

592
Washington St.
Wellesley, MA

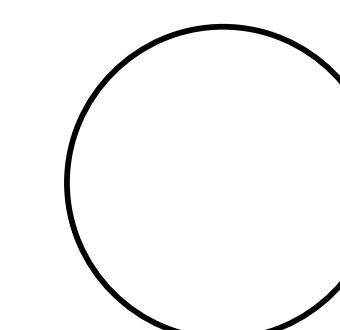
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**592 WASHINGTON STREET
WELLESLEY, MA**

35 Bryant Street
Dedham, MA 02026

ph:781.326.5400
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[illegible]

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JOB NO	T-1.1
DATE 09.19.2025	
DWG BY RJM	
CKD BY MLM	
SCALE	

1" = 10'

T-1.1



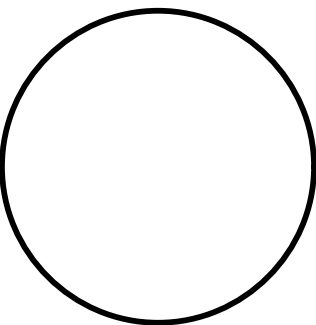
Proposed
Multi Family
Use

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Renderings

JOB NO	
DATE	09.19.2025
DWG BY	RJA
CKD BY	MLM
SCALE	1" = 10'

T-1.2

Proposed
Multi Family
Use

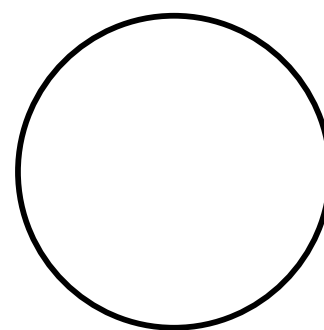
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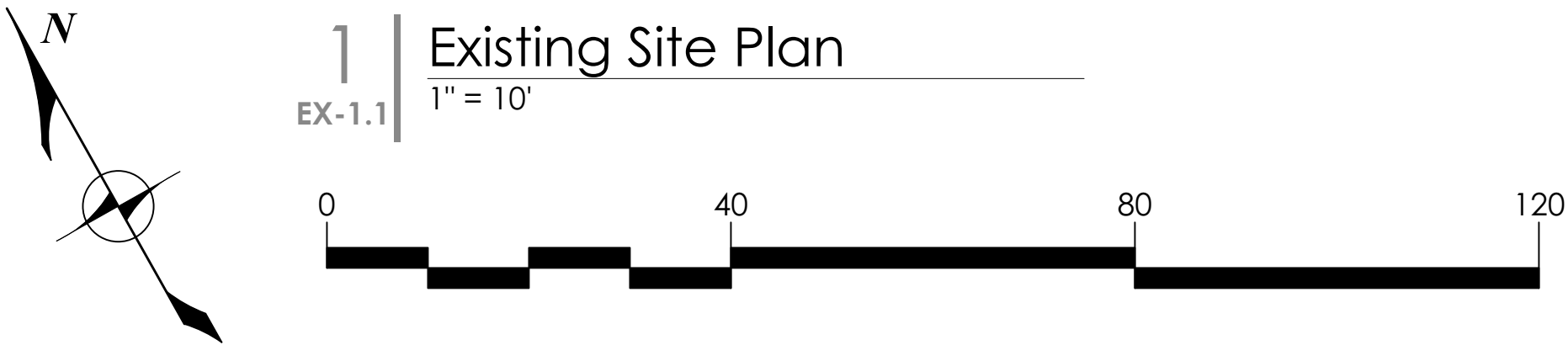
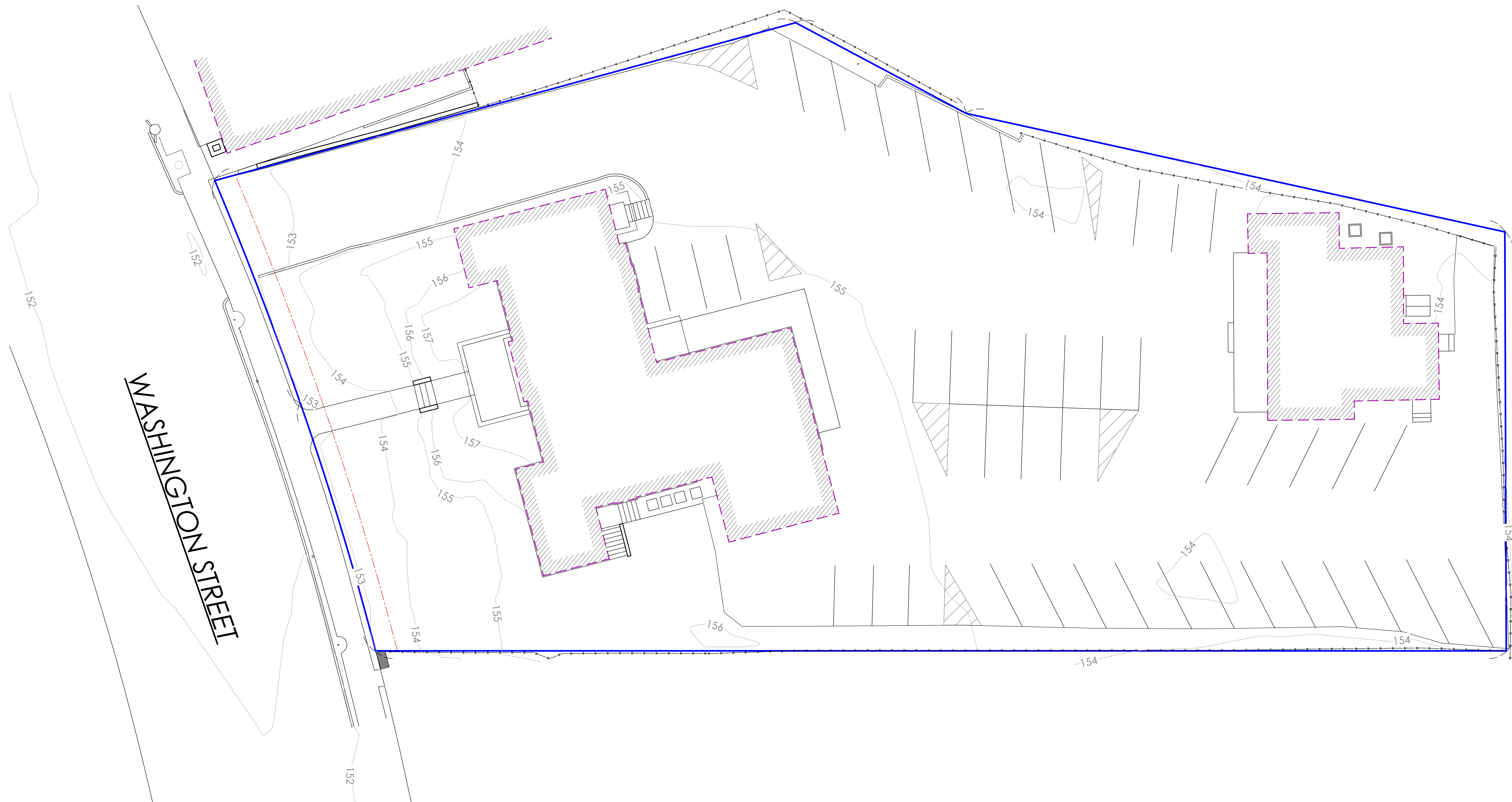
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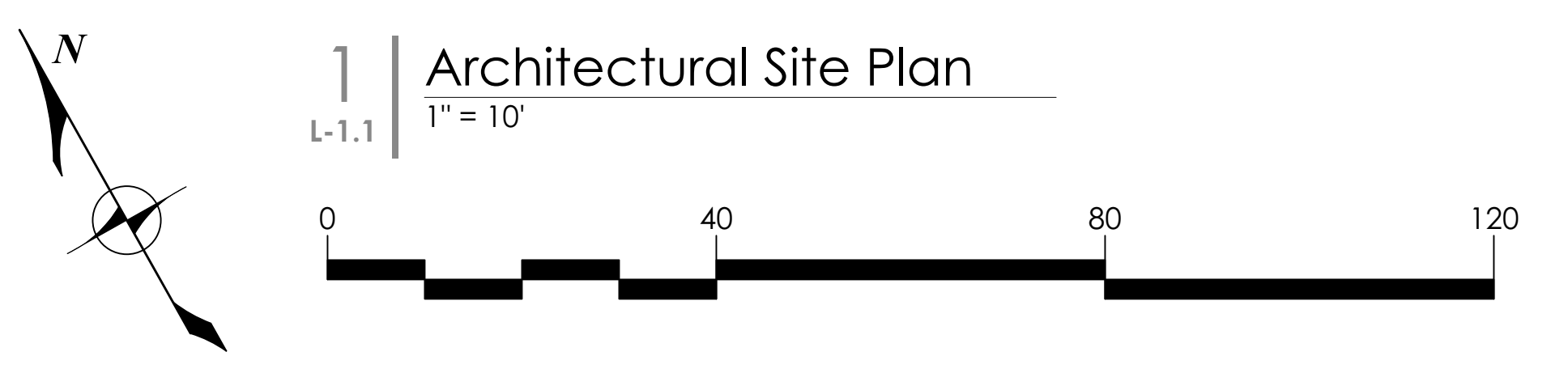
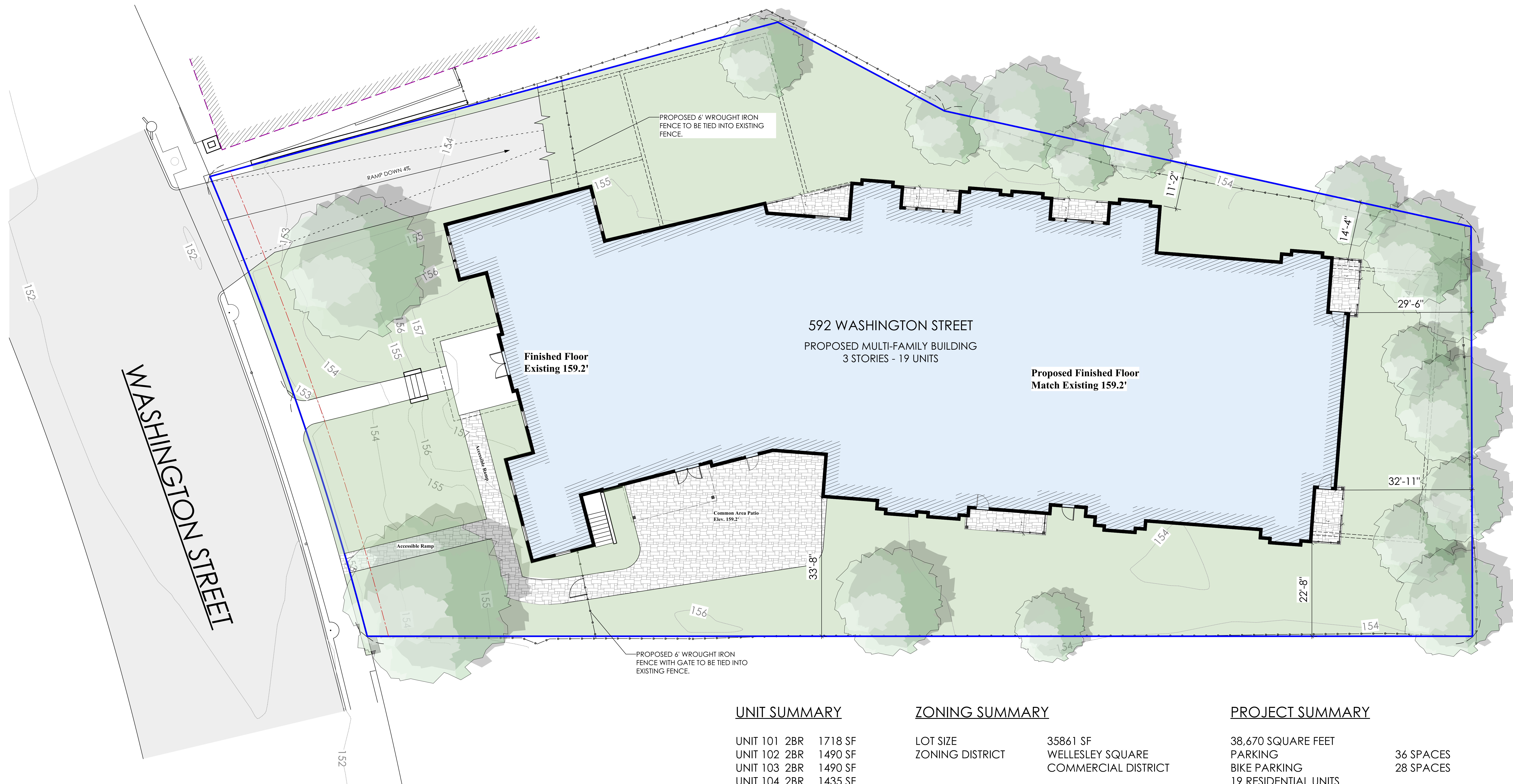
Existing
Site Plan

JOB NO	
DATE	09.19.2023
DWG BY	RJM
CKD BY	MLM
SCALE	1" = 10'

EX-1.1



1
EX-1.1 Existing Site Plan
1" = 10'



UNIT SUMMARY

UNIT 101	2BR	1718 SF
UNIT 102	2BR	1490 SF
UNIT 103	2BR	1490 SF
UNIT 104	2BR	1435 SF
UNIT 105	3BR	1887 SF
UNIT 106	3BR	1704 SF
UNIT 201	2BR	1718 SF
UNIT 202	2BR	1490 SF
UNIT 203	2BR	1490 SF
UNIT 204	2BR	1435 SF
UNIT 205	3BR	1887 SF
UNIT 206	3BR	1704 SF
UNIT 207	3BR	2277 SF
UNIT 208	2BR	1926 SF
UNIT 301	2BR	1473 SF
UNIT 302	1BR	977 SF
UNIT 303	2BR	1365 SF
UNIT 304	2BR	1376 SF
UNIT 305	3BR	1687 SF

ZONING SUMMARY

LOT SIZE	35861 SF	
ZONING DISTRICT	WELLESLEY SQUARE COMMERCIAL DISTRICT	
MINIMUM AREA:	REQUIRED	PROPOSED
MINIMUM FRONTAGE:	NA	
FRONT SETBACK:	5 FEET	43 FEET
SIDE SETBACK:	NA	
REAR SETBACK	NA	
MAXIMUM HEIGHT :	45 FEET / 3 STORIES	
PROPOSED HEIGHT:	40 FEET / 3 STORIES	
ACCESSORY NON RESIDENTIAL FLOOR AREA:	5,650 SF	
PARKING :	19 SPACES	36 SPACES
4 INCLUSIONARY UNITS PROVIDED (21%)		

PROJECT SUMMARY

38,670 SQUARE FEET	
PARKING	36 SPACES
BIKE PARKING	28 SPACES
19 RESIDENTIAL UNITS	
01 ONE BEDROOM	
12 TWO BEDROOM	
06 THREE BEDROOM	

Parking Summary

OFF-STREET CAR PARKING	
ACCESSIBLE SPACES	- 2
RESIDENCE SPACES	- 34
TOTAL PARKING SPACES	-36
STRUCTURED BIKE PARKING	- 14

Proposed Multi Family Use

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Architectural Site Plan

JOB NO	
DATE	09.19.2025
DWG BY	RJA
CKD BY	MLM
SCALE	1" = 10'

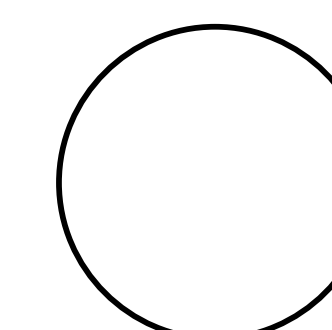
L-1.1

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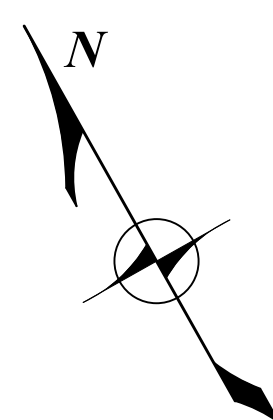
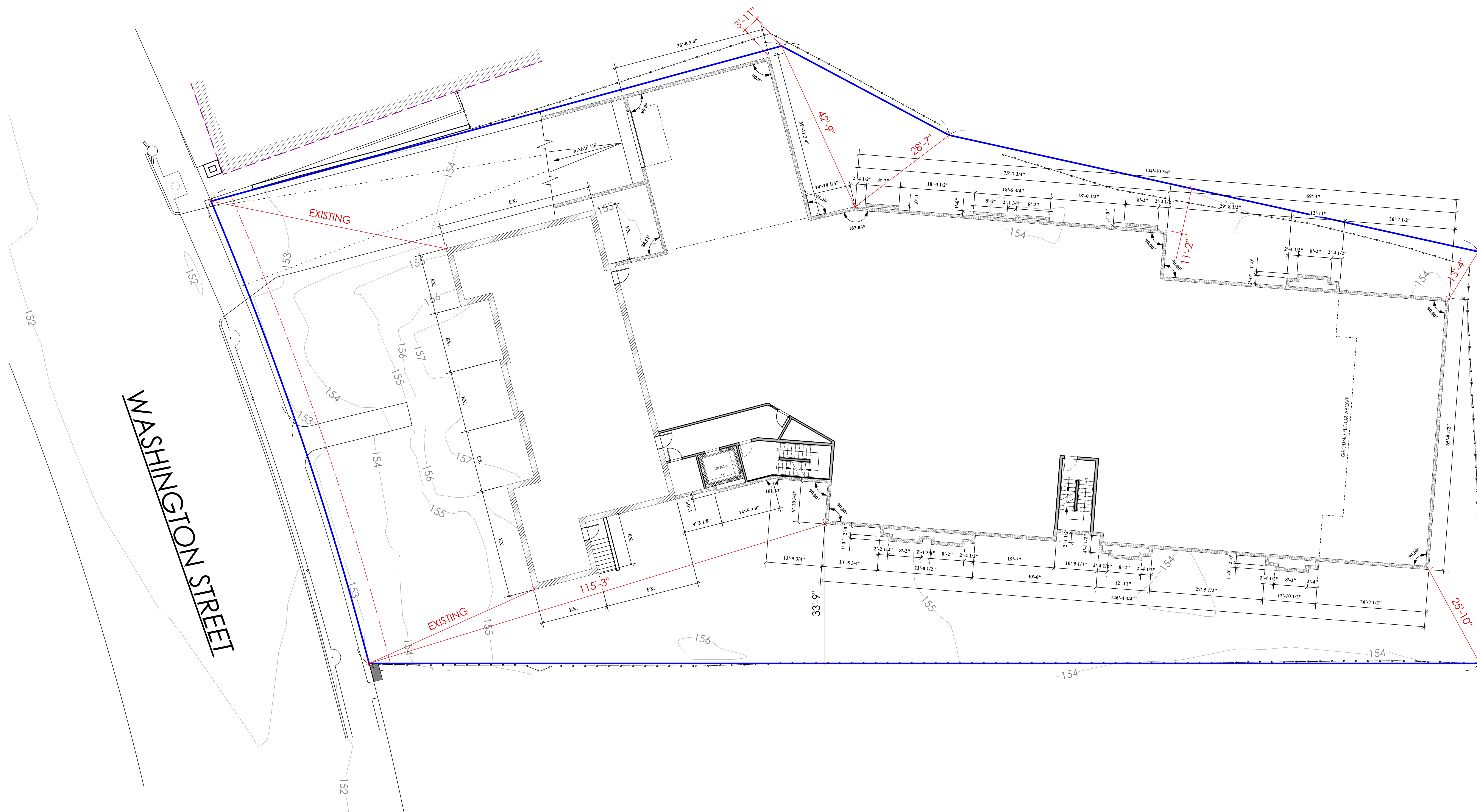
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Building Footprint

JOB NO	
DATE	09.19.2025
DWG BY	RJM
CKD BY	MLM
SCALE	



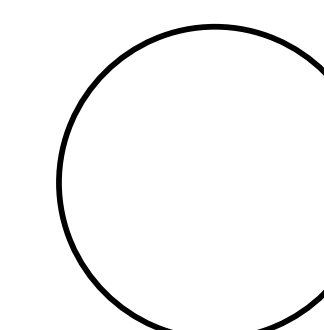
1 Building Footprint
1" = 10'



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Garage Floor Plan

JOB NO	A-1.1
DATE 09.19.2025	
DWG BY RJM	
CKD BY MLM	
SCALE 1/8" = 1'-0"	

The site plan illustrates the second floor layout, which includes a large mechanical area on the left, a central garage area, and a parking area on the right. The mechanical area is outlined in purple and contains an elevator and stairs. The garage area, labeled 'Garage Slab Elev. 148.2'', features a ramp and several parking spaces. The parking area, labeled 'RESIDENT PARKING 1.9 SPACES PER UNIT 36 TOTAL Garage Slab Elev. 148.2'', includes a row of spaces numbered 1 through 21 and another row numbered 22 through 36. A 'RESIDENT BIKE STORAGE' area is also indicated between the two rows of parking spaces.

1 | Garage Floor Plan
A-1.1 | 1/8" = 1'-0"

025
JM

A-1.1



1 Ground Floor Plan - 14,475 SF
A-1.2 1/8" = 1'-0"

Proposed
Multi Family
Use

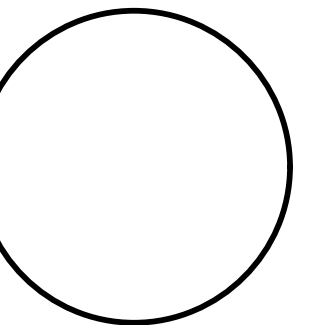
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Ground Floor
Plan

JOB NO

DATE 09.19.2025

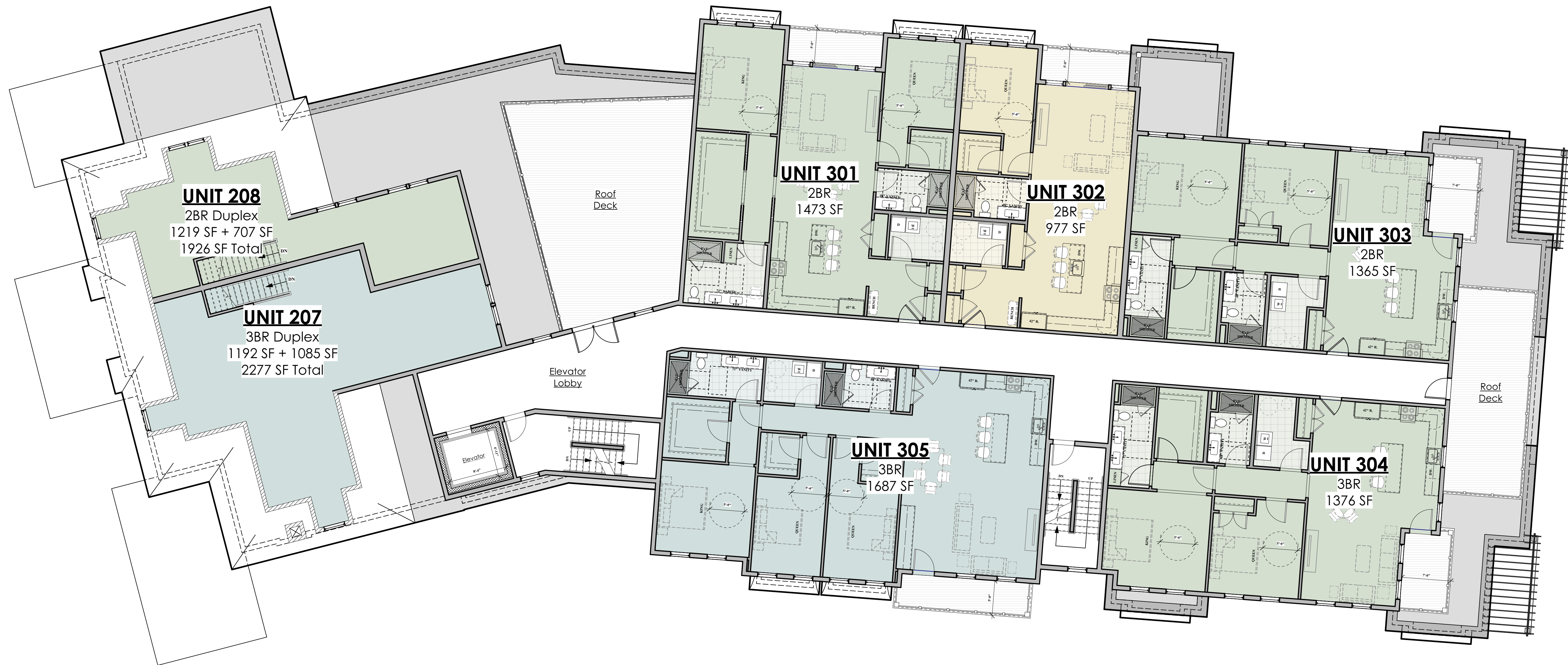
DWG BY RJA

CKD BY MLM

SCALE

1/8" = 1'-0"

A-1.2



1 Third Floor Plan - 10,360 SF
A-1.4 1/8" = 1'-0"

Proposed
Multi Family
Use

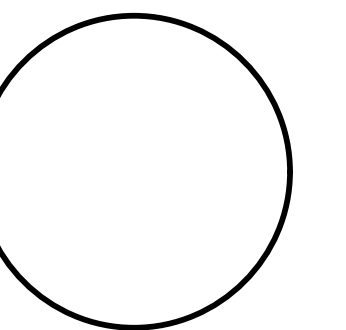
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Third Floor
Plan

JOB NO

DATE 09.19.2023
DWG BY RJA
CKD BY MLM
SCALE

A-1.4

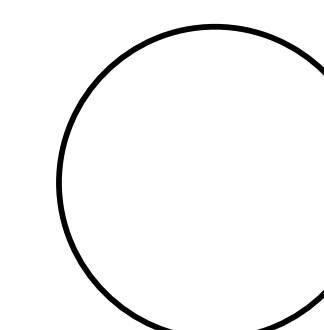
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JOB NO	A-1.5
DATE 09.19.2025	
DWG BY RJM	
CKD BY MLM	
SCALE	
1/8" = 1'-0"	

025	A-1.5
JM	

HATCHED AREA IS
3,732 SF SOLAR
READY ROOF AREA

6'-0" ROOF SETBACK

5'-0" ROOF SETBACK

—TRACTION PADS

—DIAGRAMMATIC CONDENSER LOCATIONS

—DIAGRAMMATIC CONDENSER LOCATIONS

1 | Roof Plan
A-1.5 | 1/8" = 1'-0"

A-1.5

Proposed
Multi Family
Use

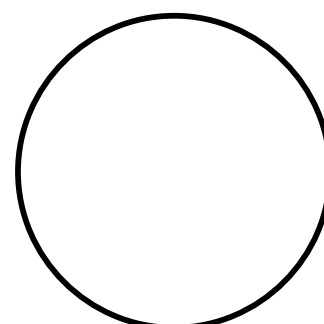
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Elevations

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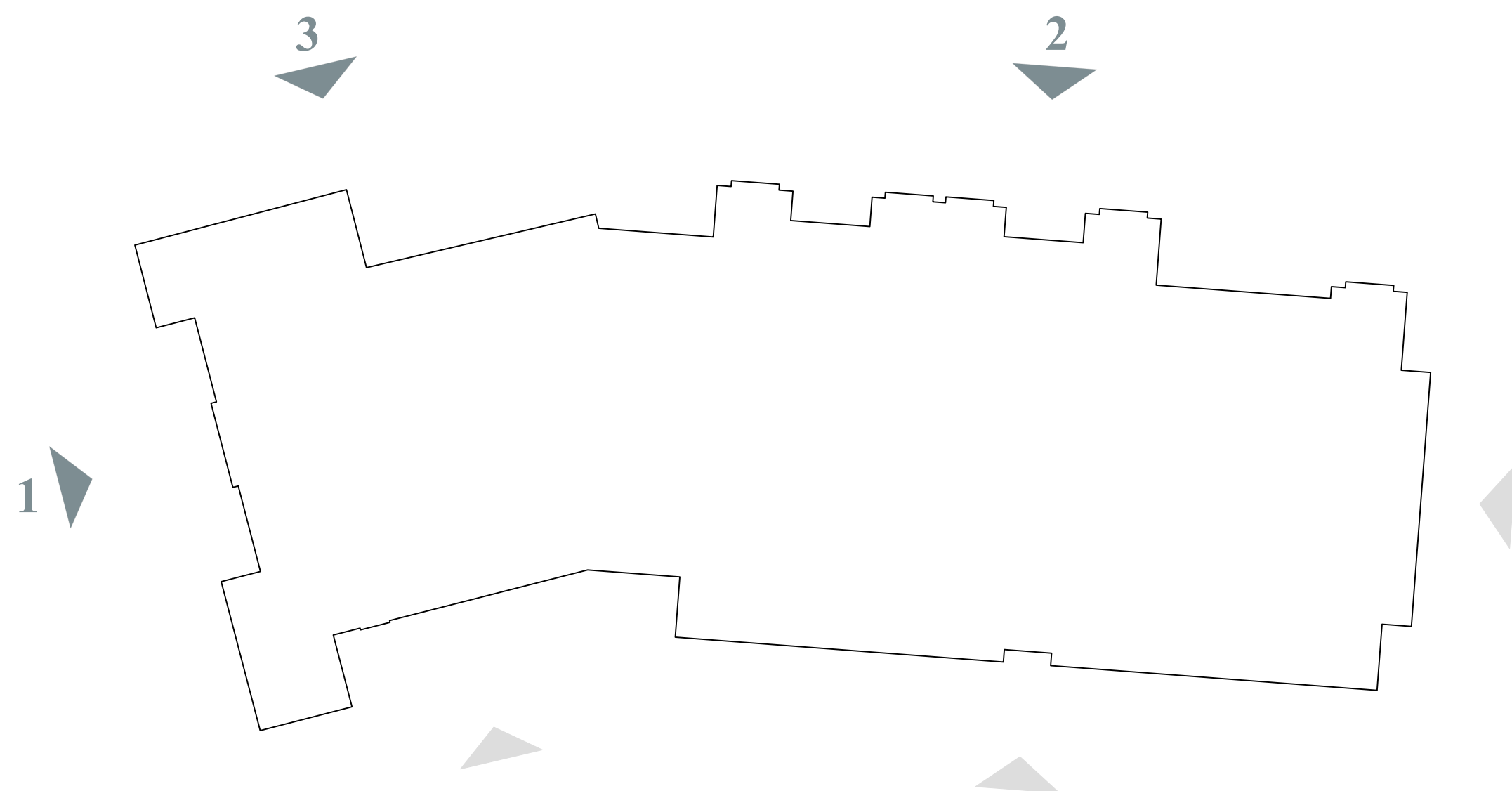
DWG BY RJA

CKD BY MLM

SCALE

1/8" = 1'-0"

A-2.1



1 Washington Street Elevation
A-2.1 1/8" = 1'-0"



2 North-East facing Elevation
A-2.1 1/8" = 1'-0"

3 North Facing Elevation
A-2.1 1/8" = 1'-0"

Proposed
Multi Family
Use

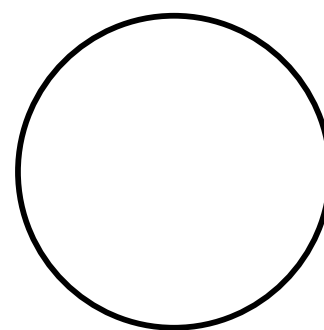
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Elevations

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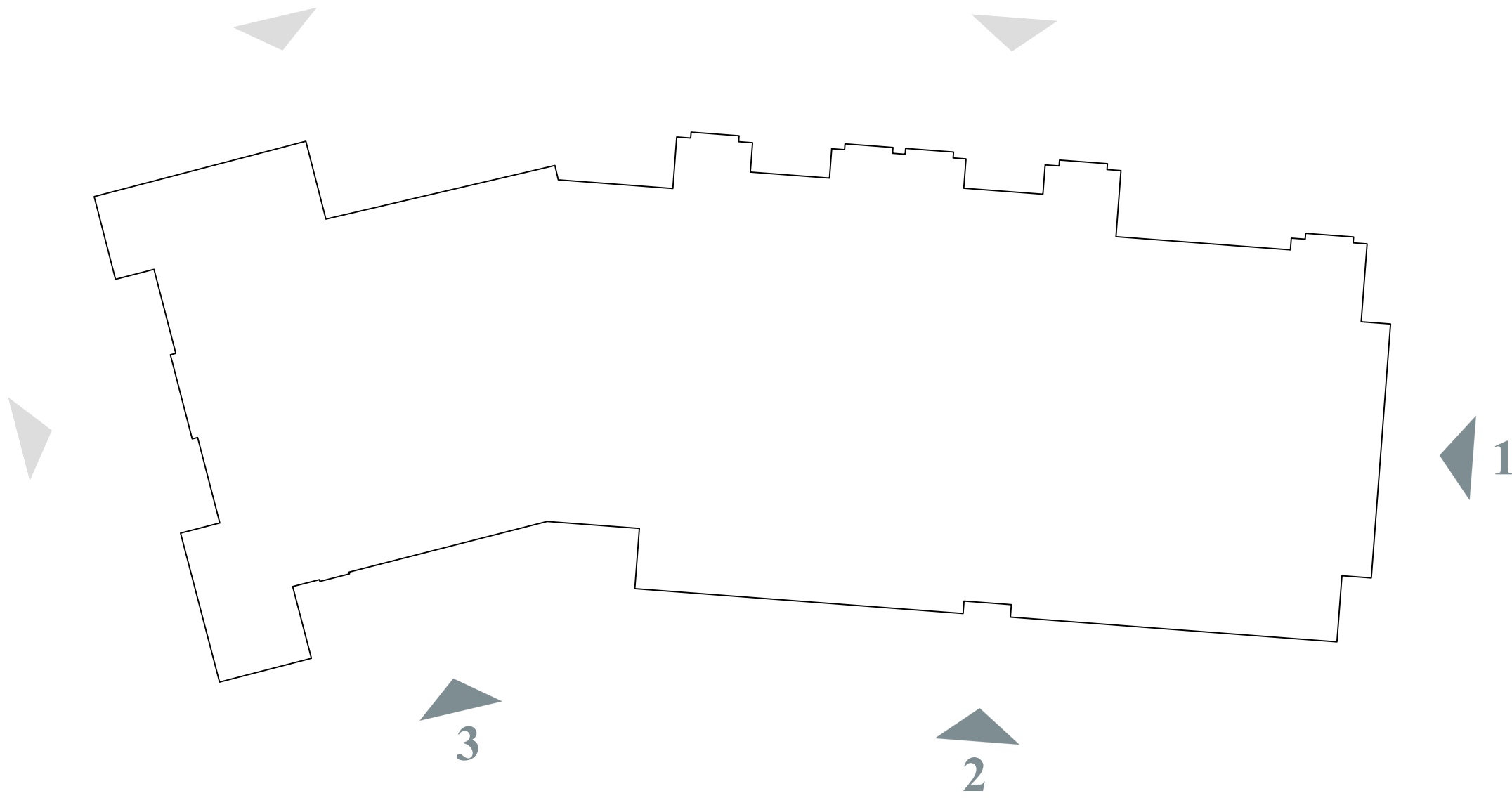
DWG BY RJA

CKD BY MLM

SCALE

1/8" = 1'-0"

A-2.2



1 | South-West Facing Elevation
A-2.2 | 1/8" = 1'-0"



2 | South Facing Elevation
A-2.2 | 1/8" = 1'-0"



3 | South-East Facing Elevation
A-2.2 | 1/8" = 1'-0"