



**WELLESLEY PLANNING BOARD  
APPLICATION FORM FOR REVIEW OF A  
PROJECT OF SIGNIFICANT IMPACT**

DATE: 11/24/25

592 WASHINGTON ST, WELLESLEY,  
ADDRESS OF PROPERTY: MA 02482 PRECINCT G  
NAME OF OWNER OF RECORD: 592 WASHINGTON LLC

signature

EXISTING USE OF

LAND/BUILDINGS: OFFICE BUILDING

PRESENT ZONING: WELLESLEY SQUARE COMMERCIAL DISTRICT

PROPOSED USE OF

LAND/BUILDINGS: MULTI-FAMILY HOUSING (RESIDENTIAL)

FLOOR AREA OF BUILDING(S) NOW EXISTING ON THE  
SITE: \_\_\_\_\_ SQUARE FEET.

TOTAL FLOOR AREA OF BUILDING(S) PROPOSED ON THE  
SITE: \_\_\_\_\_ SQUARE FEET.

AGGREGATE TOTAL FLOOR AREA OF PROPOSED NEW CONSTRUCTION  
ONLY \_\_\_\_\_ SQUARE FEET.

(IF RESIDENTIAL) NUMBER OF DWELLING UNITS 19

AREA OF LOT OR DEVELOPMENT SITE 35,861 SQUARE FEET.

CONSULTANT(s) FOR IMPACT ANALYSIS METROWEST ENGINEERING - SITE/PLAN  
508-626-0063 Phone \_\_\_\_\_

VANASSE & ASSOCIATES - TRAFFIC ENGINEER. (978) 474-8800

MCKAY ARCHITECTS 781-326-5400

\*\*\*\*\*

This portion to be completed by Planning Department

APPLICATION FORM AND IMPACT ANALYSIS AS REQUIRED BY PLANNING BOARD  
RECEIVED BY \_\_\_\_\_

signature date

REVIEW COMPONENTS WAIVED BY PLANNING BOARD

date of vote \_\_\_\_\_

date of vote \_\_\_\_\_

date of vote \_\_\_\_\_

date of vote \_\_\_\_\_

SUBMISSION FEE RECEIVED \$ \_\_\_\_\_ date

IMPACT ANALYSIS TRANSMITTED TO REVIEW DEPARTMENTS \_\_\_\_\_ date

IMPACT ANALYSIS APPROVED BY:

Board of Selectmen \_\_\_\_\_ date

Board of Public Works \_\_\_\_\_ date

Fire Chief \_\_\_\_\_ date

Special Permit Approved by Planning Board \_\_\_\_\_ date.

WELLESLEY PLANNING BOARD

DEFINITIVE SUBMISSION - PROJECT PLAN SPECIFICATIONS

PROJECT OF SIGNIFICANT IMPACT

The Definitive Submission Project Plan shall be drawn to a scale of 1"=40' and shall show:

- a. Title and North arrow;
- b. Name of owner of record;
- c. Name of applicant (if different than owner);
- d. Names of all abutters as they appear on the most recent tax list;
- e. The general topography including an indication of open and wooded areas, permanent monuments, natural objects such as waterways, drainage courses, large boulders or ledge outcroppings, stone walls and the like;
- f. Proposed location of building(s) and structures, roads, drives, and parking areas, with the proposed rough layout of storm drains, water supply, sewage disposal system and necessary easements;
- g. The general relation of the proposed driveway(s), water, sewer and drainage systems and easements to adjoining properties and ways.

Should the plan be submitted on more than one sheet, all sheets shall be of the same size.

## WELLESLEY PLANNING BOARD

## Application Form

Planning Department  
888 Worcester Street, Suite 160  
Wellesley, MA 02482



Tel. (781) 431-1019 ext. 2232

Fax (781) 237-6495

Eric Arbeene, AICP, Interim Planning Director

Name of applicant: <u>592 WASHINGTON LLC</u>	Land owner(s): <u>592 WASHINGTON LLC</u>	Address or location of property: <u>592 WASHINGTON ST, WELLESLEY MA</u>
Mailing Address: <u>869 WORCESTER ST</u>	Mailing address: <u>869 WORCESTER ST</u>	Area in square feet: <u>35,861</u>
Phone: <u>(781) 235-2555</u>	Phone: <u>(781) 235-2555</u>	Town Plan number: <u>124</u>
Type of application: <ul style="list-style-type: none"> <li><input type="checkbox"/> Approval Not Required Plan (ANR)</li> <li><input type="checkbox"/> Preliminary Subdivision Plan</li> <li><input type="checkbox"/> Definitive Subdivision Plan</li> <li><input type="checkbox"/> Plan to Upgrade Inadequate Way</li> <li><input checked="" type="checkbox"/> Other <u>WELLESLEY SQ.</u></li> </ul>	Materials and information required: <ul style="list-style-type: none"> <li>For ANR submissions:               <ul style="list-style-type: none"> <li><input type="checkbox"/> Original and six prints of all plan(s)</li> </ul> </li> <li>For Subdivision Plan submissions:               <ul style="list-style-type: none"> <li><input type="checkbox"/> Original and six prints of all plan(s)</li> <li><input type="checkbox"/> Runoff calculations and other submission materials</li> <li><input type="checkbox"/> Municipal systems analysis for subdivisions of 5 or more lots or 2 or more acres</li> </ul> </li> <li><input type="checkbox"/> Plans to Board of Health</li> <li><input type="checkbox"/> Notice to Town Clerk</li> </ul>	FOR ALL APPLICATIONS <p>Name of land surveyor: <u>METROWEST ENGINEERING</u></p> <p>Mailing address of surveyor: <u>75 FRANKLIN ST, FRAMINGHAM MA</u></p> <p>Phone number of surveyor: <u>508-626-0063</u></p> <p>Zoning and area district: <u>WELLESLEY SQ COMMERCIAL DISTRICT</u></p> <p>Present use of property: <u>OFFICE BUILDING</u></p> <p>Proposed use of property: <u>MULTI-FAMILY HOUSING (RESIDENTIAL)</u></p> <p>FOR SUBDIVISION AND STREET UPGRADE PLANS</p> <p>Name of engineer:</p> <p>Number of lots:</p> <p>Length of street to be built:</p> <p>AREA IN SQUARE FEET OF</p> <p>Street right of way:</p> <p>Paved travel way:</p> <p>Total combined lot area:</p> <p>Estimated impervious cover including new roof surface:</p>
DO NOT WRITE IN THIS BOX		
To be completed by Planning Staff		
Date submitted: _____		
Action Required By: _____		
Action Taken: _____		
Date: _____		
File designation: _____		
I give permission for agents of the Planning Board to enter upon my land for purposes related to this application during regular business hours.	Signature of land owner: _____	Signature of applicant (if other than owner): _____

**592 Washington LLC**  
**869 Worcester St**  
**Wellesley, MA 02482**

**November 24<sup>th</sup>, 2025**

**Wellesley Planning Board**

Town of Wellesley  
525 Washington Street  
Wellesley, MA 02482

**Re: Special Permit Request – 3-Story, 19-Unit Condominium Building**

Dear Members of the Wellesley Planning Board:

On behalf of **592 Washington LLC**, I respectfully request approval of a **Special Permit** for a **three-story, 19-unit high-end condominium building** of approximately **50,000 square feet**, including **19 underground parking spaces**, at **592 Washington St, Wellesley, MA 02482**.

This project has been carefully designed to fit seamlessly within the surrounding neighborhood. The building's architecture, scale, and materials were selected to complement nearby homes, while underground parking eliminates the need for expansive surface lots and significantly reduces visual and traffic impact. The units will be high-quality, for-sale residences that meet the growing demand for well-designed, low-maintenance living options in Wellesley.

Throughout the planning process, we prioritized respectful integration with abutting properties. Landscaping, privacy buffers, and lighting controls have been incorporated to ensure a quiet, attractive, and well-screened setting. The development will also use modern, energy-efficient building systems and follow all state and local requirements for stormwater management and site safety.

We believe the proposal meets the Town's standards for Special Permit approval by preserving neighborhood character, ensuring safe circulation, and providing high-quality residential housing in a responsible manner. Our team is committed to collaborating with the Town and residents to deliver a project that enhances the surrounding area and reflects Wellesley's long-standing expectations for thoughtful design.

Thank you for your time and consideration. We welcome the opportunity to present this project further and answer any questions the Board may have.

Sincerely,  
**Dean Behrend**  
**Owner**

### NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 124, LOT 17. RECORD TITLE FROM L.C. BOOK 601, PAGE 146.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY, RECORD PLAN LOCATIONS, OR DIGSAFE INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BEHIND THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25021C0016E, BEARING AN EFFECTIVE DATE OF JULY 17, 2012.

DIGSAFE  
CONTRACTOR TO VERIFY ACTUAL LOCATION OF  
EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO  
CONSTRUCTION (WATER, ELECTRICAL, ETC.)  
CALL DIG-SAFE BEFORE YOU DIG 811.

### LEGEND

A.C.	AIR CONDITIONER
B.H.	BULKHEAD
BIT.	BITUMINOUS
C.C.B.	CAPE COD BERM
CONC.	CONCRETE
C.P.	CONCRETE PAD
D.C.B.	DRAIN CATCH BASIN
D.M.H.	DRAIN MANHOLE
D.S.	DOWNSPOUT
E.H.H.	ELECTRIC HANDHOLE
E.M.	ELECTRIC METER
E.M.H.	ELECTRIC MANHOLE
E.O.D.	EDGE OF DRIVE
(F)	FOUND
G.G.	GAS GATE
G.M.	GAS METER
INV.	INVERT
I.R.	IRON ROD
L=	LENGTH
L.S.	LANDSCAPE
N/F	NOW OR FORMERLY
O.H.W.	OVERHEAD WIRE
R=	RADIUS
S.F.	SQUARE FEET
S.M.H.	SEWER MANHOLE
T.H.H.	TELEPHONE HANHOLE
U.G.D.S.	UNDERGROUND DOWNSPOUT
U.P.	UTILITY POLE
V.G.C.	VERTICAL GRANITE CURB
W.G.	WATER GATE
W.G.	WATERLINE
Δ=	DELTA
+100.0	NUMBER OF PARKING SPACES
-100-	EXISTING SPOT GRADE
-100-	EXISTING GRADING
GAS	GASLINE
U.G.	UNDERGROUND ELECTRIC LINE
W	WATERLINE

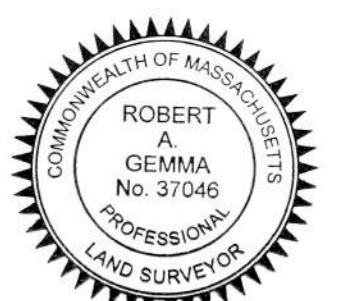
PLAN BOOK 215, PAGE 518

### EXISTING TREE DESCRIPTION LEGEND

CODE	DESCRIPTION
BL	BLACK LOCUST
EB	EUROPEAN BEECH
HCN	HORSE CHESTNUT
HL	HONEY LOCUST
NM	NORWAY MAPLE
RO	RED OAK
SM	SUGAR MAPLE
DBL	DOUBLE

TREE LOCATION  
WP06  
TREE CODE  
TREE DIAMETER

T.B.M.	DESCRIPTION	ELEVATION
A	"X" CUT ON HYDRANT	154.33'
B	NE CORNER RETAINING WALL STEPS	156.57'
C	NAIL SET 1' UP IN 20" SUGAR MAPLE	156.64'
D	NAIL SET 1' UP IN 16" RED OAK	155.73'
E	SE CORNER TOP OF STEP	154.94'
F	NAIL SET ON ROOT OF A STUMP	153.28'
G	NE CORNER OF STEP	154.97'
H	NAIL SET 1' UP ON U.P. #5-1/2	155.57'



FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.L.S. # 37046  
GRAPHIC SCALE  
1 inch = 20 ft.  
20 0 10 20 40 ( FEET )  
0 4 10 20 60 ( METERS )

### EXISTING CONDITIONS SITE PLAN #592 WASHINGTON STREET IN WELLESLEY, MASS (NORFOLK COUNTY)

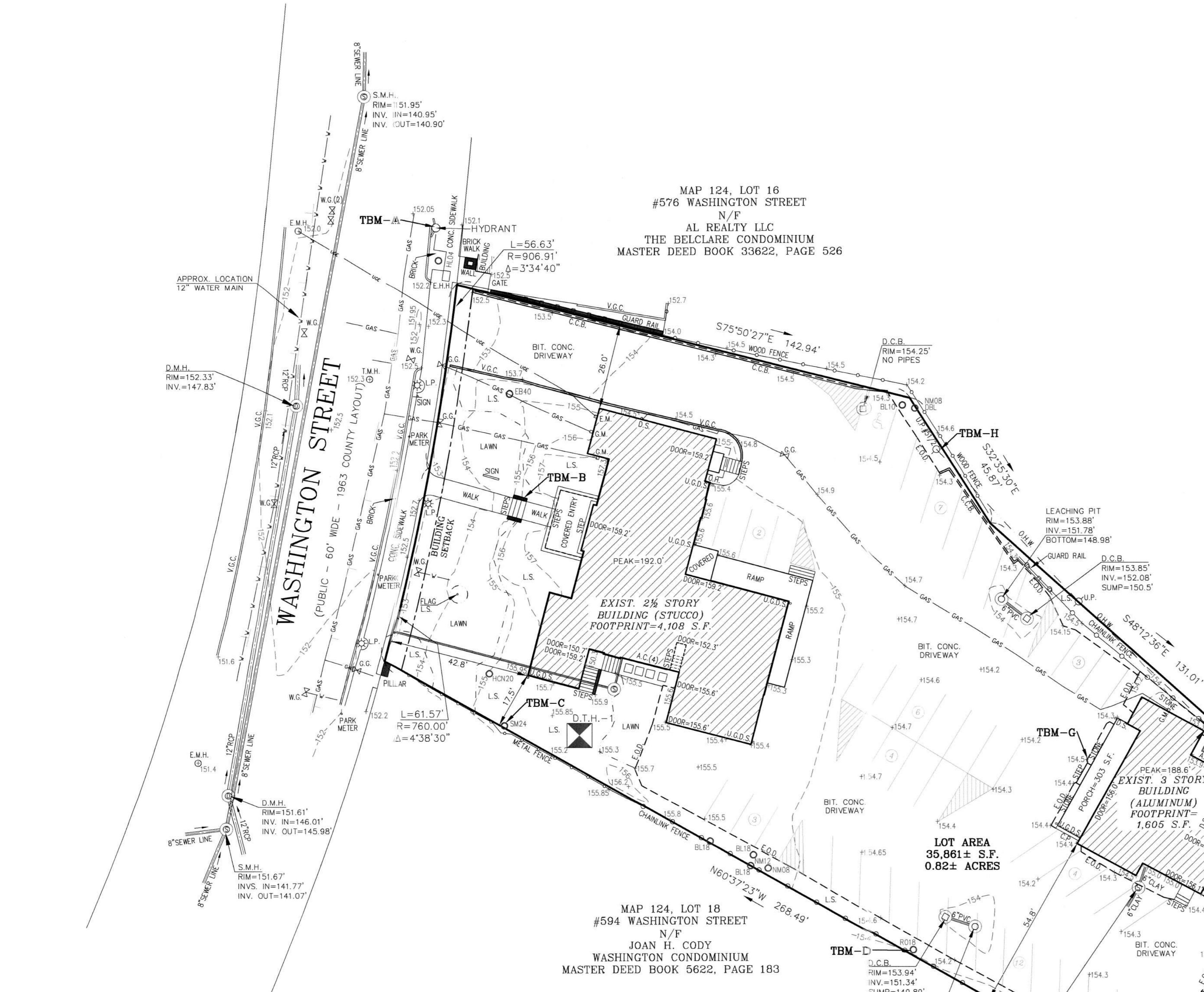
PREPARED FOR:	LYX/GROUP 96 ROCKWOOD STREET BOSTON, MA 02130
PROPERTY OF:	THE WATERMAN REALTY MANAGEMENT LIMITED PARTNERSHIP 592A WASHINGTON STREET WELLESLEY, MA 02482
ENGINEERS & SURVEYORS:	METROWEST ENGINEERING, INC. 75 FRANKLIN STREET FRAMINGHAM, MA 01702 TELE: (508)626-0063 EMAIL: INFO@MWENGINEERING.COM
SHEET 1 OF 1	DATE: JUNE 27, 2023
CALC'D BY: PHA/BTN	FIELD BK: 753
DRAFTER: PHA/JTS	PROJECT: WEL_WAS4
	DWG FILE: SP062723_R1.dwg

### ZONING: WELLESLEY SQUARE COMMERCIAL DISTRICT

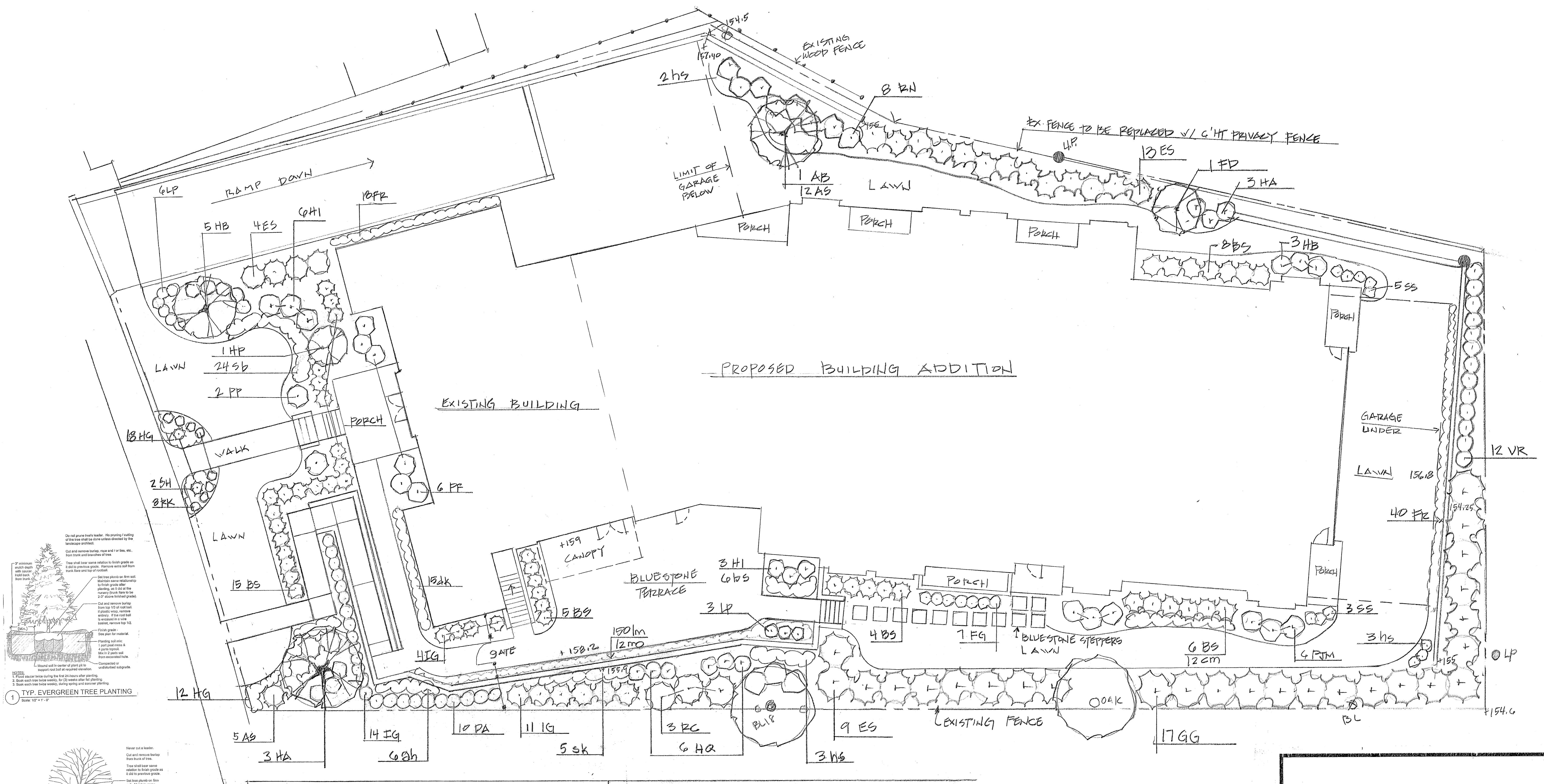
MINIMUM AREA = N.A.  
MINIMUM FRONTAGE = N.A.  
SETBACKS:  
FRONT YARD = 5 FEET  
SIDE YARD = N.A.  
REAR YARD = N.A.  
MAXIMUM HEIGHT = 45 FEET (3 STORIES)  
MAXIMUM LOT COVERAGE = N.A.  
FLOOR AREA RATIO = 0.30

### REVISIONS:

NO.	DATE	DESCRIPTION
1	08/08/23	ADD SOIL TESTING LOCATION AND LOG



SOIL TEST RESULTS	
D.T.H.-1 (ELEV=155.9')	
0"-16" A	SANDY LOAM 10YR 3/2
16"-36" B	SANDY LOAM 10YR 5/6
36"-72" C1	SAND 2.5Y 5/3
72"-120" C2	SAND 2.5Y 5/4
C1 HORIZON HAS 40% GRAVEL POSSIBLE MOTTLING @106" NO STANDING OR WEPPING WATER NO REFUSAL ESTIMATED HIGH WATER=BELOW 147.1'	
DATE: AUGUST 08, 2023	
BY: BRIAN NELSON, SOIL EVALUATOR F.B. 757, PAGE 02	
INSPECTOR: NONE	

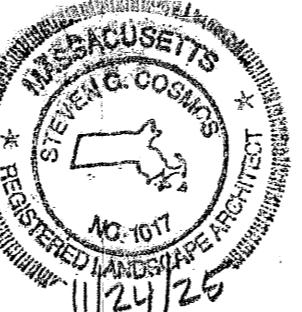
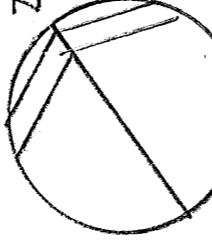


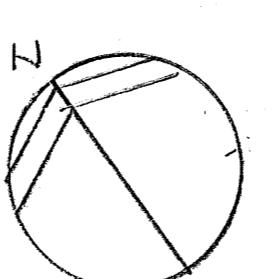
# LANDSCAPE PLAN

PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02481

PROPERTY OF:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

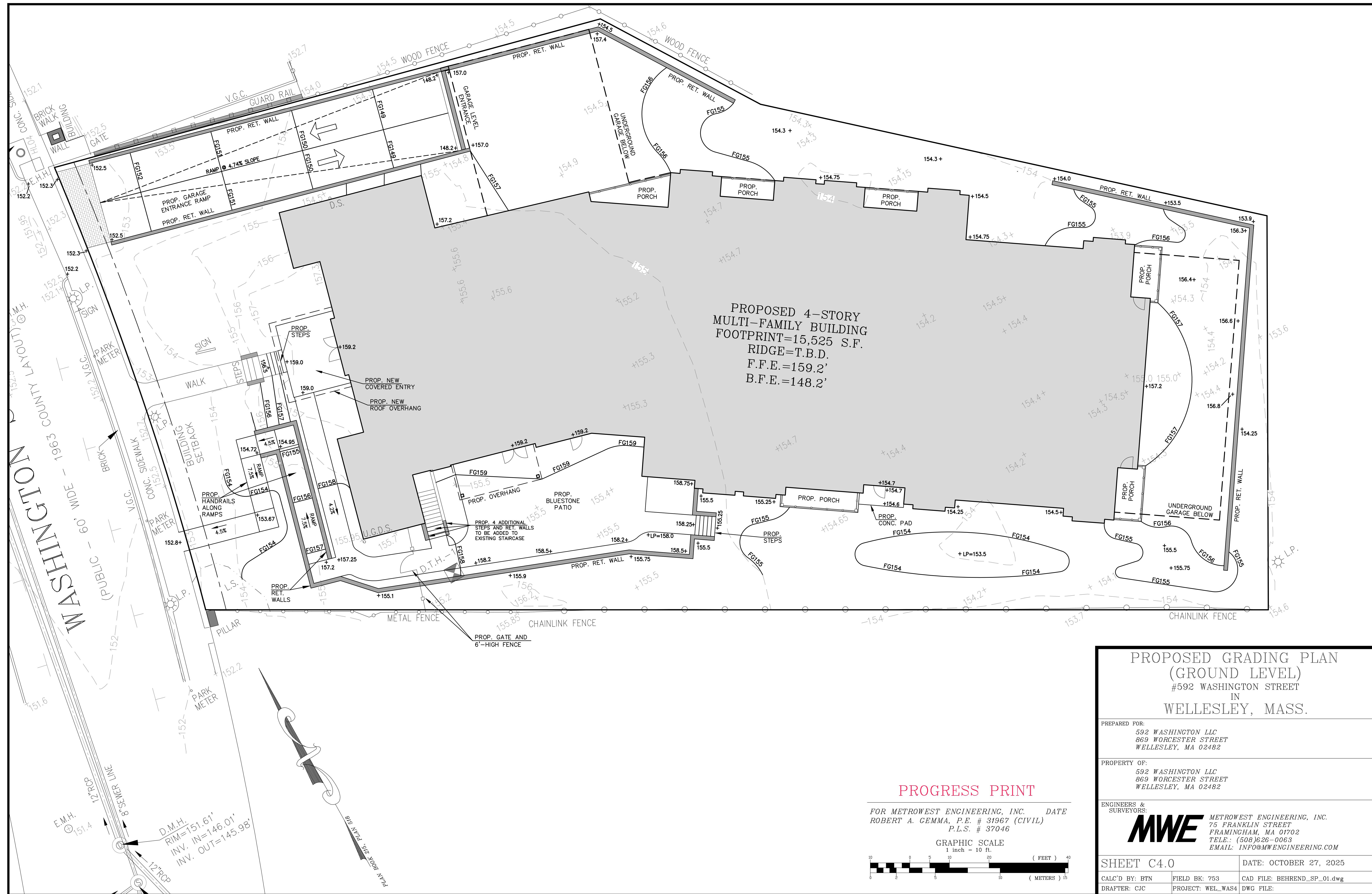
**Steven G. Cosmos**  
Registered Landscape Architect  
Cosmosla33@gmail.com  
508.654-6847

PLANT LIST -			11/24/2025		
Key	Qty	Latin Name	Common Name	Size	
<b>TREES</b>					
FD	2	Cornus florida 'Cherokee Princess'	Flowering Dogwood	2.5" Cal.	
RC	3	Cryptomeria japonica 'Radicans'	Radicans' Japanese Cedar	10-12' Ht.	
HP	1	Hydrangea paniculata Tree Form	Tree Hydrangea "Limelight"	10 Gallon	
CC	2	Carpinus caroliniana 'Palisade'	Palisade American Hornbeam	2 1/2" Caliper	
ES	26	Juniperus virginiana 'Emerald Sentinel'	'Emerald Sentinel' Juniper	6'-8' Ht	
DA	10	Thuja occidentalis 'DeGroots'	DeGroots' Arborvitae	7'-8' Ht.	
GG	17	Thuja plicata 'Green Giant'	Green Giant' Arborvitae	8'-10' Ht..	
<b>SHRUBS</b>					
AS	5	Azalea stewartsonian	Azalea stewartsonian	5 Gallon	
BS	34	Buxus sempervirens- instant hedge	Common Boxwood Instant Hedge	3/4' h	
SS	8	Clethra alnifolia 'Sixteen Candles'	'Sixteen Candles' Summersweet	7 Gallon	
FG	7	Fothergilla gardenii	Dwarf fothergilla	7 Gallon	
HI	6	Hydrangea arborescens 'Incrediball'	'Incrediball' Hydrangea	5 Gallon	
HA	6	Hydrangea quercifolia "Alice"	Alice Oakleaf hydrangea	5 Gallon	
HQ	6	Hydrangea paniculata "Quickfire"	Quickfire Hydrangea	5 Gallon	
HB	8	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	5 Gallon	
IG	18	Ilex glabra Shamrock	Shamrock Inkberry	7 Gallon	
SH	6	Ilex crenata Excelsa Schwoebel	Schwoebel's Holly	7 Gallon	
PP	2	Picea pungens 'Glauca'	Baby Blue Spruce	6 Gallon	
PF	6	Pieris floribunda 'Browers Beauty'	Mountain Andromeda	7 Gallon	
PJM	6	Rhododendron PJM	PJM Rhododendron	7 Gallon	
RN	8	Rhododendron Nova Zembla	Nova Zembla Rhododendron	7 Gallon	
LP	9	Spirea japonica 'Lemon Princess'	Lemon Princess spirea	3 Gallon	
RK	8	Rosa 'Knock Out' 'Radtko'	Radtko Knock Out Rose	5 Gallon	
VR	12	Viburnum trilobum 'Redwing'	Redwing American Cranberrybush	7 Gallon	
<b>ORNAMENTAL GRASSES</b>					
FR	58	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 Gallon	
HG	18	Hakonechloa 'Aureola'	Hakone Grass	2 Gallon	
<b>PERENNIALS / VINES</b>					
ah	6	Amsonia Hubrichtii	Arkansaw Blue Star	1 Gallon	
sk	5	Aralia cordata 'Sun King'	Sun King' Japanese Spikenard	2 Gallon	
mo	12	Alium Millenium	Millenium Onion	1 Gallon	
as	12	Astilbe chinensis 'Visions in Red'	Visions in Red' False Spirea	1 Gallon	
bs	6	Brunnera macrophylla 'Sterling Silver'	Sterling Silver' Siberian Bugloss	1 Gallon	
dk	15	Caryopteris x clandonensis 'Dark Knight'	Dark Knight' Blue Mist Spirea	2 Gallon	
cm	12	Coreopsis verticulata 'Moonbeam'	Moonbeam Coreopsis	1 Gallon	
lm	150	Liriope muscari	Lilyturf	1 Gallon	
aj	12	Sedum Autumn Joy'	Sedum Autumn Joy'	1 Gallon	
sb	24	Stachys byzantina 'Helen von Stein'	Helene Von Stein' Lamb's Ears	1 Gallon	
					
					



GRAPHIC SCALE  
1 inch = 10 ft.  
0 5 10 20 ( FEET )  
5 10 ( METERS ) 15

The diagram illustrates a graphic scale. It features a horizontal line with tick marks and numerical labels. The top part is labeled 'GRAPHIC SCALE' and '1 inch = 10 ft.'. Below this, the line has tick marks at 0, 5, 10, and 20, with the label '( FEET )' to the right. The bottom part has tick marks at 5 and 10, with the label '( METERS )' to the right. The segments between the tick marks are alternating black and white, with the segments starting from 0 being black.



NOTES:

1. SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 124, LOT 17. RECORD TITLE FROM CERTIFICATE #214101.

2. UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY. RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BEHIND THE GROUND SURFACE AT THE TIME OF THE SURVEY.

3. CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.

4. THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25021C0016F, BEARING AN EFFECTIVE DATE OF JULY 8, 2025.

 CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

EXISTING TREE DESCRIPTION LEGEND

CODE	DESCRIPTION
BL	BLACK LOCUST
EB	EUROPEAN BEECH
H.C.N.	HORSE CHESTNUT
HL	HONEY LOCUST
N.M.	NORWAY MAPLE
RO	RED OAK
SM	SUGAR MAPLE
DBL	DOUBLE
TREE LOCATION	
WP06	
TREE CODE	
	TREE DIAMETER

LEGEND

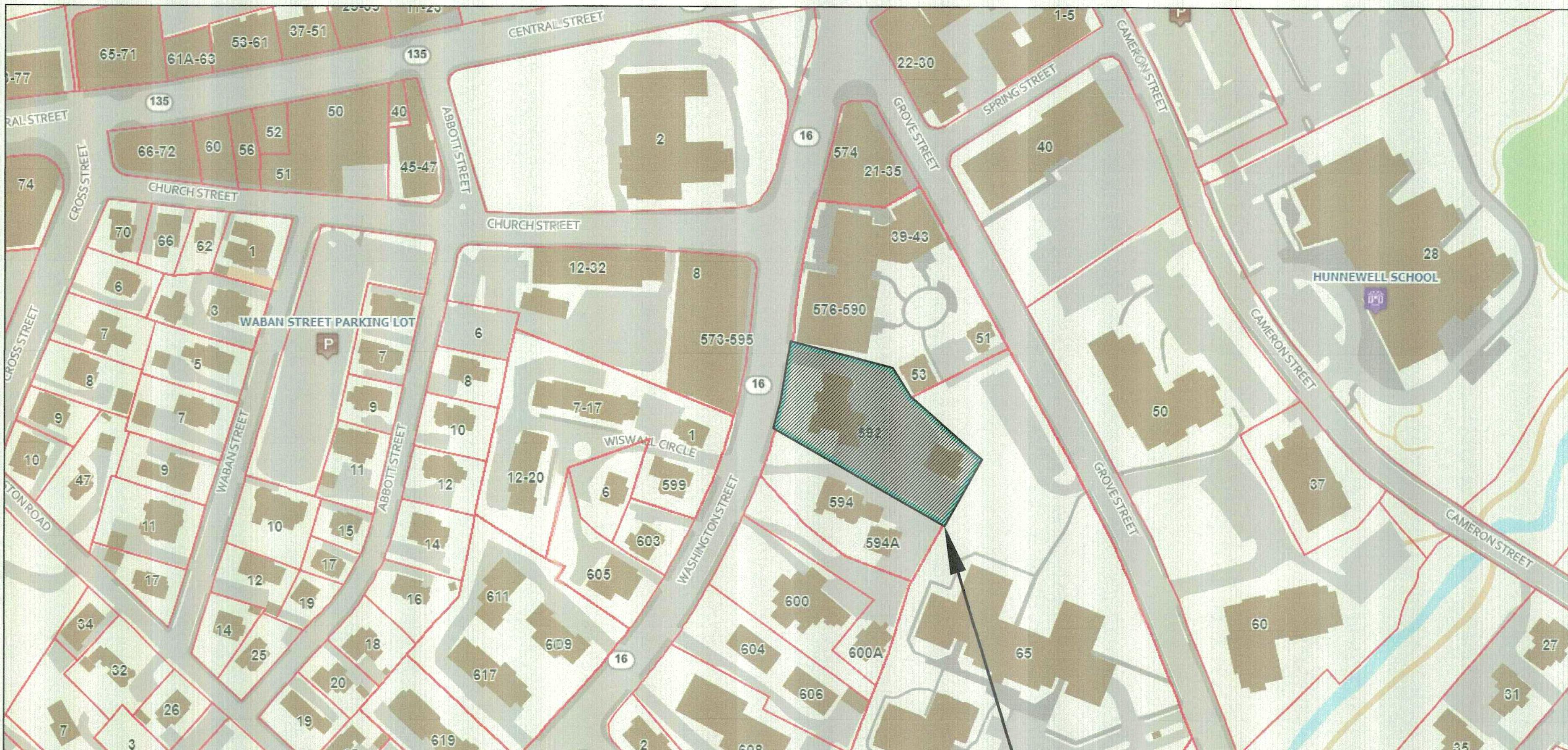
A.C.	AIR CONDITIONER
B.H.	BULKHEAD
BIT.	BITUMINOUS
C.C.B.	CAPE COD BERM
CONC.	CONCRETE
C.P.	CONCRETE PAD
D.C.B.	DRAIN CATCH BASIN
D.M.H.	DRAIN MANHOLE
D.S.	DOWNSPOUT
E.H.H.	ELECTRIC HANDHOLE
F.M.	ELECTRIC METER
F.M.H.	ELECTRIC MANHOLE
E.O.D.	EDGE OF DRIVE
(F)	FOUND.
G.G.	GAS GATE
G.M.	GAS METER
INV.	INVERT
I.R.	IRON ROD
L=	LENGTH
L.S.	LANDSCAPE
N/F	NOW OR FORMERLY
O.H.W.	OVERHEAD WIRE
R=	RADIUS
S.F.	SQUARE FEET
S.M.H.	SEWER MANHOLE
T.H.H.	TELEPHONE HANDHOLE
U.G.D.S.	UNDERGROUND DOWNSPOUT
U.P.	UTILITY POLE
V.G.C.	VERTICAL GRANITE CURB
W.G.	WATER GATE
Δ=	DELTA
(2)	NUMBER OF PARKING SPACES
+100.0	EXISTING SPOT GRADE
100-	EXISTING GRADE
GAS	GASLINE
use	UNDERGROUND ELECTRIC LINE
W	WATERLINE

PROPOSED PARKING REQUIREMENTS

PARKING USE	PARKING REQUIREMENT	QUANTITY REQUIRED	QUANTITY PROPOSED
MULTI-UNIT HOUSING	2 SPACES PER DWELLING UNIT	38 SPACES	36 SPACES

1. PARKING REQUIREMENTS TAKEN FROM SECTION 5.17.D.2 & TABLE 21.1 OF CITY OF WELLESLEY ZONING BYLAWS

PROPOSED SITE PLAN SET  
592 WASHINGTON STREET  
WELLESLEY, MASSACHUSETTS



PROJECT SITE

SHEET INDEX

COVER SHEET	
SHEET C1.0	EXISTING CONDITIONS SITE PLAN
SHEET C2.0	EROSION AND SEDIMENT CONTROL PLAN
SHEET C3.0	PROPOSED LAYOUT PLAN
SHEET C4.0	PROPOSED GRADING PLAN (GROUND LEVEL)
SHEET C5.0	PROPOSED DRAINAGE PLAN (GROUND LEVEL)
SHEET C6.0	PROPOSED SITE PLAN (GROUND LEVEL)
SHEET C7.0	LOCUS PLAN
SHEET C8.0	DETAIL PLAN
SHEET C8.1	DETAIL PLAN

ZONING TABLE

WELLESLEY SQUARE COMMERCIAL DISTRICT

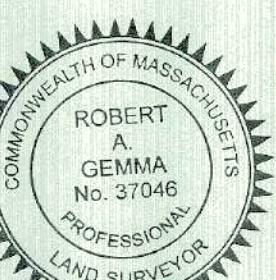
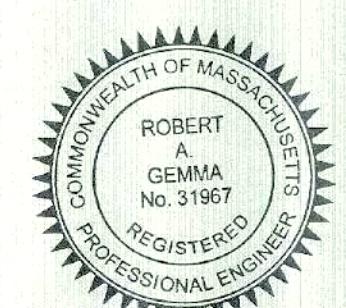
	REQUIRED	EXISTING	PROPOSED
AREA	N.A.	35,861± S.F.	35,861± S.F.
FRONTAGE	N.A.	118.20 FEET	118.20 FEET
SETBACKS:			
FRONT YARD	5 FEET	39.4 FEET (TO ENTRY)	34.9 FEET (TO ENTRY)
SIDE YARD	N.A.	42.8 FEET	42.8 FEET (TO BUILDING)
REAR YARD	N.A.	15.7 FEET	7.1 FEET (GARAGE)
BUILDING HEIGHT	3 STORIES	3 STORIES	3 STORIES
LOT COVERAGE:			
BUILDING	N.A.	5,709± S.F.	15,525± S.F.
IMPERVIOUS			
EXCLUDING BUILDINGS	N.A.	23,900± S.F.	5,130± S.F.
TOTAL IMPERVIOUS COVERAGE	N.A.	29,609± S.F.	20,655± S.F.
FLOOR AREA RATIO (FAR)	0.30 MAXIMUM	0.16	1.08

BENCHMARKS

ELEVATIONS SHOWN ARE BASED ON THE TOWN OF WELLESLEY DATUM

T.B.M.	DESCRIPTION	ELEVATION
A	"X" CUT ON HYDRANT	154.33'
B	NE CORNER RETAINING WALL STEPS	156.57'
C	NAIL SET 1' UP IN 20" SUGAR MAPLE	156.64'
D	NAIL SET 1' UP IN 16" RED OAK	155.73'
E	SE CORNER TOP OF STEP	154.94'
F	NAIL SET ON ROOT OF A STUMP	153.28'
G	NE CORNER OF STEP	154.97'
H	NAIL SET 1' UP ON U.P. #5-1/2	155.57'

PLAN BOOK 215, PLAN 518



FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E.(CIVIL) # 31967  
P.L.S. # 37046

COVER SHEET  
#592 WASHINGTON STREET  
IN  
WELLESLEY, MASS  
(NORFOLK COUNTY)

PREPARED FOR:	592 WASHINGTON LLC 869 WORCESTER STREET WELLESLEY, MA 02482
PROPERTY OF:	592 WASHINGTON LLC 869 WORCESTER STREET WELLESLEY, MA 02482
ENGINEERS & SURVEYORS:	<b>MWE</b> METROWEST ENGINEERING, INC. 75 FRANKLIN STREET FRAMINGHAM, MA 01702 TELE.: (508) 626-0063
COVER SHEET	DATE: NOVEMBER 24, 2025
CALC'D BY: BTN	FIELD BK: 753
DRAFTER: CJC	CAD FILE: BEHREND_SP_01.dwg
	DWG FILE: WEL_WAS4.dwg

## NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 124, LOT 17. RECORD TITLE FROM CERTIFICATE #214101.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY. RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BEHIND THE GROUND SURFACE AT THE TIME OF THE SURVEY.
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- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25021C0016F, BEARING AN EFFECTIVE DATE OF JULY 8, 2025.

CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

## LEGEND

A.C.	AIR CONDITIONER
B.H.	BULKHEAD
BIT.	BITUMINOUS
C.C.B.	CAPE COD BERM
CONC.	CONCRETE
C.P.	CONCRETE PAD
D.C.B.	DRAIN CATCH BASIN
D.M.H.	DRAIN MANHOLE
D.S.	DOWNSPOUT
E.H.H.	ELECTRIC HANDHOLE
E.M.	ELECTRIC METER
E.M.H.	ELECTRIC MANHOLE
E.O.D.	EDGE OF DRIVE
(F)	FOUND
G.G.	GAS GATE
G.M.	GAS METER
INV.	INVERT
I.R.	IRON ROD
L=	LENGTH
L.S.	LANDSCAPE
N/F	NOW OR FORMERLY
O.H.W.	OVERHEAD WIRE
R=	RADIUS
S.F.	SQUARE FEET
S.M.H.	SEWER MANHOLE
T.H.H.	TELEPHONE HANDHOLE
U.G.D.S.	UNDERGROUND DOWNSPOUT
U.P.	UTILITY POLE
V.G.C.	VERTICAL GRANITE CURB
W.G.	WATER GATE
Δ=	DELTA
(2)	NUMBER OF PARKING SPACES
+100.0	EXISTING SPOT GRADE
100-	EXISTING GRADING
GAS	GASLINE
U.E.	UNDERGROUND ELECTRIC LINE
W	WATERLINE

## EXISTING TREE DESCRIPTION LEGEND

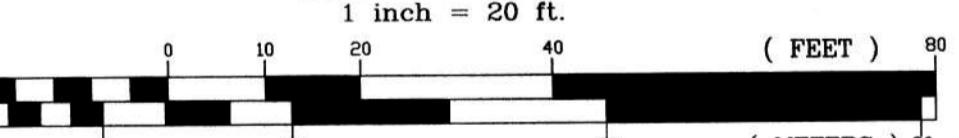
CODE	DESCRIPTION
BL	BLACK LOCUST
EB	EUROPEAN BEECH
HCN	HORSE CHESTNUT
HL	HONEY LOCUST
NM	NORWAY MAPLE
RO	RED OAK
SM	SUGAR MAPLE

DBL DOUBLE

TREE LOCATION  
TREE CODE  
TREE DIAMETER

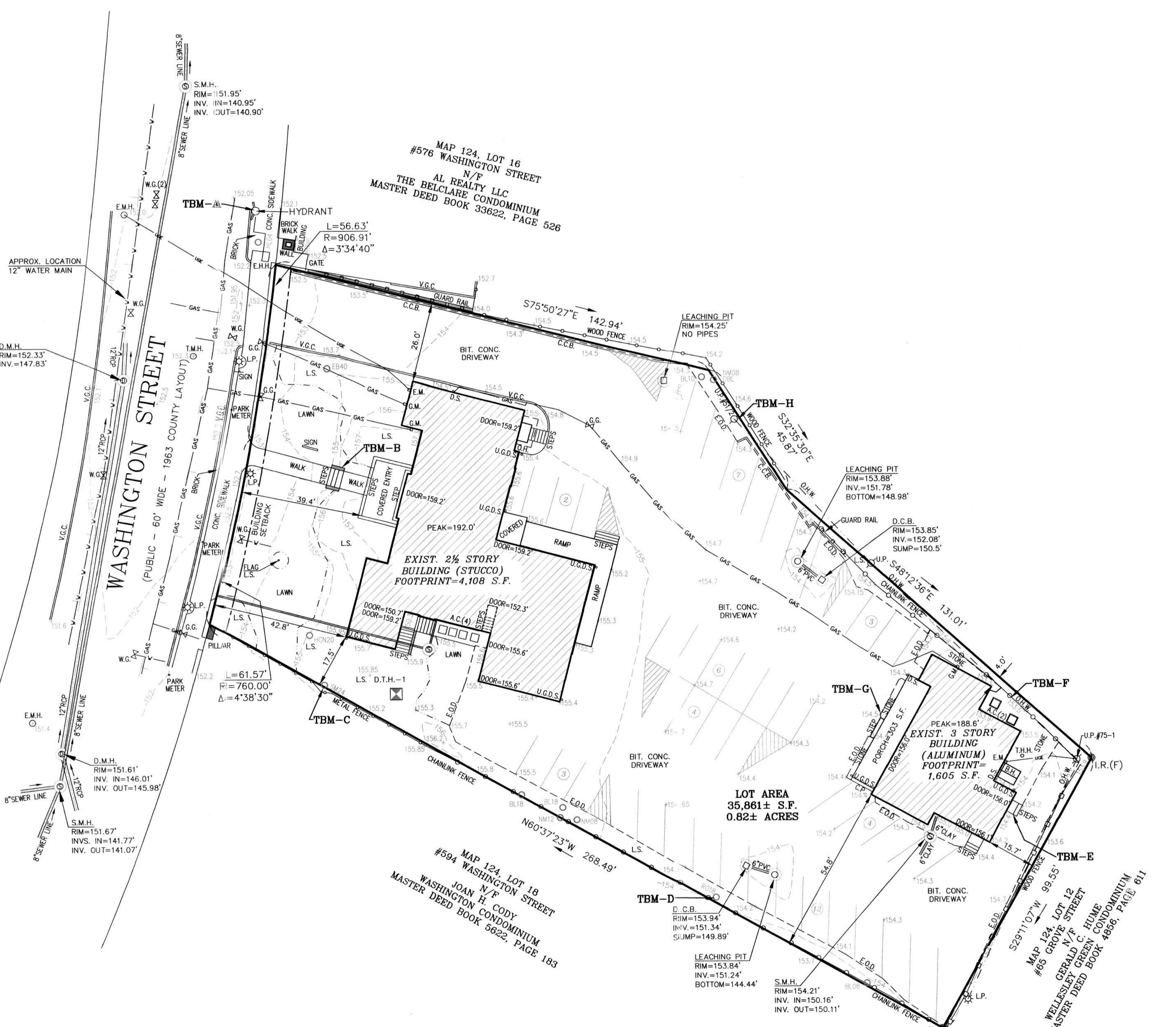


FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.L.S. # 37046  
GRAPHIC SCALE  
1 inch = 20 ft.



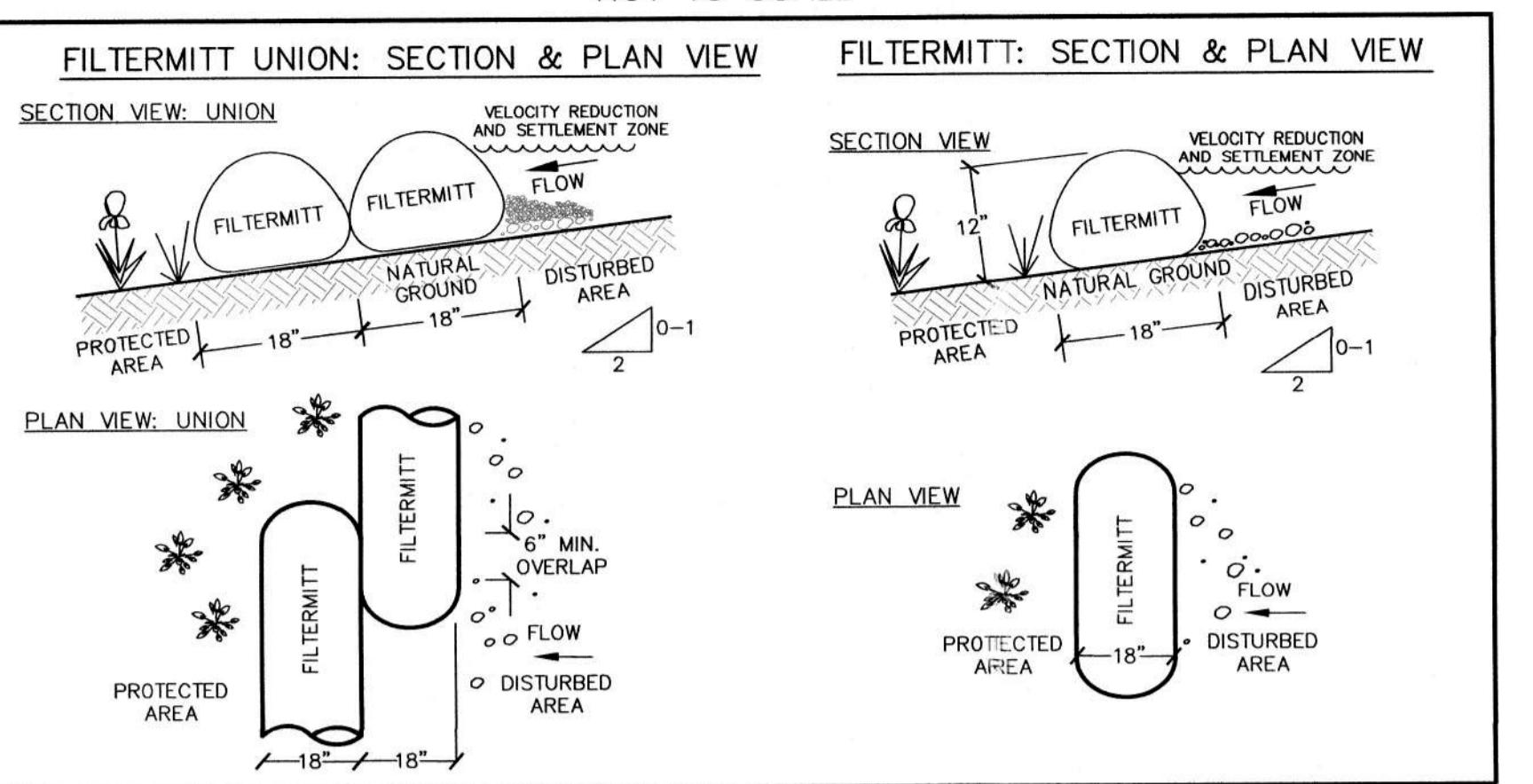
## EXISTING CONDITIONS SITE PLAN #592 WASHINGTON STREET IN WELLESLEY, MASS (NORFOLK COUNTY)

PREPARED FOR:	592 WASHINGTON LLC 869 WORCESTER STREET WELLESLEY, MA 02482
PROPERTY OF:	592 WASHINGTON LLC 869 WORCESTER STREET WELLESLEY, MA 02482
ENGINEERS & SURVEYORS:	METROWEST ENGINEERING, INC. 75 FRANKLIN STREET FRAMINGHAM, MA 01702 TELE.: (508)626-0063 EMAIL: INFO@MWENGINEERING.COM
SHEET C1.0	DATE: NOVEMBER 24, 2025
CALC'D BY: BTN	FIELD BK: 753
DRAFTER: CJC	CAD FILE: BEHREND_SP_01.dwg
	DWG FILE: SP112425



## FILTER MITT EROSION CONTROL BARRIER

NOT TO SCALE



## LEGEND

A.C.	AIR CONDITIONER
B.H.	BULKHEAD
BIT.	BITUMINOUS
C.C.B.	CAPE COD BERM
CONC.	CONCRETE
C.P.	CONCRETE PAD
D.C.B.	DRAIN CATCH BASIN
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W.G.	NUMBER OF PARKING SPACES
Δ=	EXISTING SPOT GRADE
(2)	EXISTING GRADING
100.0	GASLINE
100.0	UNDERGROUND ELECTRIC LINE
GAS	WATERLINE
use	
V	

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DIG-SAFE  
CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

## BENCHMARKS

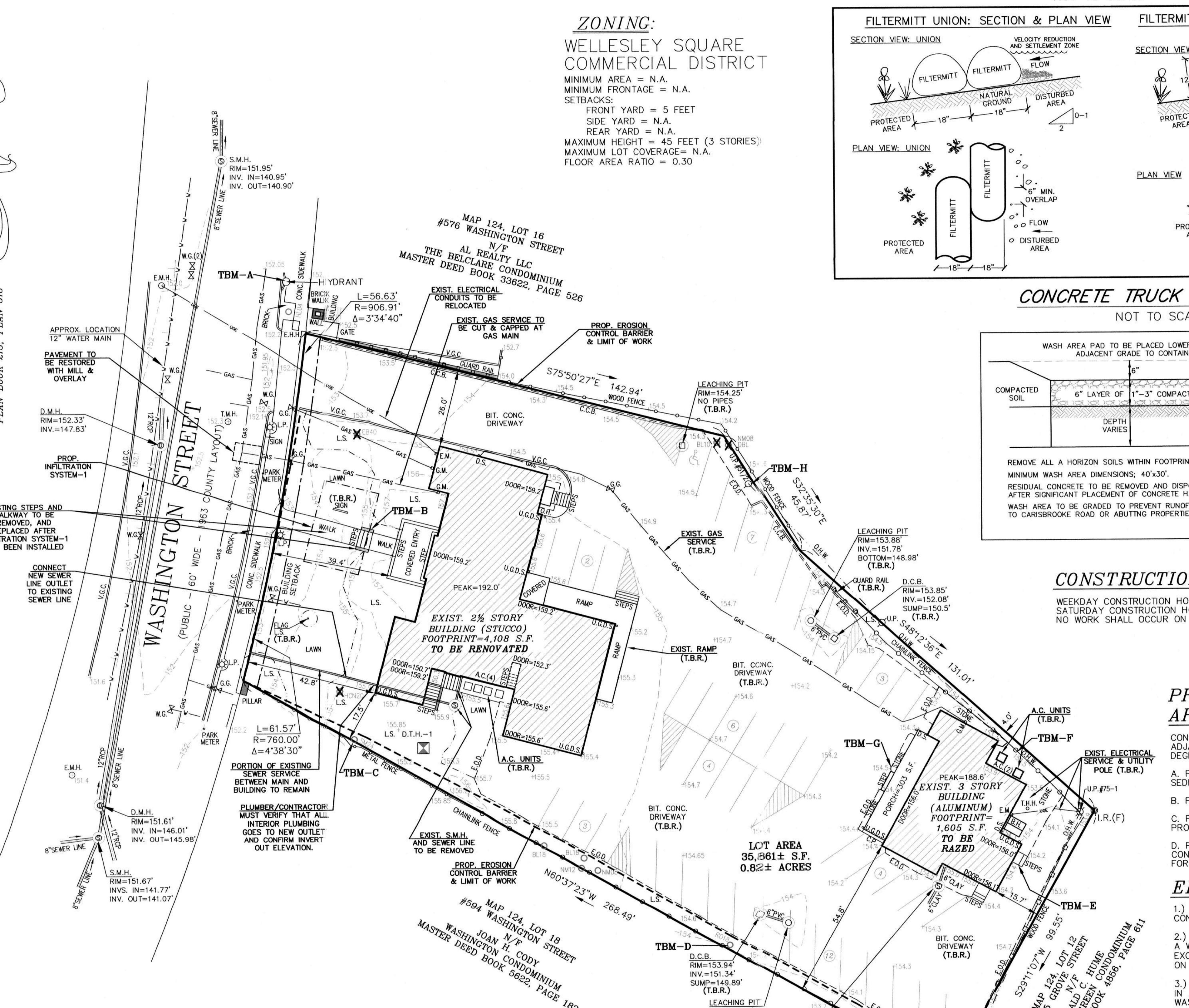
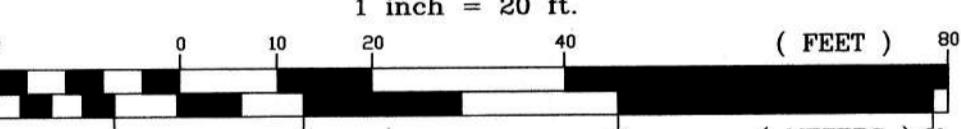
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FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E. # 31967 (CIVIL)  
P.L.S. # 37046

GRAPHIC SCALE



## OFF-SITE TRUCKING ROUTE

LARGE CONSTRUCTION VEHICLES SHALL EXIT THE SITE USING THE MOST DIRECT PATH TO WORCESTER ROAD (ROUTE 9):

EXIT THE SITE AND HEAD NORTH ON WASHINGTON STREET (ROUTE 16) TO THE INTERSECTION OF CENTRAL STREET AND WASHINGTON STREET.

PROCEED EAST ON WASHINGTON STREET (ROUTE 16) 1.5-MILES TO THE EASTBOUND RAMP FOR WORCESTER STREET (ROUTE 9).

PROCEED EAST ON WORCESTER STREET TO THE WELLESLEY TOWN LINE.

OR;

PROCEED NORTH ON WASHINGTON STREET (ROUTE 16) 140-FEET TO THE INTERSECTION OF CHURCH STREET AND WASHINGTON STREET.

PROCEED WEST ON CHURCH STREET 935-FEET TO THE INTERSECTION OF CHURCH STREET AND CROSS STREET.

PROCEED SOUTH ON CROSS STREET TO THE INTERSECTION OF CROSS STREET AND WESTON ROAD.

PROCEED NORTH ON WESTON ROAD 1.2-MILES TO THE WESTBOUND RAMP FOR WORCESTER STREET (ROUTE 9).

PROCEED WEST ON WORCESTER STREET (ROUTE 9) TO WELLESLEY TOWN LINE.

SOIL TEST RESULTS	
D.T.H.-1 (ELEV=155.9')	
0"-16" A	SANDY LOAM 10YR 3/2
16"-36" B	SANDY LOAM 10YR 5/6
36"-72" C1	SAND 2.5Y 5/3
72"-120" C2	SAND 2.5Y 5/4
C1 HORIZON HAS 40% GRAVEL POSSIBLE MOTTLING @106' NO STANDING OR WEPPING WATER NO REFUSAL ESTIMATED HIGH WATER-BELOW 147.1'	
DATE: AUGUST 08, 2023	
BY: BRIAN NELSON, SOIL EVALUATOR F.B. 757, PAGE 02	
INSPECTOR: NONE	

## PROTECTION OF STORMWATER MANAGEMENT AREAS DURING CONSTRUCTION

CONTRACTOR SHALL EXERCISE CARE TO PROTECT THE SURFACES BENEATH AND ADJACENT TO THE PROPOSED INFILTRATION SYSTEMS AND RAIN GARDEN FROM DEGRADATION BY SURROUNDING CONSTRUCTION ACTIVITIES, INCLUDING:

- PREVENTION OF CONTAMINATION OF EXPOSED SUBGRADE BY CONSTRUCTION SEDIMENT.
- PREVENTION OF EXCESSIVE COMPACTION BY CONSTRUCTION VEHICLES.
- PREVENTION OF DISCHARGE OF WATER FROM DEWATERING ACTIVITIES INTO THE PROPOSED INFILTRATION SYSTEM OR RAIN GARDENS.
- PREVENTION OF DISCHARGE OF STORMWATER INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE STABILIZED UNLESS SPECIFIC MEASURES ARE PROVIDED FOR PROTECTING AND RESTORING THE INFILTRATION SURFACE.

## EROSION CONTROL NOTES:

- CONTRACTOR SHALL MODIFY SEDIMENTATION CONTROLS AS NECESSARY DURING CONSTRUCTION.
- CONTRACTOR SHALL INSPECT AND CLEAN ALL SILTATION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ALL STORMS WITH A PRECIPITATION AMOUNT IN EXCESS OF 1". CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DEFICIENCIES FOUND ON SILTATION CONTROL MEASURES.
- CONTRACTOR SHALL MAINTAIN AN INVENTORY OF EMERGENCY SUPPLIES ON SITE IN A PROTECTED LOCATION INCLUDING, BUT NOT LIMITED TO HAYBALES, SILT FENCE, WASHED STONE, PVC PIPE, MULCH AND SEED.
- ALL DISTURBED AREAS SHALL BE PROPERLY STABILIZED BEFORE OR THROUGH THE WINTER TO ELIMINATE DESTABILIZATION OR SILTATION DURING THE SPRING THAW.
- ANY RELEASE OF WATER FROM TEMPORARY SILTATION PONDS SHALL BE FREE OF SILT AND SEDIMENT AND SHALL MEET WATER QUALITY STANDARDS FOR CLASS B WATER IN THE COMMONWEALTH OF MASSACHUSETTS.
- IF GROUNDWATER DE-WATERING IS REQUIRED, CONTRACTOR SHALL IMPLEMENT A FILTERING SYSTEM FOR PUMPED GROUNDWATER TO REMOVE SILT AND SEDIMENT. THE DIRECT DISCHARGE OF ANY DE-WATERING OPERATION INTO A WETLAND IS PROHIBITED.
- CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL SEDIMENTS WHEN THEY HAVE ACCUMULATED TO A HEIGHT APPROXIMATELY EQUAL TO ONE HALF OF THE HEIGHT OF THE CORRESPONDING EROSION AND SEDIMENTATION CONTROL MEASURE.
- CONTRACTOR SHALL KEEP COPIES OF THE EROSION CONTROL PLAN AND INSPECTION REPORTS SO THEY ARE ACCESSIBLE AT ALL TIMES.
- CONTRACTOR TO PROTECT ALL DRAINAGE INLETS FROM SILT AND SEDIMENT UNTIL THEIR TRIBUTARY AREAS ARE FULLY STABILIZED.
- CONTRACTOR TO SWEEP STREET IN FRONT OF WORK AREA WEEKLY OR AS NEEDED TO PREVENT ACCUMULATION OF SILT AND SEDIMENT ON GARDEN ROAD.
- ANY DEWATERING PERFORMED ON SITE REQUIRING A CONNECTION OR DISCHARGE TO THE MUNICIPAL DRAINAGE SYSTEM MUST BE APPROVED BY THE TOWN ENGINEER PRIOR TO DISCHARGE.

## EROSION & SEDIMENT CONTROL PLAN

#592 WASHINGTON STREET

IN

WELLESLEY, MASS  
(NORFOLK COUNTY)

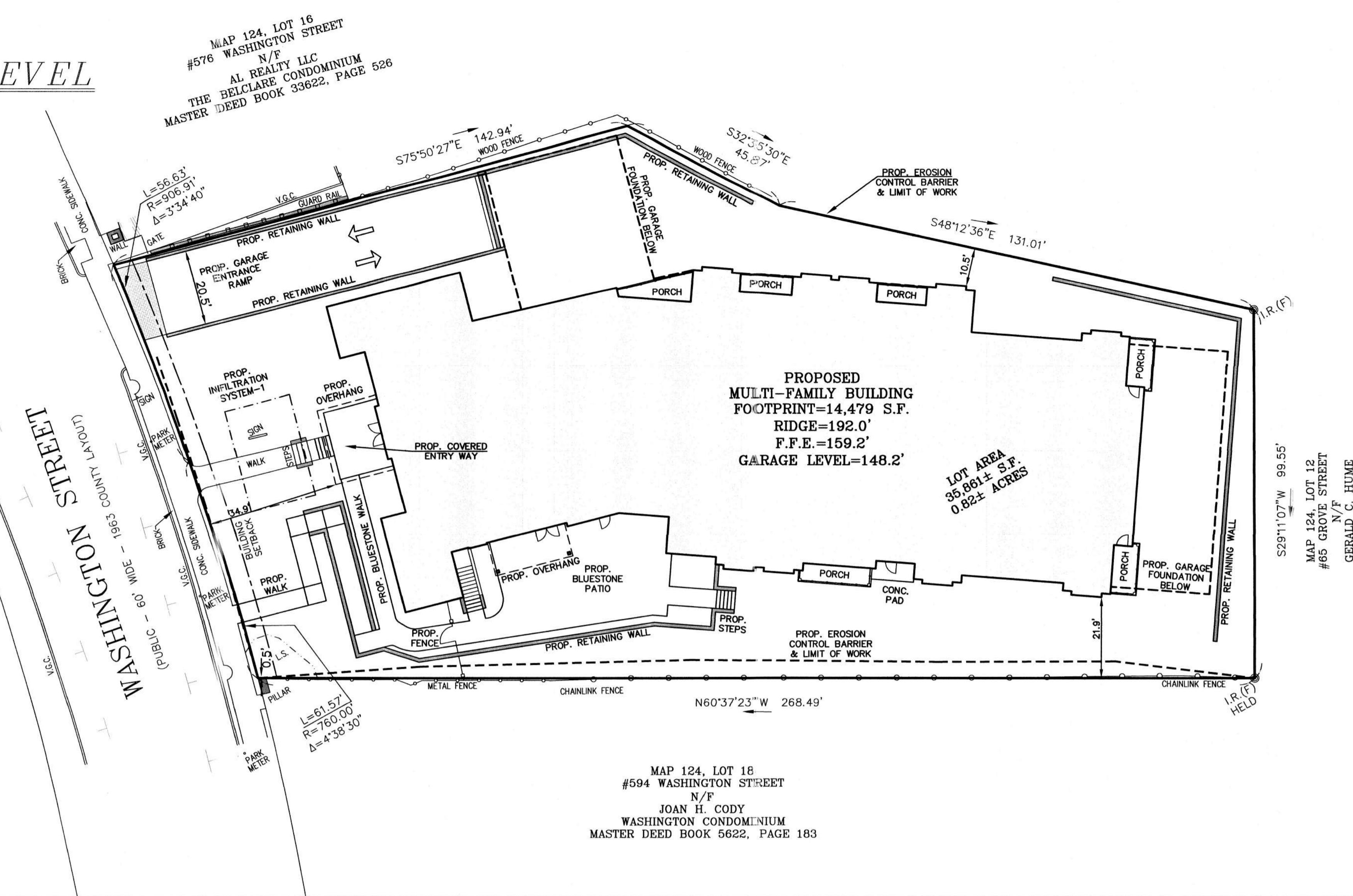
PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

PROPERTY OF:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

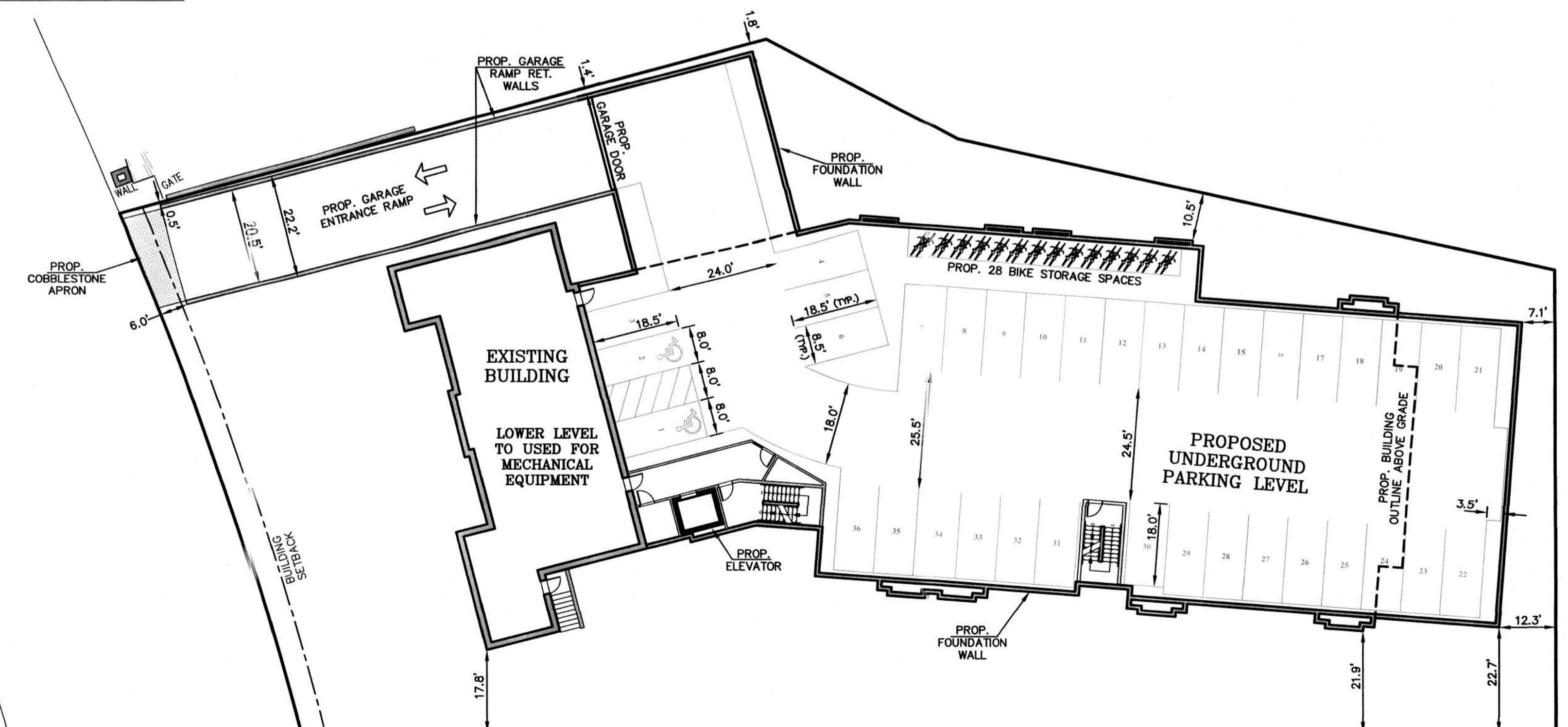
ENGINEERS &  
SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE: (508)626-0063  
EMAIL: INFO@MWEENGINEERING.COM

SHEET C2.0 DATE: NOVEMBER 24, 2025  
CALC'D BY: BTN FIELD BK: 753 CAD FILE: BEHREND\_SP\_01.dwg  
DRAFTER: CJC PROJECT: WEL\_WAS4 DWG FILE:

## GROUND LEVEL



## BASEMENT LEVEL



## ZONING:

### WELLESLEY SQUARE COMMERCIAL DISTRICT

MINIMUM AREA = N.A.

MINIMUM FRONTAGE = N.A.

SETBACKS:

FRONT YARD = 5 FEET

SIDE YARD = N.A.

REAR YARD = N.A.

MAXIMUM HEIGHT = 45 FEET (3 STORIES)

MAXIMUM LOT COVERAGE = N.A.

FLOOR AREA RATIO = 0.30

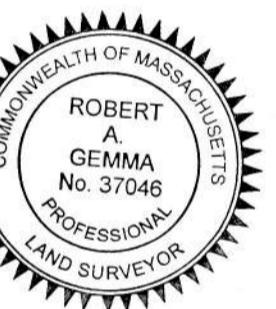
## IMPERVIOUS AREA TABLE

EXISTING BUILDINGS = 6,346 SQ. FT.  
EXISTING DRIVEWAY & PARKING LOT = 20,558 SQ. FT.  
EXISTING CONC. PADS, WALKWAYS & ETC. = 1,065 SQ. FT.

TOTAL EXISTING IMPERVIOUS AREA = 27,969 SQ. FT.

PROPOSED BUILDING = 15,525 SQ. FT.  
PROPOSED DRIVEWAY = 2,032 SQ. FT.  
PROPOSED PATIO & WALKWAYS = 3,098 SQ. FT.

TOTAL PROPOSED IMPERVIOUS AREA = 20,655 SQ. FT.



11/27/25  
FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E. # 31967 (CIVIL)  
P.L.S. # 37046

GRAPHIC SCALE  
1 inch = 20 ft.  
( FEET )  
0 20 0 10 20 40 60  
0 4 10 20 30 ( METERS )

## PROPOSED LAYOUT PLAN

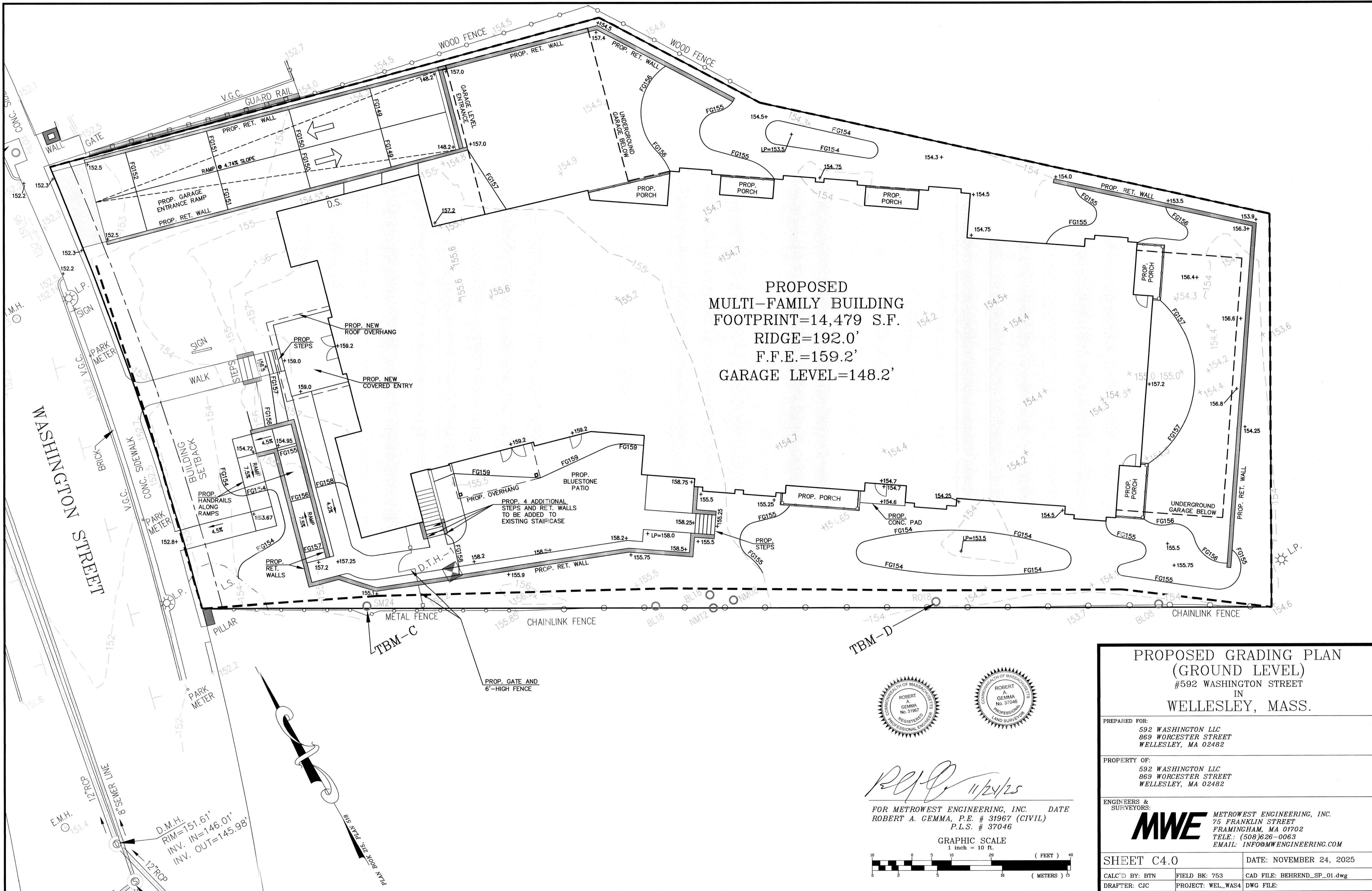
#592 WASHINGTON STREET  
IN  
WELLESLEY, MASS.

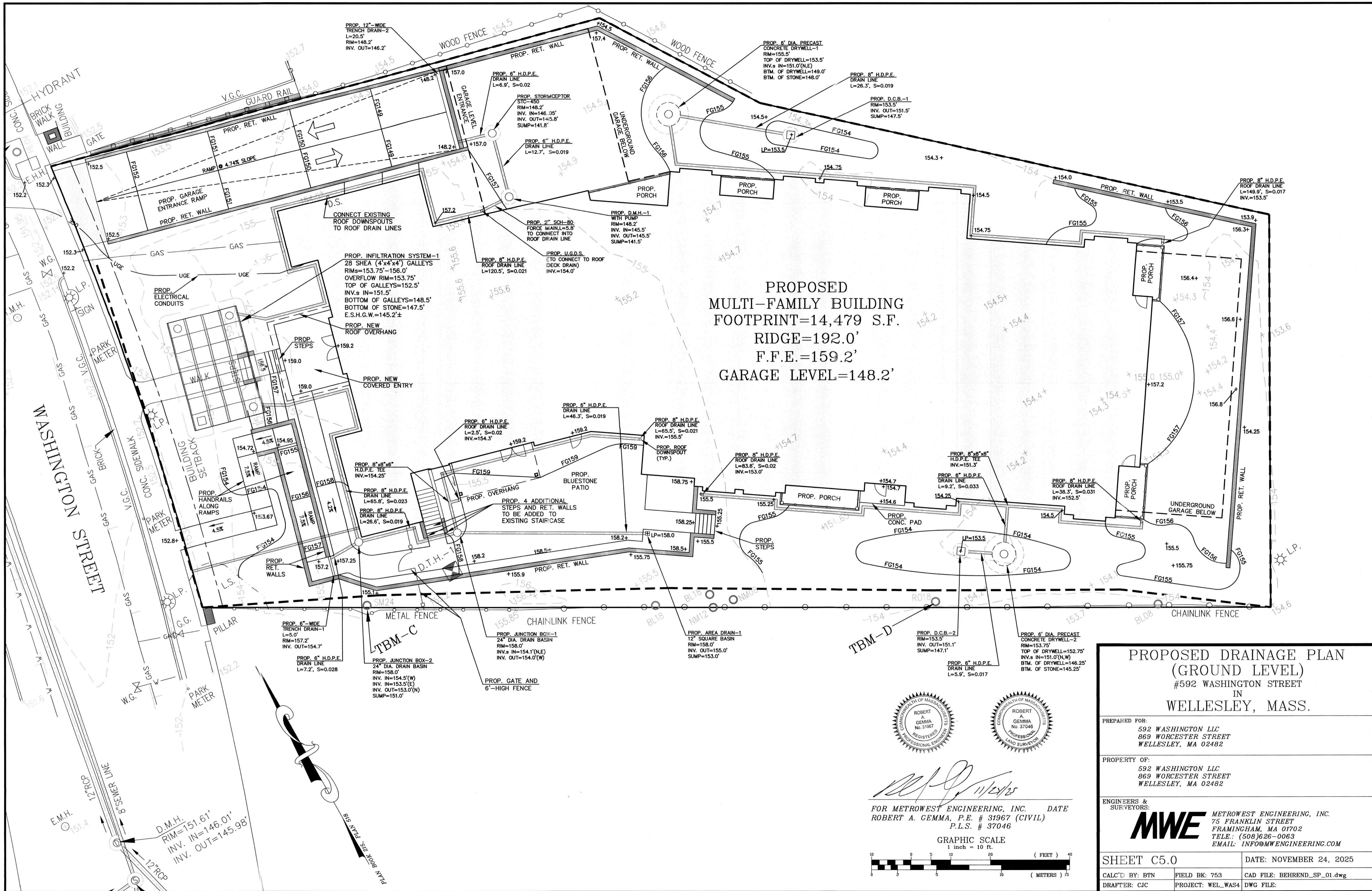
PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

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ENGINEERS &  
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75 FRANKLIN STREET  
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TELE: (508)626-0063  
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CALC'D BY: BTN	FIELD BK: 753	CAD FILE: BEHREND_SP_01.dwg
DRAFTER: CJC	PROJECT: WEL_WAS4	DWG FILE:





### NOTES:

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### LEGEND

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GAS	GASLINE
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### EXISTING TREE DESCRIPTION LEGEND

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DBL	DOUBLE

TREE LOCATION  
TREE CODE  
TREE DIAMETER



FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E. # 31967 (CIVIL)  
P.L.S. # 37046

GRAPHIC SCALE  
1 inch = 20 ft.  
( FEET )  
0 4 8 12 16 20 24 28 32 36 40  
0 10 20 30 40 50 60  
( METERS )

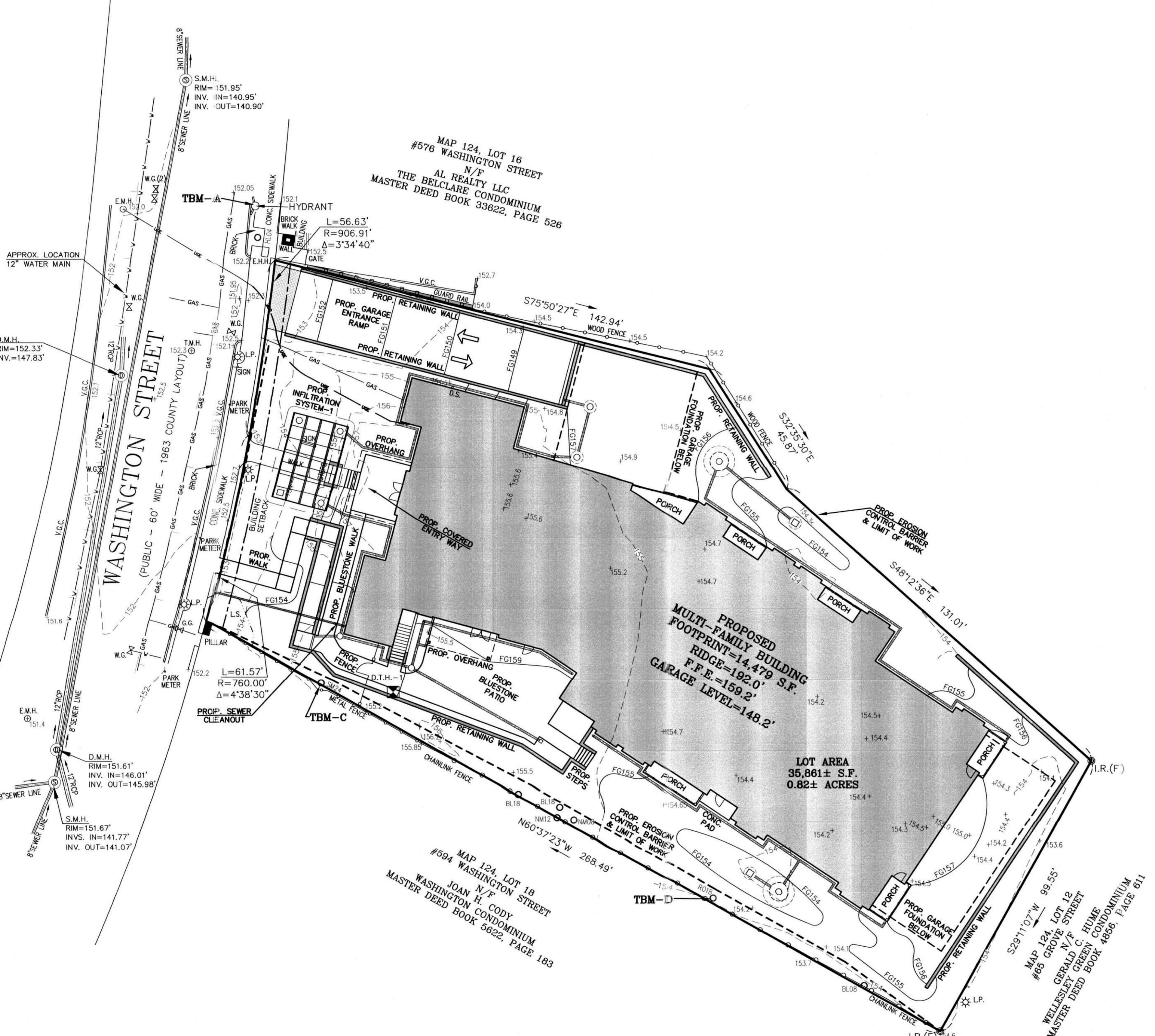
### PROPOSED SITE PLAN (GROUND LEVEL) #592 WASHINGTON STREET IN WELLESLEY, MASS.

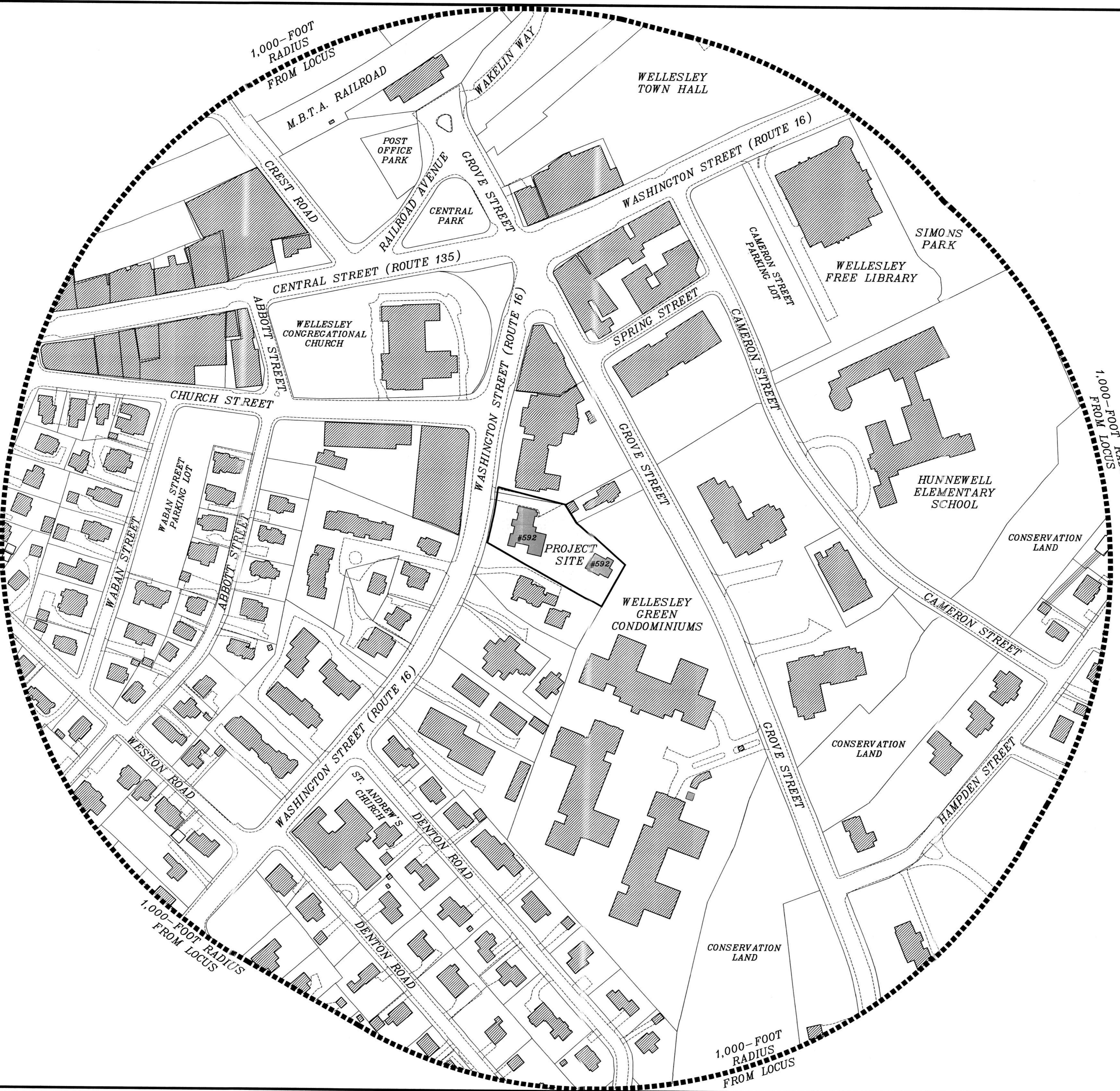
PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

PROPERTY OF:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

ENGINEERS &  
SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE: (508)626-0063  
EMAIL: INFO@MWENGINEERING.COM

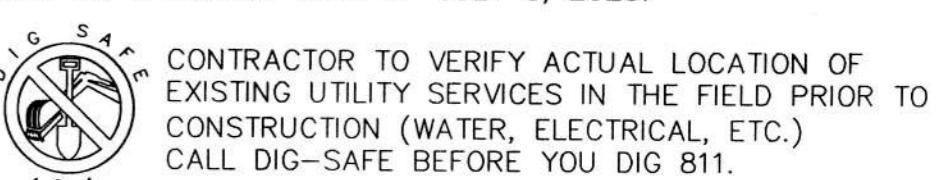
SHEET C6.0 DATE: NOVEMBER 24, 2025  
CALC'D BY: BTN FIELD BK: 753 CAD FILE: BEHREND\_SP\_01.dwg  
DRAFTER: CJC PROJECT: WEL\_WAS4 DWG FILE:





#### NOTES:

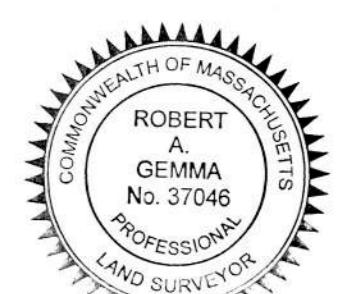
- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 124, LOT 17. RECORD TITLE FROM CERTIFICATE #214101.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY, RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BEHIND THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25021C0016F, BEARING AN EFFECTIVE DATE OF JULY 8, 2025.



#### ZONING:

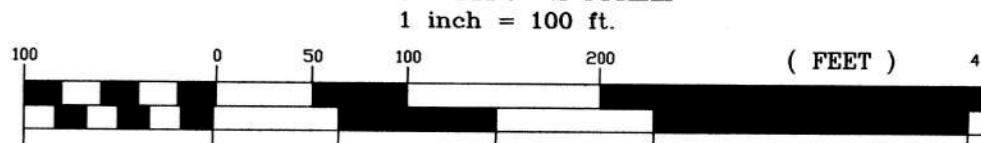
WELLESLEY SQUARE COMMERCIAL DISTRICT

MINIMUM AREA = N.A.  
MINIMUM FRONTAGE = N.A.  
SETBACKS:  
FRONT YARD = 5 FEET  
SIDE YARD = N.A.  
REAR YARD = N.A.  
MAXIMUM HEIGHT = 45 FEET (3 STORIES)  
MAXIMUM LOT COVERAGE = N.A.  
FLOOR AREA RATIO = 0.30



FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.L.S. # 37046

#### GRAPHIC SCALE

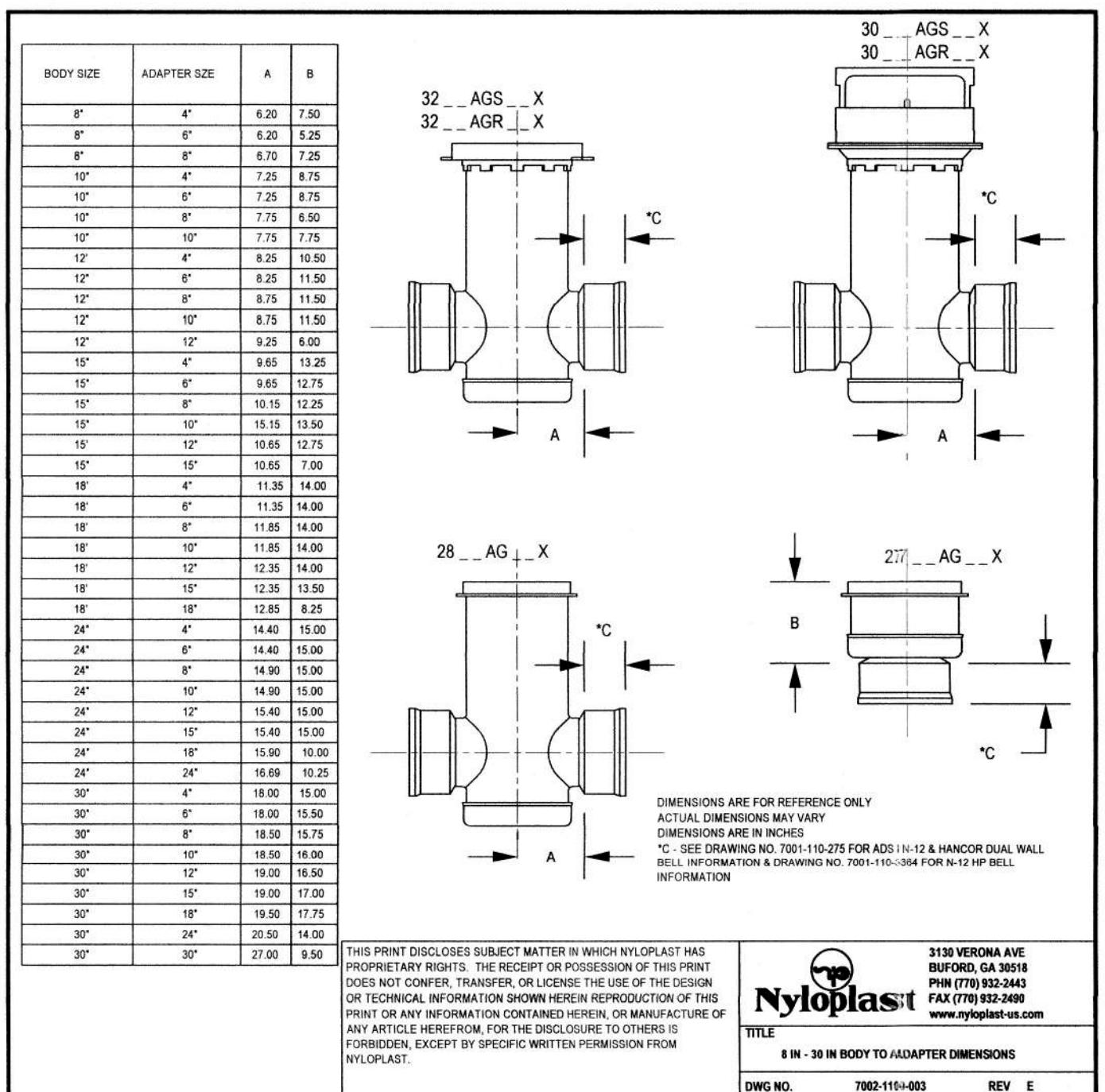


#### LOCUS PLAN

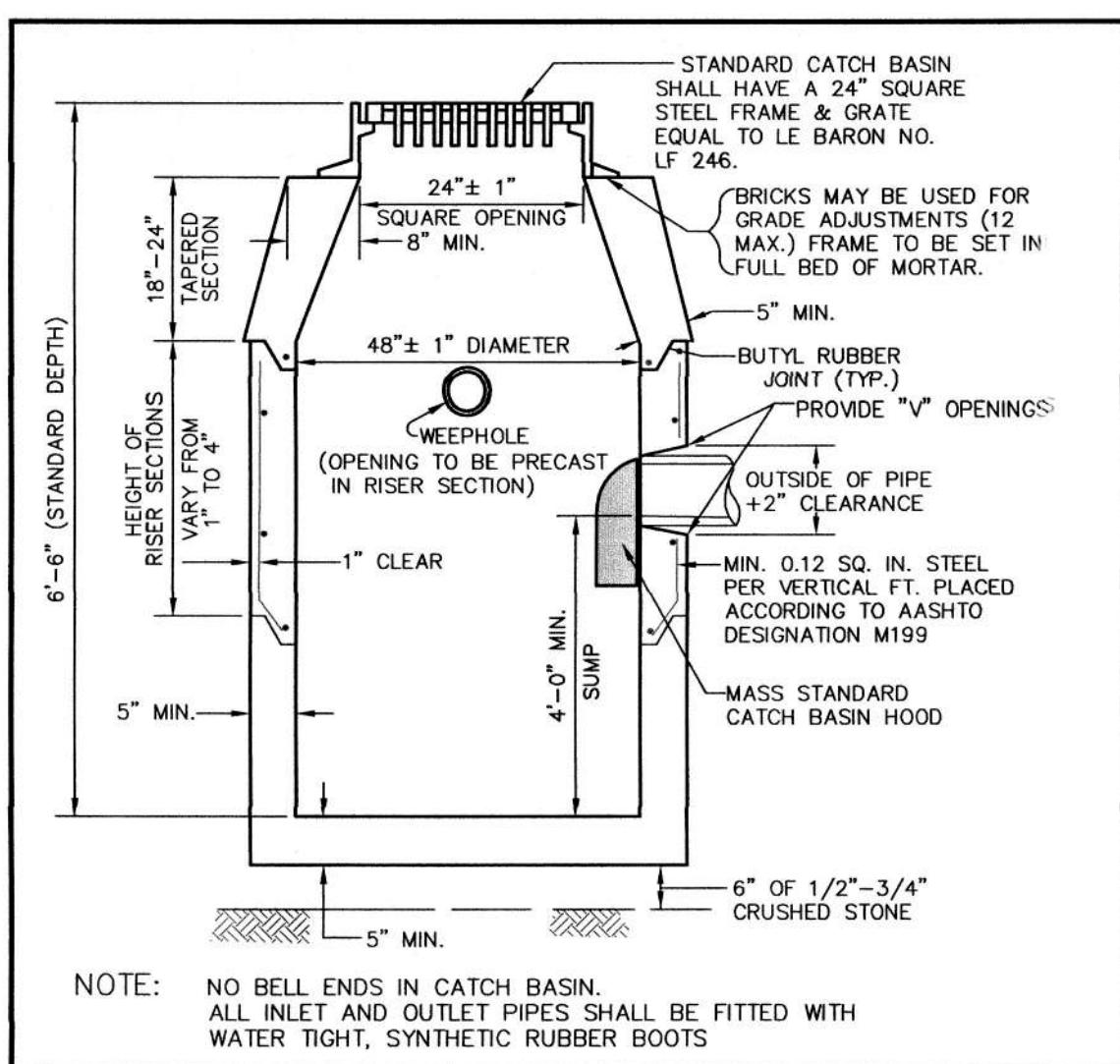
#592 WASHINGTON STREET  
IN  
WELLESLEY, MASS  
(NORFOLK COUNTY)

PREPARED FOR:	592 WASHINGTON LLC 869 WORCESTER STREET WELLESLEY, MA 02482
PROPERTY OF:	592 WASHINGTON LLC 869 WORCESTER STREET WELLESLEY, MA 02482
ENGINEERS & SURVEYORS:	<b>MWE</b> METROWEST ENGINEERING, INC. 75 FRANKLIN STREET FRAMINGHAM, MA 01702 TELE: (508)626-0063
SHEET C7.0	DATE: NOVEMBER 24, 2025
CALC'D BY: BTN	FIELD BK: 753
DRAFTER: CJC	CAD FILE: BEHREND_SP_01.dwg PROJECT: WEL_WAS4 DWG FILE:

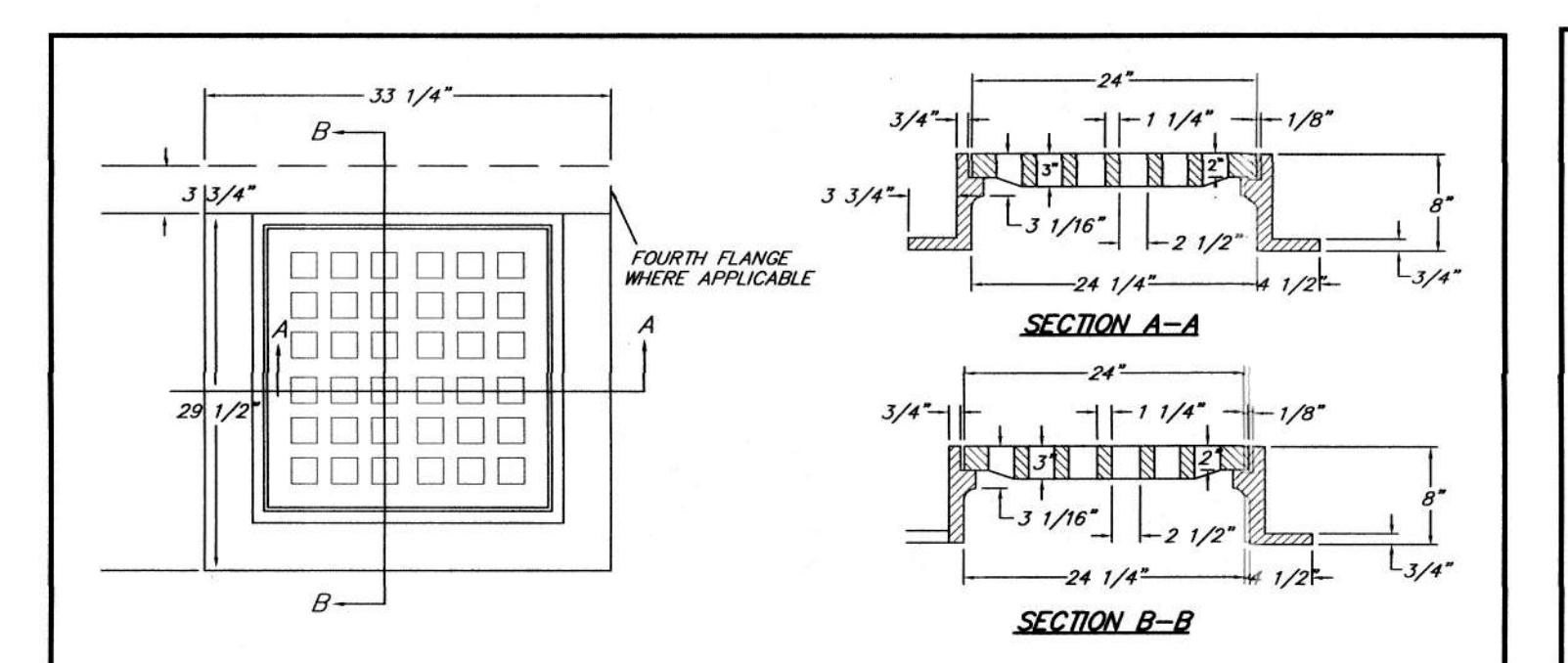
**P.V.C. JUNCTION BOX**  
NOT TO SCALE



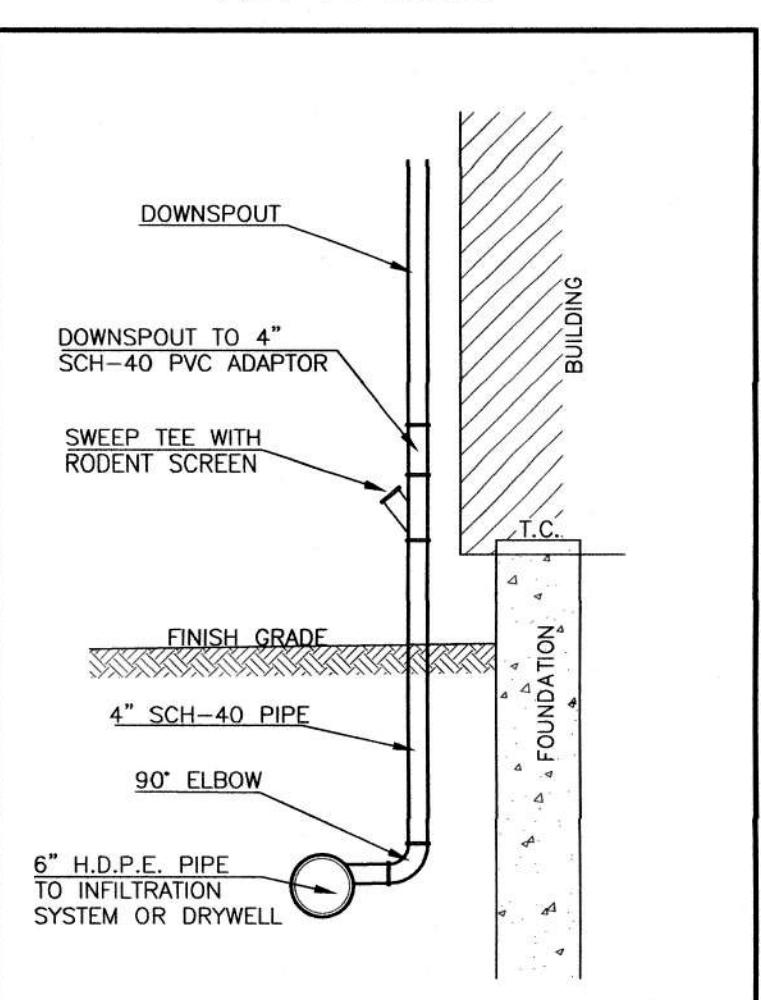
**PRECAST CONCRETE CATCH BASIN**  
NOT TO SCALE



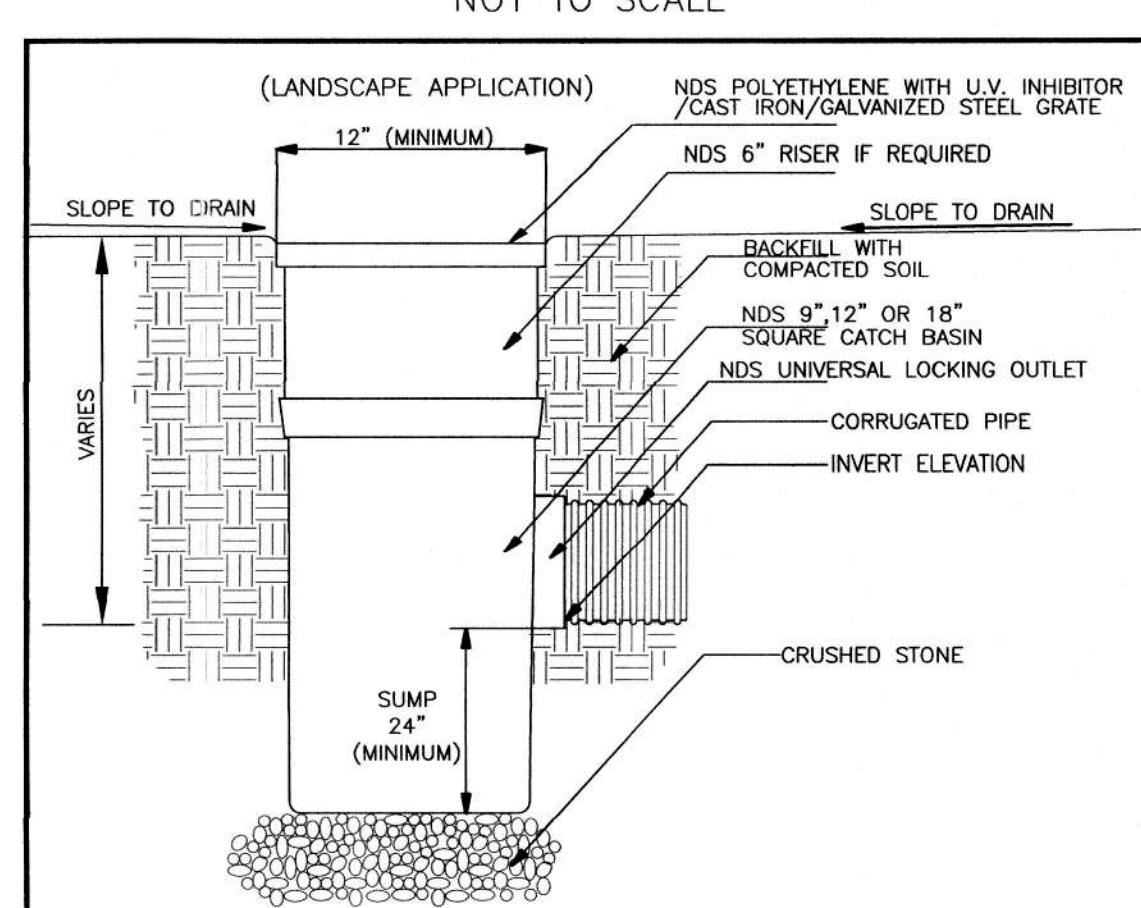
**SQUARE CATCH BASIN FRAME & GRATE**  
NOT TO SCALE



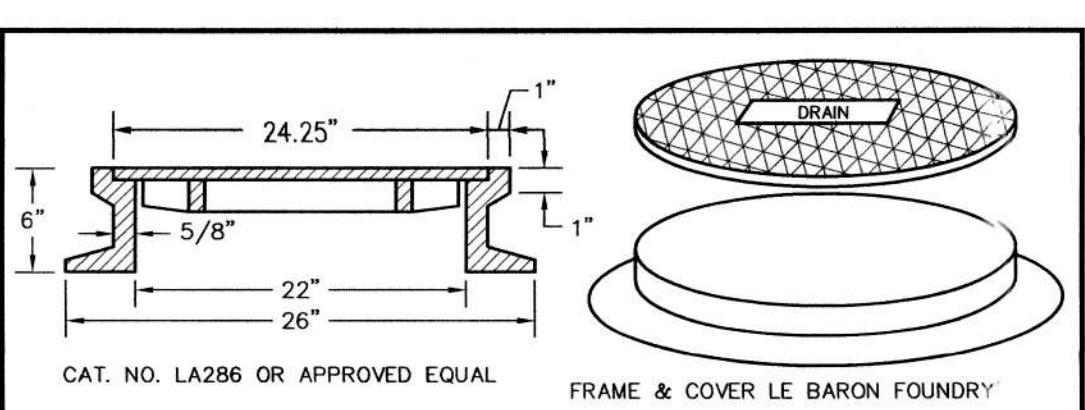
**DOWNSPOUT DETAIL**  
NOT TO SCALE



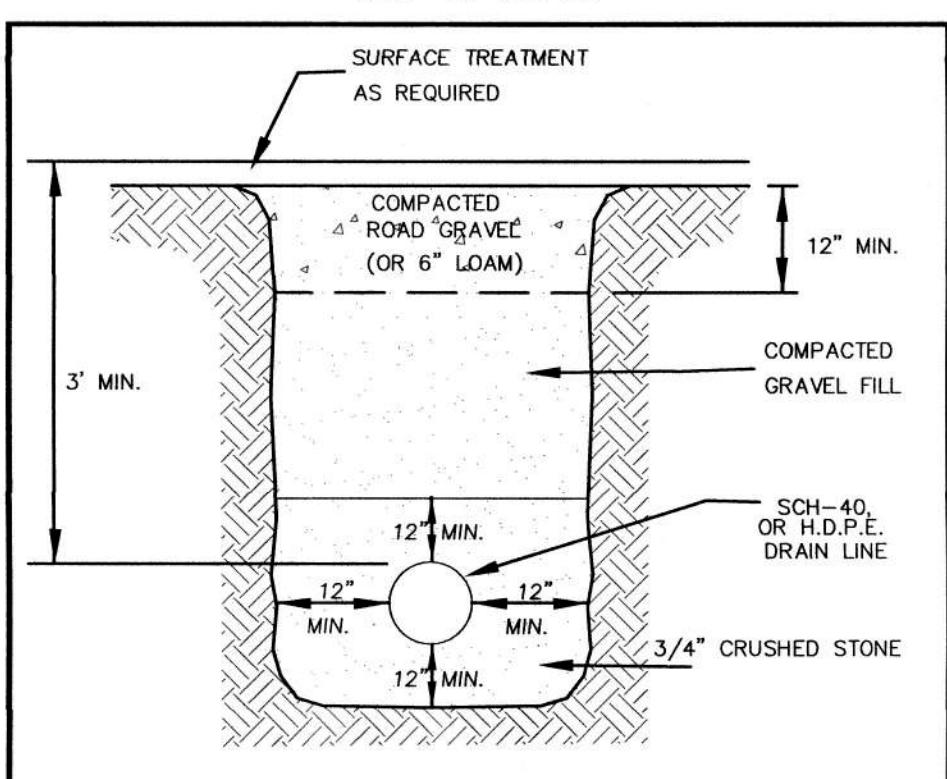
**NDS AREA DRAIN**  
NOT TO SCALE



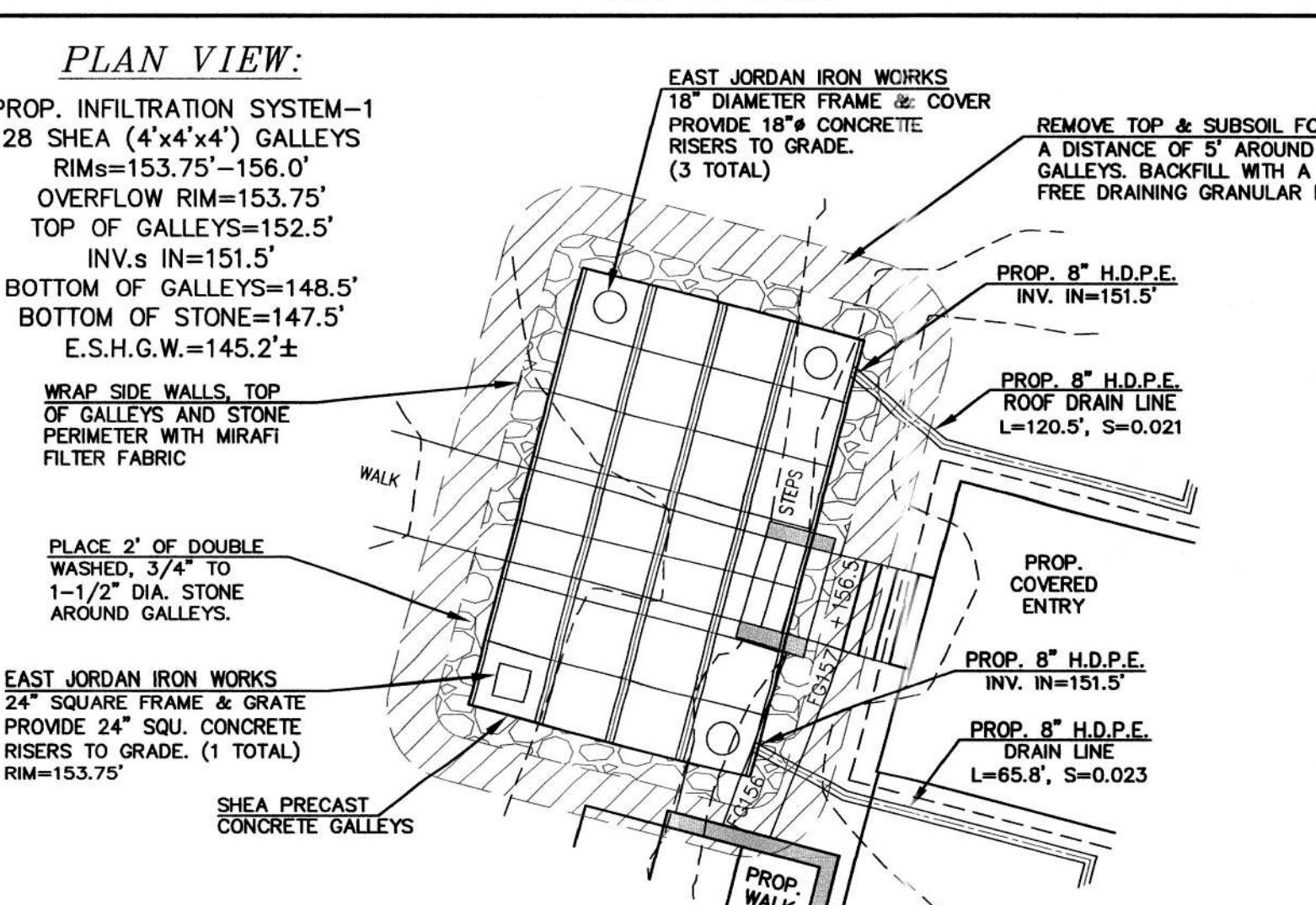
**STANDARD DRAIN MANHOLE FRAME & COVER**  
NOT TO SCALE



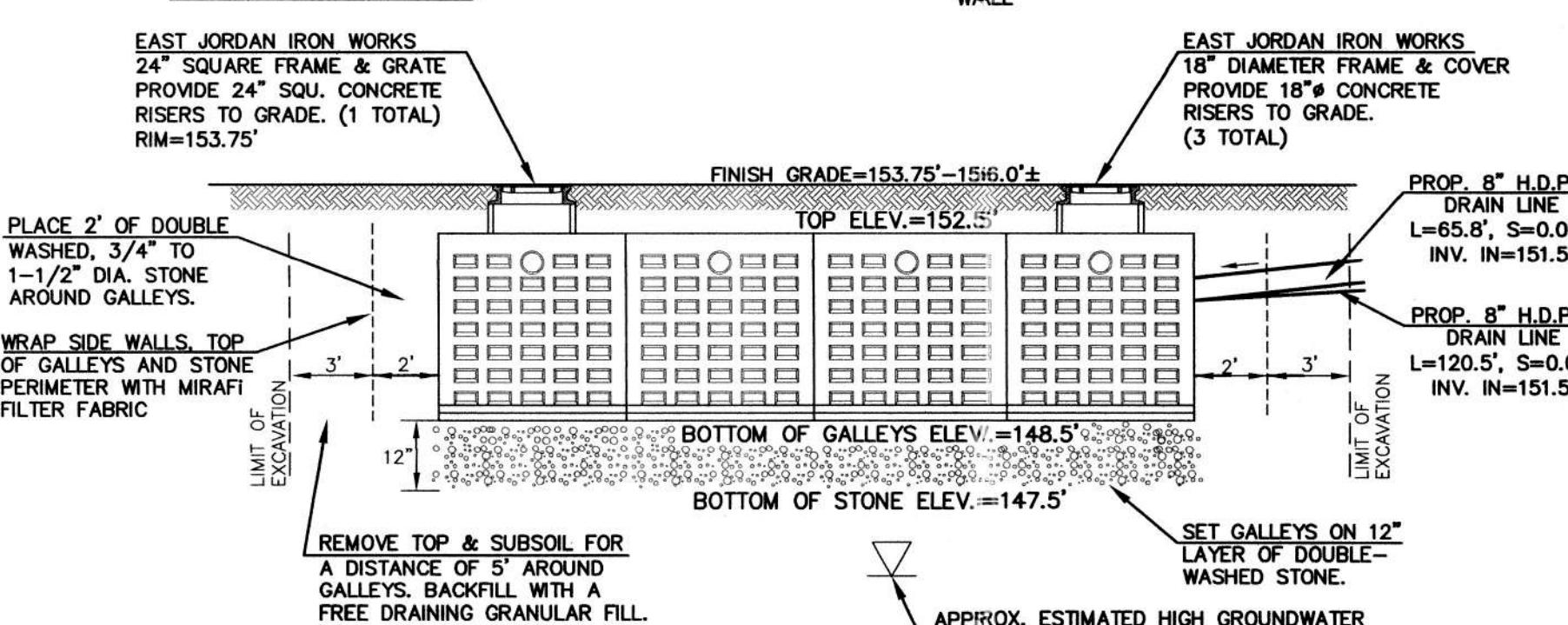
**TYPICAL DRAIN LINE TRENCH**  
NOT TO SCALE



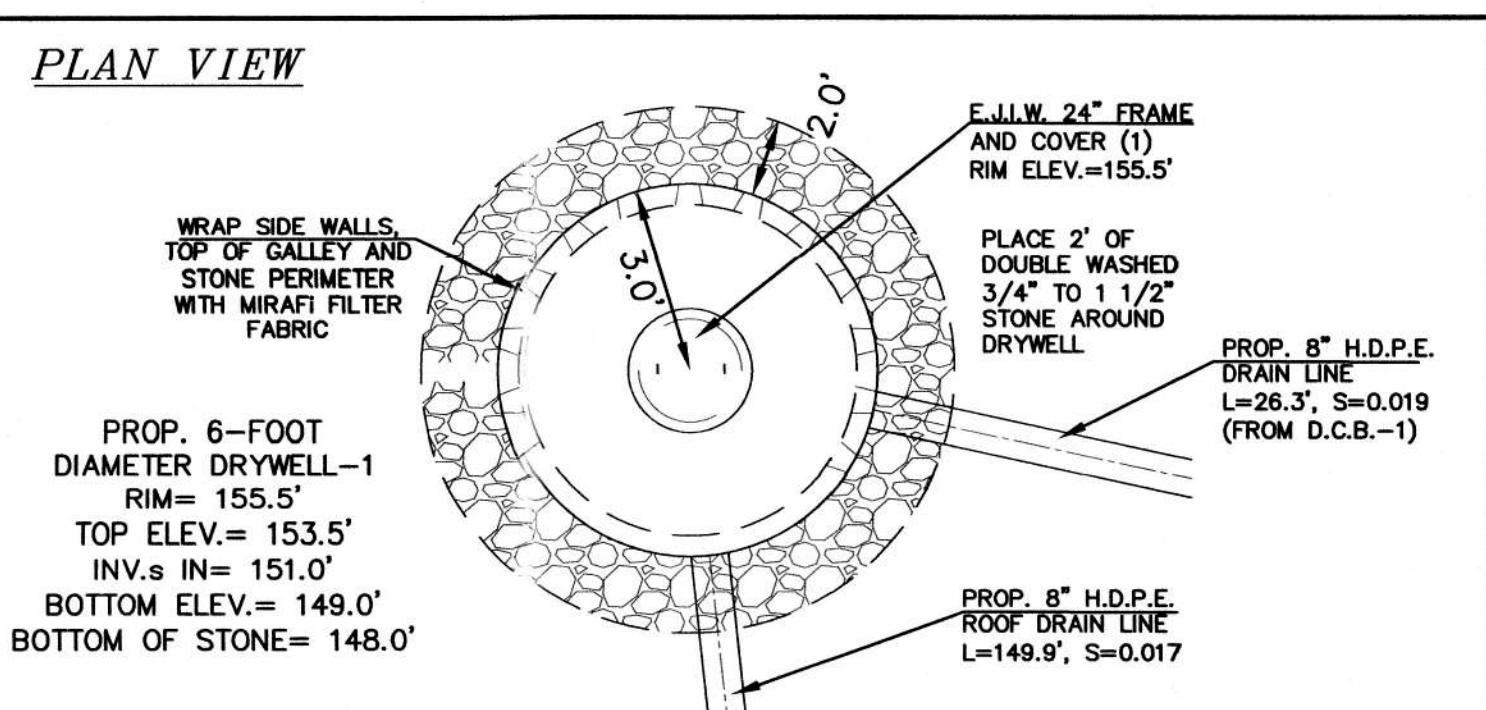
**PROPOSED INFILTRATION SYSTEM 1**  
NOT TO SCALE



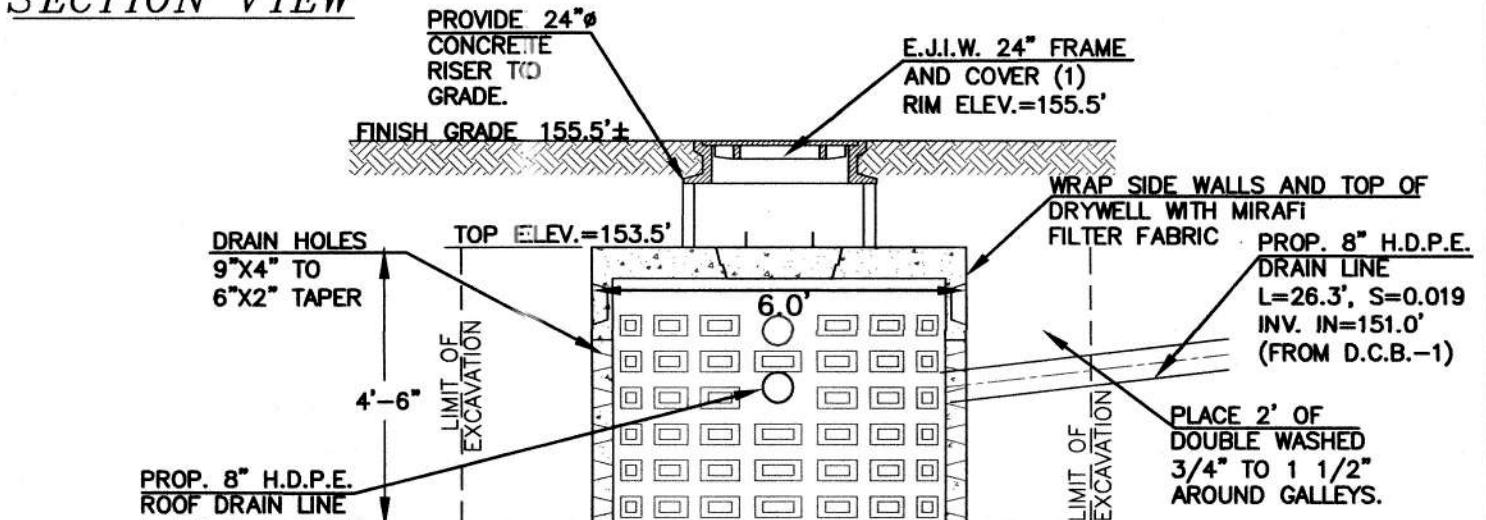
**PROFILE VIEW:**



**PROPOSED 6-FOOT PRECAST CONCRETE DRYWELL-1 PROPOSED 6-FOOT PRECAST CONCRETE DRYWELL-2**  
NOT TO SCALE



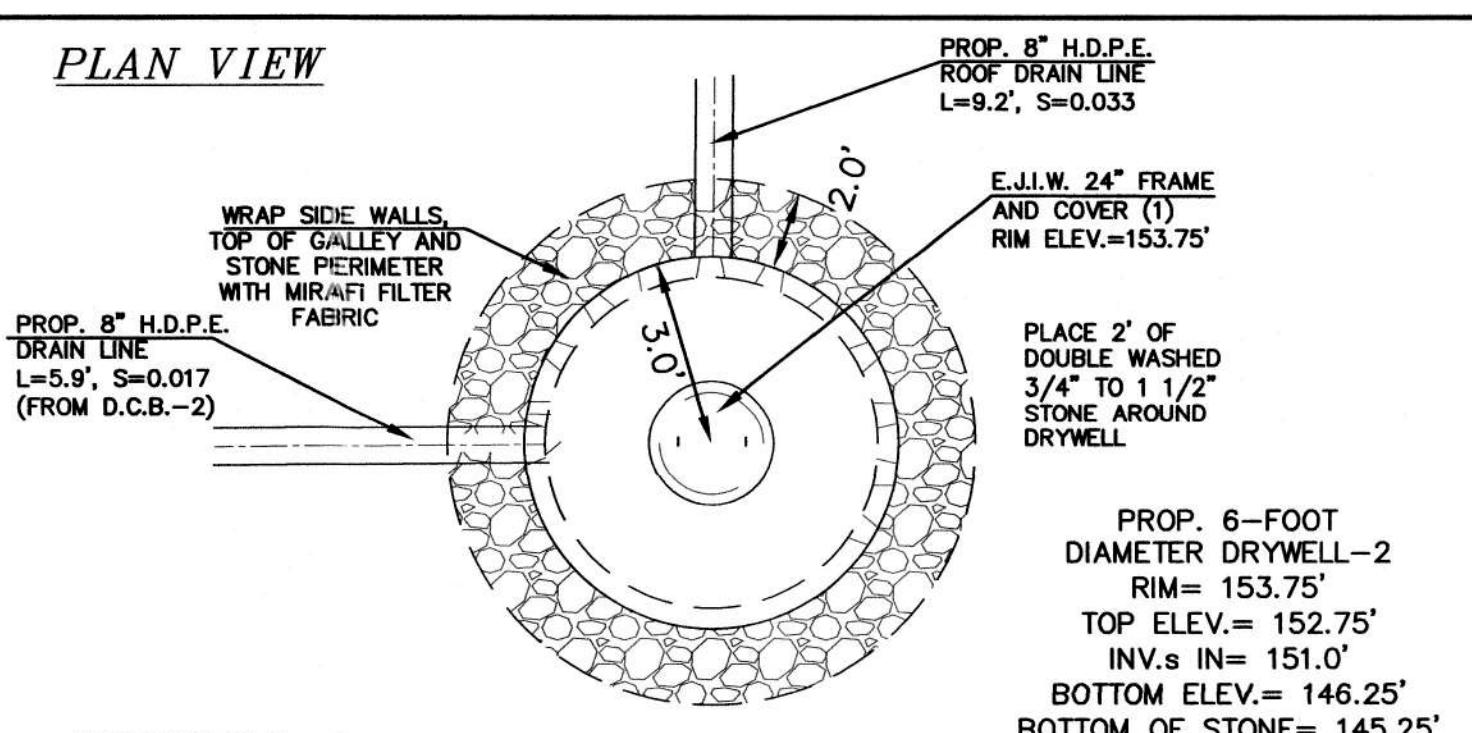
**DRYWELL 1 SECTION VIEW**



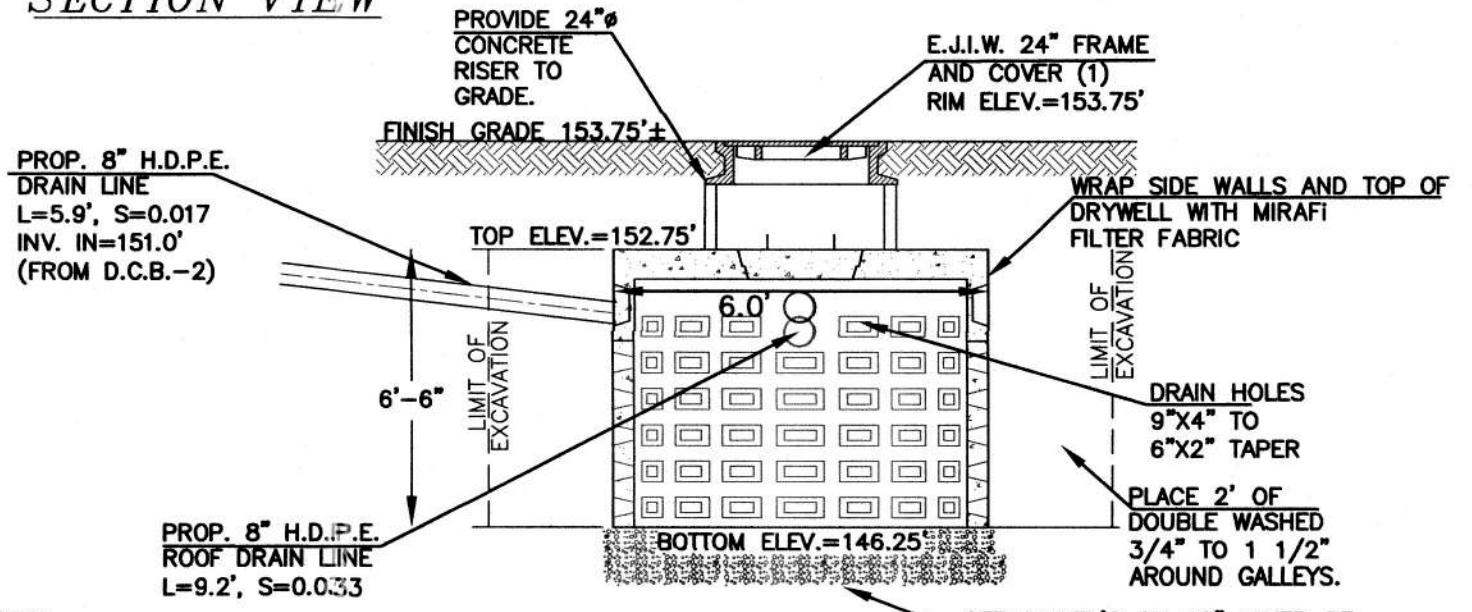
**NOTES:**

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3' SECTION ADDED.
3. COVER AVAILABLE IN H-20 LOADING.

SOIL TEST PIT TO BE EXCAVATED IN AREA OF THE PROPOSED DRYWELL TO VERIFY EXISTING SOIL CONDITIONS AND SEASONAL HIGH GROUNDWATER ELEVATION. TEST PIT TO BE PERFORMED PRIOR TO ORDERING AND INSTALLATION OF DRYWELL.



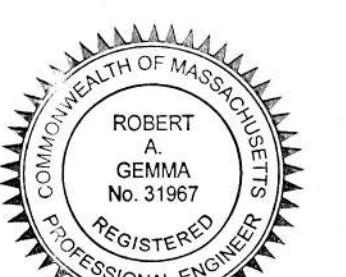
**DRYWELL 2 SECTION VIEW**



**NOTES:**

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3' SECTION ADDED.
3. COVER AVAILABLE IN H-20 LOADING.

SOIL TEST PIT TO BE EXCAVATED IN AREA OF THE PROPOSED DRYWELL TO VERIFY EXISTING SOIL CONDITIONS AND SEASONAL HIGH GROUNDWATER ELEVATION. TEST PIT TO BE PERFORMED PRIOR TO ORDERING AND INSTALLATION OF DRYWELL.



FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E. # 31967 (CIVIL)

GRAPHIC SCALE

1 inch = 20 ft. ( FEET )  
0 4 8 12 16 20 24 28 ( METERS ) 60

**DETAILS PLAN**  
#592 WASHINGTON STREET  
IN  
WELLESLEY, MASS  
(NORFOLK COUNTY)

PREPARED FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

PROPERTY OF:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

ENGINEERS &  
SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE: (508)626-0063  
EMAIL: INFO@MWENGINEERING.COM

SHEET C8.0

DATE: NOVEMBER 24, 2025

CALC'D BY: BTN

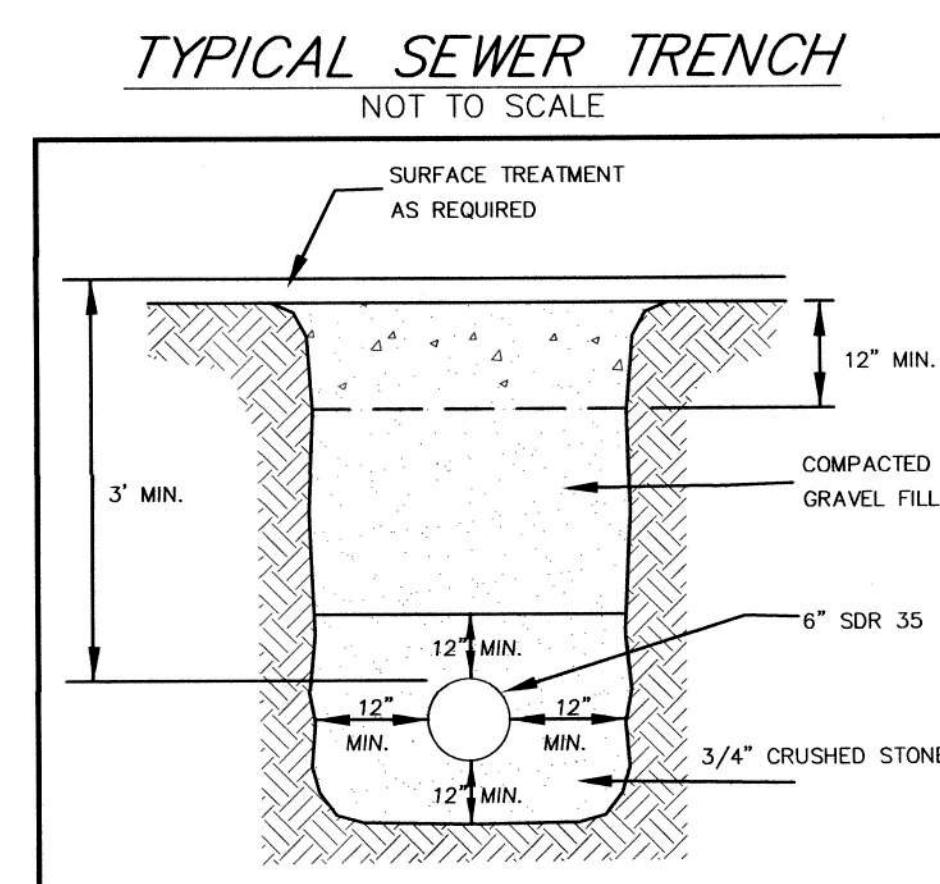
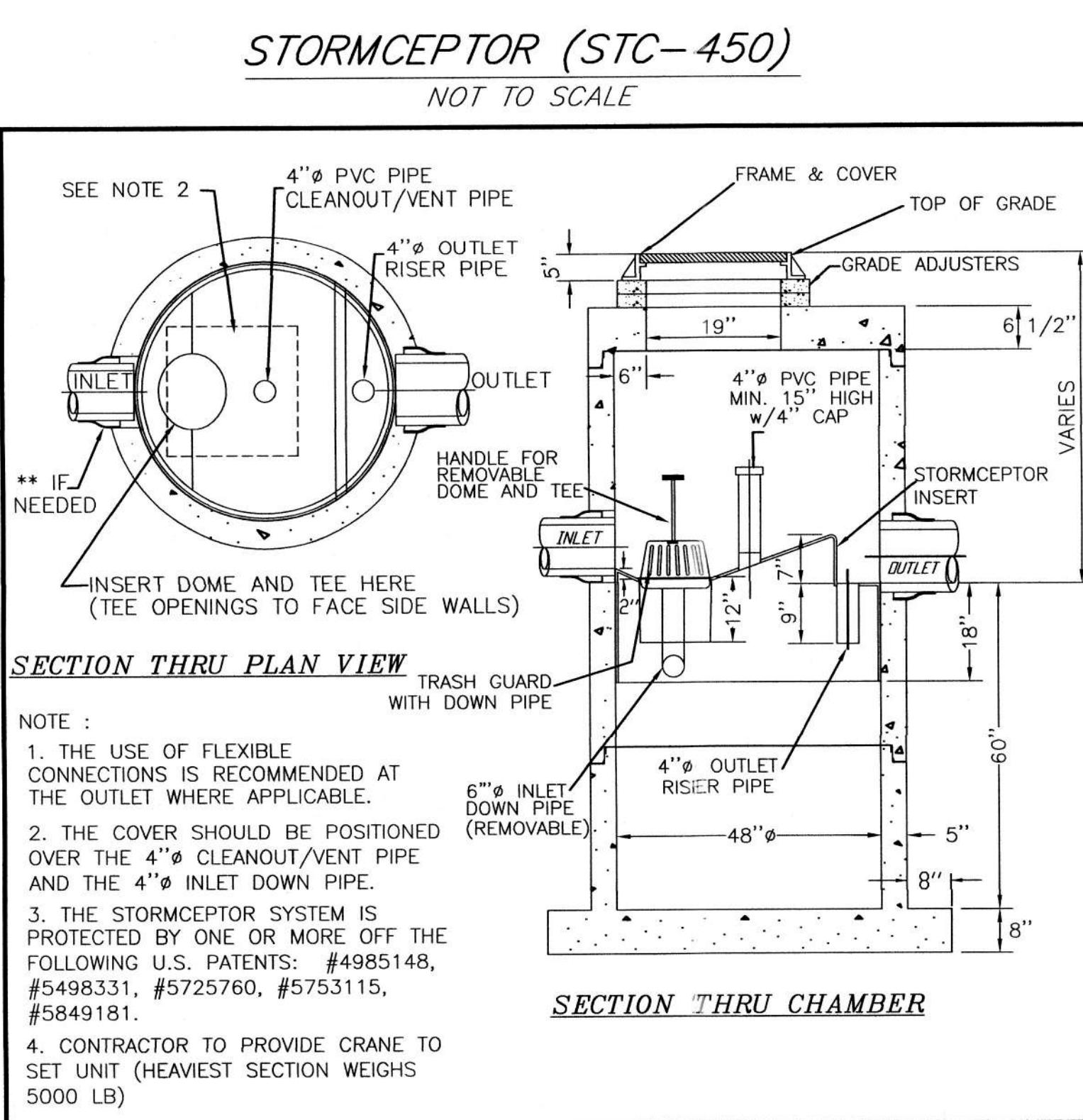
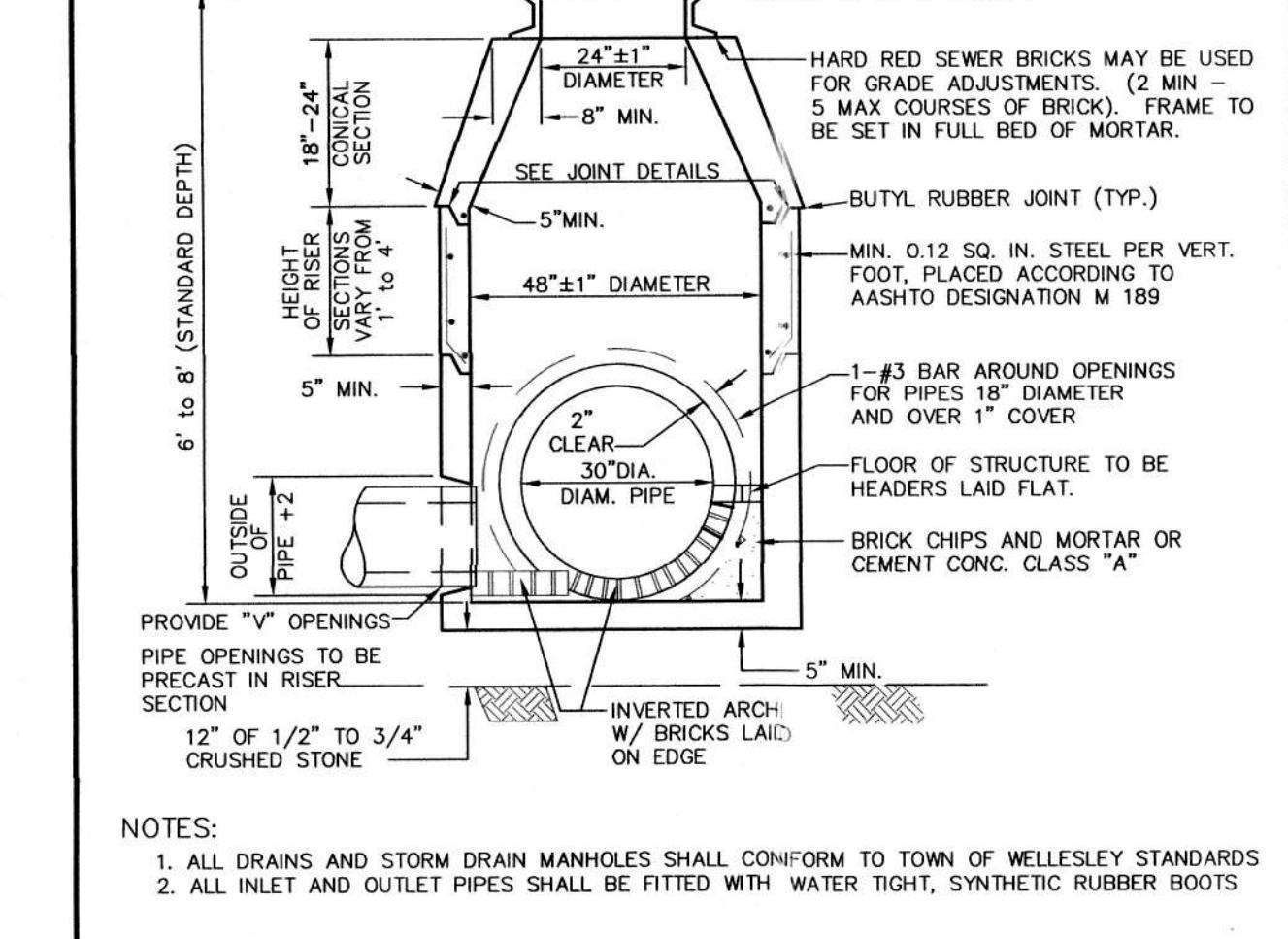
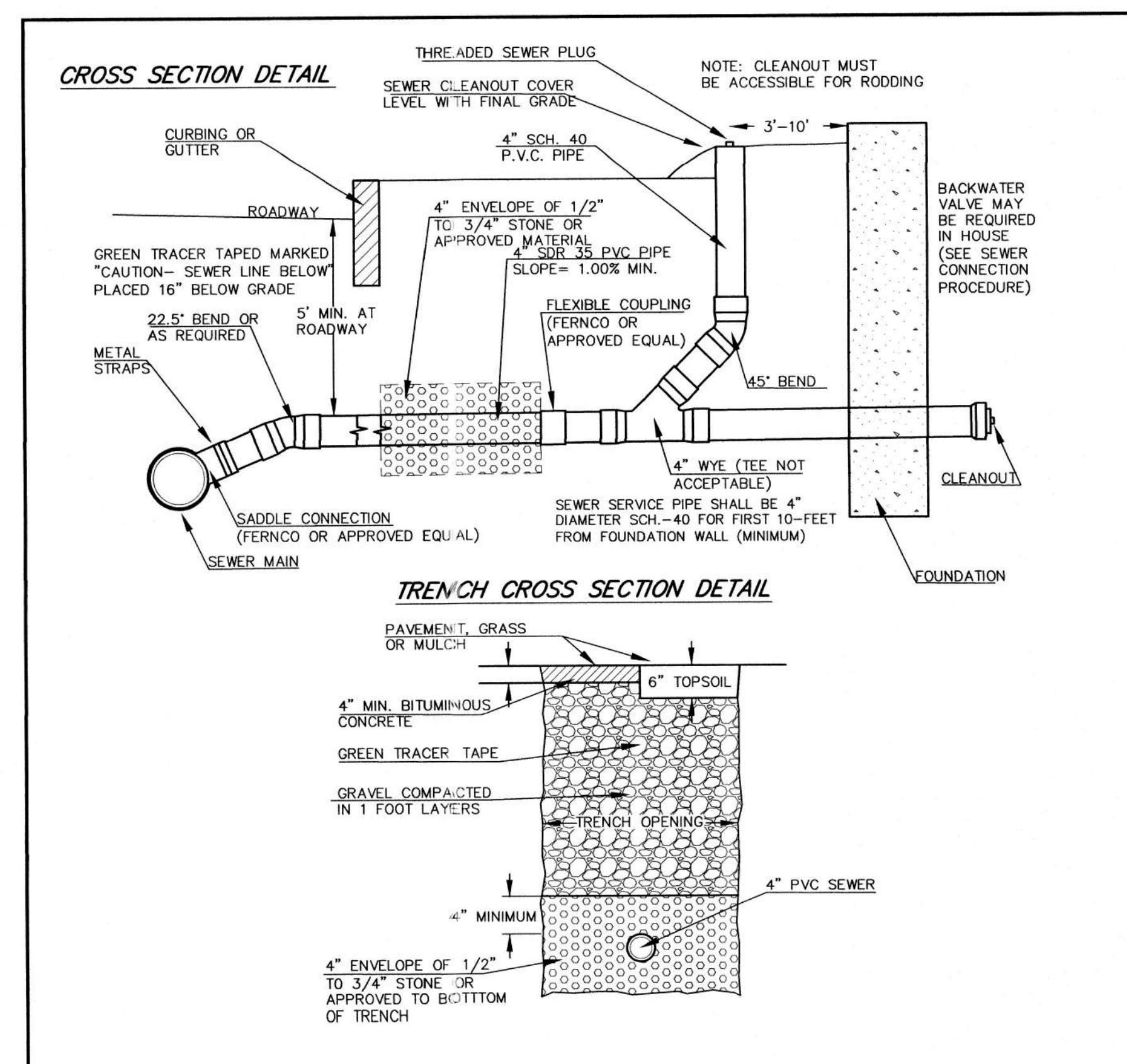
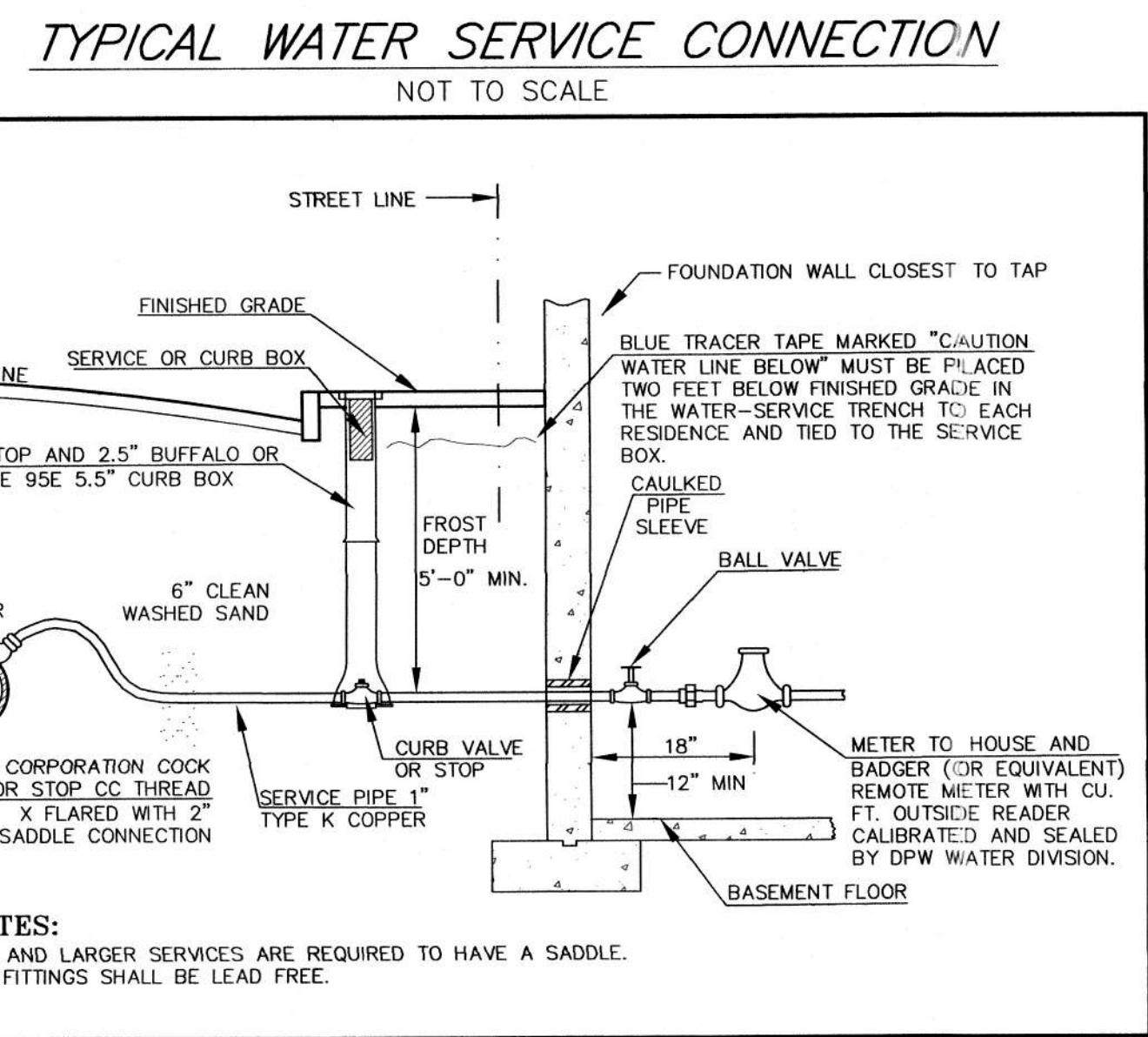
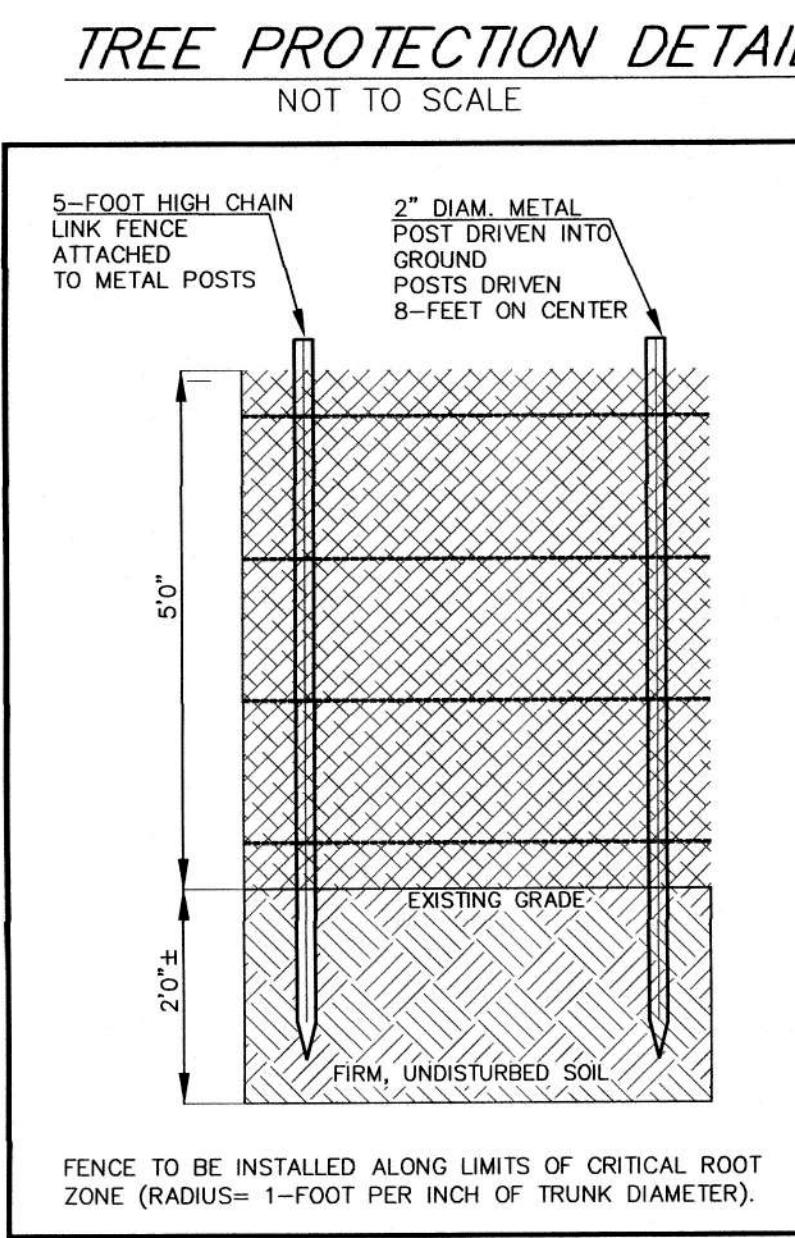
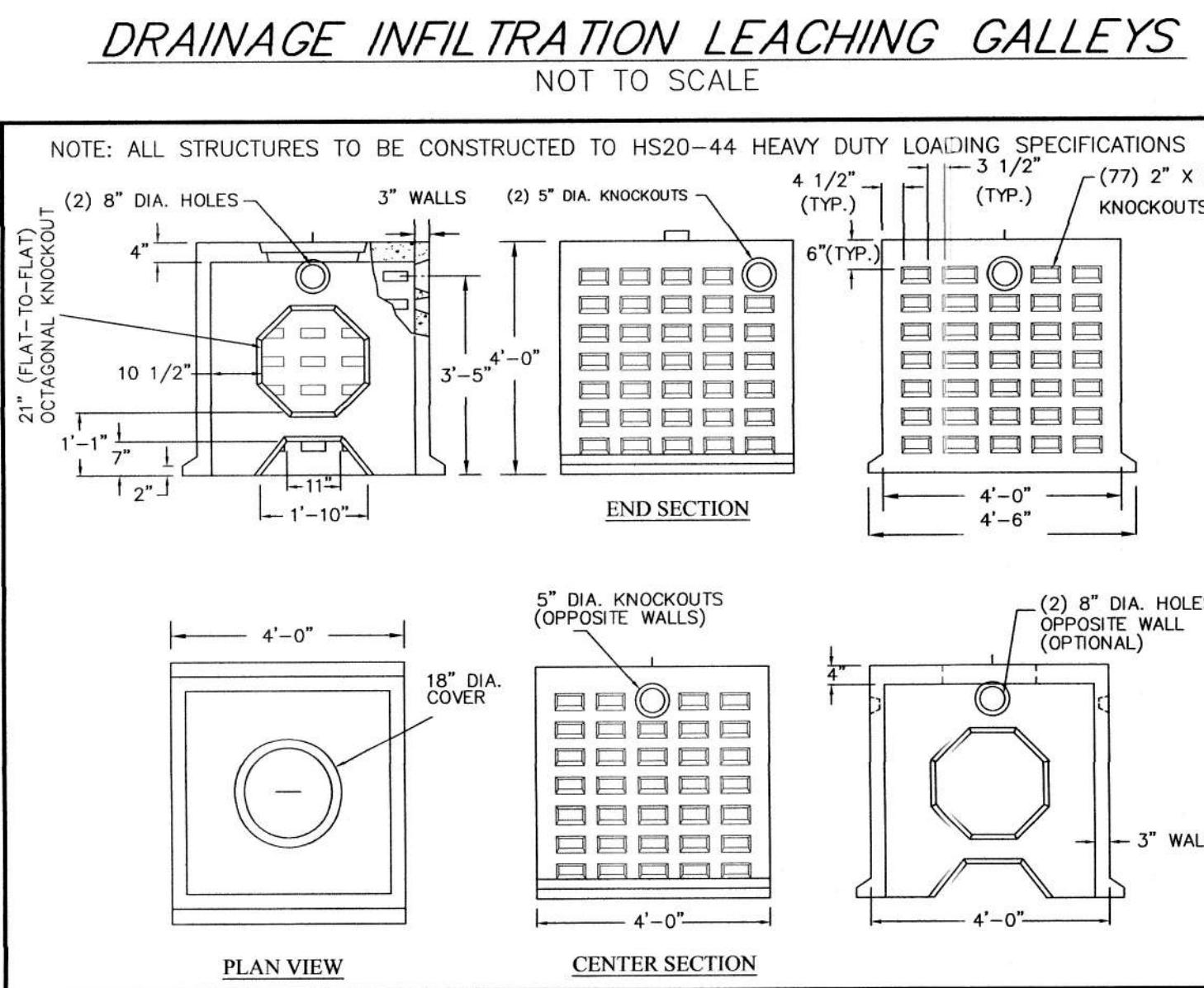
FIELD BK: 753

CAD FILE: BEHREND\_SP\_01.dwg

DRAFTER: CJC

PROJECT: WEL\_WAS4

DWG FILE:



FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E. # 31967 (CIVIL)

GRAPHIC SCALE  
1 inch = 20 ft.

DETAILS PLAN  
#592 WASHINGTON STREET  
IN  
WELLESLEY, MASS  
(NORFOLK COUNTY)

D FOR:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

TY OF:  
592 WASHINGTON LLC  
869 WORCESTER STREET  
WELLESLEY, MA 02482

ERS &  
EYORS:  METRONOME

**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE.: (508)626-0063  
EMAIL: [INFO@MWENGINEERING.COM](mailto:INFO@MWENGINEERING.COM)

### HEET C8.1

DATE: NOVEMBER 24, 2025

C'D BY: BTN

CAD FILE: BEHREND\_SP\_01.c

AFTER: CJC

4 DWG FILE:

















