

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

J. RANDOLPH BECKER, CHAIRMAN
ROBERT W. LEVY, VICE CHAIRMAN
DAVID G. SHEFFIELD

LENORE R. MAHONEY
Executive Secretary
Telephone
(781) 431-1019 Ext. 2208

WALTER B. ADAMS
DEREK B. REDGATE
PETER COVO

Date:

12/2/25

ZBA:

2026-05

| Petition for: | Residential Fee | Commercial & Municipal Fee |
|--|-----------------|--|
| Variance | _____ \$200 | _____ |
| Special Permit | _____ \$200 | _____ \$500 |
| Special Permit/Findings | ✓ _____ \$200 | _____ |
| Special Permit Renewals | _____ \$150 | _____ |
| Signs | _____ | _____ \$300 |
| Site Plan Approval without PSI | _____ | _____ \$2,000 & Fire Department Consulting Fee |
| Site Plan Approval with PSI | _____ | _____ \$3,500 |
| Appeals | _____ \$200 | _____ \$300 |
| Comprehensive Permit | _____ | _____ \$750 |
| Publication & Mailing Fees/All Petitions | \$25 | \$25 |
| Petitioner assumes all costs for Peer Review | | |

2025 DEC -9 AM 10:47
 TOWN OF WELLESLEY
 ZONING BOARD OF APPEALS

Property Location:

9 Vane St, Wellesley MA

Zoning District:

SR-10

Property located in a:

Historic District

☐

Yes

☒

No

Wetlands Protection Area

☐
☒

Water Supply Protection District

☐
☒

Prior Zoning Decisions:

Special Permit/Finding:

Variance:

Applicable Section(s) of the Zoning Bylaw:

Explanation of Request:

Frame new 2nd floor dormer & rear of house over existing
 single story. Frame new dormer at garage for new primary bathroom

Requested Relief:

_____ Lot Area

☒

Front Yard Depth (Street Setback)

_____ Lot Coverage

☒

Side Yard Width (Side Line Setback)

_____ Frontage

Rear Yard Depth (Rear Line Setback)

_____ Front Yard Width

Other _____

OWNER OF PROPERTY/PETITIONER:

Charles K. Hasselback

MAILING ADDRESS:

9 Vane street, Wellesley MA 02482

PHONE:

Cell WORK:

617-794-5633 HOME:

SIGNATURE OF OWNER:

AGENT FOR PETITIONER (PLEASE PRINT):

MAILING ADDRESS:

PHONE:

WORK:

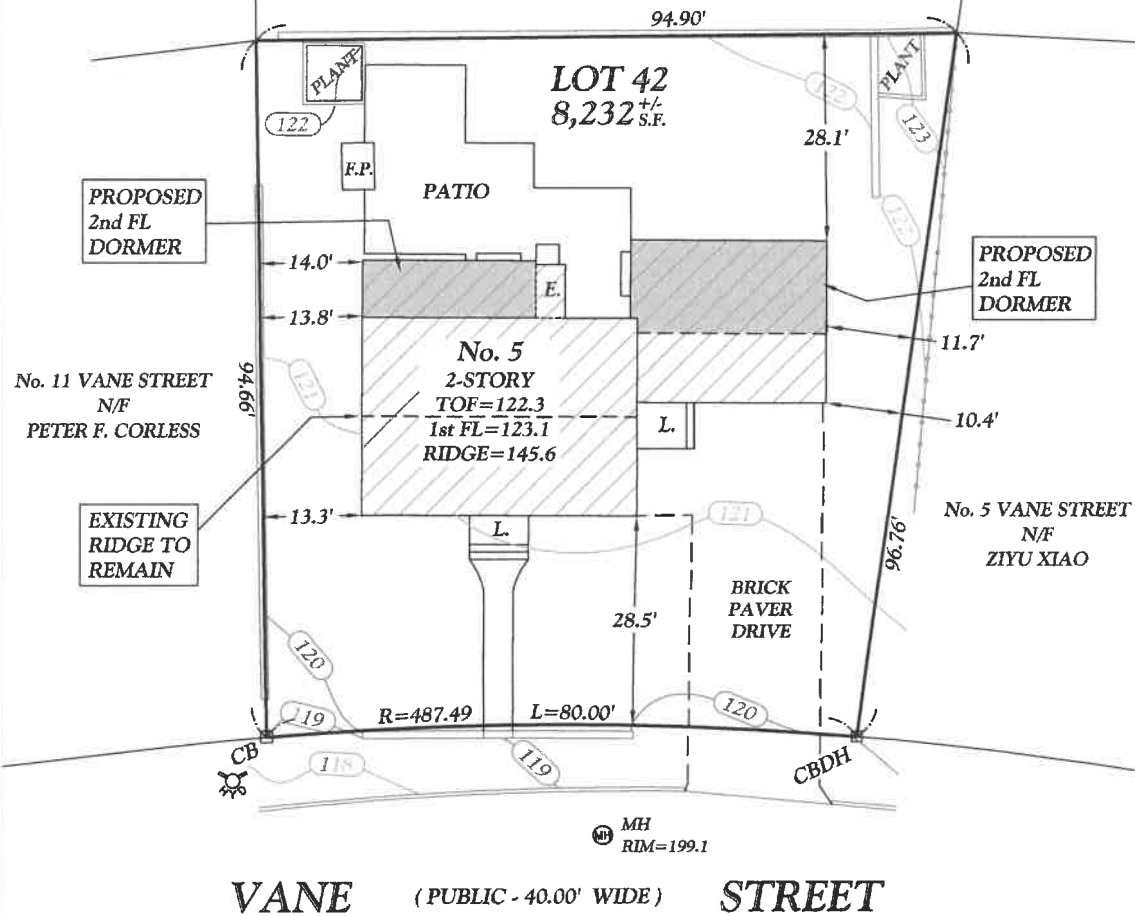
HOME:

EMAIL: noyesstreetbuilders@gmail.com

No. 14 WINTHROP ST.
N/F
NEIL J. JACOB

No. 10 WINTHROP STREET
N/F
STEPHEN J. MACKEY

No. 8 WINTHROP ST.
N/F
SCOTT M. MARIMOW



EXISTING BUILDING COVERAGE = 1,788SF (21.7%)

PROPOSED BUILDING COVERAGE = 1,788SF (21.7%)

EXISTING BUILDING HEIGHT = 24.3'

PROPOSED BUILDING HEIGHT = 24.3'

ZONING DISTRICT: SR-10

PREPARED FOR:
CHARLES K. & JANE T.
HASSELBACK
9 VANE STREET
WELLESLEY, MA 02482

REFERENCES:
DEED: BOOK 32409, PAGE 140
PLAN: BOOK 1621, PAGE 95

CERTIFIED PLOT PLAN

LOCATED AT

9 VANE STREET

ASSESSORS PARCEL # 126-26

WELLESLEY, MA

NORFOLK COUNTY

CONTINENTAL LAND SURVEY, LLC

105 BEAVER STREET, FRANKLIN, MA

(508) 528 - 2528

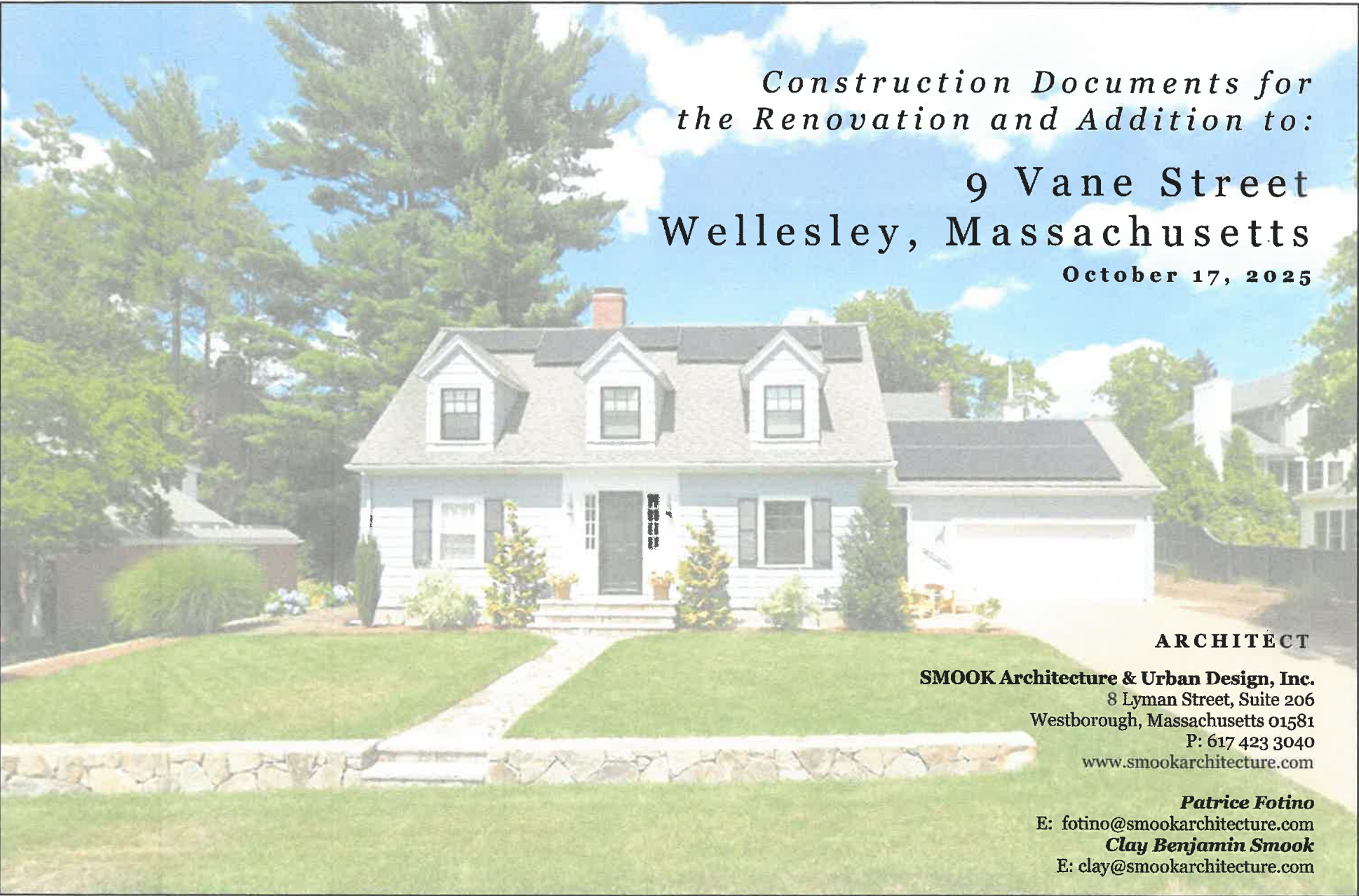
SCALE: 1"=20' NOVEMBER 24, 2025

I CERTIFY THAT THIS
PLAN WAS CREATED BY
AN INSTRUMENT
SURVEY ON THE
GROUND AND THAT ALL
STRUCTURES ARE
LOCATED AS SHOWN
HEREON.



CHRISTOPHER C. CHARLTON, PLS





*Construction Documents for
the Renovation and Addition to:*

**9 Vane Street
Wellesley, Massachusetts**

October 17, 2025

ARCHITECT

SMOOK Architecture & Urban Design, Inc.

8 Lyman Street, Suite 206

Westborough, Massachusetts 01581

P: 617 423 3040

www.smookarchitecture.com

Patrice Fotino

E: fotino@smookarchitecture.com

Clay Benjamin Smook

E: clay@smookarchitecture.com

General Notes

General

1. All construction shall conform to all applicable Local, State and National Building Codes.
2. The construction shall conform to all applicable zoning setbacks.
3. The Contractor is responsible for securing all required permits for the project prior to commencing any construction.
4. Contractor shall verify all dimensions in the field (including information on both the architectural and the structural drawings) and notify this architect of any discrepancies.
5. Contractor shall make this Owner aware on a regular basis of the status of the construction in terms of duration and cost.

Foundation

1. The Foundation for New Front Entry Roof shall be as designed by a Structural Engineer.
2. Existing framing is assumed. The Structural Engineer should be contacted to verify existing conditions framing should the need arise.

Floor Framing

1. All floor framing shall be as illustrated on the Framing Plans. Provide the required bridging, blocking and mechanical tie-downs noted.
2. Provide finish flooring over 1 layer of ¾" Advantek® or equal subflooring, glued and screwed to the floor trusses. New finish flooring shall align with existing finish flooring on all floors.
3. Position joists directly below major interior partitions, where they run parallel to floor framing and where partitions are load bearing.

Exterior and Interior Wall Framing

1. All new exterior wall framing shall match existing exterior wall framing spaced at 16" on-center. All Interior wall framing shall be 2 x 4 stud construction unless noted as otherwise on the drawings. Install single bottom plate and double top plates at all locations.
2. Contractor to provide adequate blocking, and ensure that the studs are straight and true and without defect.
3. Double studs at all window and door locations and between any window and door locations.
4. Exterior Walls shall receive 1/2" CDX Plywood (confirm with Architect any substitutions, such as OSB) under "Tyvek®" building wrap installed as per manufacturers specifications. As a substitution the contractor may choose to use "ZipWall" by Huber, installed as per manufacturer's specifications.
5. Provide and install adequate fire-stopping in all wall locations as required by code.
6. Provide and install adequate blocking required for all toilet accessories, light fixtures, and built-ins.

Roof Framing

1. Refer to Framing Plans for roof framing sizes and spacing.
2. Refer to Framing Plans for hurricane clips and hold downs required at rafter/wall connections.
3. Install one layer of 5/8" CDX Tongue and Groove Plywood under Ice & Water Shield on all roofs.

Insulation

1. Provide closed cell sprayed insulation at the R-values shown below as a minimum, unless a greater R-Value is required by code:
Primary Bathroom Floor: R-30 or Better
Walls: R-20 or Better
Roof/Ceiling Cavities: R-49 or Better
2. Provide sound attenuation insulation in interior walls of toilet rooms.

Exterior Siding and Finish

1. Exterior Siding shall match existing.
2. All exterior trim shall be manufactured by Boral or Azek in sizes and styles as depicted on the Architectural Elevations.

Roofing

1. Contractor shall install minimum of 30 year Architectural Shingles (Owens Corning Oakridge or similar), in areas indicated as asphalt shingle roofing on the drawings. Color to match existing.
2. Contractor shall provide aluminum K-style gutters at all locations shown on the Roof Plan. Painted to match trim.
3. Provide continuous ice and water shield on ALL new roofs.

Flashing

1. Provide and install flashing at all vertical and horizontal intersections, at all roof penetrations and at all changes in siding.
2. Caulk/seal all joints between dissimilar metals and materials.
3. Properly flash all exterior windows and doors.
4. Install horizontal flashing between siding types/horizontal trim.

Doors and Windows

1. All Windows and Exterior Doors shall be as manufactured by "Pella" in the Reserve Traditional Series. Color of exterior of windows shall match existing. Interior shall factory primed and field painted to match existing. See Window and Door Schedule for details and specifications.
2. All operable units shall have removable screens.
3. All glazing shall be tempered in accordance with State Building Code requirements.
4. Caulk and flash (ice and water shield flashing at jambs & heads) as per manufacturer's specifications and as shown on Window Details.
5. All door and window hardware shall be as selected by the Owner.

Interior Wall and Ceiling Finish

1. All wall and ceiling surfaces indicated are one layer of 1/2" Blue Board with a skim coat of Plaster

Plumbing and Bath

1. All Plumbing Work shall conform to all Local and Applicable National Building Codes and Standards
2. All Bathroom Fixtures, Faucets, Cabinets, Accessories and Finishes shall be as selected by the Owner.
3. PVC piping shall only be utilized in locations allowed by code.

Electrical and Lighting

1. All electrical work shall be as per Local and National Building Codes and standard common practices.
2. All lighting fixtures and controls shall be selected and located by Owner or as otherwise prescribed by Code.
3. Outlets shall be placed at a maximum of 12 feet on center - start 2'-0" from each inside corner. Two per wall minimum.
4. Provide GFI outlets and the appropriate UL labeled light fixtures at all wet locations
5. Provide Telephone and Cable connections as directed by the Owner.
6. Provide Smoke and Carbon Monoxide detectors as shown on the Reflected Ceiling Plans.

Heating, Ventilation and Air Conditioning

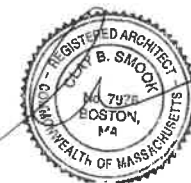
1. The Contractor shall retain a Sub Contractor to assist with the design of the HVAC System in the house. Confirm Type, size, zones and other specifications with the Owner prior to installation of the system.

Drawing List

| | |
|--------|-------------------------------------|
| A0.0 | General Notes and Drawing List |
| D1.0 | First Floor Demolition Plan |
| D1.1 | Second Floor Demolition Plan |
| D1.2 | Roof Demolition Plan |
| D2.0 | South Elevation Demolition |
| D2.1 | East Elevation Demolition |
| D2.2 | North Elevation Demolition |
| D2.3 | West Elevation Demolition |
| A1.0 | First Floor New Work Plan |
| A1.1 | Second Floor New Work Plan |
| A1.2 | Roof New Work Plan |
| A2.0 | South Elevation New Work |
| A2.1 | East Elevation New Work |
| A2.2 | North Elevation New Work |
| A2.3 | West Elevation New Work |
| A3.0 | Cross Section |
| A3.1 | Cross Section |
| A3.2 | Cross Section |
| A4.0 | Window Schedule & Window Details |
| A5.0 | First Floor Reflected Ceiling Plan |
| A5.1 | Second Floor Reflected Ceiling Plan |
| S0.01A | General Notes |
| S0.01B | General Notes |
| S0.2 | Typical Details |
| S1.1 | Foundation/First Floor Framing Plan |
| S1.2 | Second Floor Framing Plan |
| S1.3 | Roof Framing Plan |
| S1.4 | Plan Notes |
| S2.1 | Sections |

Symbol Legend

| | |
|--|------------------------|
| | Building Elevation Tag |
| | Building Section Tag |
| | Floor Elevation Tag |
| | Window Tag |
| | Door Tag |



October 17, 2025 - Issued for Construction

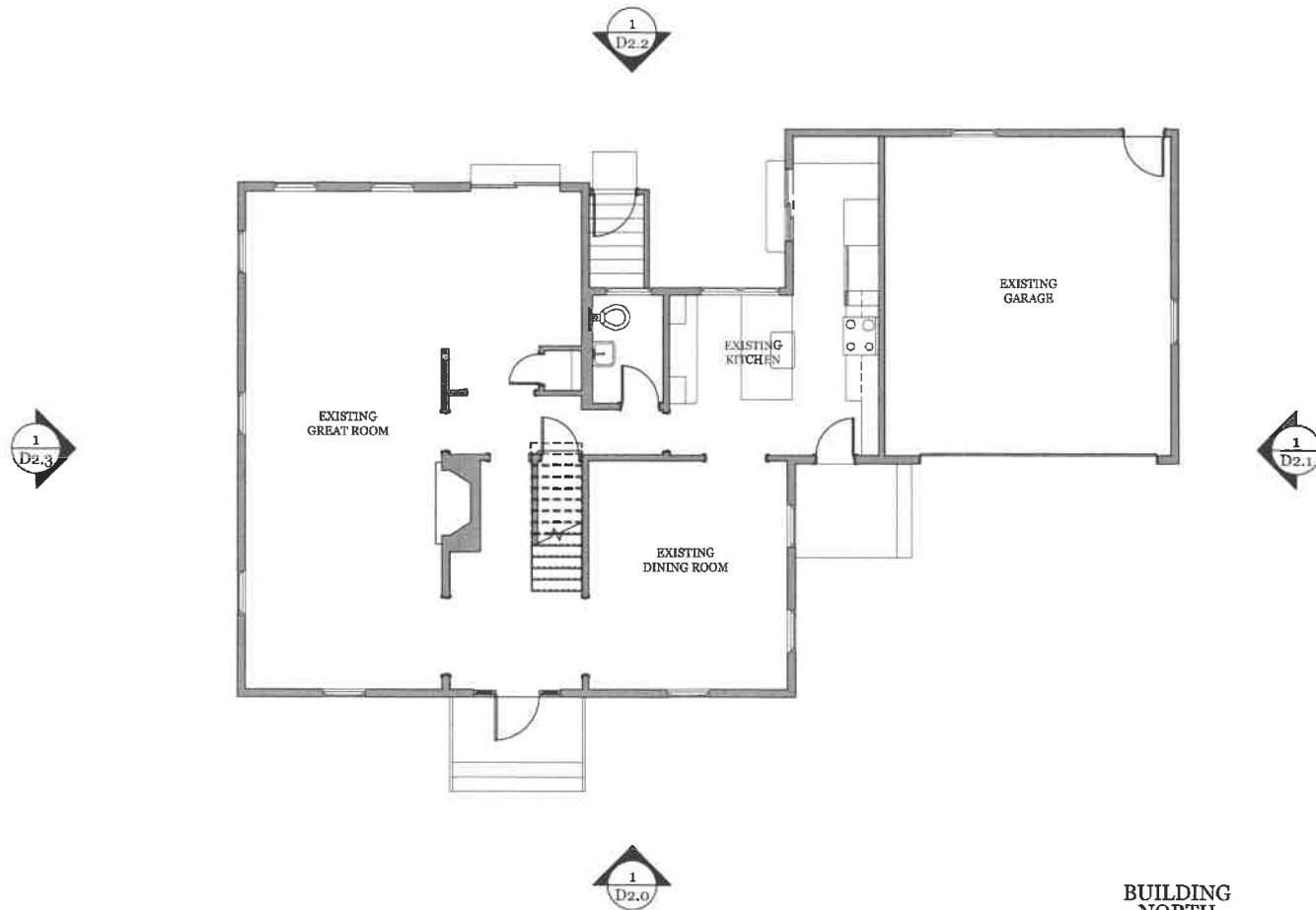
SMOOK
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617.433.3040

EAST ELEVATION
DEMOLITION



9 Vane Street Addition
Wellesley, Massachusetts

Scale: 1/8" = 1'-0"

A0.0

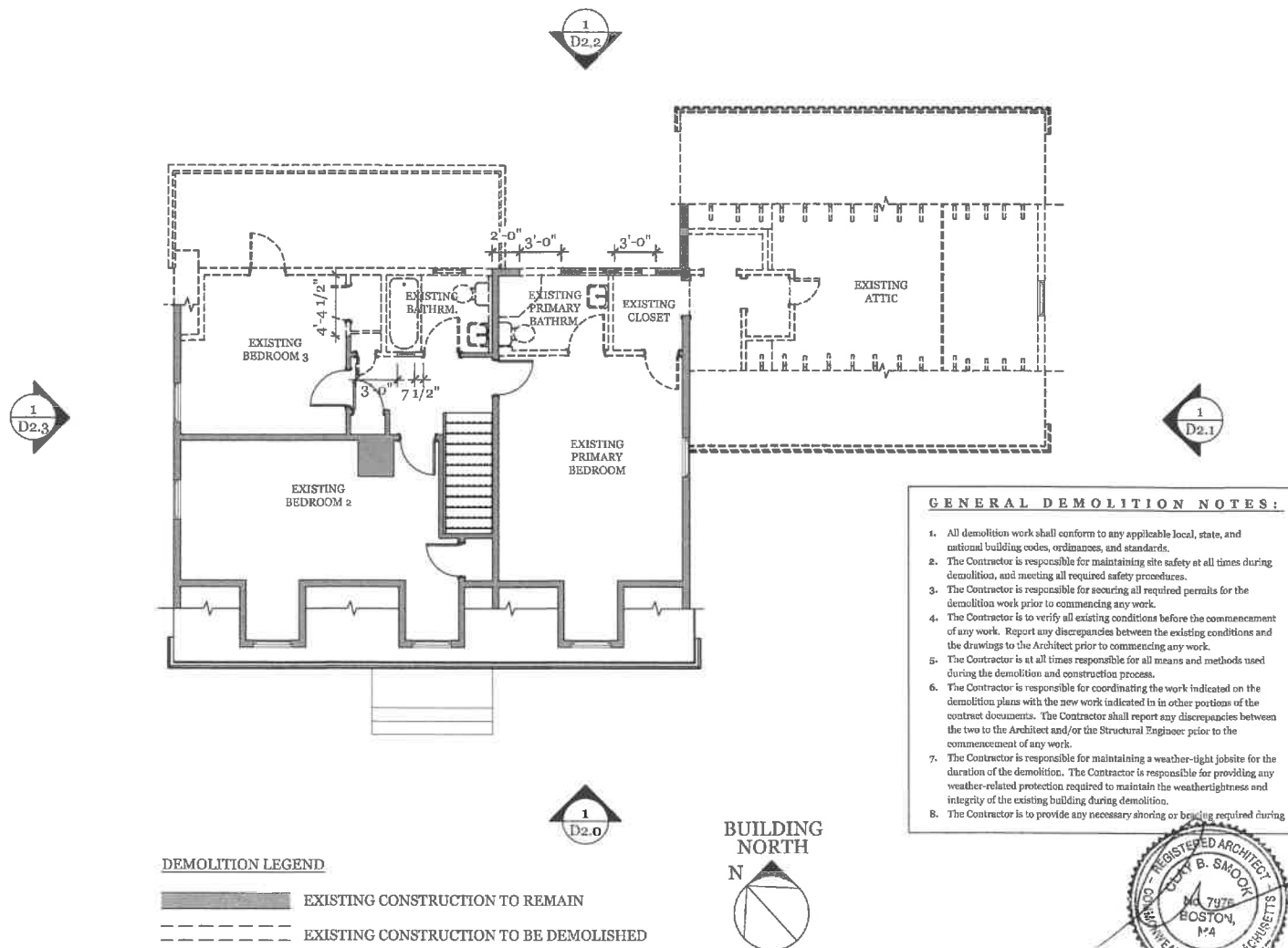


DEMOLITION LEGEND

-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE DEMOLISHED

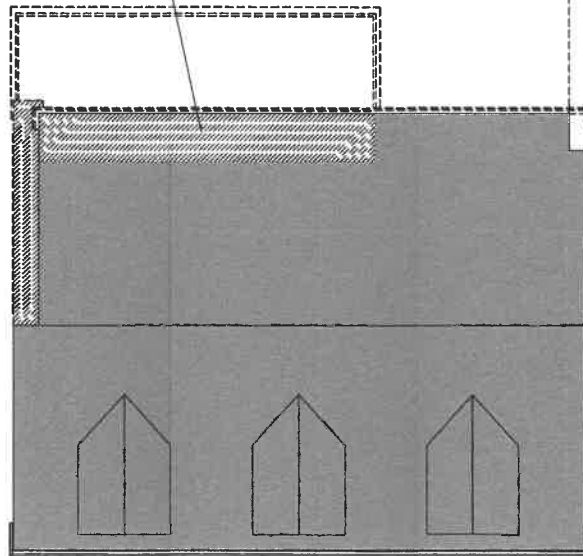


October 17, 2025 - Issued for Construction


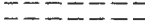


October 17, 2025 - Issued for Construction

REMOVE EXISTING SHINGLES
FOR OVERFRAMING



DEMOLITION LEGEND



-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE DEMOLISHED



October 17, 2025 - Issued for Construction

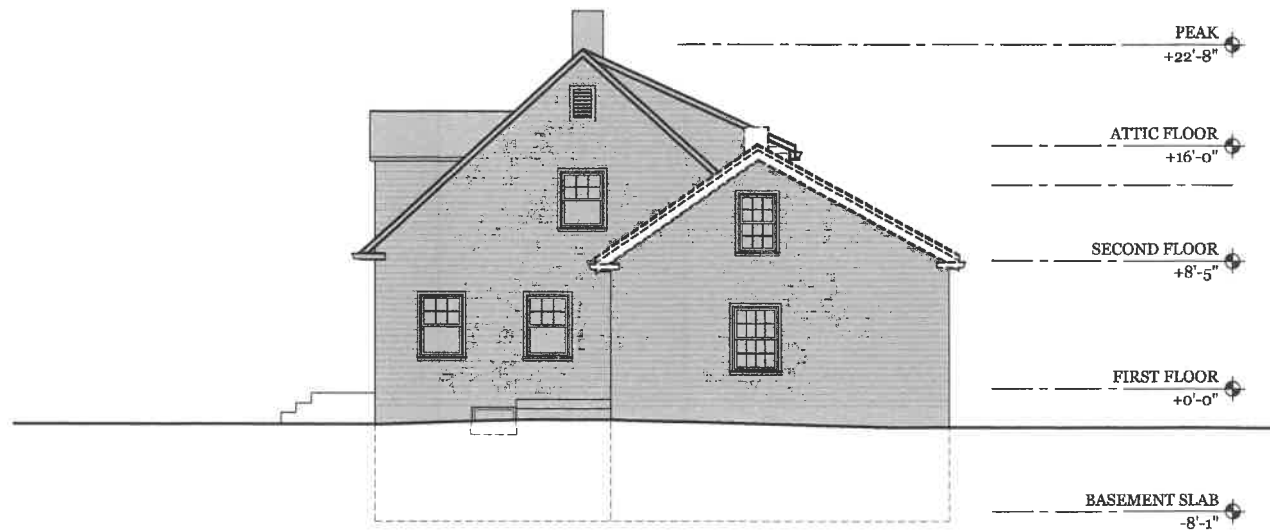


DEMOLITION LEGEND

-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE DEMOLISHED



October 17, 2025 - Issued for Construction

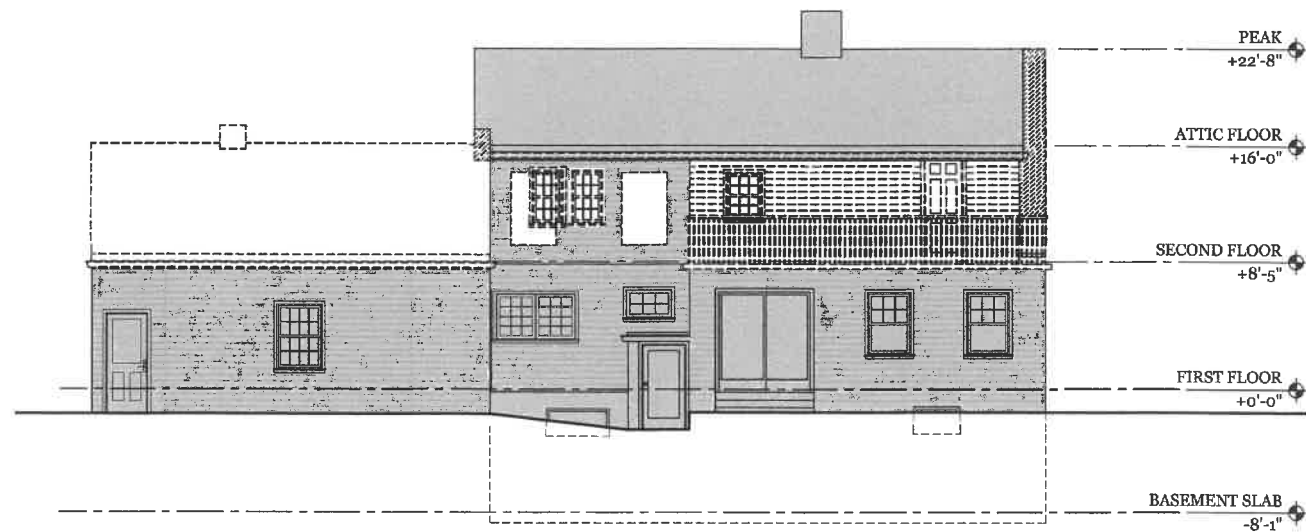


DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- - - EXISTING CONSTRUCTION TO BE DEMOLISHED



October 17, 2025 - Issued for Construction



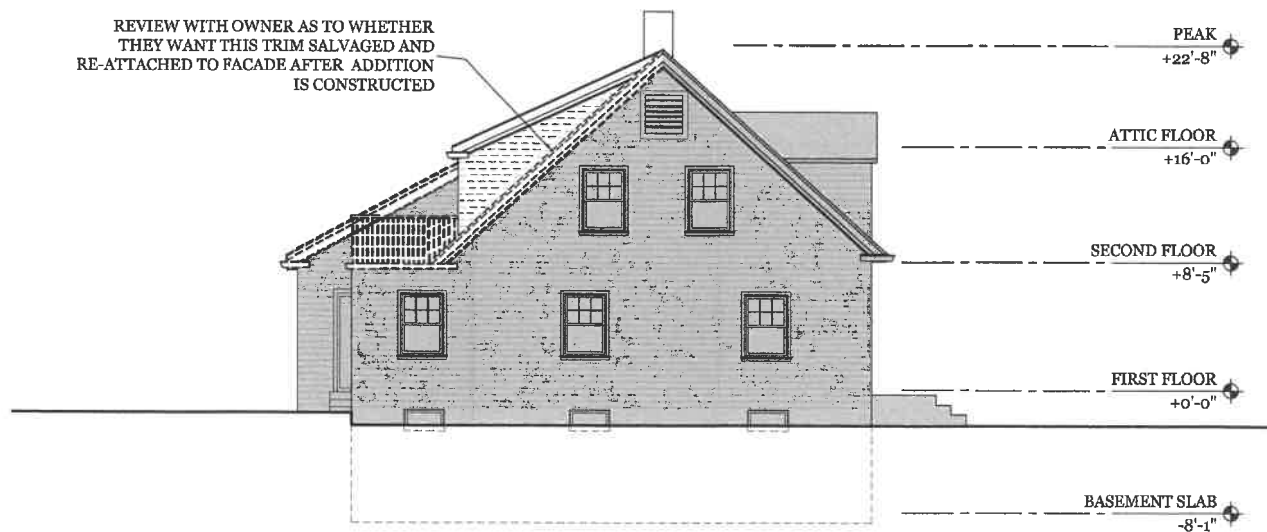
DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED



October 17, 2025 - Issued for Construction

REVIEW WITH OWNER AS TO WHETHER
THEY WANT THIS TRIM SALVAGED AND
RE-ATTACHED TO FACADE AFTER ADDITION
IS CONSTRUCTED





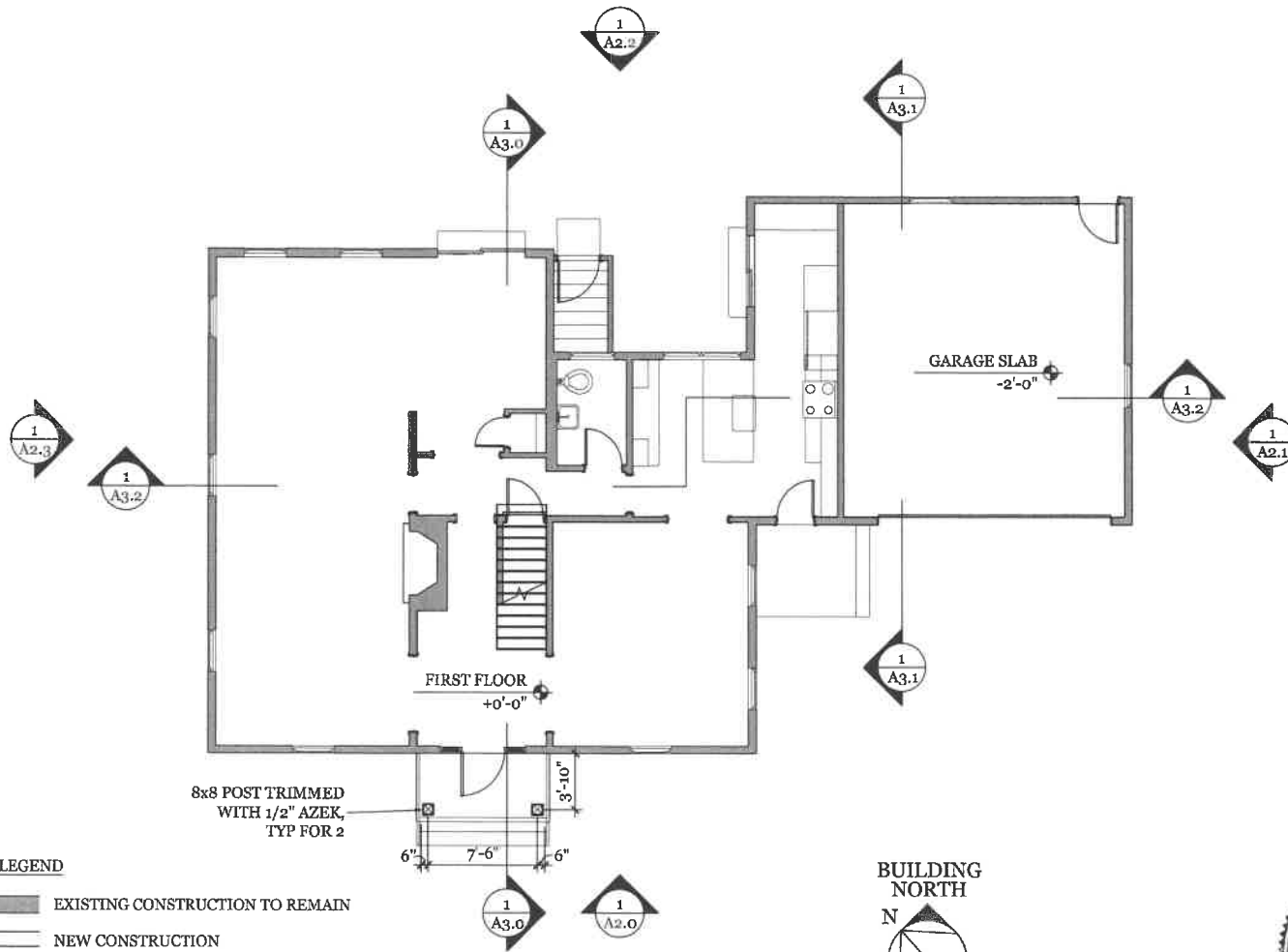
DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED



NEW WORK LEGEND

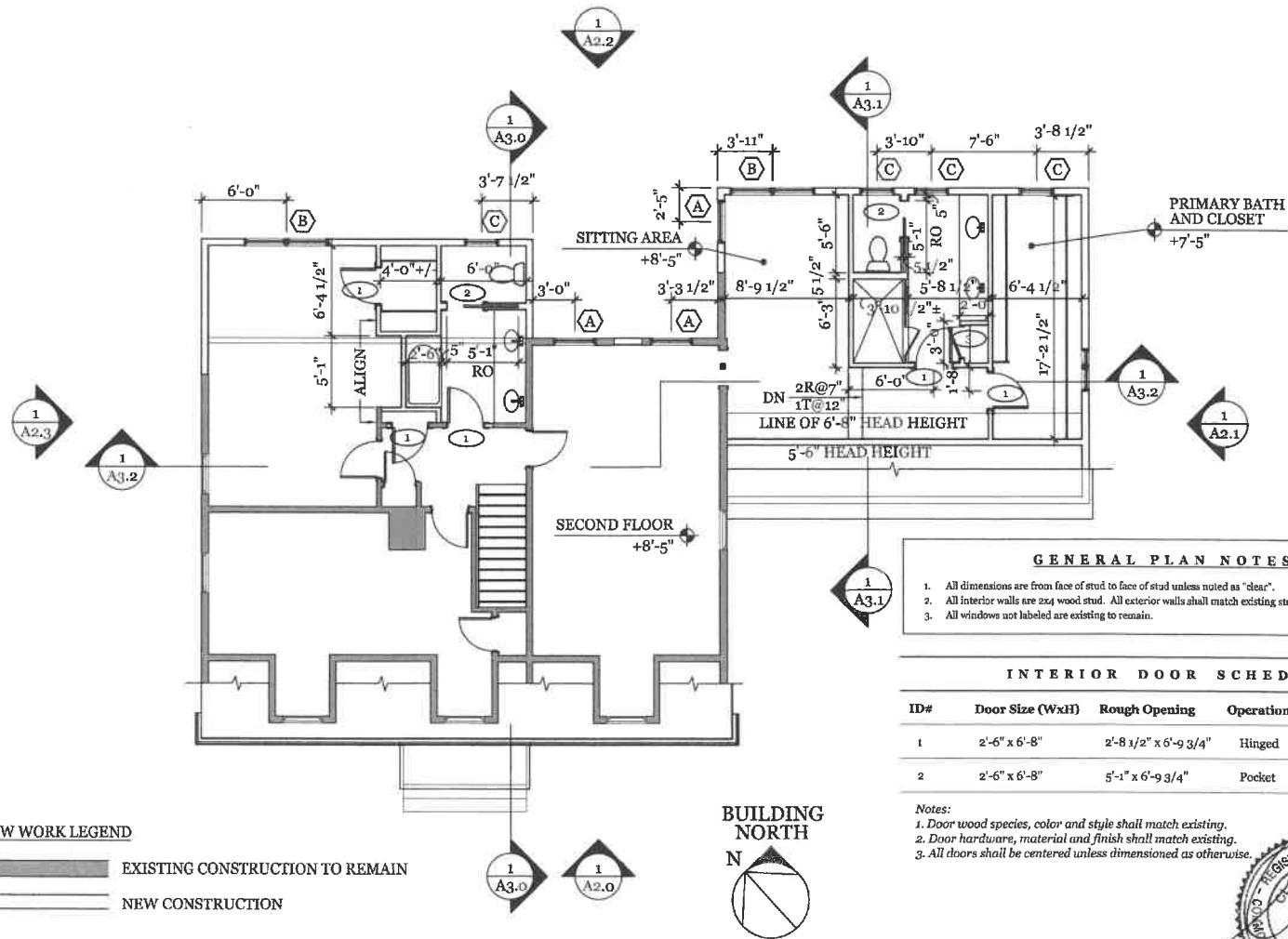
-  EXISTING CONSTRUCTION TO REMAIN
-  NEW CONSTRUCTION



October 17, 2025 - Issued for Construction

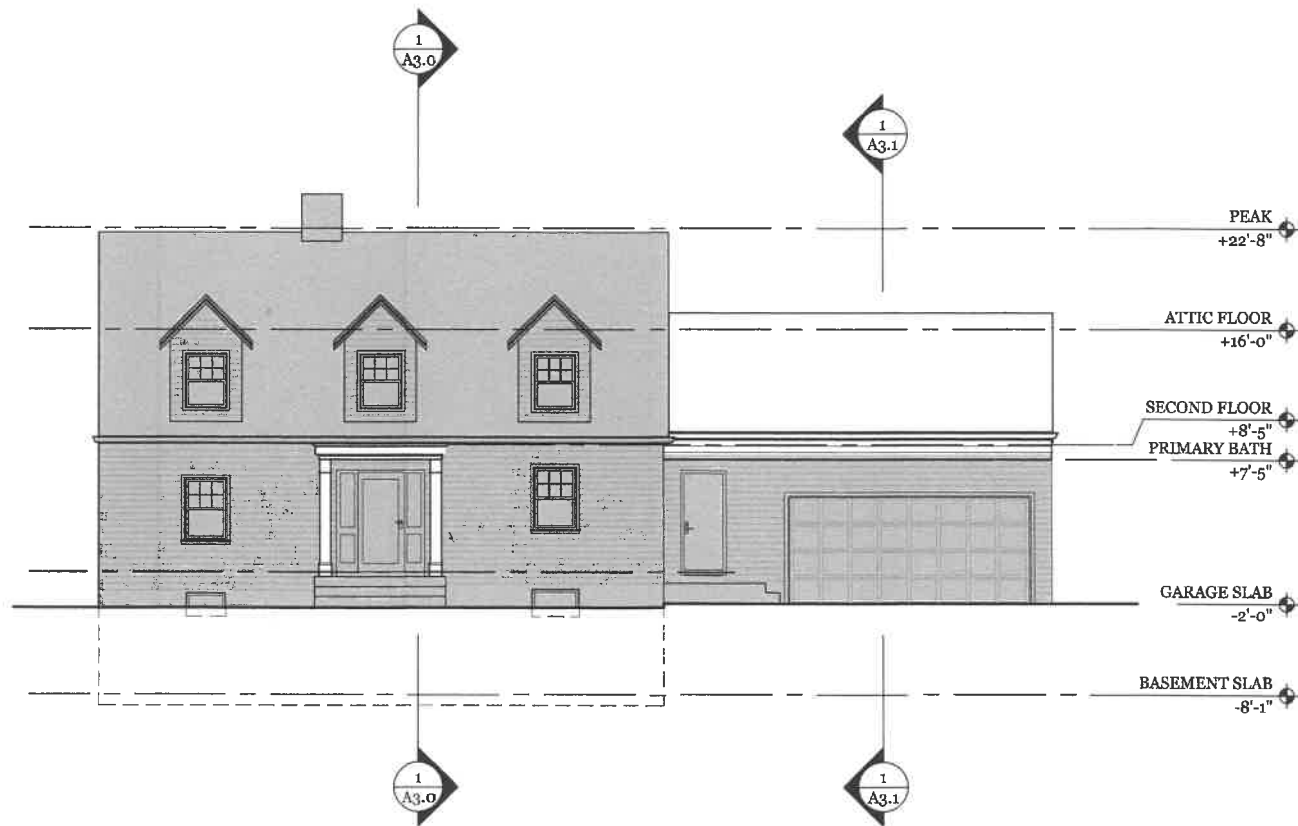
NEW WORK LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION



October 17, 2025 - Issued for Construction



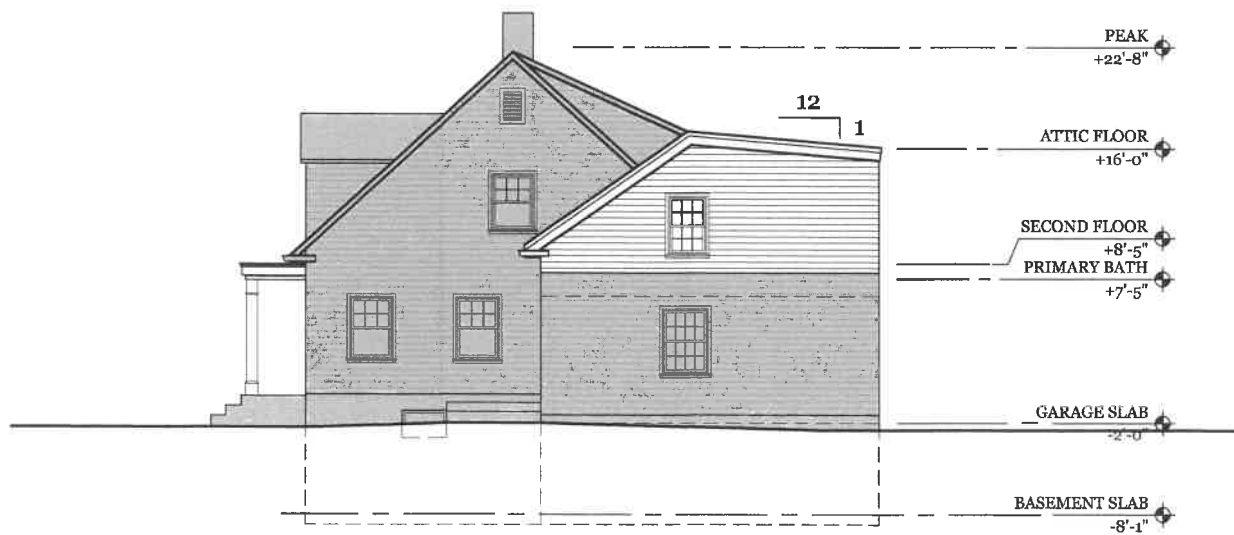


NEW WORK LEGEND

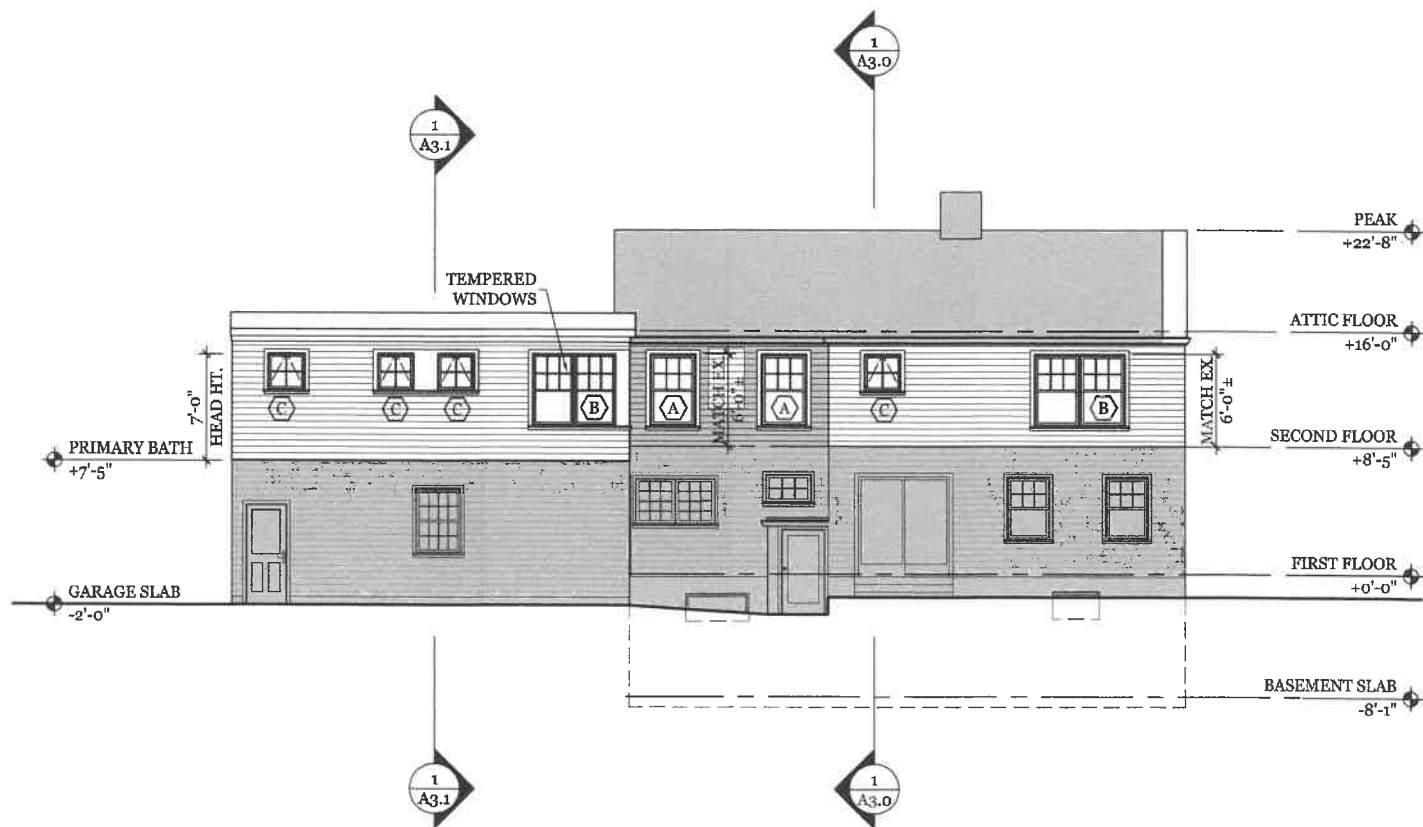
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION



October 17, 2025 - Issued for Construction



October 17, 2025 - Issued for Construction

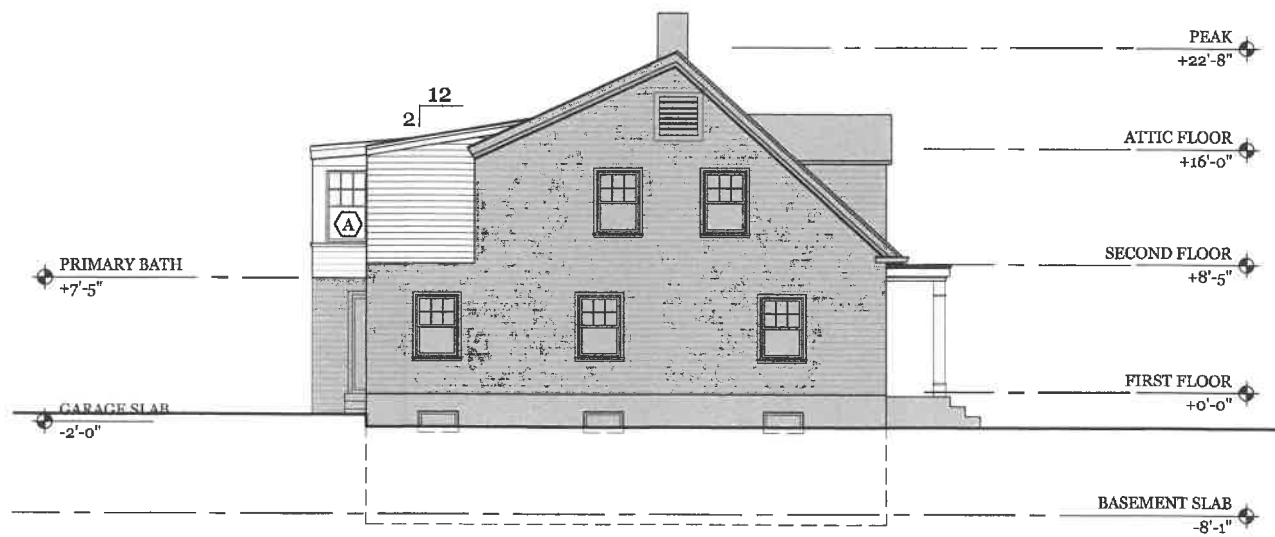


NEW WORK LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION



October 17, 2025 - Issued for Construction



NEW WORK LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION



October 17, 2025 - Issued for Construction



NEW WORK LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION



October 17, 2025 - Issued for Construction

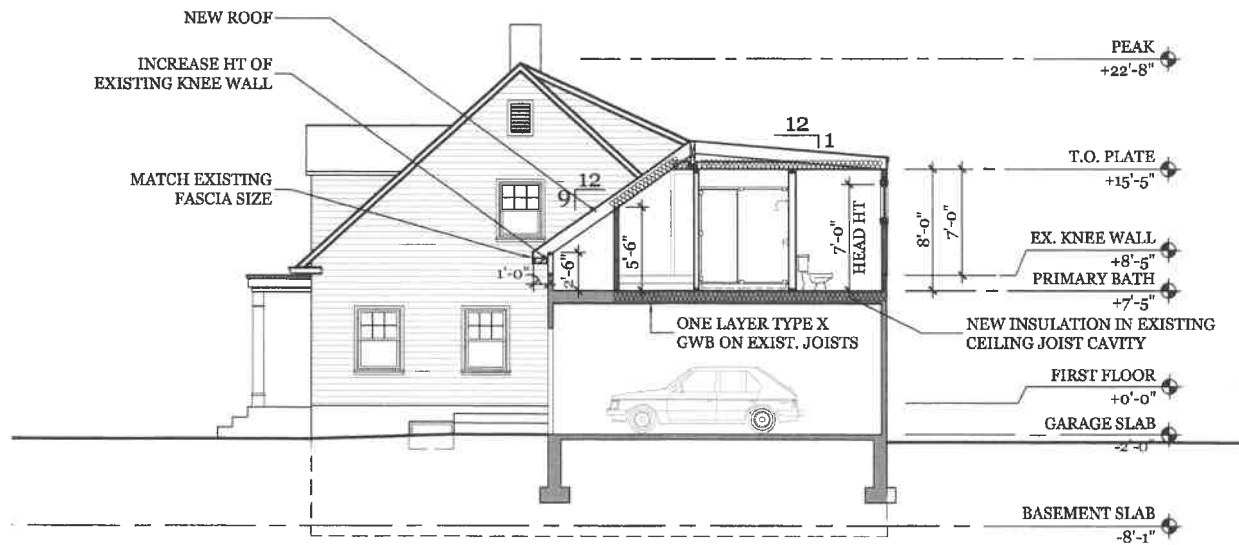
SMOOK
ARCHITECTURE & URBAN DESIGN
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
517.433.3040

CROSS
SECTION

9 Vane Street Addition
Wellesley, Massachusetts

Scale: 1/8" = 1'-0"

A3.0



NEW WORK LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION



October 17, 2025 - Issued for Construction







