

Proposed
Multi Family
Use

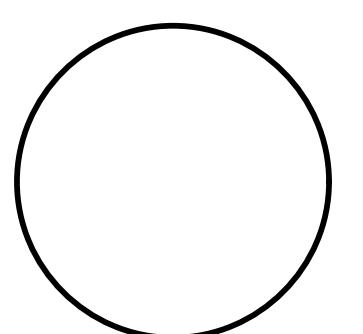
592
Washington St.
Wellesley, MA

OWNER



architects
mckay

35 Bryant Street
Dedham, MA 02026
ph:781.326.5400
www.mckayarchitects.net



REV # DATE ISSUANCE

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Comments: All information and dimensions in the files prior to start of construction and is to notify McKay Architects of any discrepancies

Renderings

JOB NO. **T-1.1**
DATE 09.19.2025
DWG BY RJM
CKD BY MLM
SCALE 1" = 10'

PROPOSED RENOVATION AND ADDITION TO:

**592 WASHINGTON STREET
WELLESLEY, MA**

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Renderings

JOB NO. **T-1.2**
DATE 09.19.2025
DWG BY RJM
CKD BY MLM
SCALE 1" = 10'

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Existing Site Plan

JOB NO		
DATE		09.19.2025
DWG BY	RJM	
CKD BY	MLM	
SCALE		1" = 10'

9.2025
EV 1 1

This technical diagram illustrates a cross-section of a building's foundation and its interaction with a street. The building's foundation is depicted with a thick blue line, with various components labeled with reference numbers. Labels include 152, 153, 154, 155, 156, 157, and 159. A red dashed line labeled 'E91' indicates a specific measurement or feature. The street is labeled 'WASHINGTON STREET' in large, bold, black capital letters. The diagram uses hatching and cross-hatching to differentiate between different materials or layers, such as concrete, soil, and possibly rebar or reinforcement. A small rectangular structure, possibly a utility box or access panel, is shown on the street surface. The overall style is that of a detailed engineering or architectural drawing.

Existing Site Plan
EX-1.1
1" = 10'

0 40

A site plan showing a rectangular area with a grid. The top left corner is labeled 'N'. The bottom left corner has a compass rose. The bottom edge of the plan has a scale bar with '0' and '40' at the ends, and a midpoint tick mark. The plan shows a building footprint and a driveway extending from the bottom right corner.

1 Existing Site Plan

EX-1.1 1" = 10'

$$1'' = 10'$$

0 40

A horizontal bar chart with three bars of increasing height from left to right, representing data values of approximately 10, 20, and 30.

—
—

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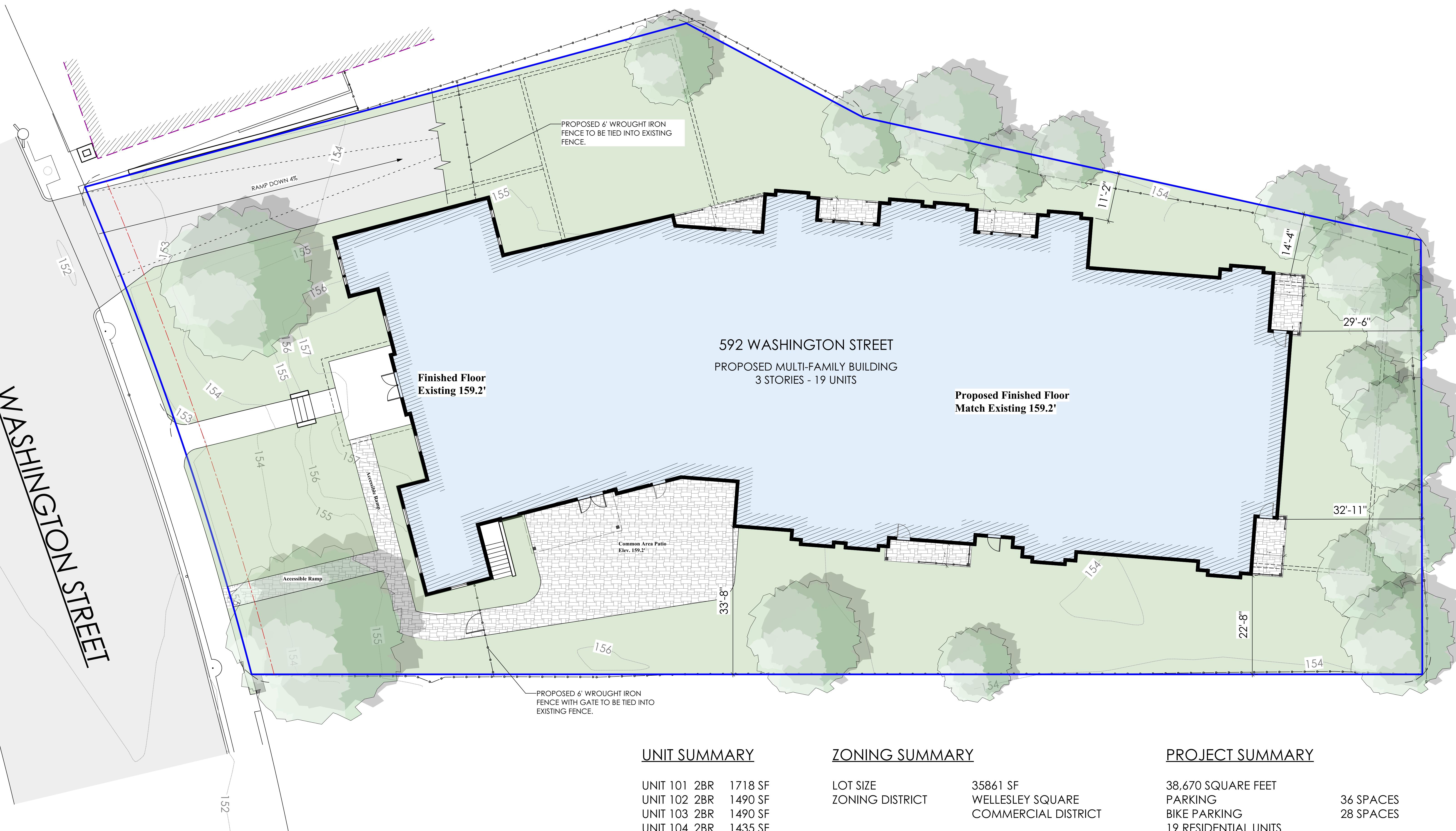
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WASHINGTON STREET

592 WASHINGTON STREET
PROPOSED MULTI-FAMILY BUILDING
3 STORIES - 19 UNITS

Proposed Finished Floor
Match Existing 159.2'



UNIT SUMMARY

UNIT 101	2BR	1718 SF
UNIT 102	2BR	1490 SF
UNIT 103	2BR	1490 SF
UNIT 104	2BR	1435 SF
UNIT 105	3BR	1887 SF
UNIT 106	3BR	1704 SF
UNIT 201	2BR	1718 SF
UNIT 202	2BR	1490 SF
UNIT 203	2BR	1490 SF
UNIT 204	2BR	1435 SF
UNIT 205	3BR	1887 SF
UNIT 206	3BR	1704 SF
UNIT 207	3BR	2277 SF
UNIT 208	2BR	1926 SF
UNIT 301	2BR	1473 SF
UNIT 302	1BR	977 SF
UNIT 303	2BR	1365 SF
UNIT 304	2BR	1376 SF
UNIT 305	3BR	1687 SF

ZONING SUMMARY

LOT SIZE	35861 SF
ZONING DISTRICT	WELLESLEY SQUARE COMMERCIAL DISTRICT
MINIMUM AREA:	NA
MINIMUM FRONTAGE:	NA
FRONT SETBACK:	5 FEET
SIDE SETBACK:	NA
REAR SETBACK:	NA
MAXIMUM HEIGHT:	45 FEET / 3 STORIES
PROPOSED HEIGHT:	40 FEET / 3 STORIES
ACCESSORY NON RESIDENTIAL FLOOR AREA:	5,650 SF
PARKING:	19 SPACES
	36 SPACES
4 INCLUSIONARY UNITS PROVIDED (21%)	

PROJECT SUMMARY

38,670 SQUARE FEET	
PARKING	
BIKE PARKING	
19 RESIDENTIAL UNITS	
01 ONE BEDROOM	
12 TWO BEDROOM	
06 THREE BEDROOM	
OFF-STREET CAR PARKING	- 2
ACCESSIBLE SPACES	- 34
RESIDENCE SPACES	
TOTAL PARKING SPACES	- 36
STRUCTURED BIKE PARKING	- 14

Parking Summary

OFF-STREET CAR PARKING

ACCESSIBLE SPACES

RESIDENCE SPACES

TOTAL PARKING SPACES

STRUCTURED BIKE PARKING

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Architectural Site Plan

JOB NO	L-1.1
DATE	09.19.2025
DWG BY	RJM
CKD BY	MLM
SCALE	1" = 10'

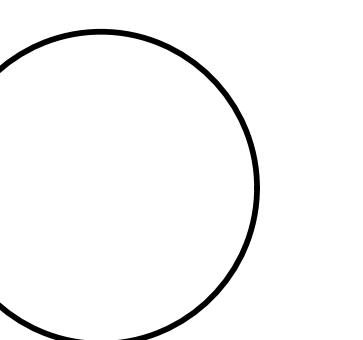
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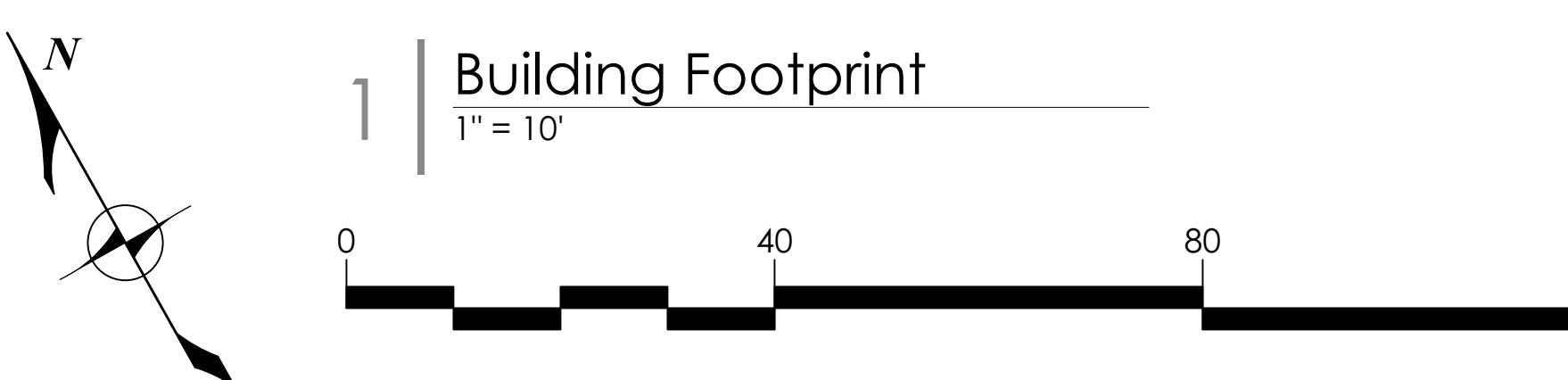
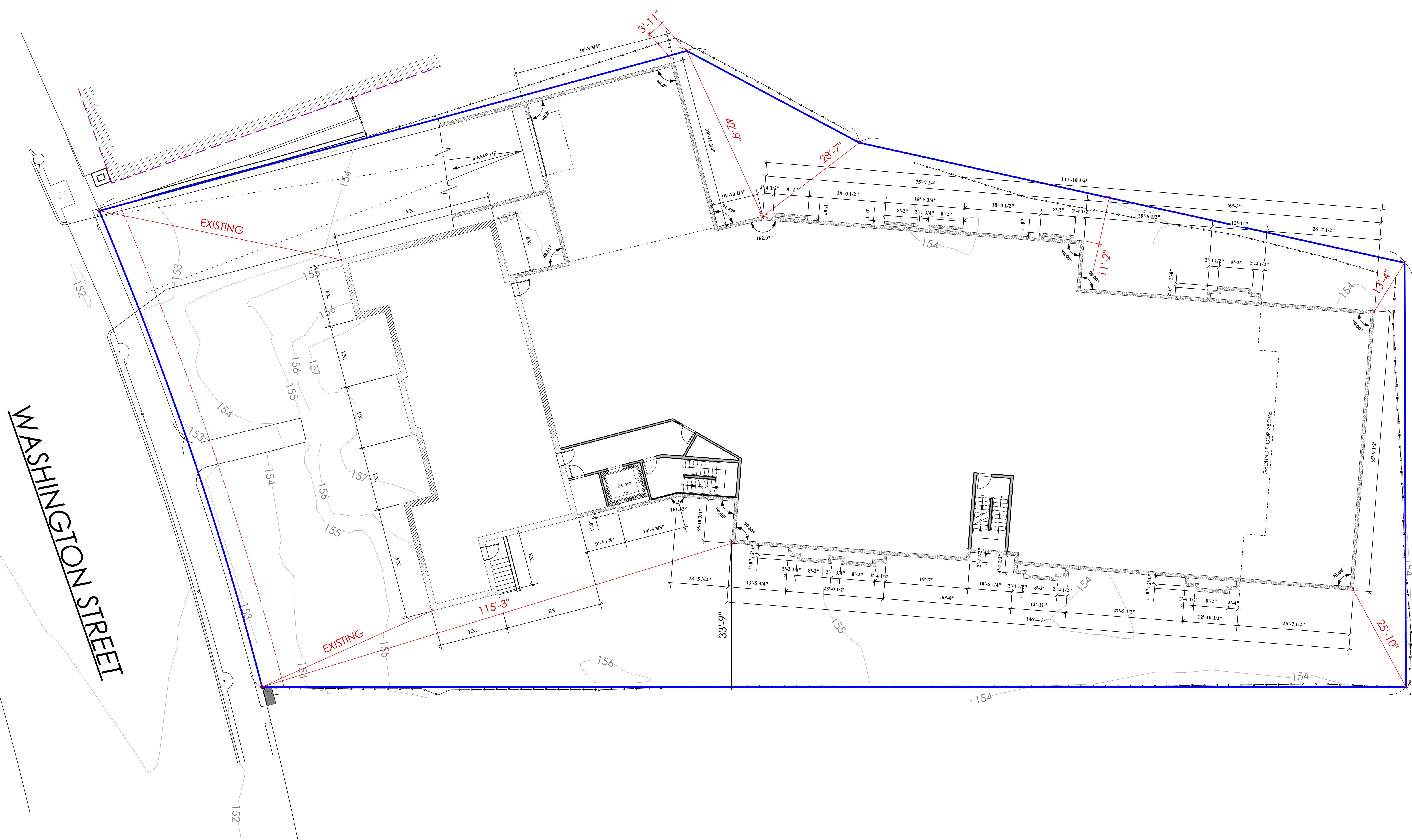


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Building
Footprint

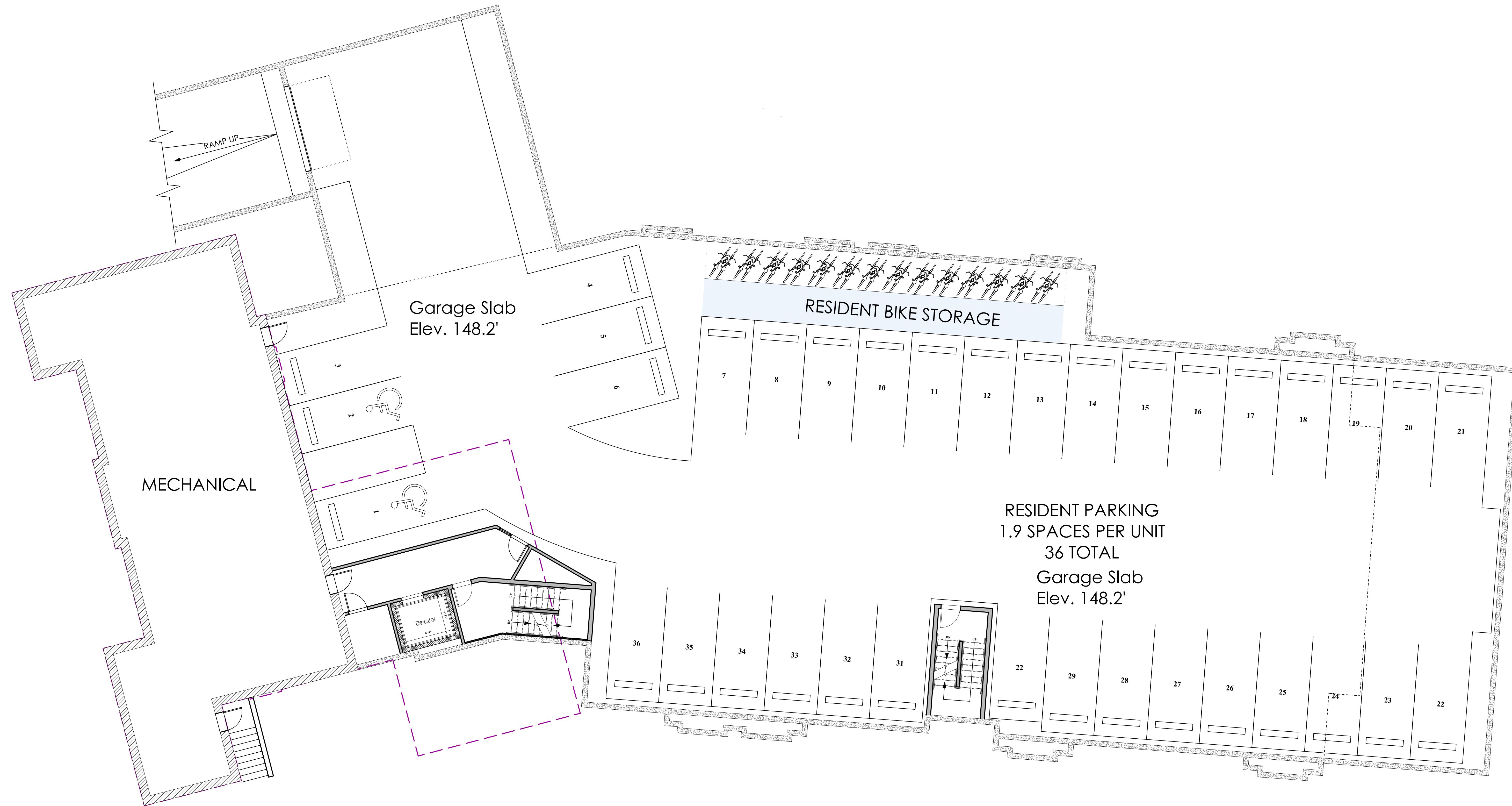
JOB NO	DATE	09.19.2025
DWG BY	RJM	
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SCALE		1" = 10'



Proposed Multi Family Use

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1 | Garage Floor Plan

A-1.1 1/8" = 1'-0"

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<h1>Garage Floor Plan</h1>	
JOB NO	
DATE 09.19.2025	
WG BY	RJM
KD BY	MLM
SCALE	
1/8" = 1'-0"	
<h1>A-1.1</h1>	

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1 | Ground Floor Plan - 14,475 SF

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Ground Floor Plan

Proposed
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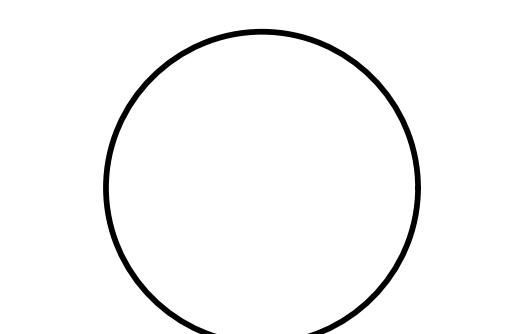
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1 | Third Floor Plan - 10,360 SF
A-1.4 1/8" = 1'-0"

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Third Floor
Plan
JOB NO. A-1.4
DATE 09.19.2025
DWG BY RJM
CKD BY MLM
SCALE 1/8" = 1'-0"

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Roof Plan

9.2025
RJM
MLM
= 1'-0"

60 MIL WHITE PVC MEMBRANE ROOF
SYSTEM ON ALL NON ROOF DECK AREA
(TOTAL ROOF 10,212 SF, MECHANICAL EQUIPMENT 1,286 SF
- REFLECTIVE ROOF IS 88% OF ROOF AREA)

HATCHED AREA IS
3,732 SF SOLAR
READY ROOF AREA

DIAGRAMMATIC CONDENSER LOCATIONS

TRACTION PADS

— DIAGRAMMATIC CONDENSER LOCATIONS

1 A-1.5 | Roof Plan

1/8" = 1'-0"

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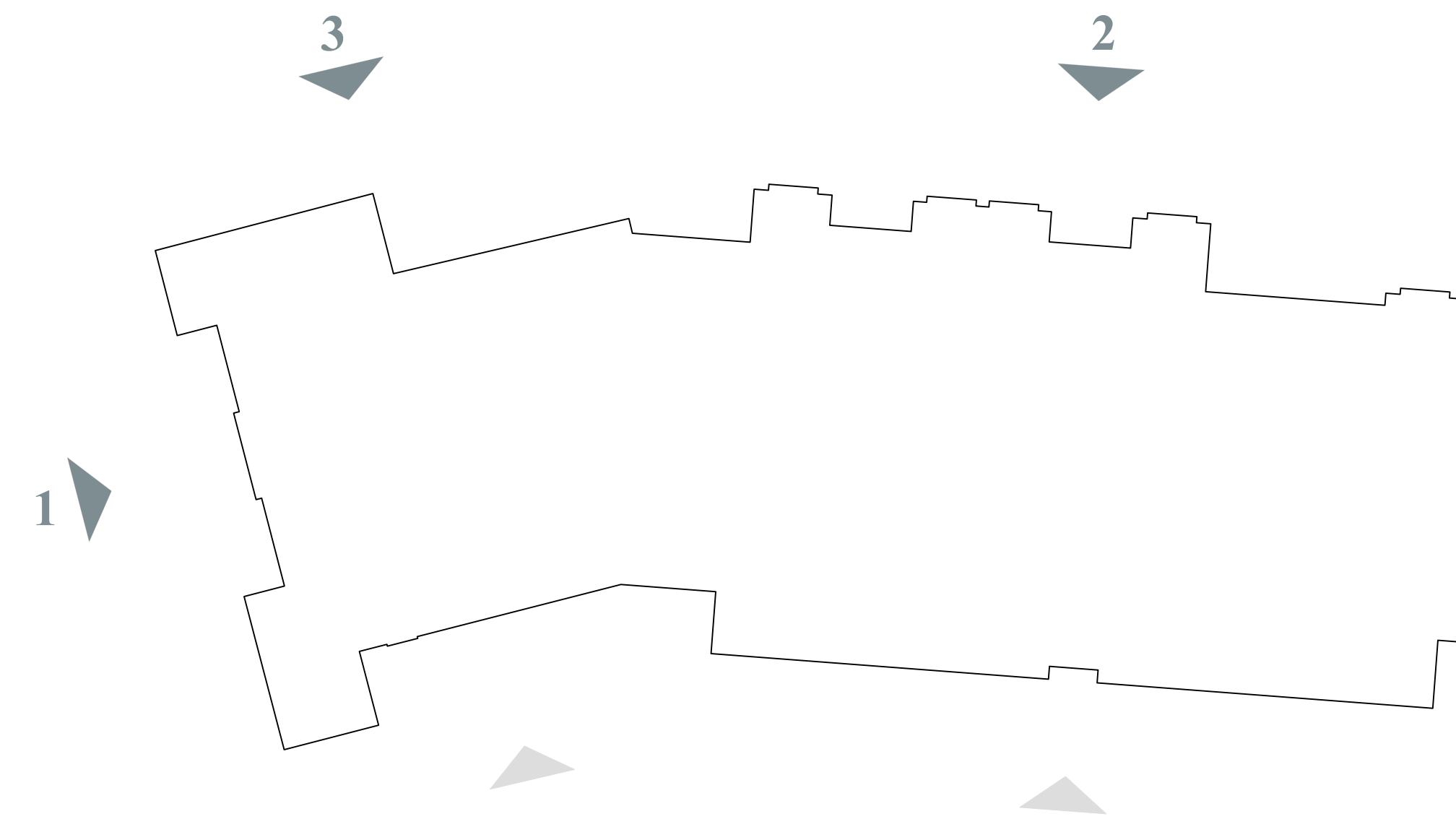
Roof Plan

9.2025
RJM
MLM
= 1'-0"

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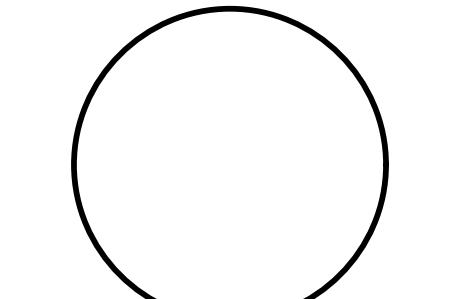
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Elevations

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SCALE 1/8" = 1'-0"
1/8" = 1'-0"

A-2.1



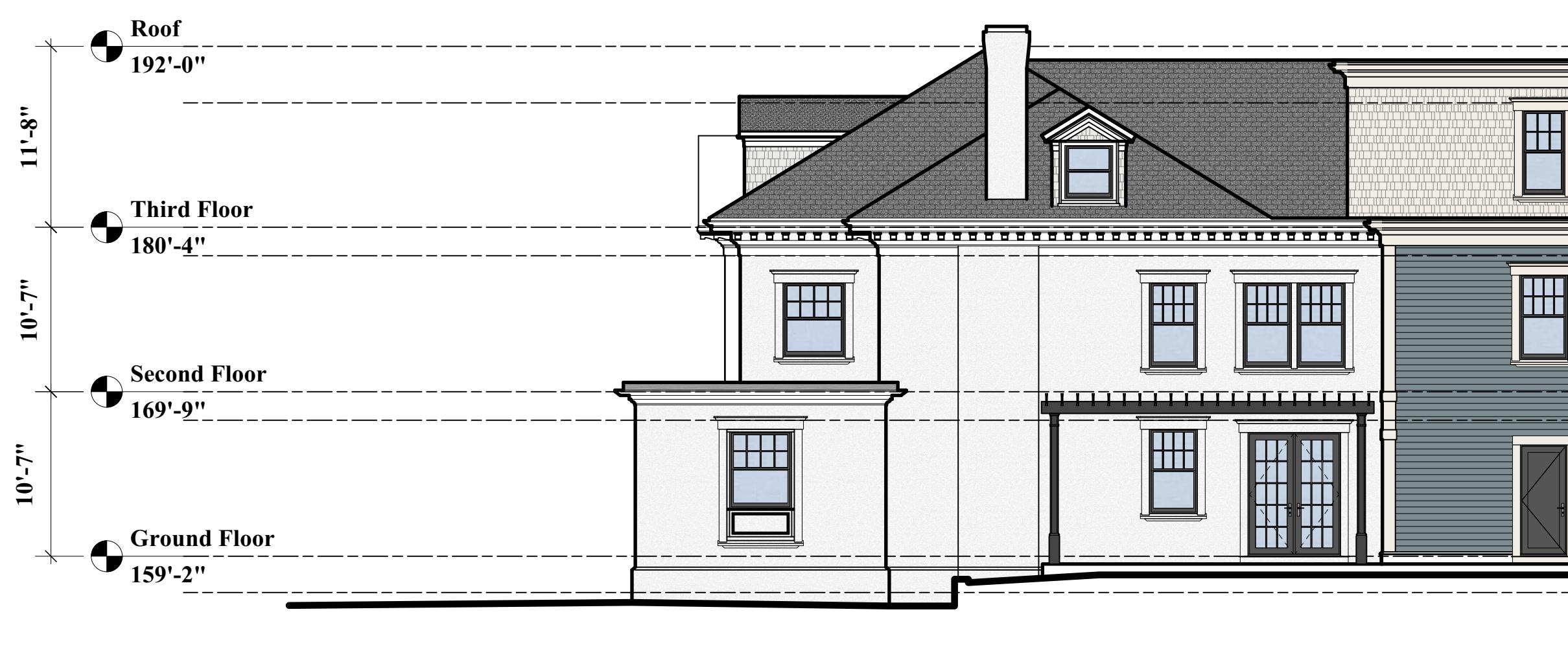
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1 | South-West Facing Elevation
A-2.2 | 1/8" = 1'-0"



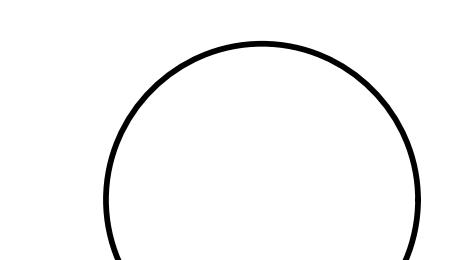
2 | South Facing Elevation
A-2.2 | 1/8" = 1'-0"



3 | South-East Facing Elevation
A-2.2 | 1/8" = 1'-0"

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A-2.2