly within the surrounding neighborhood. The building's architecture, scale, and materials were selected to complement nearby homes, while underground parking eliminates the need for expansive surface lots and significantly reduces visual and traffic impact. The units will be high-quality, for-sale residences that meet the growing demand for well-designed, low-maintenance living options in Wellesley.

Throughout the planning process, we prioritized respectful integration with abutting properties. Landscaping, privacy buffers, and lighting controls have been incorporated to ensure a quiet, attractive, and well-screened setting. The development will also use modern, energy-efficient building systems and follow all state and local requirements for stormwater management and site safety.

We believe the proposal meets the Town's standards for Special Permit approval by preserving neighborhood character, ensuring safe circulation, and providing high-quality residential housing in a responsible manner. Our team is committed to collaborating with the Town and residents to deliver a project that enhances the surrounding area and reflects Wellesley's long-standing expectations for thoughtful design.

Thank you for your time and consideration. We welcome the opportunity to present this project further and answer any questions the Board may have.

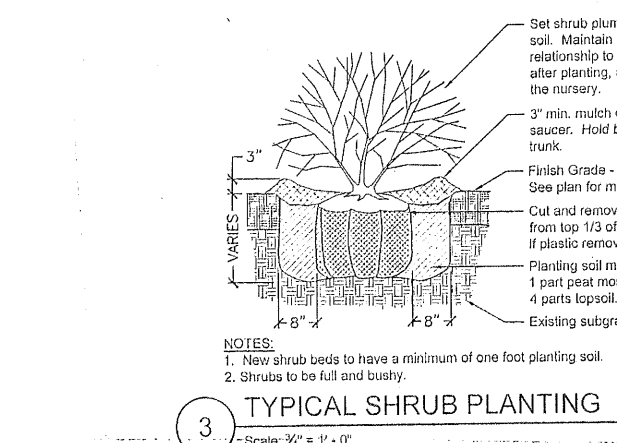
Sincerely,

**Dean Behrend  
Owner**





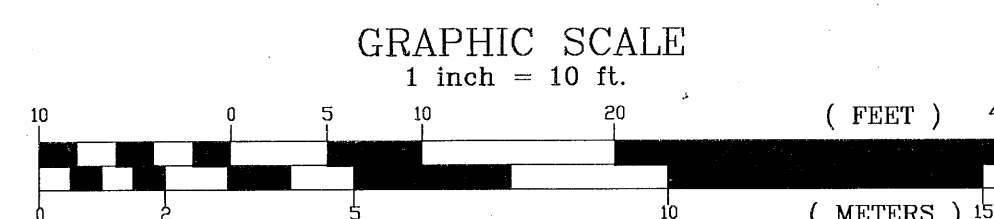




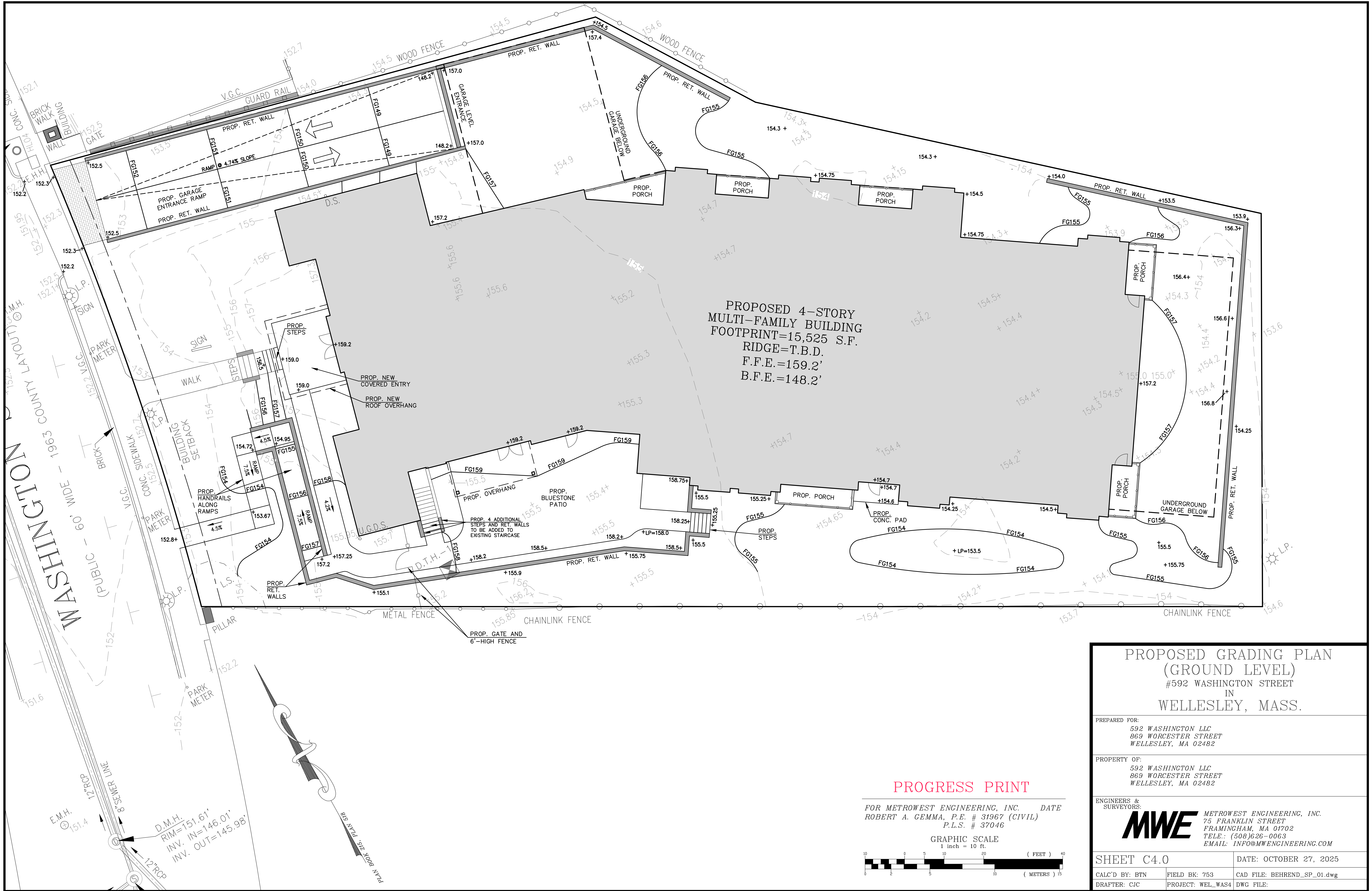
ORNAMENTAL GRASSES				
FR	58	Calamagrostis x acutiflora 'Karl Foerster	Feather Reed Grass	2 Gallon
HG	18	Hakonechloa 'Aureola'	Hakone Grass	2 Gallon
PERENNIALS / VINES				
ah	6	Amsonia Hubrichtii	Arkansaw Blue Star	1 Gallon
sk	5	Aralia cordata 'Sun King'	Sun King' Japanese Spikenard	2 Gallon
mo	12	Allium Millenium	Millenium Onion	1 Gallon
as	12	Astilbe chinensis 'Visions in Red'	Visions in Red' False Spirea	1 Gallon
bs	6	Brunnera macrophylla 'Sterling Silver'	Sterling Silver' Siberian Bugloss	1 Gallon
dk	15	Caryopteris x clandonensis 'Dark Knight'	Dark Knight' Blue Mist Spirea	2 Gallon
cm	12	Coreopsis verticillata 'Moonbeam'	Moonbeam Coreopsis	1 Gallon
lm	150	Liriope muscari	Lilyturf	1 Gallon
aj	12	Sedum Autumn Joy'	Sedum Autumn Joy'	1 Gallon
sb	24	Stachys byzantina 'Helen von Stein'	Helene Von Stein' Lamb's Ears	1 Gallon

1. Trees and shrubs shall be uniform, full and bushy, and well branched specimen plants. All plants to be approved by the Landscape Architect.
2. Plants shall be balled and burlapped or container grown.
3. Plants to conform to the requirements established in the 'American Standards For Nursery Stock', latest edition.
4. Plant beds to receive 3-inch minimum depth of shredded natural bark mulch. Contractor to submit bark samples for approval.
5. Plant materials shall be guaranteed for one year (1-year) after installation.
6. Plant materials shall be field located and approved by the Landscape Architect.
7. Plant beds at perennials to have a 6-in. min. depth of loam. Loam at trees, shrubs, and ornamental grass locations to be depth of root ball.
8. Loam (4" minimum depth) and seed all lawn areas and disturbed areas not otherwise noted.
9. Plant substitutions will be allowed based on best availability of nursery stock, all substitutions to be approved by the Landscape Architect and Town of Wellesley Planning Dept.

SHEET <b>L-1</b>		DATE: 11-24-25
CALC'D BY: ..	FIELD BK: 753	CAD FILE: BEHREND_SP_01.dwg
DRAFTER:	PROJECT: WEL WAS4	DWG FILE:









NOTES:

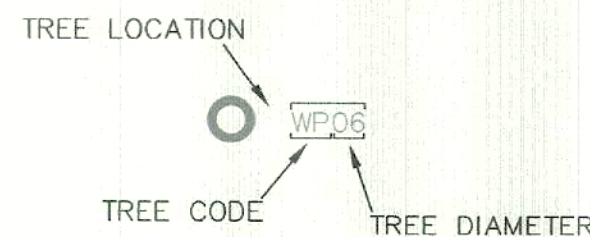
1. SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 124, LOT 17. RECORD TITLE FROM CERTIFICATE #214101.
2. UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY. RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
3. CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
4. THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25021C0016F, BEARING AN EFFECTIVE DATE OF JULY 8, 2025.



CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

EXISTING TREE DESCRIPTION LEGEND

CODE	DESCRIPTION
BL	BLACK LOCUST
EB	EUROPEAN BEECH
HCN	HORSE CHESTNUT
HL	HONEY LOCUST
NM	NORWAY MAPLE
RO	RED OAK
SM	SUGAR MAPLE
DBL	DOUBLE



LEGEND

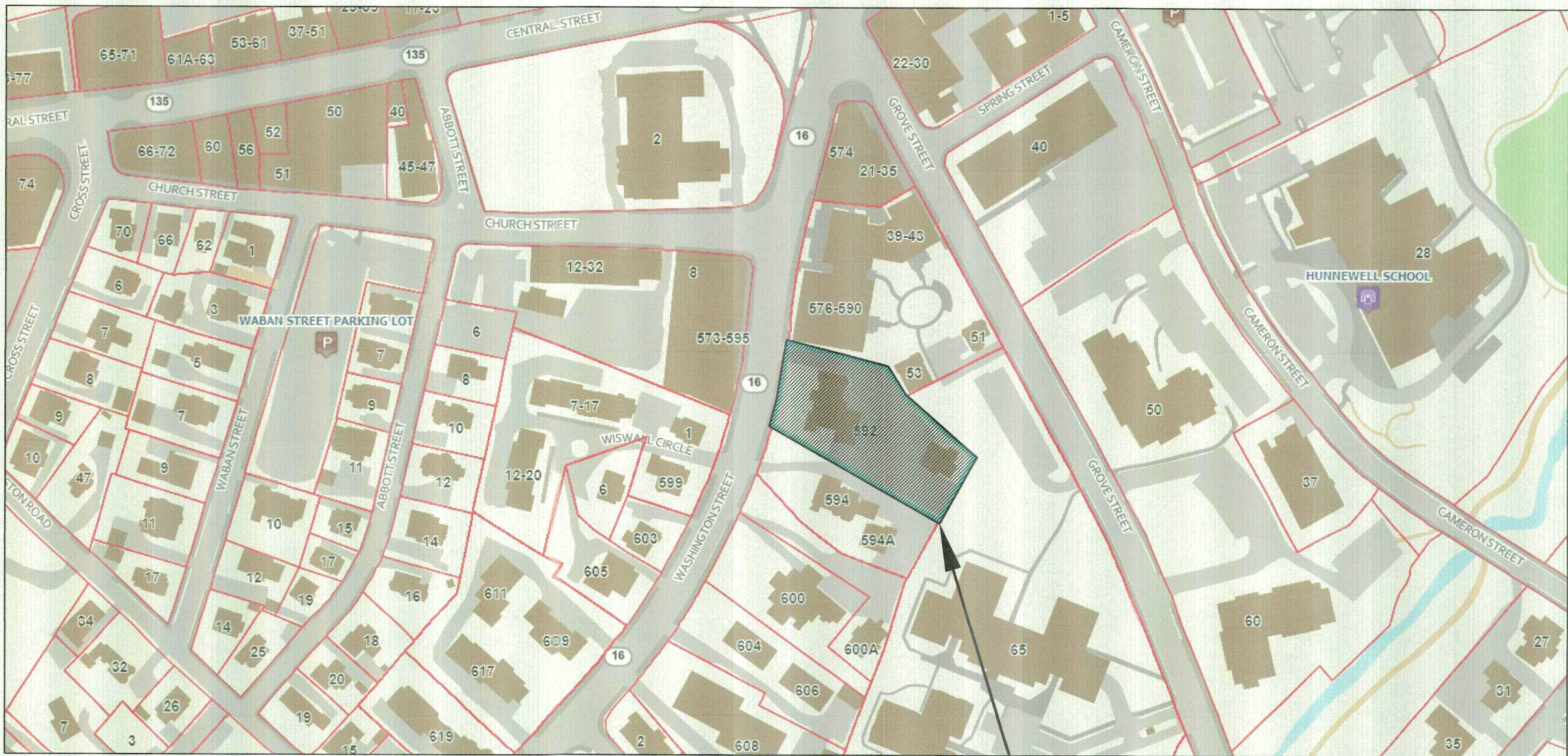
A.C.	AIR CONDITIONER
B.H.	BULKHEAD
BIT.	BITUMINOUS
C.C.B.	CAPE COD BERM
CONC.	CONCRETE
C.P.	CONCRETE PAD
D.C.B.	DRAIN CATCH BASIN
D.M.H.	DRAIN MANHOLE
D.S.	DOWNSPOUT
E.H.H.	ELECTRIC HANDHOLE
E.M.	ELECTRIC METER
E.M.H.	ELECTRIC MANHOLE
E.O.D.	EDGE OF DRIVE
(F)	FOUND
G.G.	GAS GATE
G.M.	GAS METER
INV.	INVERT
I.R.	IRON ROD
L=	LENGTH
L.S.	LANDSCAPE
N/F	NOW OR FORMERLY
O.H.W.	OVERHEAD WIRE
R=	RADIUS
S.F.	SQUARE FEET
S.M.H.	SEWER MANHOLE
T.H.H.	TELEPHONE HANDHOLE
U.G.D.S.	UNDERGROUND DOWNSPOUT
U.P.	UTILITY POLE
V.G.C.	VERTICAL GRANITE CURB
W.G.	WATER GATE
Δ	DELTA
(2)	NUMBER OF PARKING SPACES
+100.0	EXISTING SPOT GRADE
-100.0	EXISTING GRADING
---	GAS
---	UNDERGROUND ELECTRIC LINE
---	WATERLINE

PROPOSED PARKING REQUIREMENTS

PARKING USE	PARKING REQUIREMENT	QUANTITY REQUIRED	QUANTITY PROPOSED
MULTI-UNIT HOUSING	2 SPACES PER DWELLING UNIT	38 SPACES	36 SPACES

1. PARKING REQUIREMENTS TAKEN FROM SECTION 5.17.D.2 & TABLE 21.1 OF CITY OF WELLESLEY ZONING BYLAWS

PROPOSED SITE PLAN SET  
592 WASHINGTON STREET  
WELLESLEY, MASSACHUSETTS



PROJECT SITE

SHEET INDEX

COVER SHEET	— EXISTING CONDITIONS SITE PLAN
SHEET C1.0	— EROSION AND SEDIMENT CONTROL PLAN
SHEET C2.0	— PROPOSED LAYOUT PLAN
SHEET C3.0	— PROPOSED GRADING PLAN (GROUND LEVEL)
SHEET C4.0	— PROPOSED DRAINAGE PLAN (GROUND LEVEL)
SHEET C5.0	— PROPOSED SITE PLAN (GROUND LEVEL)
SHEET C6.0	— LOCUS PLAN
SHEET C7.0	— DETAIL PLAN
SHEET C8.0	— DETAIL PLAN
SHEET C8.1	— DETAIL PLAN

ZONING TABLE

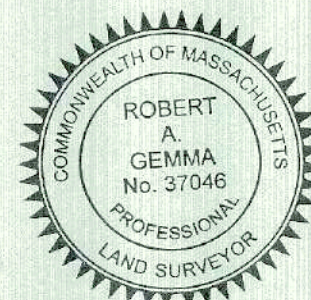
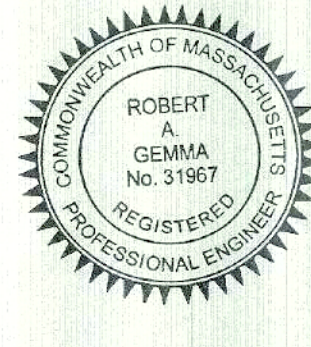
WELLESLEY SQUARE  
COMMERCIAL DISTRICT

	REQUIRED	EXISTING	PROPOSED
AREA	N.A.	35,861± S.F.	35,861± S.F.
FRONTAGE	N.A.	118.20 FEET	118.20 FEET
SETBACKS:			
FRONT YARD	5 FEET	39.4 FEET (TO ENTRY)	34.9 FEET (TO ENTRY)
SIDE YARD	N.A.	4.0 FEET	1.4 FEET (GARAGE)
REAR YARD	N.A.	15.7 FEET	7.1 FEET (GARAGE)
BUILDING HEIGHT	3 STORIES	3 STORIES	3 STORIES
LOT COVERAGE:			
BUILDING	N.A.	5,709± S.F.	15,525± S.F.
IMPERVIOUS EXCLUDING BUILDINGS	N.A.	23,900± S.F.	5,130± S.F.
TOTAL IMPERVIOUS COVERAGE	N.A.	29,609± S.F.	20,655± S.F.
FLOOR AREA RATIO (FAR)	0.30 MAXIMUM	0.16	1.08

BENCHMARKS

ELEVATIONS SHOWN ARE BASED ON THE TOWN OF WELLESLEY DATUM

T.B.M.	DESCRIPTION	ELEVATION
A	"X" CUT ON HYDRANT	154.33'
B	NE CORNER RETAINING WALL STEPS	156.57'
C	NAIL SET 1' UP IN 20" SUGAR MAPLE	156.64'
D	NAIL SET 1' UP IN 16" RED OAK	155.73'
E	SE CORNER TOP OF STEP	154.94'
F	NAIL SET ON ROOT OF A STUMP	153.28'
G	NE CORNER OF STEP	154.97'
H	NAIL SET 1' UP ON U.P.#5-1/2	155.57'



FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E.(CIVIL) # 31967  
P.L.S. # 37046

COVER SHEET  
#592 WASHINGTON STREET  
IN  
WELLESLEY, MASS  
(NORFOLK COUNTY)

PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

PROPERTY OF:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE.: (508)626-0063

COVER SHEET	DATE: NOVEMBER 24, 2025
CALC'D BY: BTN	FIELD BK: 753
DRAFTER: CJC	PROJECT: WEL_WAS4
	CAD FILE: BEHREND_SP_01.dwg
	DWG FILE:

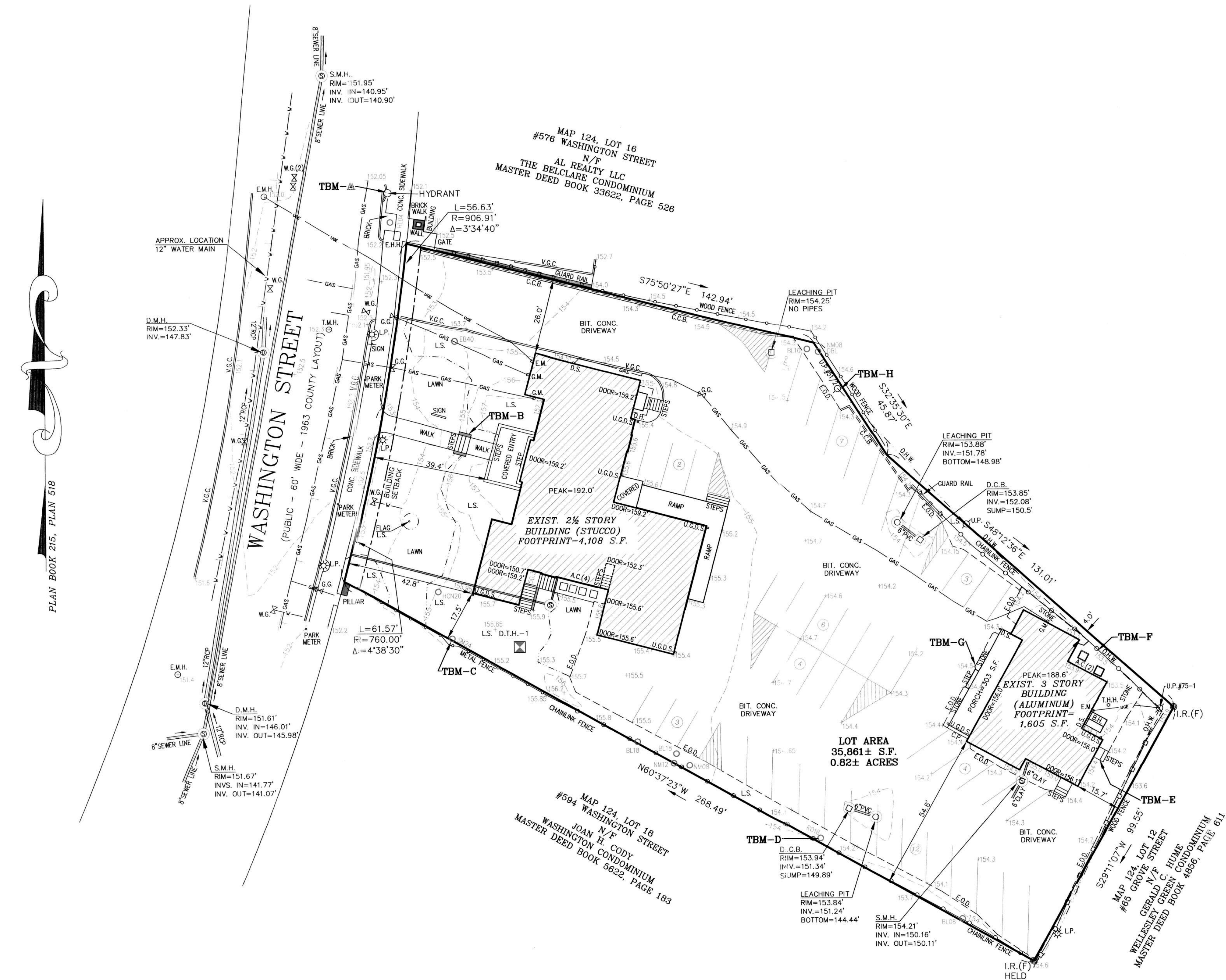


SOIL TEST RESULTS	
D.T.H.-1 (ELEV=155.9')	
0"-16" A SANDY LOAM	10YR 3/2
16"-36" B SANDY LOAM	10YR 5/6
36"-72" C1 SAND	2.5Y 5/3
72"-120" C2 SAND	2.5Y 5/4
C1 HORIZON HAS 40% GRAVEL POSSIBLE MOTTLING @106" NO STANDING OR WEeping WATER NO REFUSAL ESTIMATED HIGH WATER=BELOW 147.1'	
DATE: AUGUST 08, 2023	
BY: BRIAN NELSON, SOIL EVALUATOR F.B. 757, PAGE 02	
INSPECTOR: NONE	

#### ZONING:

#### WELLESLEY SQUARE COMMERCIAL DISTRICT

MINIMUM AREA = N.A.  
MINIMUM FRONTAGE = N.A.  
SETBACKS:  
FRONT YARD = 5 FEET  
SIDE YARD = N.A.  
REAR YARD = N.A.  
MAXIMUM HEIGHT = 45 FEET (3 STORIES)  
MAXIMUM LOT COVERAGE = N.A.  
FLOOR AREA RATIO = 0.30



#### LEGEND

A.C.	AIR CONDITIONER
B.H.	BULKHEAD
BIT.	BITUMINOUS
C.C.B.	CAPE COD BERM
CONC.	CONCRETE
C.P.	CONCRETE PAD
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ⓐ	NUMBER OF PARKING SPACES
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DBL DOUBLE

TREE LOCATION

WFO

TREE CODE

TREE DIAMETER

#### NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 124, LOT 17. RECORD TITLE FROM CERTIFICATE #214101.
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#### BENCHMARKS

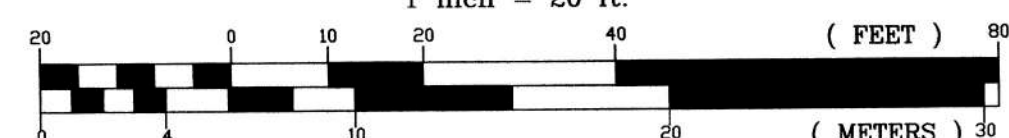
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FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.L.S. # 37046

GRAPHIC SCALE  
1 inch = 20 ft.



#### EXISTING CONDITIONS SITE PLAN #592 WASHINGTON STREET IN WELLESLEY, MASS (NORFOLK COUNTY)

PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

PROPERTY OF:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE: (508)626-0063  
EMAIL: INFO@MWEENGINEERING.COM

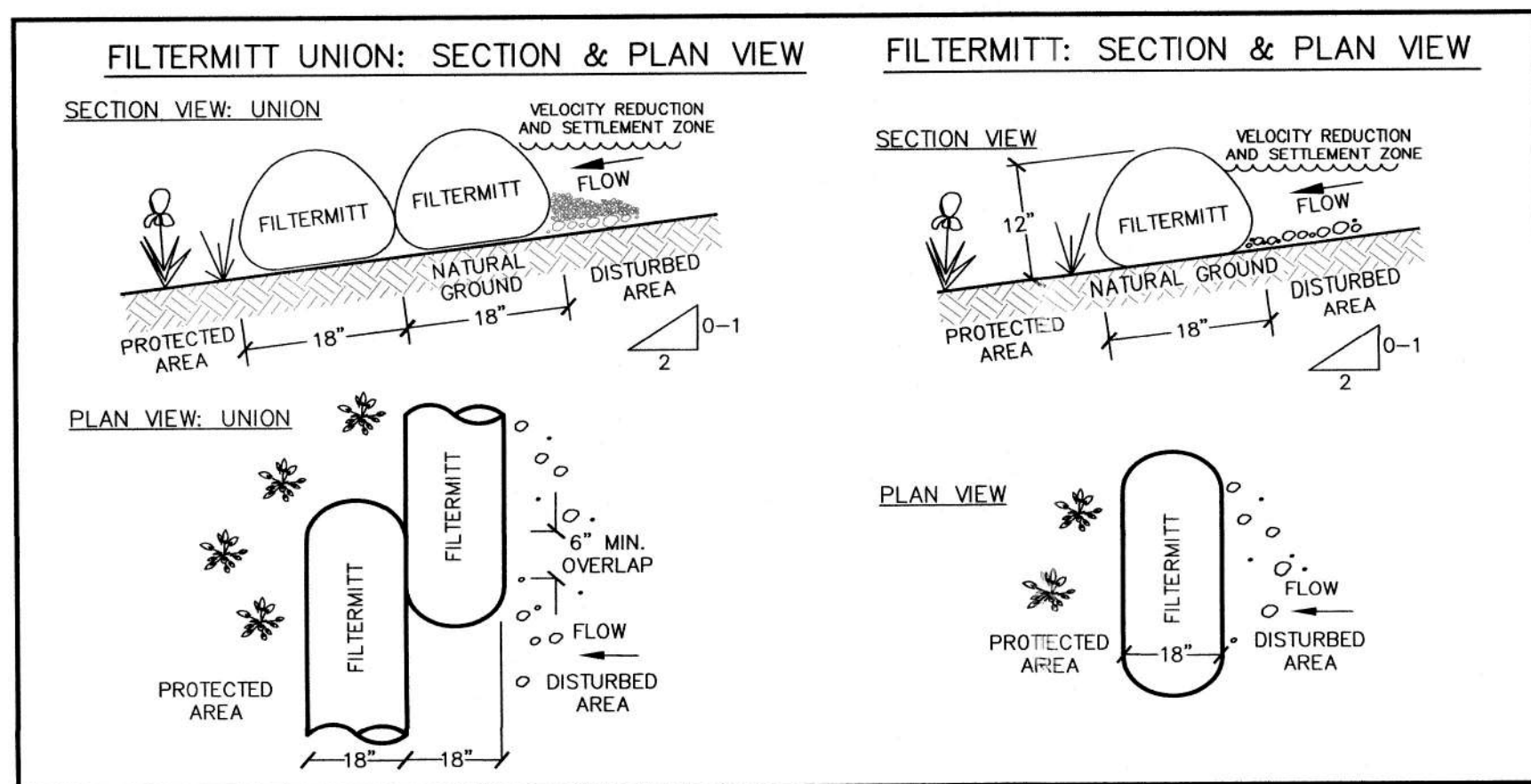
SHEET C1.0 DATE: NOVEMBER 24, 2025

CALC'D BY: BTN FIELD BK: 753 CAD FILE: BEHREND\_SP\_01.dwg  
DRAFTER: CJC PROJECT: WEL\_WAS4 DWG FILE:



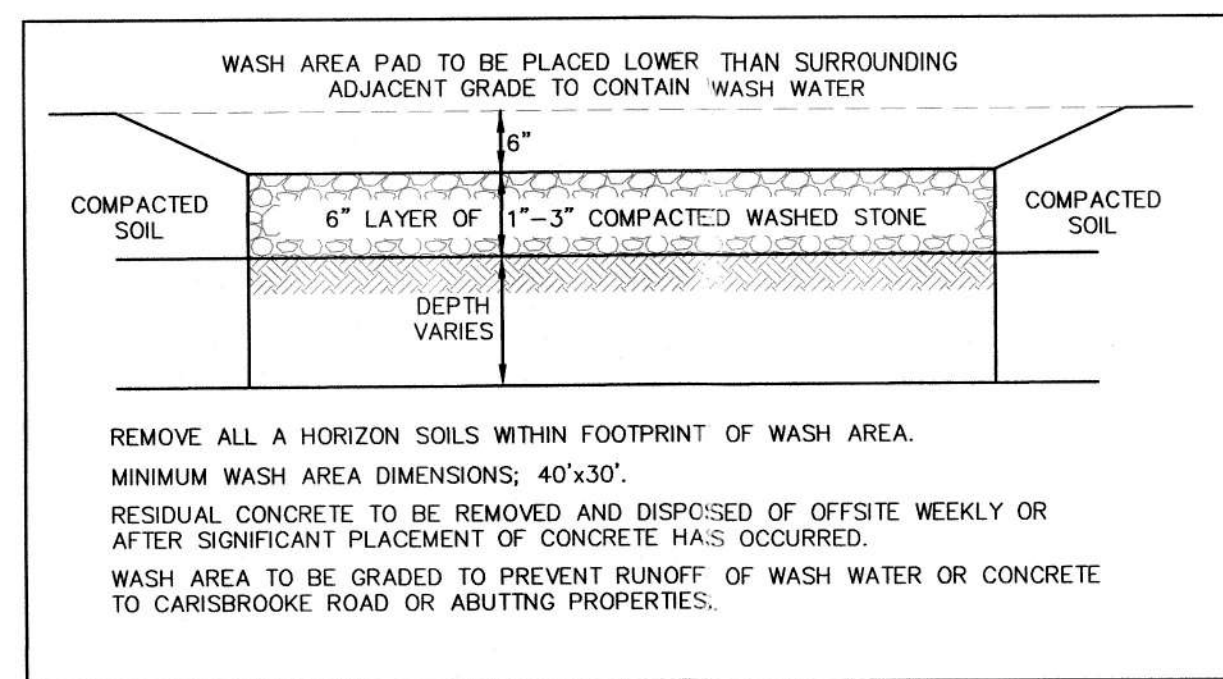
# FILTER MITT EROSION CONTROL BARRIER

NOT TO SCALE



## CONCRETE TRUCK WASH AREA

NOT TO SCALE



## CONSTRUCTION HOURS:

WEEKDAY CONSTRUCTION HOURS: 7:30 A.M. TO 5:30 P.M.  
SATURDAY CONSTRUCTION HOURS: 8:00 A.M. TO 4:00 P.M.  
NO WORK SHALL OCCUR ON SUNDAYS.

## PROTECTION OF STORMWATER MANAGEMENT AREAS DURING CONSTRUCTION

CONTRACTOR SHALL EXERCISE CARE TO PROTECT THE SURFACES BENEATH AND ADJACENT TO THE PROPOSED INFILTRATION SYSTEMS AND RAIN GARDEN FROM DEGRADATION BY SURROUNDING CONSTRUCTION ACTIVITIES, INCLUDING:

- PREVENTION OF CONTAMINATION OF EXPOSED SUBGRADE BY CONSTRUCTION SEDIMENT.
- PREVENTION OF EXCESSIVE COMPACTION BY CONSTRUCTION VEHICLES.
- PREVENTION OF DISCHARGE OF WATER FROM DEWATERING ACTIVITIES INTO THE PROPOSED INFILTRATION SYSTEM OR RAIN GARDENS.
- PREVENTION OF DISCHARGE OF STORMWATER INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE STABILIZED UNLESS SPECIFIC MEASURES ARE PROVIDED FOR PROTECTING AND RESTORING THE INFILTRATION SURFACE.

## EROSION CONTROL NOTES:

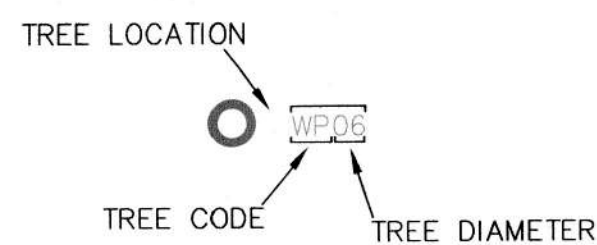
- CONTRACTOR SHALL MODIFY SEDIMENTATION CONTROLS AS NECESSARY DURING CONSTRUCTION.
- CONTRACTOR SHALL INSPECT AND CLEAN ALL SILTATION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ALL STORMS WITH A PRECIPITATION AMOUNT IN EXCESS OF 1". CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DEFICIENCIES FOUND ON SILTATION CONTROL MEASURES.
- CONTRACTOR SHALL MAINTAIN AN INVENTORY OF EMERGENCY SUPPLIES ON SITE IN A PROTECTED LOCATION INCLUDING, BUT NOT LIMITED TO HAYBALES, SILT FENCE, WASHED STONE, PVC PIPE, MULCH AND SEED.
- ALL DISTURBED AREAS SHALL BE PROPERLY STABILIZED BEFORE OR THROUGH THE WINTER TO ELIMINATE DESTABILIZATION OR SILTATION DURING THE SPRING THAW.
- ANY RELEASE OF WATER FROM TEMPORARY SILTATION PONDS SHALL BE FREE OF SILT AND SEDIMENT AND SHALL MEET WATER QUALITY STANDARDS FOR CLASS B WATER IN THE COMMONWEALTH OF MASSACHUSETTS.
- IF GROUNDWATER DE-WATERING IS REQUIRED, CONTRACTOR SHALL IMPLEMENT A FILTERING SYSTEM FOR PUMPED GROUNDWATER TO REMOVE SILT AND SEDIMENT. THE DIRECT DISCHARGE OF ANY DE-WATERING OPERATION INTO A WETLAND IS PROHIBITED.
- CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL SEDIMENTS WHEN THEY HAVE ACCUMULATED TO A HEIGHT APPROXIMATELY EQUAL TO ONE HALF OF THE HEIGHT OF THE CORRESPONDING EROSION AND SEDIMENTATION CONTROL MEASURE.
- CONTRACTOR SHALL KEEP COPIES OF THE EROSION CONTROL PLAN AND INSPECTION REPORTS SO THEY ARE ACCESSIBLE AT ALL TIMES.
- CONTRACTOR TO PROTECT ALL DRAINAGE INLETS FROM SILT AND SEDIMENT UNTIL THEIR TRIBUTARY AREAS ARE FULLY STABILIZED.
- CONTRACTOR TO SWEEP STREET IN FRONT OF WORK AREA WEEKLY OR AS NEEDED TO PREVENT ACCUMULATION OF SILT AND SEDIMENT ON GARDEN ROAD.
- ANY DEWATERING PERFORMED ON SITE REQUIRING A CONNECTION OR DISCHARGE TO THE MUNICIPAL DRAINAGE SYSTEM MUST BE APPROVED BY THE TOWN ENGINEER PRIOR TO DISCHARGE.

## LEGEND

- A.C. AIR CONDITIONER
- B.H. BULKHEAD
- BIT. BITUMINOUS
- C.C.B. CAPE COD BERM
- CONC. CONCRETE
- C.P. CONCRETE PAD
- D.C.B. DRAIN CATCH BASIN
- D.M.H. DRAIN MANHOLE
- D.S. DOWNSPOUT
- E.H.H. ELECTRIC HANDHOLE
- E.M. ELECTRIC METER
- E.M.H. ELECTRIC MANHOLE
- E.O.D. EDGE OF DRIVE
- (F) FOUND
- G.G. GAS GATE
- G.M. GAS METER
- INV. INVERT
- I.R. IRON ROD
- L. LANDSCAPE
- L.S. NOW OR FORMERLY
- N/F. OVERHEAD WIRE
- O.H.W. RADIUS
- R. SQUARE FEET
- S.F. SEWER MANHOLE
- S.M.H. TO BE REMOVED
- T.B.R. TELEPHONE HANDHOLE
- T.H.H. UNDERGROUND DOWNSPOUT
- U.G.D.S. UTILITY POLE
- U.P. VERTICAL GRANITE CURB
- V.G.C. WATER GATE
- W.G. DELTA
- Δ. NUMBER OF PARKING SPACES
- ② EXISTING SPOT GRADE
- EXISTING GRADING
- GAS
- GASLINE
- UGE UNDERGROUND ELECTRIC LINE
- W. WATERLINE

## EXISTING TREE DESCRIPTION LEGEND

- | CODE | DESCRIPTION    |
|------|----------------|
| BL   | BLACK LOCUST   |
| EB   | EUROPEAN BEECH |
| HCN  | HORSE CHESTNUT |
| HL   | HONEY LOCUST   |
| NM   | NORWAY MAPLE   |
| RO   | RED OAK        |
| SM   | SUGAR MAPLE    |
| DBL  | DOUBLE         |



## NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 124, LOT 17. RECORD TITLE FROM CERTIFICATE #214101.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY. RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS, METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25021C0016F, BEARING AN EFFECTIVE DATE OF JULY 8, 2025.



CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

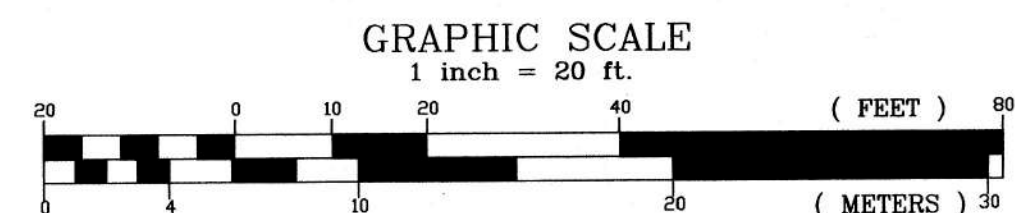
## BENCHMARKS

ELEVATIONS SHOWN ARE BASED ON THE TOWN OF WELLESLEY DATUM

T.B.M.	DESCRIPTION	ELEVATION
A	"X" CUT ON HYDRANT	154.33'
B	NE CORNER RETAINING WALL STEPS	156.57'
C	NAIL SET 1' UP IN 20" SUGAR MAPLE	156.64'
D	NAIL SET 1' UP IN 16" RED OAK	155.73'
E	SE CORNER TOP OF STEP	154.94'
F	NAIL SET ON ROOT OF A STUMP	153.28'
G	NE CORNER OF STEP	154.97'
H	NAIL SET 1' UP ON U.P.#5-1/2	155.57'



FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E. # 31967 (CIVIL)  
P.L.S. # 37046



## EROSION & SEDIMENT CONTROL PLAN #592 WASHINGTON STREET IN WELLESLEY, MASS (NORFOLK COUNTY)

PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

PROPERTY OF:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TEL.: (508)626-0063  
EMAIL: INFO@MWEENGINEERING.COM

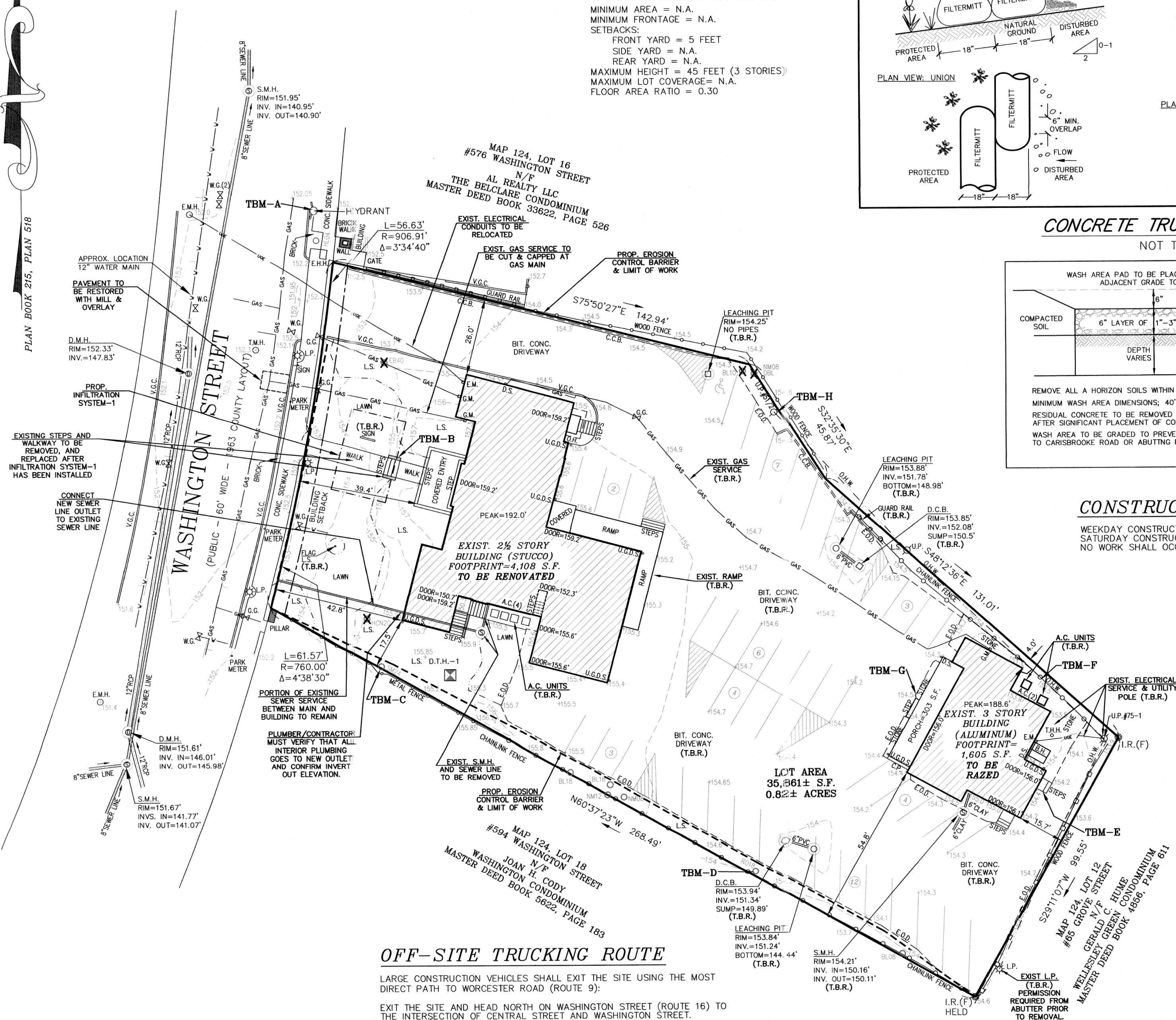
SHEET C2.0 DATE: NOVEMBER 24, 2025

CALC'D BY: BTN FIELD BK: 753 CAD FILE: BEHREND\_SP\_01.dwg  
DRAFTER: CJC PROJECT: WEL\_WAS4 DWG FILE:

## ZONING:

### WELLESLEY SQUARE COMMERCIAL DISTRICT

MINIMUM AREA = N.A.  
MINIMUM FRONTAGE = N.A.  
SETBACKS:  
FRONT YARD = 5 FEET  
SIDE YARD = N.A.  
REAR YARD = N.A.  
MAXIMUM HEIGHT = 45 FEET (3 STORIES)  
MAXIMUM LOT COVERAGE = N.A.  
FLOOR AREA RATIO = 0.30



## OFF-SITE TRUCKING ROUTE

LARGE CONSTRUCTION VEHICLES SHALL EXIT THE SITE USING THE MOST DIRECT PATH TO WORCESTER ROAD (ROUTE 9):

EXIT THE SITE AND HEAD NORTH ON WASHINGTON STREET (ROUTE 16) TO THE INTERSECTION OF CENTRAL STREET AND WASHINGTON STREET.

PROCEED EAST ON WASHINGTON STREET (ROUTE 16) 1.5-MILES TO THE EASTBOUND RAMP FOR WORCESTER STREET (ROUTE 9).

PROCEED EAST ON WORCESTER STREET TO THE WELLESLEY TOWN LINE.

OR;

PROCEED NORTH ON WASHINGTON STREET (ROUTE 16) 140- FEET TO THE INTERSECTION OF CHURCH STREET AND WASHINGTON STREET.

PROCEED WEST ON CHURCH STREET 935- FEET TO THE INTERSECTION OF CHURCH STREET AND CROSS STREET.

PROCEED SOUTH ON CROSS STREET TO THE INTERSECTION OF CROSS STREET AND WESTON ROAD.

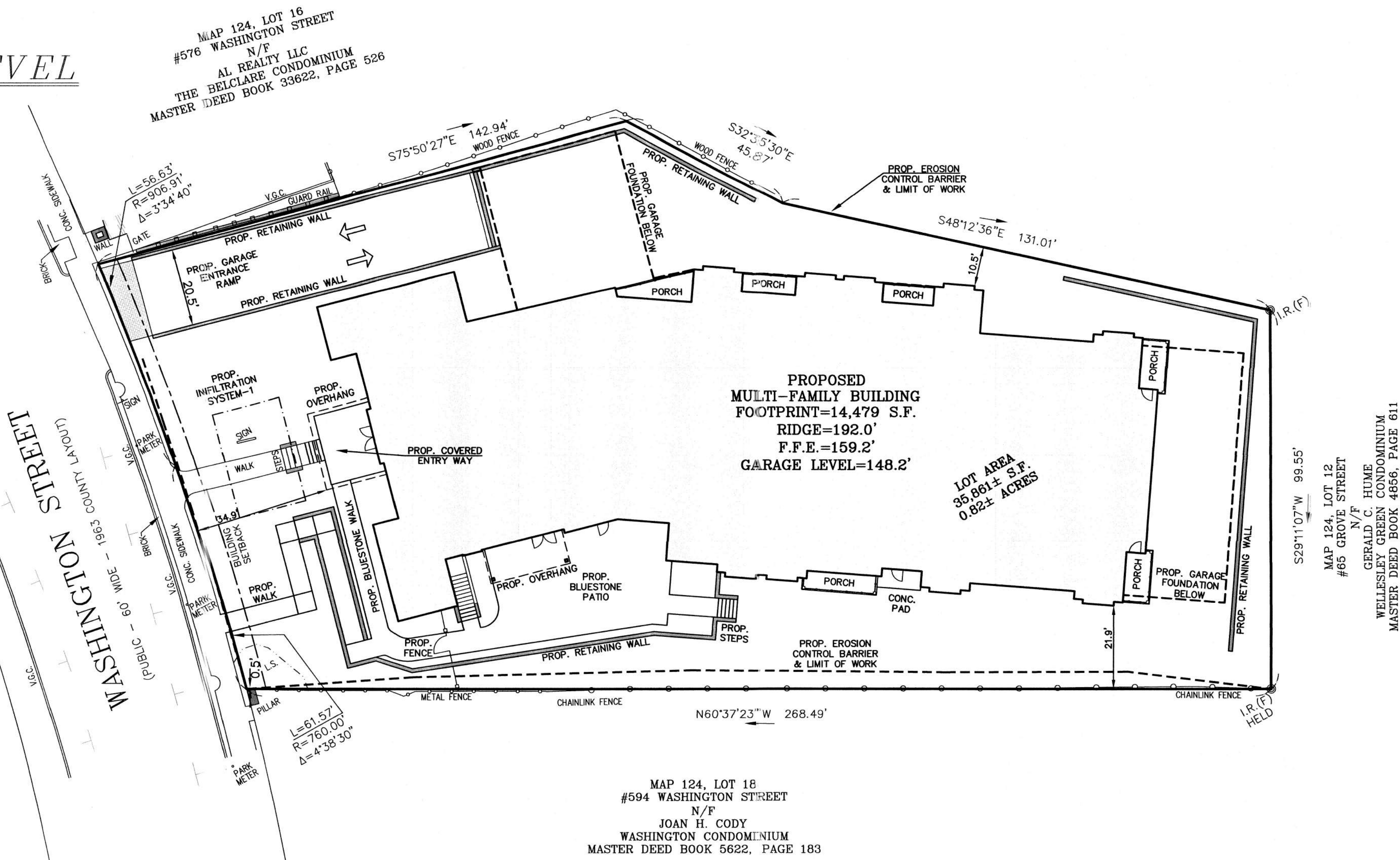
PROCEED NORTH ON WESTON ROAD 1.2-MILES TO THE WESTBOUND RAMP FOR WORCESTER STREET (ROUTE 9).

PROCEED WEST ON WORCESTER STREET (ROUTE 9) TO WELLESLEY TOWN LINE.

SOIL TEST RESULTS			
D.T.H.-1 (ELEV=155.9')			
0"-16" A	SANDY LOAM	10YR 3/2	
16"-36" B	SANDY LOAM	10YR 5/6	
36"-72" C1	SAND	2.5Y 5/3	
72"-120" C2	SAND	2.5Y 5/4	
C1 HORIZON HAS 40% GRAVEL			
POSSIBLE MOTTLING @10"			
NO STANDING OR WEEPING WATER			
NO REFUSAL			
ESTIMATED HIGH WATER=BELOW 147.1'			
DATE: AUGUST 08, 2023			
BY: BRIAN NELSON, SOIL EVALUATOR F.B. 757, PAGE 02			
INSPECTOR: NONE			



GROUND LEVEL



NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 124, LOT 17. RECORD TITLE FROM CERTIFICATE #214101.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY, RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
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CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

ZONING:

WELLESLEY SQUARE  
COMMERCIAL DISTRICT

MINIMUM AREA = N.A.  
MINIMUM FRONTAGE = N.A.  
SETBACKS:  
FRONT YARD = 5 FEET  
SIDE YARD = N.A.  
REAR YARD = N.A.  
MAXIMUM HEIGHT = 45 FEET (3 STORIES)  
MAXIMUM LOT COVERAGE = N.A.  
FLOOR AREA RATIO = 0.30

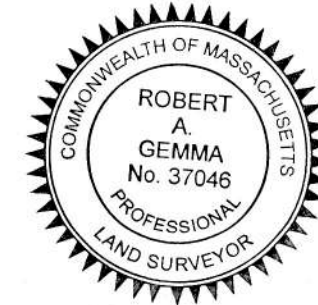
IMPERVIOUS AREA TABLE

EXISTING BUILDINGS = 6,346 SQ. FT.  
EXISTING DRIVEWAY & PARKING LOT = 20,558 SQ. FT.  
EXISTING CONC. PADS, WALKWAYS & ETC. = 1,065 SQ. FT.

TOTAL EXISTING IMPERVIOUS AREA = 27,969 SQ. FT.

PROPOSED BUILDING = 15,525 SQ. FT.  
PROPOSED DRIVEWAY = 2,032 SQ. FT.  
PROPOSED PATIO & WALKWAYS = 3,098 SQ. FT.

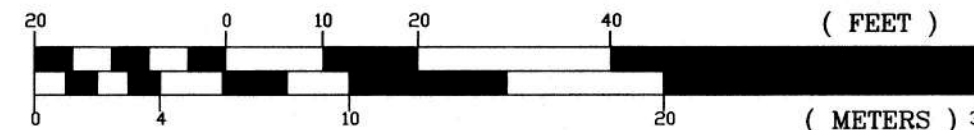
TOTAL PROPOSED IMPERVIOUS AREA = 20,655 SQ. FT.



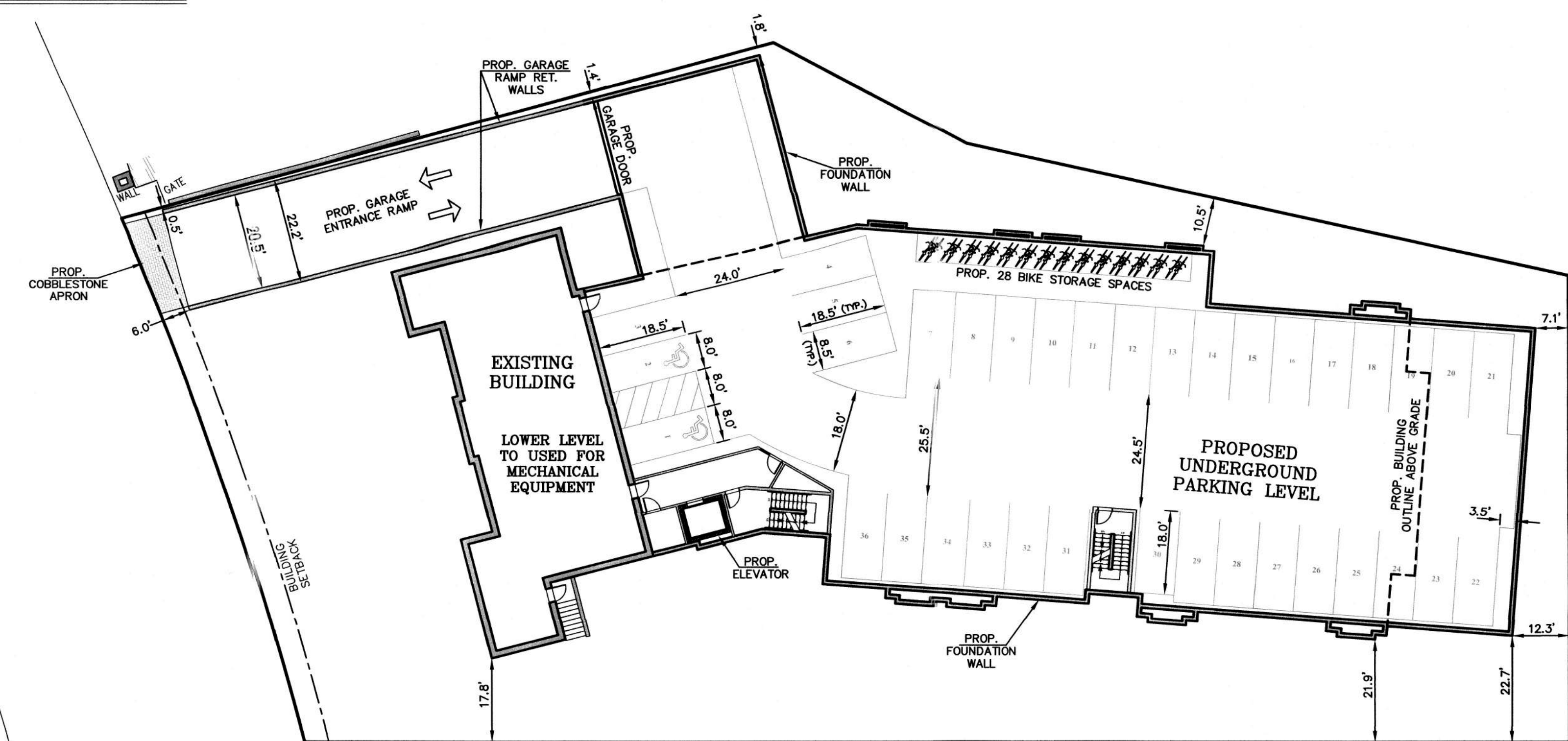
*Robert A. Gemma*  
11/24/25

FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E. # 31967 (CIVIL)  
P.L.S. # 37046

GRAPHIC SCALE  
1 inch = 20 ft.



BASEMENT LEVEL



PROPOSED LAYOUT PLAN  
#592 WASHINGTON STREET  
IN  
WELLESLEY, MASS.

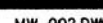
PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

PROPERTY OF:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

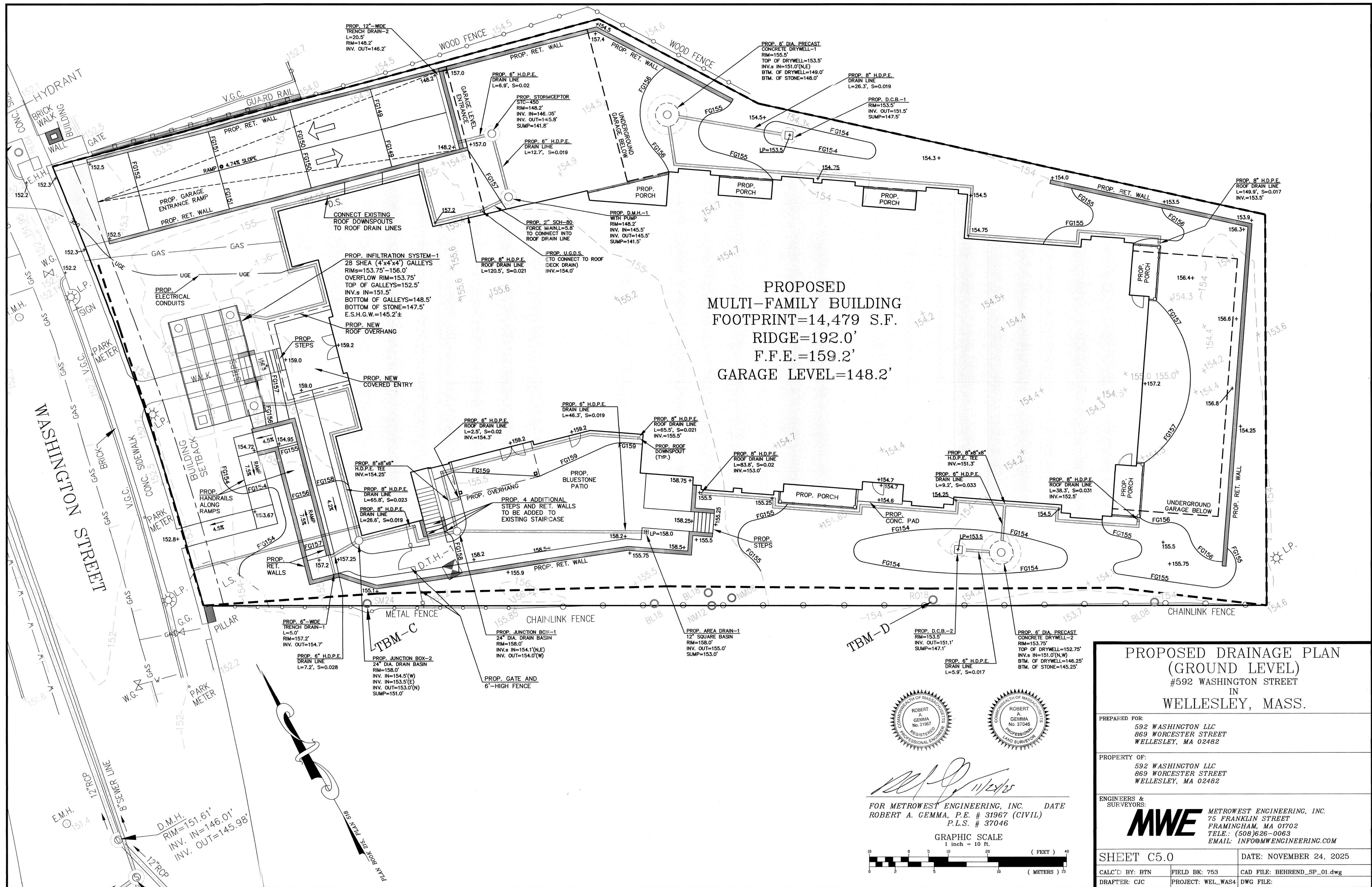
ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE: (508)626-0063  
EMAIL: INFO@MWEENGINEERING.COM

SHEET C3.0 DATE: NOVEMBER 24, 2025  
CALC'D BY: BTN FIELD BK: 753 CAD FILE: BEHREND\_SP\_01.dwg  
DRAFTER: CJC PROJECT: WEL\_WAS4 DWG FILE:

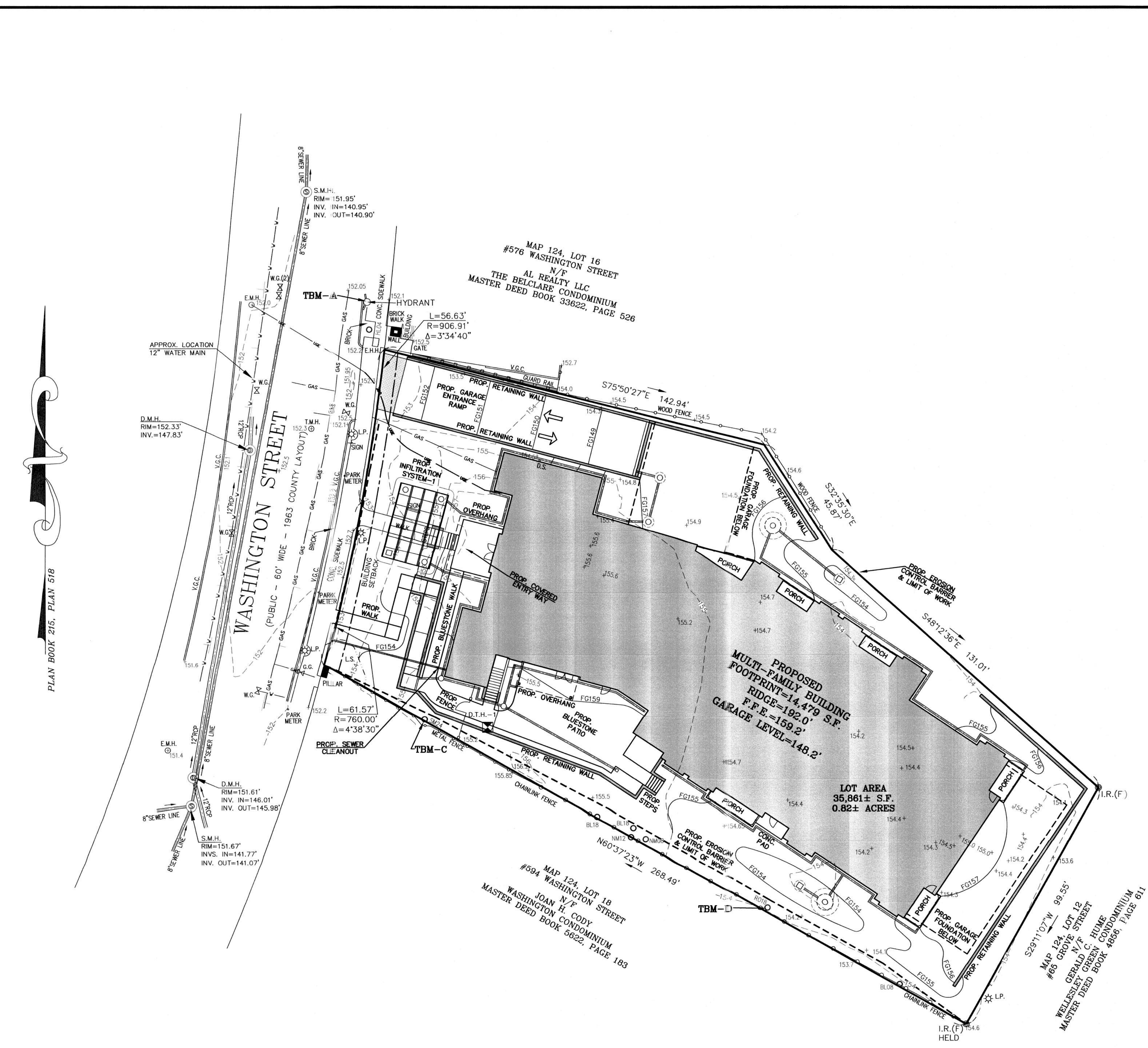












SOIL TEST RESULTS	
D.T.H. -1 (ELEV=155.9')	
0"-16" A SANDY LOAM 10YR 3/2	
16"-36" B SANDY LOAM 10YR 5/6	
36"-72" C1 SAND 2.5Y 5/3	
72"-120" C2 SAND 2.5Y 5/4	
C1 HORIZON HAS 40% GRAVEL POSSIBLE MOTTLING @106"	
NO STANDING OR WEeping WATER	
NO REFUSAL	
ESTIMATED HIGH WATER=BELOW 147.1'	
DATE: AUGUST 08, 2023	
BY: BRIAN NELSON, SOIL EVALUATOR F.B. 757, PAGE 02	
INSPECTOR: NONE	

**ZONING:**  
WELLESLEY SQUARE  
COMMERCIAL DISTRICT  
MINIMUM AREA = N.A.  
MINIMUM FRONTAGE = N.A.  
SETBACKS:  
FRONT YARD = 5 FEET  
SIDE YARD = N.A.  
REAR YARD = N.A.  
MAXIMUM HEIGHT = 45 FEET (3 STORIES)  
MAXIMUM LOT COVERAGE = N.A.  
FLOOR AREA RATIO = 0.30

**LEGEND**

A.C.	AIR CONDITIONER
B.H.	BULKHEAD
BIT.	BITUMINOUS
C.C.B.	CAPE COD BERM
CONC.	CONCRETE
C.P.	CONCRETE PAD
D.C.B.	DRAIN CATCH BASIN
D.M.H.	DRAIN MANHOLE
D.S.	DOWNSPOUT
E.H.H.	ELECTRIC HANDHOLE
E.M.	ELECTRIC METER
E.M.H.	ELECTRIC MANHOLE
E.O.D.	EDGE OF DRIVE
(F)	FOUND
G.G.	GAS GATE
G.M.	GAS METER
INV.	INVERT
I.R.	IRON ROD
L	LENGTH
L.S.	LANDSCAPE
N/F	NOW OR FORMERLY
O.H.W.	OVERHEAD WIRE
R	RADIUS
S.F.	SQUARE FEET
S.M.H.	SEWER MANHOLE
T.H.H.	TELEPHONE HANDHOLE
U.G.D.S.	UNDERGROUND DOWNSPOUT
U.P.	UTILITY POLE
V.G.C.	VERTICAL GRANITE CURB
W.G.	WATER GATE
Δ	DELTA
②	NUMBER OF PARKING SPACES
+100.0	EXISTING SPOT GRADE
-100-	EXISTING GRADING
---	GAS LINE
---	UNDERGROUND ELECTRIC LINE
---	WATERLINE

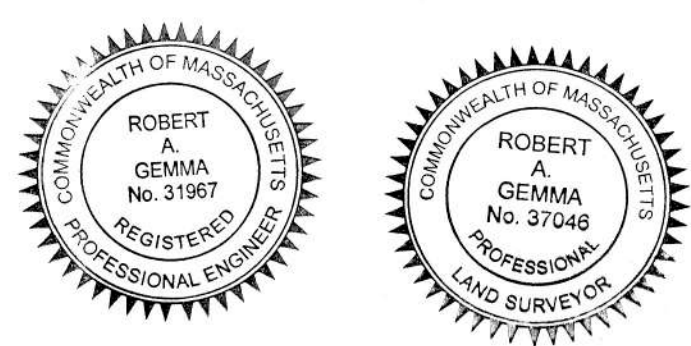
**EXISTING TREE DESCRIPTION LEGEND**

CODE	DESCRIPTION
BL	BLACK LOCUST
EB	EUROPEAN BEECH
HCN	HORSE CHESTNUT
HL	HONEY LOCUST
NM	NORWAY MAPLE
RO	RED OAK
SM	SUGAR MAPLE
DBL	DOUBLE

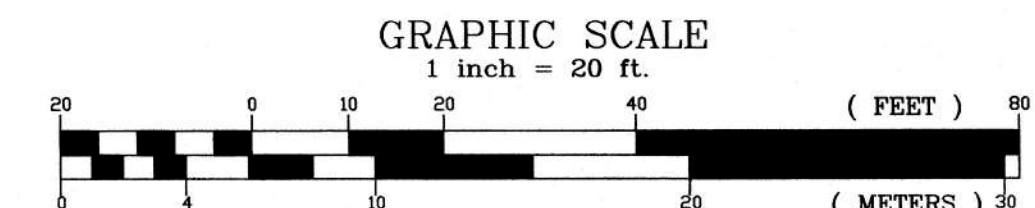
TREE LOCATION  
○ WP06  
TREE CODE TREE DIAMETER

**NOTES:**

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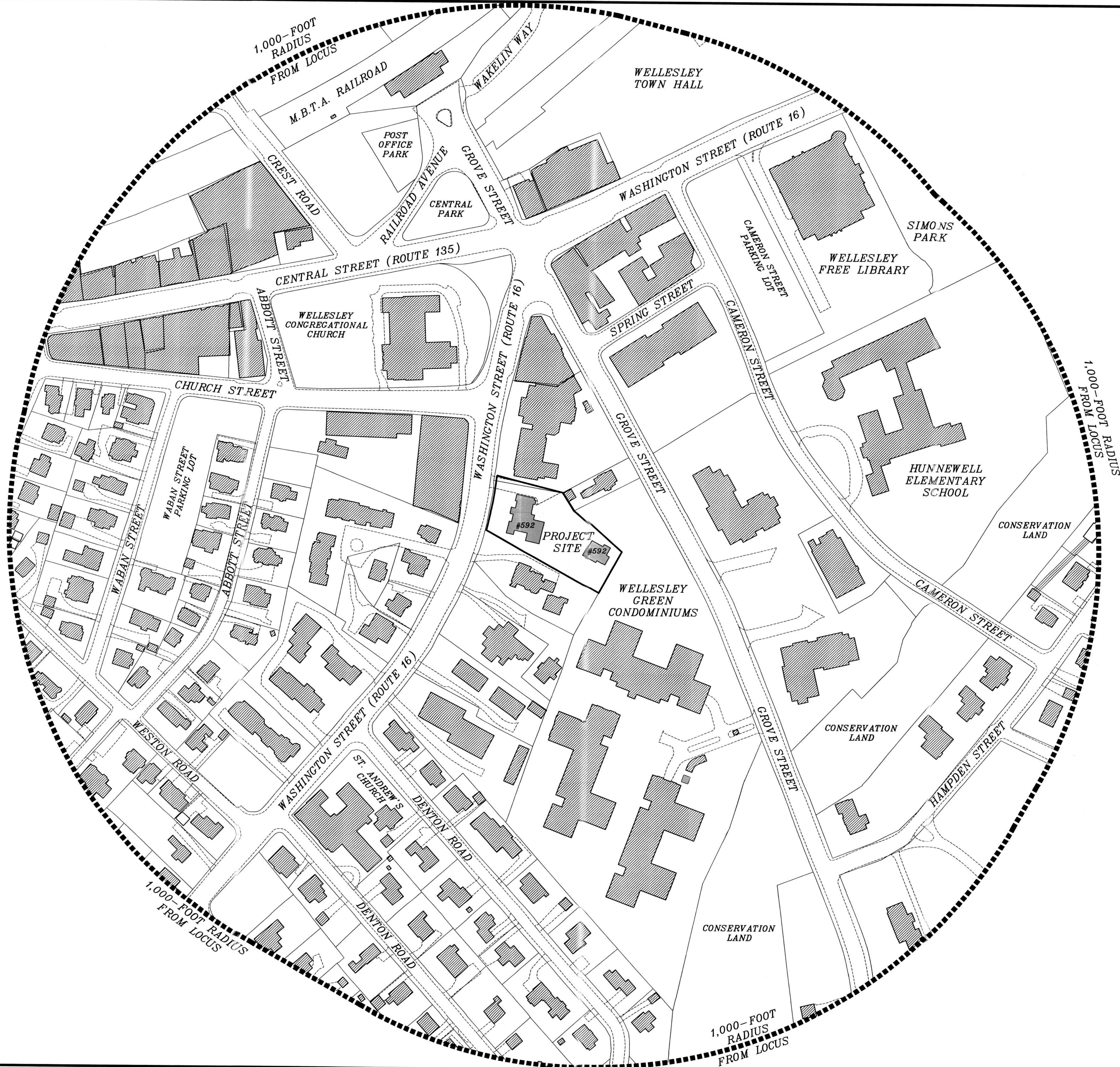
*Robert A. Gemma*  
FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E. # 31967 (CIVIL)  
P.L.S. # 37046



**PROPOSED SITE PLAN  
(GROUND LEVEL)  
#592 WASHINGTON STREET  
IN  
WELLESLEY, MASS.**

PREPARED FOR: 592 WASHINGTON LLC 869 WORCESTER STREET WELLESLEY, MA 02482	
PROPERTY OF: 592 WASHINGTON LLC 869 WORCESTER STREET WELLESLEY, MA 02482	
ENGINEERS & SURVEYORS: <b>MWE</b> METROWEST ENGINEERING, INC. 75 FRANKLIN STREET FRAMINGHAM, MA 01702 TELE: (508)626-0063 EMAIL: INFO@MWEENGINEERING.COM	
SHEET C6.0	DATE: NOVEMBER 24, 2025
CALC'D BY: BTN	FIELD BK: 753
DRAFTER: GJC	PROJECT: WEL_WAS4
	CAD FILE: BEHREND_SP_01.dwg
	DWG FILE:





**NOTES:**

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 124, LOT 17. RECORD TITLE FROM CERTIFICATE #214101.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY. RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25021C0016F, BEARING AN EFFECTIVE DATE OF JULY 8, 2025.



CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

**ZONING:**

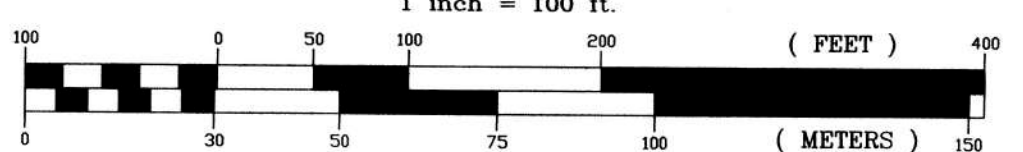
**WELLESLEY SQUARE COMMERCIAL DISTRICT**  
MINIMUM AREA = N.A.  
MINIMUM FRONTAGE = N.A.  
SETBACKS:  
FRONT YARD = 5 FEET  
SIDE YARD = N.A.  
REAR YARD = N.A.  
MAXIMUM HEIGHT = 45 FEET (3 STORIES)  
MAXIMUM LOT COVERAGE = N.A.  
FLOOR AREA RATIO = 0.30



*Robert A. Gemma*  
11/24/25

FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.L.S. # 37046

**GRAPHIC SCALE**



**LOCUS PLAN**  
#592 WASHINGTON STREET  
IN  
WELLESLEY, MASS  
(NORFOLK COUNTY)

PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

PROPERTY OF:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE.: (508)626-0063

SHEET C7.0		DATE: NOVEMBER 24, 2025	
CALC'D BY: BTN	FIELD BK: 753	CAD FILE: BEHREND_SP_01.dwg	
DRAFTER: CJC	PROJECT: WEL_WAS4	DWG FILE:	



BODY SIZE	ADAPTER SIZE	A	B
8"	4"	9.20	7.50
8"	6"	8.50	5.25
8"	8"	8.70	7.25
10"	4"	7.50	4.75
10"	6"	7.25	4.75
10"	8"	7.75	4.50
10"	10"	7.75	7.75
12"	4"	9.50	10.50
12"	6"	8.25	11.50
12"	8"	8.75	11.50
12"	10"	8.75	11.50
12"	12"	9.25	6.50
15"	4"	9.65	13.25
15"	6"	9.65	12.75
15"	8"	10.50	12.25
15"	10"	15.15	13.50
15"	12"	10.65	12.75
18"	6"	9.65	7.00
18"	4"	11.35	14.00
18"	6"	11.35	14.00
18"	8"	11.85	14.00
18"	10"	11.80	14.00
18"	12"	12.35	14.00
18"	15"	12.35	13.50
18"	18"	12.85	8.25
24"	4"	14.40	15.00
24"	6"	14.40	15.00
24"	8"	14.40	15.00
24"	10"	14.40	15.00
24"	12"	15.40	15.00
24"	15"	15.40	15.00
24"	18"	15.60	15.00
24"	24"	16.60	16.25
30"	4"	18.00	15.00
30"	6"	18.00	15.00
30"	8"	18.00	15.75
30"	10"	18.00	15.00
30"	12"	19.00	15.00
30"	15"	19.00	17.00
30"	18"	19.00	17.75
30"	24"	20.50	14.00
30"	30"	21.00	9.50

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONVEY, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE THEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORTHRIGHTLY EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

DIMENSIONS ARE FOR REFERENCE ONLY  
ACTUAL DIMENSIONS MAY VARY  
DIMENSIONS ARE IN INCHES  
°C = SEE DRAWING NO. 7001-110-275 FOR ADS 1 & 2 HANCOCK DUAL WALL  
WELL INFORMATION & DRAWING NOS. 7001-710-100A FOR R-S-D WELL INFORMATION

**Nyloplast**  
TITLE \_\_\_\_\_  
DWG. NO. 7001-110-093 REV E

2130 VERONA AVE.  
PAO 08134  
PH (717) 832-2443  
FAX (717) 832-2488  
[www.nyloplast.com](http://www.nyloplast.com)

6'-6" (STANDARD DEPTH)

HEIGHT OF RISER SECTIONS VARY FROM 1' TO 4'

18" - 24" TAPERED SECTION

24" ± 1" SQUARE OPENING - 8" MIN.

48" ± 1" DIAMETER

WEEPHOLE (OPENING TO BE PRECAST IN RISER SECTION)

1" CLEAR

5" MIN.

4'-0" MIN. SUMP

STANDARD CATCH BASIN SHALL HAVE A 24" SQUARE STEEL FRAME & GRATE, EQUAL TO LE BARON NO. LF 246.

BRICKS MAY BE USED FOR GRADE ADJUSTMENTS (12 MAX.) FRAME TO BE SET IN FULL BED OF MORTAR.

5" MIN.

BUTYL RUBBER JOINT (TYP.) PROVIDE "V" OPENINGS

OUTSIDE OF PIPE + 2" CLEARANCE

MIN. 0.12 SQ. IN. STEEL PER VERTICAL FT. PLACED ACCORDING TO AASHITO DESIGNATION M199

MASS STANDARD CATCH BASIN HOOD

6" OF 1/2" - 3/4" CRUSHED STONE

5" MIN.

NOTE: NO BELL ENDS IN CATCH BASIN. ALL INLET AND OUTLET PIPES SHALL BE FITTED WITH WATER TIGHT, SYNTHETIC RUBBER BOOTS

Diagram illustrating a vertical infiltration system components and installation:

- DOWNSPOUT
- DOWNSPOUT TO 4" SCH-40 PVC ADAPTOR
- SWEEP TEE WITH RODENT SCREEN
- FINISH GRADE
- 4" SCH-40 PIPE
- 90° ELBOW
- 6" H.D.P.E. PIPE TO INFILTRATION SYSTEM OR DRYWELL
- BUILDING
- T.C.
- FOUNDATION

(LANDSCAPE APPLICATION)

12" (MINIMUM)

SLOPE TO DRAIN

VARIES

NDS POLYETHYLENE WITH U.V. INHIBITOR / CAST IRON/GALVANIZED STEEL GRATE

NDS 6" RISER IF REQUIRED

SLOPE TO DRAIN

BACKFILL WITH COMPACTED SOIL

NDS 9", 12" OR 18" SQUARE CATCH BASIN

NDS UNIVERSAL LOCKING OUTLET

CORRUGATED PIPE

INVERT ELEVATION

CRUSHED STONE

SUMP 24" (MINIMUM)

This diagram illustrates a landscape application for a stormwater management system. It shows a cross-section of a catch basin and its connection to a drainage pipe. The catch basin is a rectangular structure with a top grate made of NDS Polyethylene with U.V. Inhibitor or Cast Iron/Galvanized Steel Grate. The grate is supported by NDS 6" risers if required. The catch basin is backfilled with compacted soil. The catch basin is connected to a corrugated pipe via an NDS Universal Locking Outlet. The pipe is installed with a slope to drain. The invert elevation of the pipe is indicated. The pipe is surrounded by crushed stone. The catch basin has a sump at the bottom, which is 24" (minimum) deep. The width of the catch basin is 12" (minimum). The slope to drain is indicated on both sides of the catch basin. The depth of the catch basin varies. The diagram is labeled (LANDSCAPE APPLICATION).

CAT. NO. LA286 OR APPROVED EQUAL

FRAME & COVER L.E. BARON FOUNDRY

Diagram illustrating the cross-section of a trench for a drain line installation. The layers and dimensions are as follows:

- SURFACE TREATMENT AS REQUIRED**: Indicated by an arrow pointing to the top surface.
- COMPACTED "ROAD GRAVEL" (OR 6" LOAM)**: A layer 12" MIN. thick.
- COMPACTED GRAVEL FILL**: A layer 3" MIN. thick.
- SCH-40 OR H.D.P.E. DRAIN LINE**: A pipe with a 12" MIN. diameter.
- 3/4" CRUSHED STONE**: A layer 12" MIN. thick surrounding the drain line.

PROPOSED 6-FOOT PRECAST CONCRETE DRYWELL-1 PROPOSED 6-FOOT PRECAST CONCRETE DRYWELL-2

PROP. INFILTRATION SYSTEM-1  
 28 SHEA (4"x4") GALLEYS  
 RIMS=153.75'-156.0'  
 OVERFLOW RIM=153.75'  
 TOP OF GALLEYS=152.5'  
 INV.s IN=151.5'  
 BOTTOM OF GALLEYS=148.5'  
 BOTTOM OF STONE=147.5'  
 E.S.H.G.W.=145.2'±

WRAP SIDE WALLS, TOP  
 OF GALLEYS AND STONE  
 PERIMETER WITH MIRAFI  
 FILTER FABRIC

PLACE 2' OF DOUBLE  
 WASHED, 3/4" TO  
 1-1/2" DIA. STONE  
 AROUND GALLEYS.

EAST JORDAN IRON WORKS  
 24" SQUARE FRAME & GRATE  
 PROVIDE 24" SOL. CONCRETE  
 RISERS TO GRADE. (1 TOTAL)  
 RIM=153.75'

SHEA PRECAST  
 CONCRETE GALLEYS

18" DIAMETER FRAME ± COVER  
 PROVIDE 18"± CONCRETE  
 RISERS TO GRADE.  
 (3 TOTAL)

REMOVE TOP & SUBSOIL FOR  
 A DISTANCE OF 5' AROUND  
 GALLEYS. BACKFILL WITH A  
 FREE DRAINING GRANULAR FILL.

PROP. 8" H.D.P.E.  
 INV. IN=151.5'

PROP. 8" H.D.P.E.  
 ROOF DRAIN LINE  
 L=120.5', S=0.021

PROP. COVERED  
 ENTRY

PROP. 8" H.D.P.E.  
 INV. IN=151.5'

PROP. 8" H.D.P.E.  
 DRAIN LINE  
 L=65.8', S=0.023

PROP. WALK

PROP. RETAINING

PROFILE VIEW:

NOTE: TWO-FOOT OF SEPARATION BETWEEN THE BOTTOM OF THE SYSTEM AND ESTIMATED SEASONAL HIGH GROUNDWATER TABLE, OR LEDGE IS REQUIRED. IF LEDGE IS ENCOUNTER, IT SHALL BE REMOVED TO A DEPTH OF 24-INCHES BELOW THE BOTTOM OF THE STONE ELEVATION, AND BE REPLACED WITH TITLE 5 SAND.

WRAP SIDE WALLS, TOP OF GALLEY AND STONE PERIMETER WITH MIRAFIT FILTER FABRIC

PROP. 6-FOOT DIAMETER DRYWELL-1  
RIM= 155.5'  
TOP ELEV.= 153.5'  
INV.s IN= 151.0'  
BOTTOM ELEV.= 149.0'  
BOTTOM OF STONE= 148.0'

3.0'

2"

E.J.W. 24" FRAME AND COVER (1)  
RIM ELEV.=155.5'

PLACE 2" OF DOUBLE WASHED 3/4" TO 1 1/2" STONE AROUND DRYWELL

PROP. 8" H.D.P.E. DRAIN LINE  
L=26.3', S=0.019 (FROM D.C.B.-1)

PROP. 8" H.D.P.E. ROOF DRAIN LINE  
L=149.9', S=0.017

**SECTION VIEW**

PROVIDE 24"± CONCRETE RISER TO GRADE.

FINISH GRADE 155.5'±

E.J.W. 24" FRAME AND COVER (1) RIM ELEV.=155.5'

DRAIN HOLES 9"x4" TO 6"x2" TAPER

TOP ELEV.=153.5'

4'-6" LIMIT OF EXCAVATION

6.0'

WRAP SIDE WALLS AND TOP OF DRYWELL WITH MIRAFI FILTER FABRIC

PROP. 8" H.D.P.E. DRAIN LINE L=26.3', S=0.0% INV. IN=151.0' (FROM D.C.B.-1)

PLACE 2' OF DOUBLE WASHED 3/4" TO 1 1/2" AROUND GALLEYS.

BOTTOM ELEV.=149.0'

SET GALLEYS ON 12" LAYER OF

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3' SECTION ADDED.
3. COVER AVAILABLE IN H-20 LOADING.

SOIL TEST PIT TO BE EXCAVATED IN AREA OF THE PROPOSED DRYWELL TO VERIFY EXISTING SOIL CONDITIONS AND SEASONAL HIGH GROUNDWATER ELEVATION. TEST PIT TO BE PERFORMED PRIOR TO ORDERING AND INSTALLATION OF DRYWELL.

L=9.2', S=0.033  
 E.I.W. 24" FRAME AND COVER (1)  
 RIM ELEV.=153.75'  
 2.0'  
 3.0'  
 WRAP SIDE WALLS, TOP OF GALLEY AND STONE PERIMETER WITH MIRAFIT FILTER FABRIC  
 PROP. 8" H.D.P.E. DRAIN LINE  
 L=5.9', S=0.017 (FROM D.C.B.-2)  
 2' OF DOUBLE WASHED 3/4" TO 1 1/2" STONE AROUND DRYWELL  
 PROP. 6-FOOT DIAMETER DRYWELL-2  
 RIM= 153.75'  
 TOP ELEV. = 152.75'  
 INV.s IN= 151.0'  
 BOTTOM ELEV.= 146.25'  
 BOTTOM OF STONE= 145.25'

SECTION VIEW

PROVIDE 24" CONCRETE RISER TO GRADE.

E.J.I.W. 24" FRAME AND COVER (1)  
RIM ELEV.=153.75'

FINISH GRADE 153.75' ±

TOP ELEV.=152.75'

6'-6"

LIMIT OF EXCAVATION

6.0'

LIMIT OF EXCAVATION

WRAP SIDE WALLS AND TOP OF DRYWELL WITH MIRAFIT FILTER FABRIC

DRAIN HOLES 9"x4" TO 6"x2" TAPER

PLACE 2" OF DOUBLE WASHED 3/4" TO 1 1/2" AGG.

PROP. 8" H.D.P.E. DRAIN LINE  
L=5.9', S=0.017  
INV. IN=151.0'  
(FROM D.C.B.-2)

PROP. 8" H.D.P.E. ROOF DRAIN LINE  
L=9.2', S=0.033

BOTTOM ELEV.=146.25' ±

SET GALLEY'S ON 12" LAYER OF DOUBLE-WASHED STONE

NOTES:

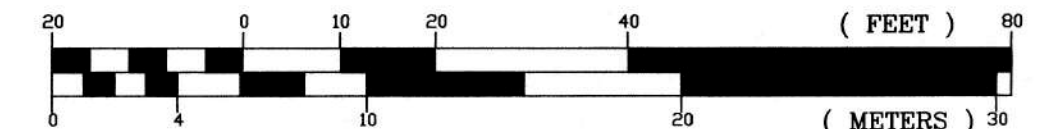
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.  
2. CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3' SECTION ADDED.  
3. COVER AVAILABLE IN H-20 LOADING.

SOIL TEST PIT TO BE EXCAVATED IN AREA OF THE PROPOSED DRYWELL TO VERIFY EXISTING SOIL CONDITIONS AND SEASONAL HIGH GROUNDWATER ELEVATION. TEST PIT TO BE PERFORMED PRIOR TO ORDERING AND INSTALLATION OF DRYWELL.



FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E. # 31967 (CIVIL)

GRAPHIC SCALE  
1 inch = 20 ft.



DETAILS PLAN  
#592 WASHINGTON STREET  
IN  
WELLESLEY, MASS  
(NORFOLK COUNTY)

PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

PROPERTY OF:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

ENGINEERS &  
SURVEYORS:

**MWE**

METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TEL.: (508)626-0063  
EMAIL: [INFO@MWENGINEERING.COM](mailto:INFO@MWENGINEERING.COM)

SHEET C8.0

DATE: NOVEMBER 24, 2025

CALC'D BY: BT

FIELD BK: 753
---------------

CAD FILE: BEHREND\_SP\_01.dwg

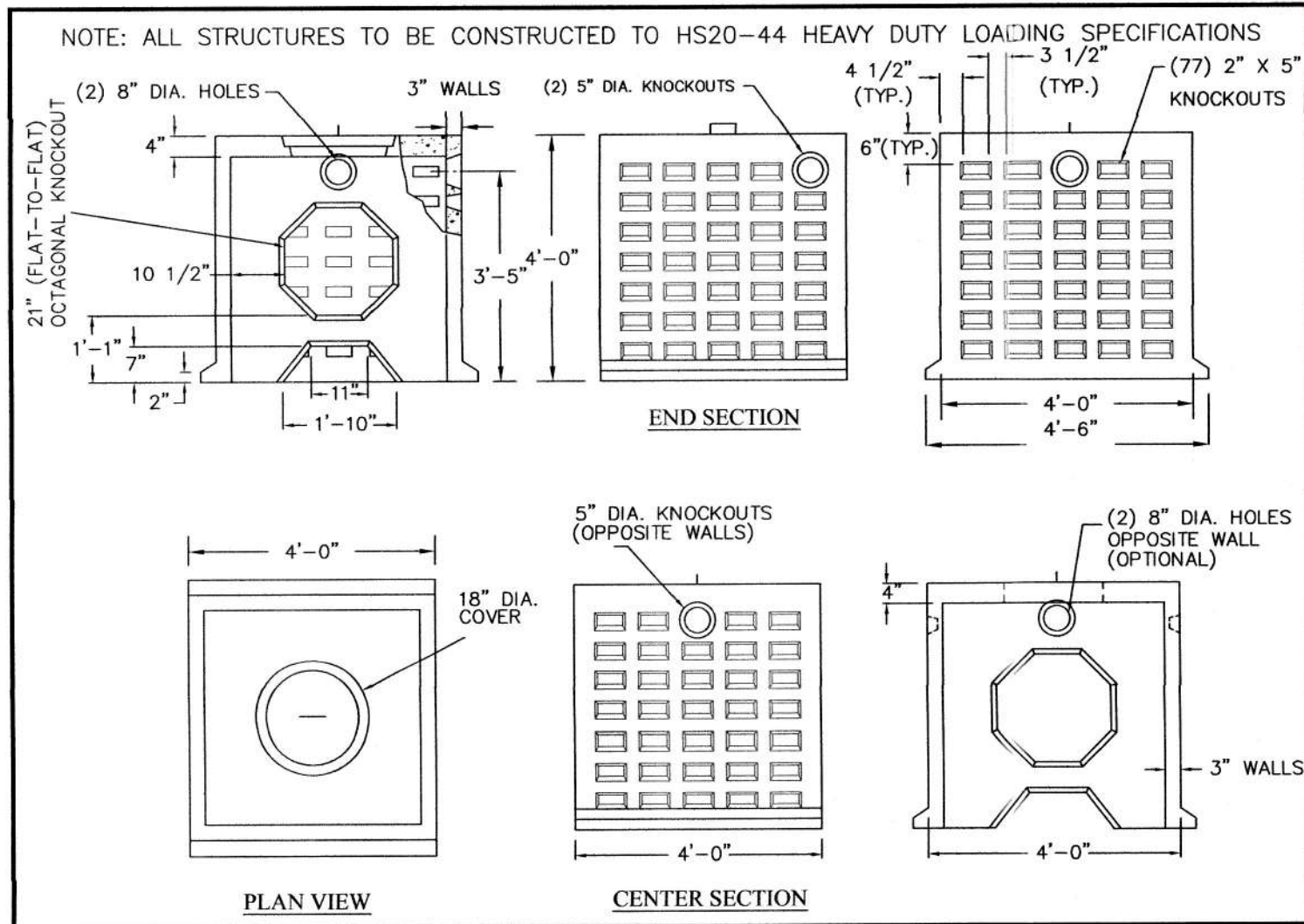
DRAFTER: CJC

PROJECT: WEL\_V

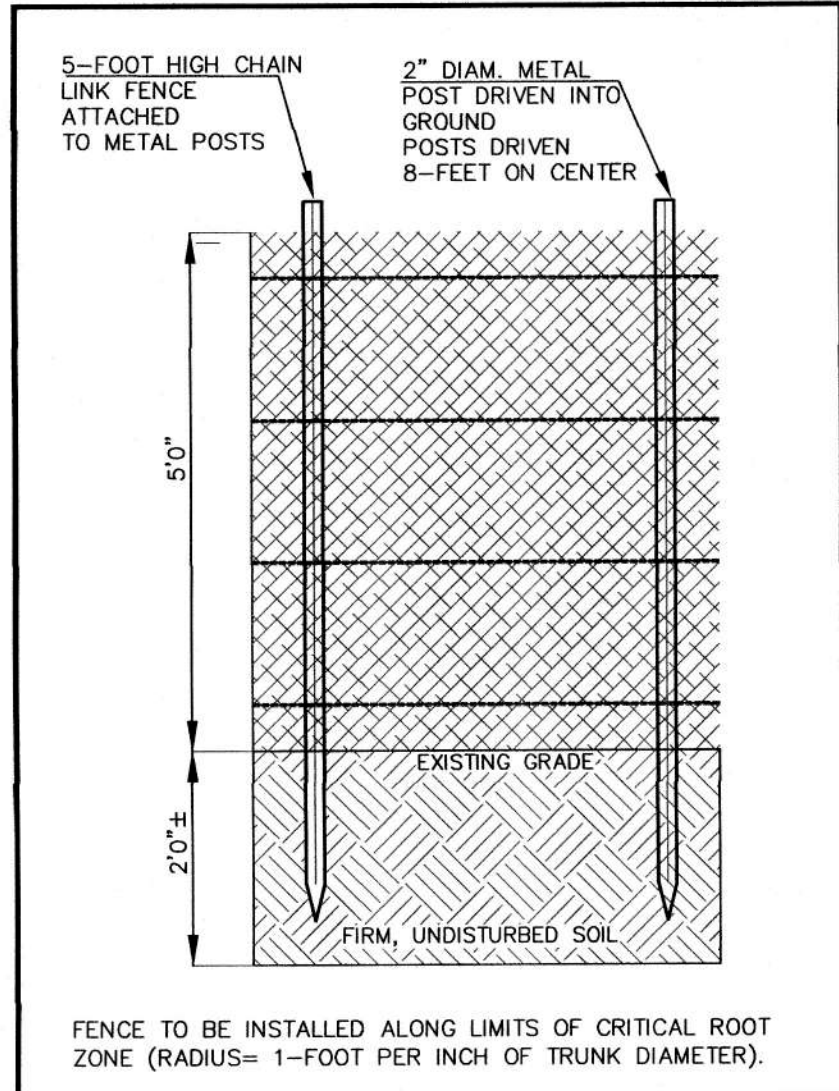
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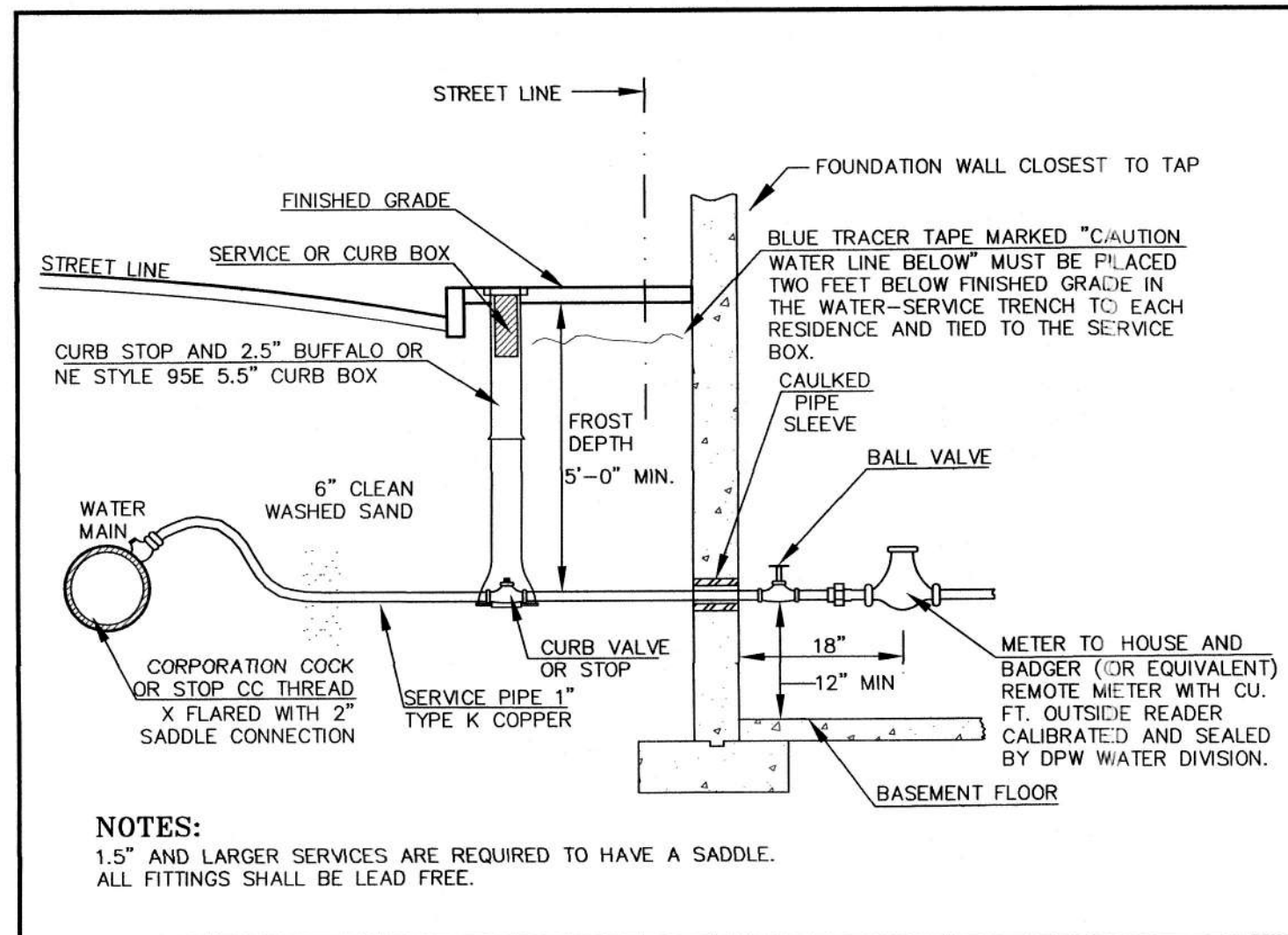
DRAINAGE INFILTRATION LEACHING GALLEYS  
NOT TO SCALE



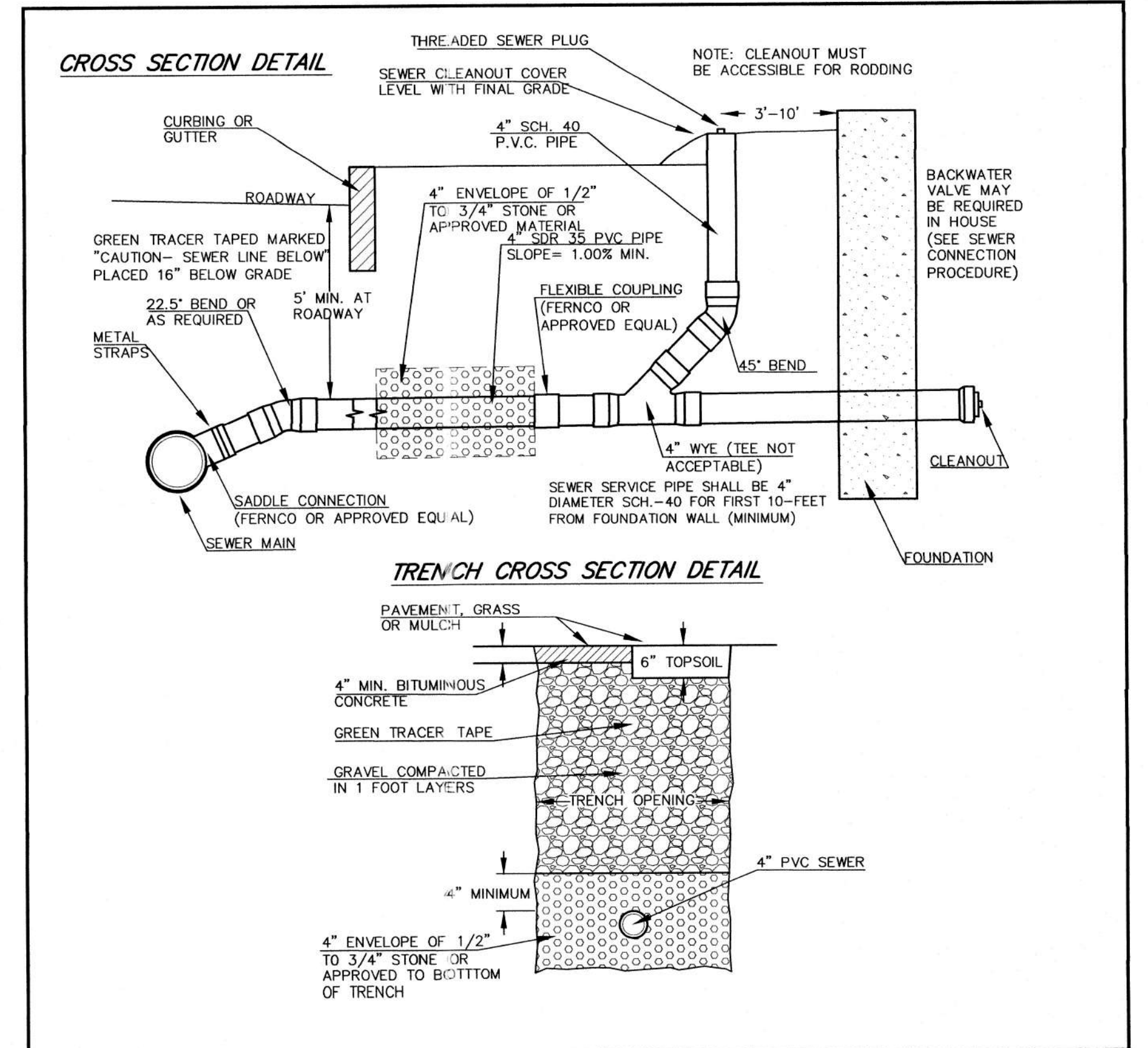
TREE PROTECTION DETAIL  
NOT TO SCALE



TYPICAL WATER SERVICE CONNECTION  
NOT TO SCALE



TYPICAL SEWER SERVICE CONNECTION  
WITH OUTSIDE CLEANOUT  
NOT TO SCALE



TRENCH DRAIN  
NOT TO SCALE

<b>ACO drain</b> DRWG# 125 Date: 1.04.01 WWW.ACOUSA.COM	INSTALLATION DRAWING	ACO Polymer Products Inc. P.O. Box 245 Chardon, OH 44024 PH: 440-285-7000 FX: 440-285-8517 e-mail: sales@acousa.com
	S100K: Load Class E : Asphalt	

NOTES:  
1. It is necessary to ensure the minimum dimensions shown are suitable for the existing ground conditions. Engineering advice may be required.  
2. A minimum concrete strength of 3000 PSI is recommended. The concrete should be vibrated to eliminate air pockets.  
3. The finished level of the concrete surround must be approx. 1/8" above the top of the channel edge.  
4. Refer to ACO'S latest installation instructions for complete details.

<b>ACO drain</b> DRWG# 125 Date: 1.04.01 WWW.ACOUSA.COM	SPECIFICATION CLAUSE	ACO Polymer Products Inc. P.O. Box 245 Chardon, OH 44024 PH: 440-285-7000 FX: 440-285-8517 e-mail: sales@acousa.com
	S100K Trench Drain System	

The surface drainage system shall be polymer concrete S100K channel system with ductile iron rail and grate as manufactured by ACO Polymer Products, Inc., Chardon, Oh.

Channels will be manufactured from polyester resin polymer concrete with an integrally cast in ductile iron rail and supplied with ductile iron grates.

The system shall be 4 inches (100mm) nominal inside width with a 6.3 in. (160mm) overall width and a built-in slope of 0.6%. All channels shall be interlocking with a male/female joint. Each channel shall have a 4.5 in. (114mm) schedule 40 and 6 in. (150mm) oval drill-out on the bottom for vertical connection with underground piping.

The complete drainage system shall be by ACO Polymer Products, Inc. Any deviation or partial system design and/or improper installation will void any and all warranties provided by ACO Polymer Products, Inc.

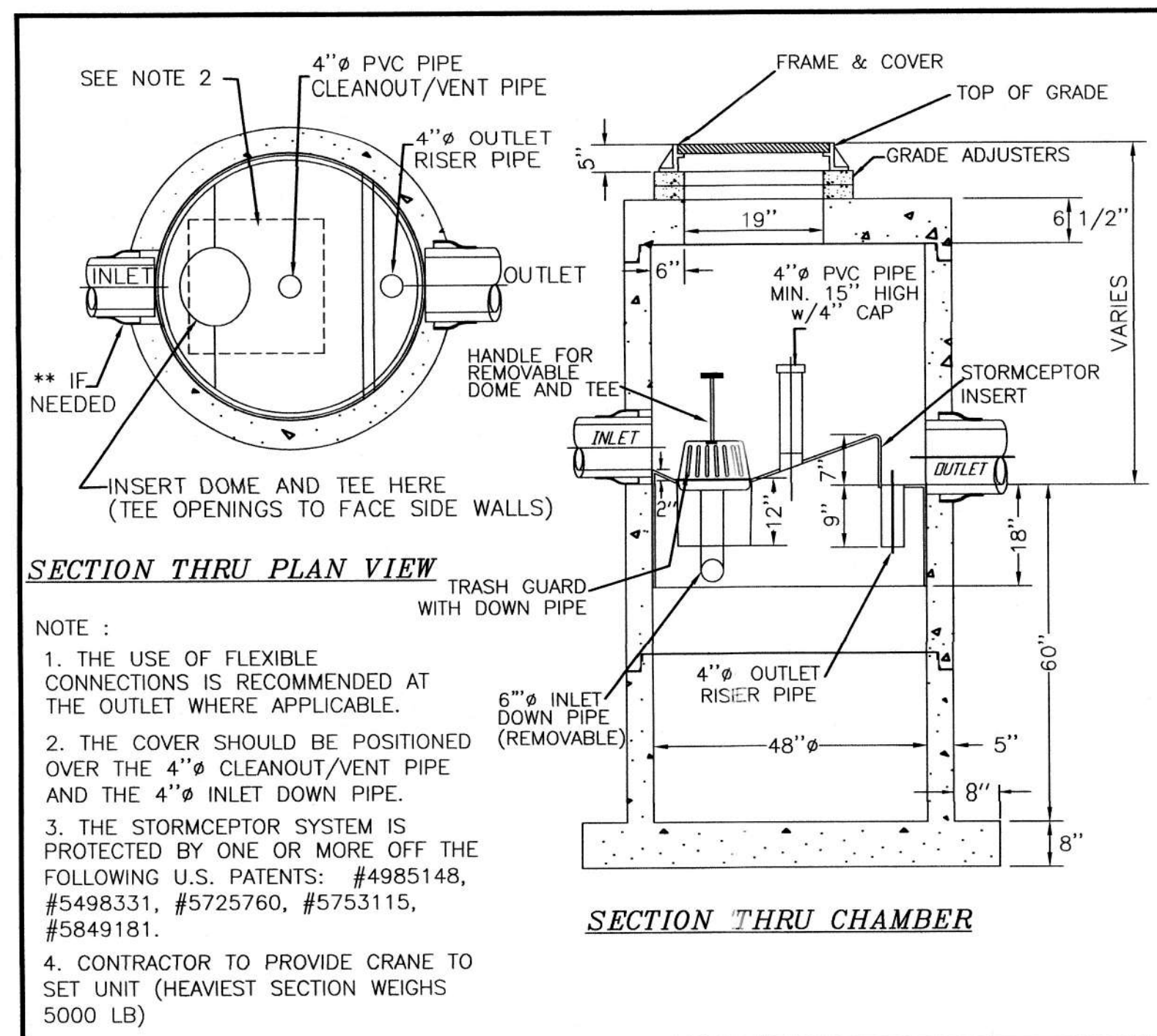
The channel system shall be independently certified to withstand loadings to load class F (DIN19580). Grates shall be secured using Powerlok Ballless locking system. Grate and Locking system shall be fully removable from channel.

Polymer Concrete shall have material properties of: compressive strength range between 14,000-14,500 psi; flexural strength between 3600-4500 psi; tensile strength of 1500 psi. The material water absorption rate shall not exceed 0.1% by weight and shall be resistant to prolonged salt exposure, repetitive frost cycles and chemically resistant to dilute acids and alkalis.

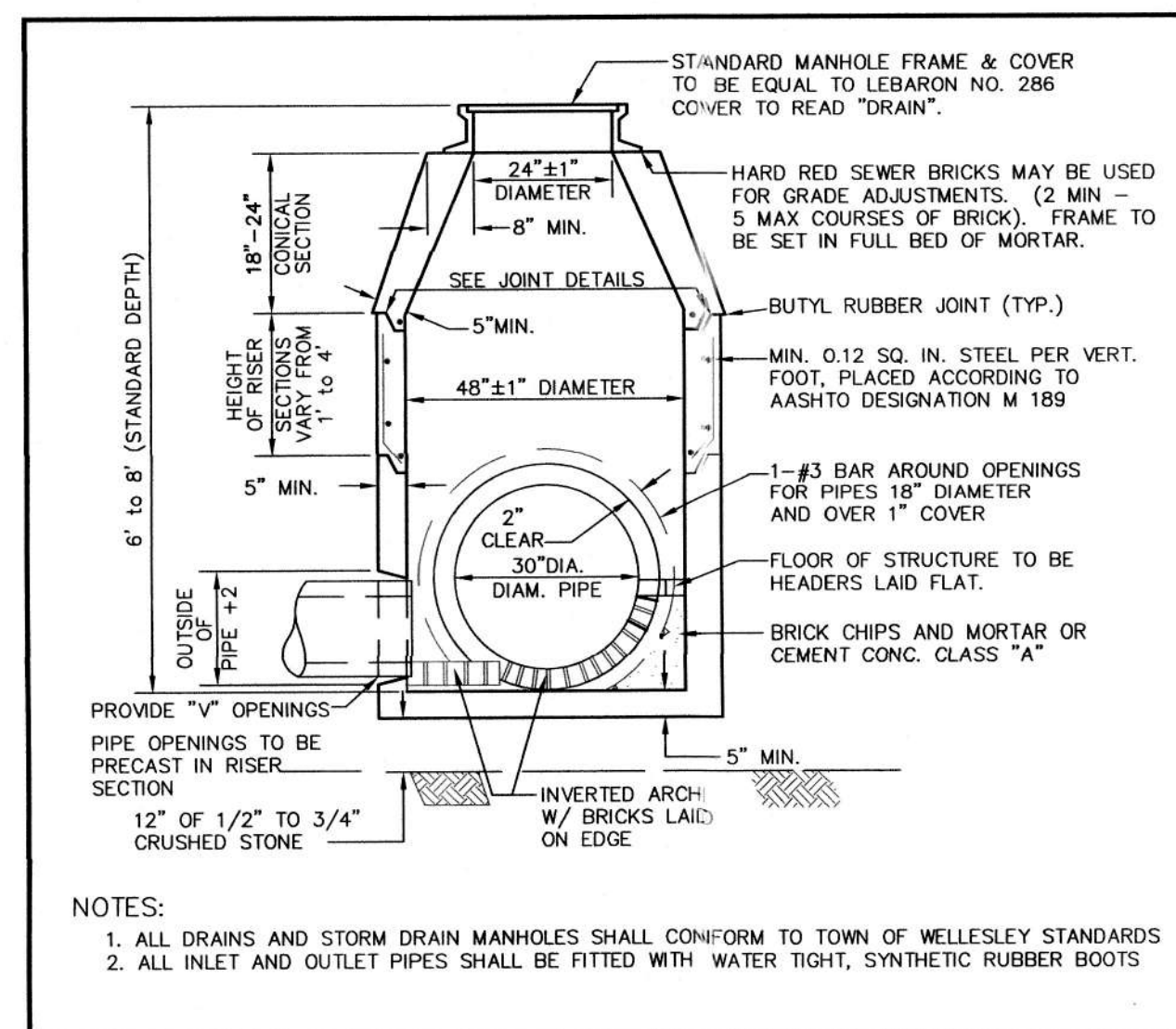
The system shall be installed in accordance with the manufacturer's instructions and recommendations.

USE ACO POWER DRAIN MODEL S-100K OR EQUIVALENT

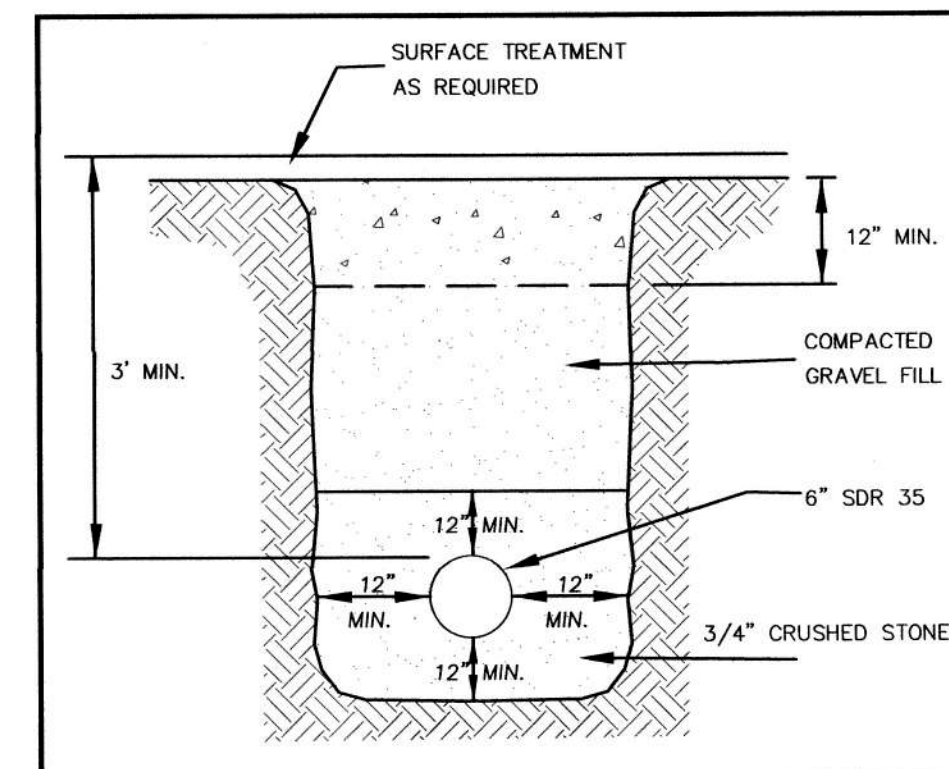
STORMCEPTOR (STC-450)  
NOT TO SCALE



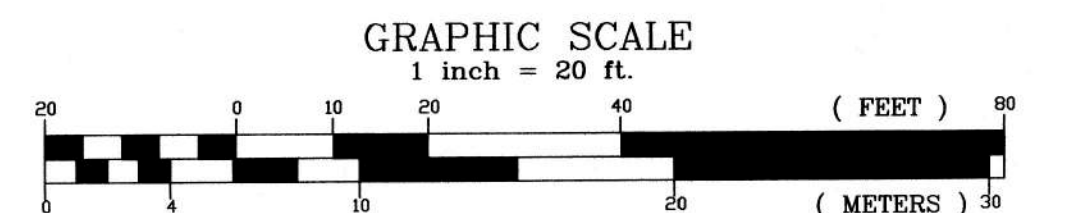
PRECAST CONCRETE DRAIN MANHOLE  
NOT TO SCALE



TYPICAL SEWER TRENCH  
NOT TO SCALE



FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E. # 31967 (CIVIL)



DETAILS PLAN  
#592 WASHINGTON STREET  
IN  
WELLESLEY, MASS  
(NORFOLK COUNTY)

PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

PROPERTY OF:  
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WELLESLEY, MA 02482

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE: (508)626-0063  
EMAIL: INFO@MWEENGINEERING.COM

SHEET C8.1 DATE: NOVEMBER 24, 2025  
CALC'D BY: BTN FIELD BK: 753 CAD FILE: BEHREND\_SP\_01.dwg  
DRAFTER: CJC PROJECT: WEL\_WAS4 DWG FILE:



































