

TOWN OF WELLESLEY



MASSACHUSETTS

J. RANDOLPH BECKER, CHAIRMAN
 ROBERT W. LEVY, VICE CHAIRMAN
 DAVID G. SHEFFIELD

LENORE R. MAHONEY
 Executive Secretary
 Telephone
 (781) 431-1019 Ext. 2208

WALTER B. ADAMS
 DEREK B. REDGATE
 PETER COVO

ZONING BOARD OF APPEALS
 888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

Date: 12/2/25ZBA: 2026-05

Petition for:	Residential Fee	Commercial & Municipal Fee
Variance	\$200	
Special Permit	\$200	\$500
Special Permit/Findings	✓ \$200	
Special Permit Renewals	\$150	
Signs		\$300
Site Plan Approval without PSI		\$2,000 & Fire Department Consulting Fee
Site Plan Approval with PSI		\$3,500
Appeals	\$200	\$300
Comprehensive Permit		\$750
Publication & Mailing Fees/All Petitions	\$25	\$25
Petitioner assumes all costs for Peer Review		

Property Location: 9 Vane St, Wellesley MA Zoning District: SR-10

Property located in a: Historic District Yes No
 Wetlands Protection Area
 Water Supply Protection District

Prior Zoning Decisions: Special Permit/Finding: Variance: _____

Applicable Section(s) of the Zoning Bylaw: _____

Explanation of Request: Frame new 2nd floor dormer @ rear of house over existing 1st story. Frame new dormer at garage for new primary bathroom

Requested Relief:

<input type="checkbox"/> Lot Area	<input checked="" type="checkbox"/> Front Yard Depth (Street Setback)
<input type="checkbox"/> Lot Coverage	<input checked="" type="checkbox"/> Side Yard Width (Side Line Setback)
<input type="checkbox"/> Frontage	<input checked="" type="checkbox"/> Rear Yard Depth (Rear Line Setback)
<input type="checkbox"/> Front Yard Width	<input type="checkbox"/> Other _____

OWNER OF PROPERTY/PETITIONER: Charles K. Hasselbeck

MAILING ADDRESS: 9 Vane street, Wellesley MA 02482

PHONE: Cell: 617 794-5633 WORK: 617 794-5633 HOME: _____

SIGNATURE OF OWNER: Charles K. Hasselbeck

AGENT FOR PETITIONER (PLEASE PRINT): _____

MAILING ADDRESS: _____

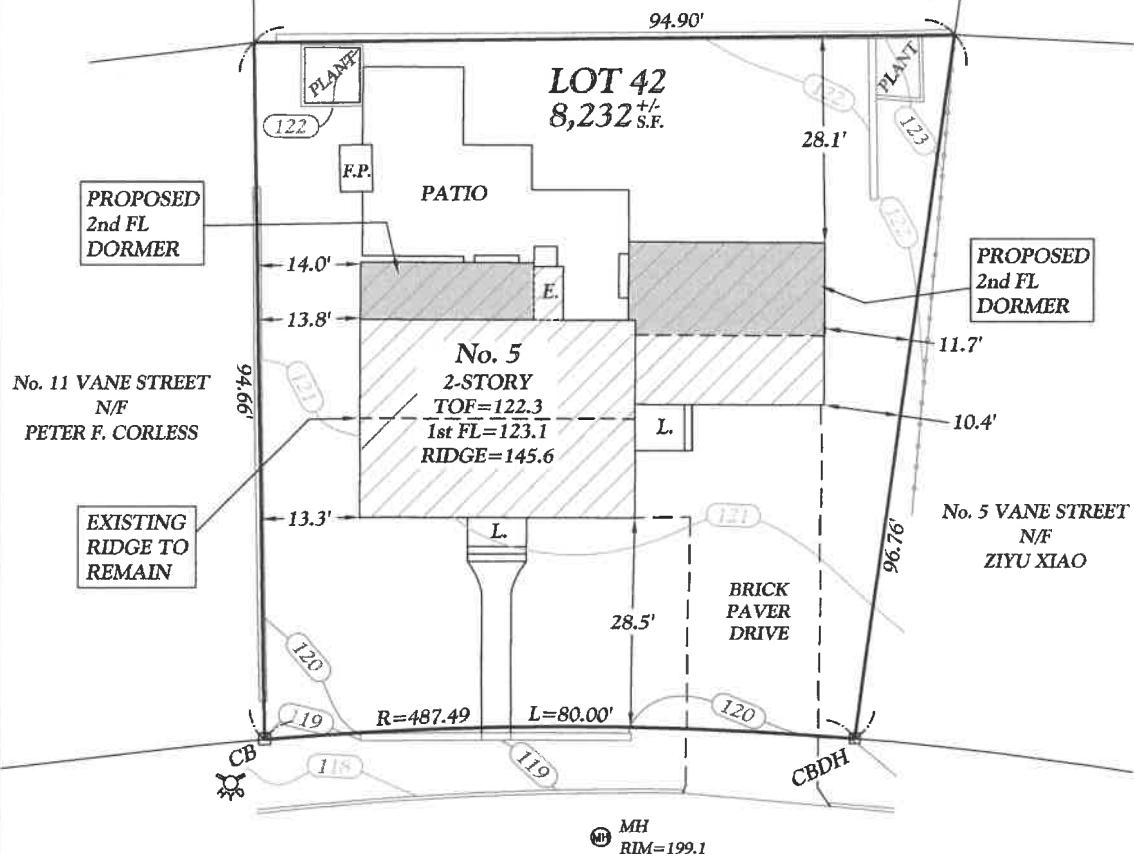
PHONE: WORK: _____ HOME: _____

EMAIL: noyesstreetbuilders@gmail.com

No. 14 WINTHROP ST.
N/F
NEIL J. JACOB

No. 10 WINTHROP STREET
N/F
STEPHEN J. MACKEY

No. 8
WINTHROP ST.
N/F
SCOTT M.
MARIMOW



EXISTING BUILDING COVERAGE = 1,788SF (21.7%)

PROPOSED BUILDING COVERAGE = 1,788SF (21.7%)

EXISTING BUILDING HEIGHT = 24.3'

PROPOSED BUILDING HEIGHT = 24.3'

PREPARED FOR:
CHARLES K. & JANE T.
HASSELBACK
9 VANE STREET
WELLESLEY, MA 02482

REFERENCES:
DEED: BOOK 32409, PAGE 140
PLAN: BOOK 1621, PAGE 95

ZONING DISTRICT: SR-10

CERTIFIED PLOT PLAN

LOCATED AT

9 VANE STREET

ASSESSORS PARCEL # 126-26

WELLESLEY, MA

NORFOLK COUNTY

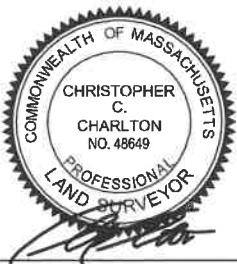
CONTINENTAL LAND SURVEY, LLC

105 BEAVER STREET, FRANKLIN, MA

(508) 528 - 2528

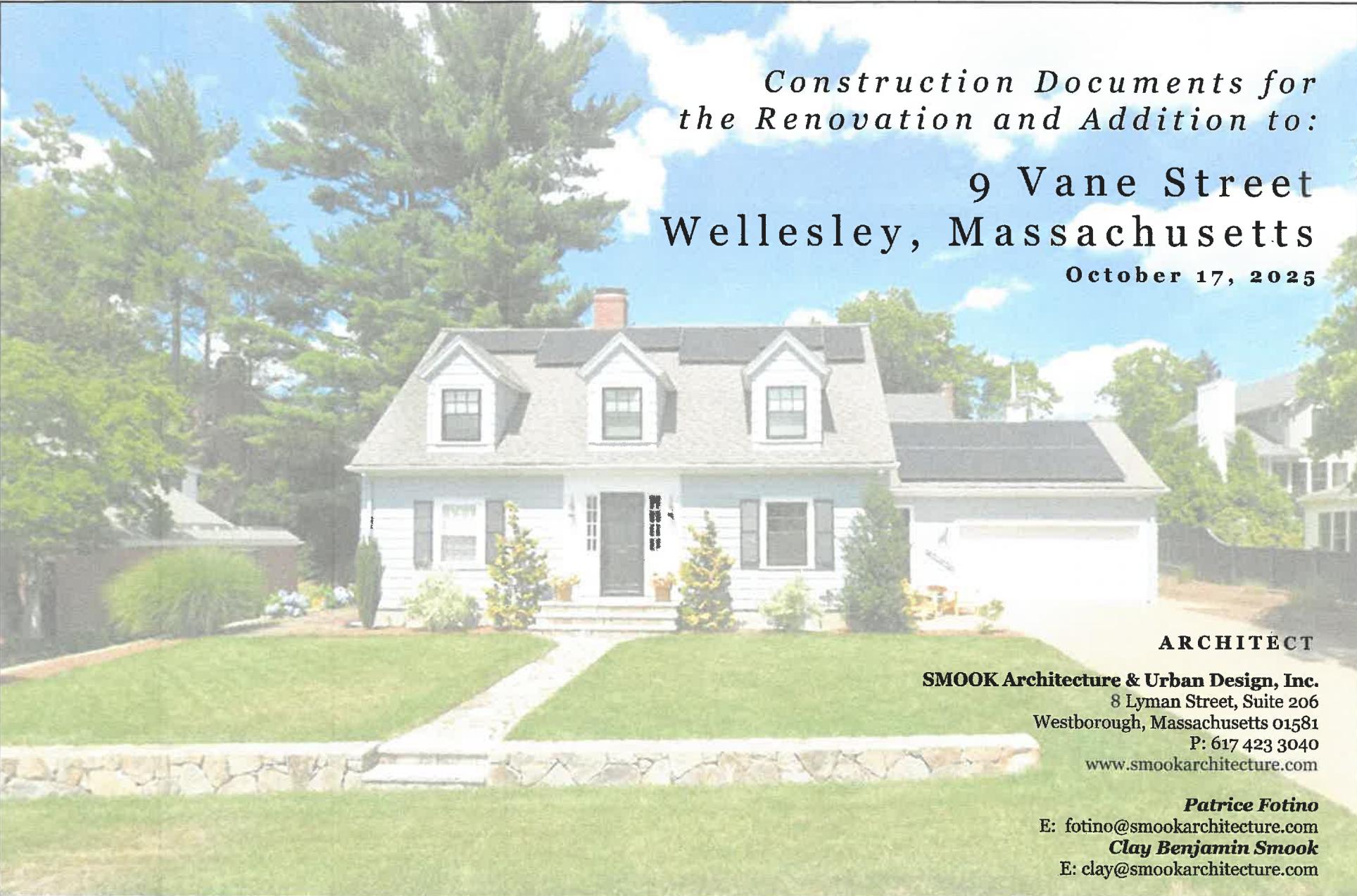
SCALE: 1"=20' NOVEMBER 24, 2025

I CERTIFY THAT THIS
PLAN WAS CREATED BY
AN INSTRUMENT
SURVEY ON THE
GROUND AND THAT ALL
STRUCTURES ARE
LOCATED AS SHOWN
HEREON.



CHRISTOPHER C. CHARLTON, PLS





*Construction Documents for
the Renovation and Addition to:*

9 Vane Street
Wellesley, Massachusetts

October 17, 2025

ARCHITECT

SMOOK Architecture & Urban Design, Inc.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
P: 617 423 3040
www.smookarchitecture.com

Patrice Fotino

E: fotino@smookarchitecture.com
Clay Benjamin Smook
E: clay@smookarchitecture.com

General Notes

General

1. All construction shall conform to all applicable Local, State and National Building Codes.
2. The construction shall conform to all applicable zoning setbacks.
3. The Contractor is responsible for securing all required permits for the project prior to commencing any construction.
4. Contractor shall verify all dimensions in the field (including information on both the architectural and the structural drawings) and notify this architect of any discrepancies.
5. Contractor shall make this Owner aware on a regular basis of the status of the construction in terms of duration and cost.

Foundation

1. The Foundation for New Front Entry Roof shall be as designed by a Structural Engineer.
2. Existing framing is assumed. The Structural Engineer should be contacted to verify existing conditions framing should the need arise.

Floor Framing

1. All floor framing shall be as illustrated on the Framing Plans. Provide the required bridging, blocking and mechanical tie-downs noted.
2. Provide finish flooring over 1 layer of $\frac{3}{4}$ " "Advantek®" or equal subflooring, glued and screwed to the floor trusses. New finish flooring shall align with existing finish flooring on all floors.
3. Position joists directly below major interior partitions, where they run parallel to floor framing and where partitions are load bearing.

Exterior and Interior Wall Framing

1. All new exterior wall framing shall match existing exterior wall framing spaced at 16" on-center. All interior wall framing shall be 2 x 4 stud construction unless noted as otherwise on the drawings. Install single bottom plate and double top plates at all locations.
2. Contractor to provide adequate blocking, and ensure that the studs are straight and true and without defect.
3. Double studs at all window and door locations and between any window and door locations.
4. Exterior Walls shall receive 1/2" CDX Plywood (confirm with Architect any substitutions, such as OSB) under "Tyvek®" building wrap installed as per manufacturers specifications. As a substitution the contractor may chose to use "ZipWall" by Huber, installed as per manufacturer's specifications.
5. Provide and install adequate fire-stopping in all wall locations as required by code.
6. Provide and install adequate blocking required for all toilet accessories, light fixtures, and built-ins..

Roof Framing

1. Refer to Framing Plans for roof framing sizes and spacing.
2. Refer to Framing Plans for hurricane clips and hold downs required at rafter/wall connections.
3. Install one layer of 5/8" CDX Tongue and Groove Plywood under Ice & Water Shield on all roofs.

Insulation

1. Provide closed cell sprayed insulation at the R-values shown below as a minimum, unless a greater R-Value is required by code:
 - Primary Bathroom Floor: R-30 or Better
 - Walls: R-20 or Better
 - Roof/Ceiling Cavities: R-49 or Better
2. Provide sound attenuation insulation in interior walls of toilet rooms.

Exterior Siding and Finish

1. Exterior Siding shall match existing.
2. All exterior trim shall be manufactured by Boral or Azek in sizes and styles as depicted on the Architectural Elevations.

Roofing

1. Contractor shall install minimum of 30 year Architectural Shingles (Owens Corning Oakridge or similar), in areas indicated as asphalt shingle roofing on the drawings. Color to match existing.
2. Contractor shall provide aluminum K-style gutters at all locations shown on the Roof Plan. Painted to match trim.
3. Provide continuous ice and water shield on ALL new roofs.

Flashing

1. Provide and install flashing at all vertical and horizontal intersections, at all roof penetrations and at all changes in siding.
2. Caulk/seal all joints between dissimilar metals and materials.
3. Properly flash all exterior windows and doors.
4. Install horizontal flashing between siding types/horizontal trim.

Doors and Windows

1. All Windows and Exterior Doors shall be as manufactured by "Pella" in the Reserve Traditional Series. Color of exterior windows shall match existing. Interior shall factory primed and field painted to match existing. See Window and Door Schedule for details and specifications.
2. All operable units shall have removable screens.
3. All glazing shall be tempered in accordance with State Building Code requirements.
4. Caulk and flash (ice and water shield flashing at jambs & heads) as per manufacturer's specifications and as shown on Window Details.
5. All door and window hardware shall be as selected by the Owner.

Interior Wall and Ceiling Finish

1. All wall and ceiling surfaces indicated are one layer of 1/2" Blue Board with a skim coat of Plaster

Plumbing and Bath

1. All Plumbing Work shall conform to all Local and Applicable National Building Codes and Standards
2. All Bathroom Fixtures, Faucets, Cabinets, Accessories and Finishes shall be as selected by the Owner.
3. PVC piping shall only be utilized in locations allowed by code.

Electrical and Lighting

1. All electrical work shall be as per Local and National Building Codes and standard common practices.
2. All lighting fixtures and controls shall be selected and located by Owner or as otherwise prescribed by Code.
3. Outlets shall be placed at a maximum of 12 feet on center - start 2'-0" from each inside corner. Two per wall minimum.
4. Provide GFI outlets and the appropriate UL labeled light fixtures at all wet locations
5. Provide Telephone and Cable connections as directed by the Owner.
6. Provide Smoke and Carbon Monoxide detectors as shown on the Reflected Ceiling Plans.

Heating, Ventilation and Air Conditioning

1. The Contractor shall retain a Sub Contractor to assist with the design of the HVAC System in the house. Confirm Type, size, zones and other specifications with the Owner prior to installation of the system.

Drawing List

A0.0	General Notes and Drawing List
D1.0	First Floor Demolition Plan
D1.1	Second Floor Demolition Plan
D1.2	Roof Demolition Plan
D2.0	South Elevation Demolition
D2.1	East Elevation Demolition
D2.2	North Elevation Demolition
D2.3	West Elevation Demolition
A1.0	First Floor New Work Plan
A1.1	Second Floor New Work Plan
A1.2	Roof New Work Plan
A2.0	South Elevation New Work
A2.1	East Elevation New Work
A2.2	North Elevation New Work
A2.3	West Elevation New Work
A3.0	Cross Section
A3.1	Cross Section
A3.2	Cross Section
A4.0	Window Schedule & Window Details
A5.0	First Floor Reflected Ceiling Plan
A5.1	Second Floor Reflected Ceiling Plan
S0.01A	General Notes
S0.01B	General Notes
S0.2	Typical Details
S1.1	Foundation/First Floor Framing Plan
S1.2	Second Floor Framing Plan
S1.3	Roof Framing Plan
S1.4	Plan Notes
S2.1	Sections

Symbol Legend

	Building Elevation Tag
	Building Section Tag
	Floor Elevation Tag
	Window Tag
	Door Tag

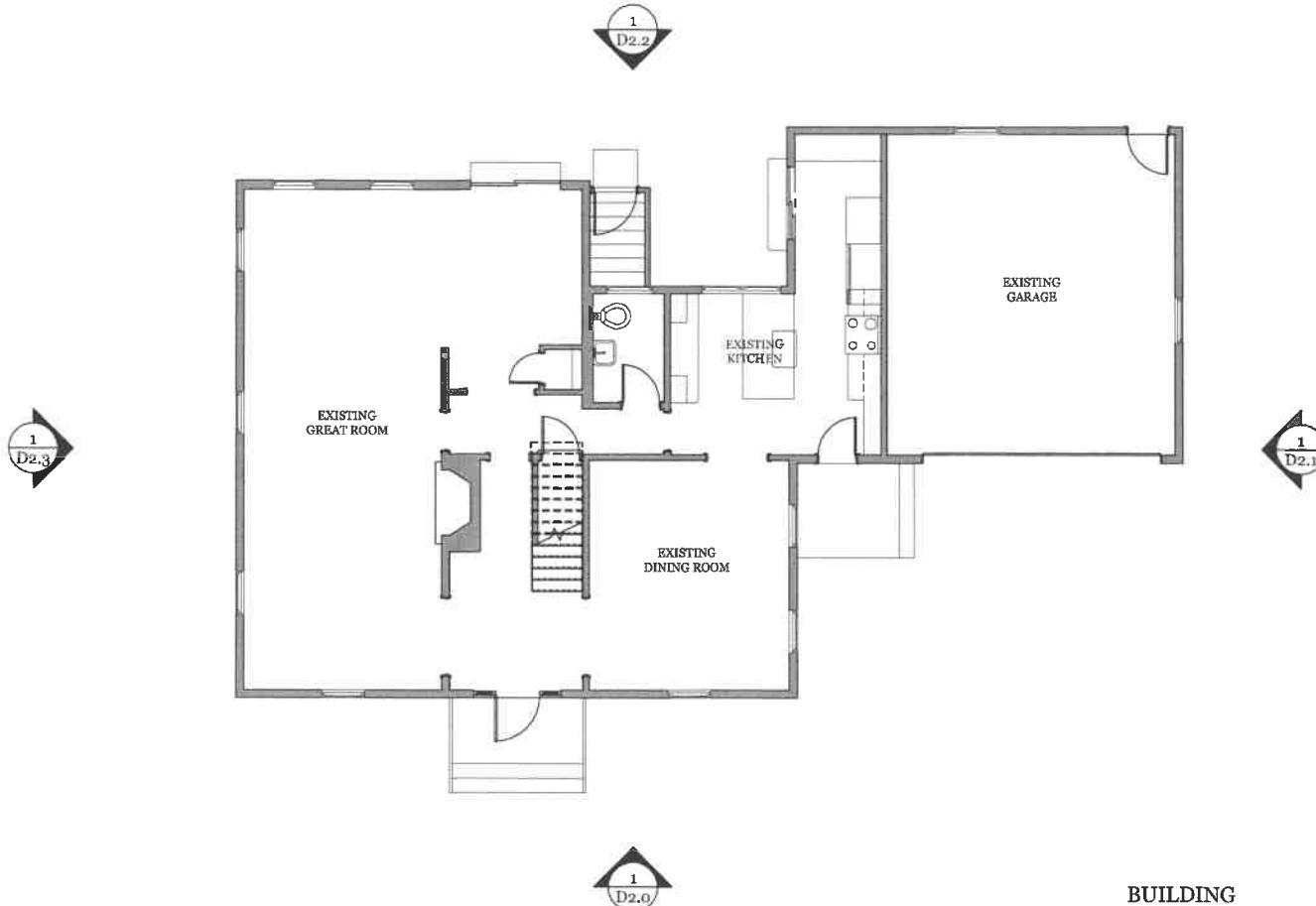


Scale: 1/8" = 1'-0"

AO.O

9 Vane Street Addition
Wellesley, Massachusetts

SMOOK
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617.423.3040



DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- - - EXISTING CONSTRUCTION TO BE DEMOLISHED

BUILDING
NORTH
N



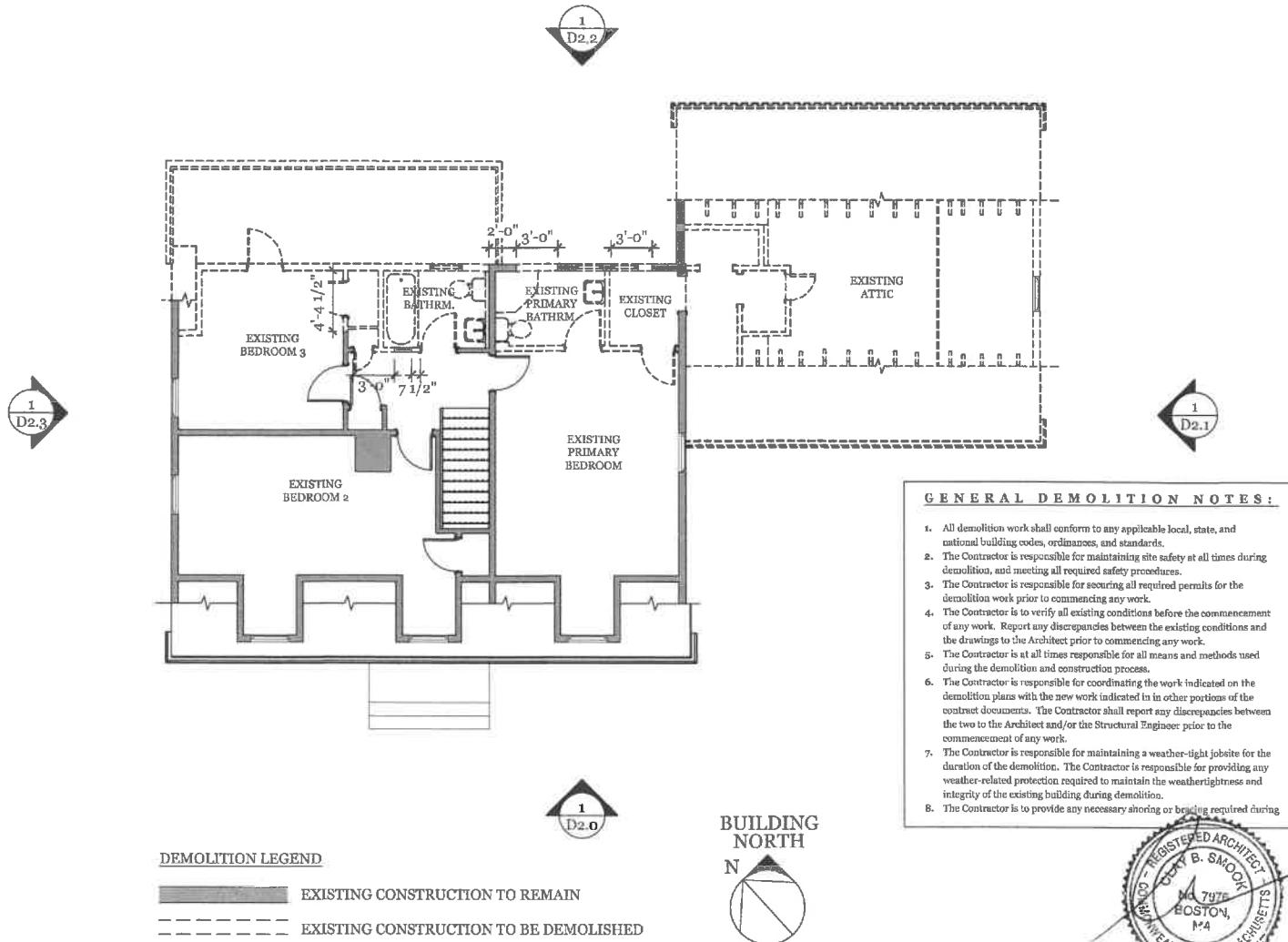
October 17, 2025 - Issued for Construction

D1.0

9 Vane Street Addition
Wellesley, Massachusetts

FIRST FLOOR
DEMOLITION PLAN

8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617-442-3940



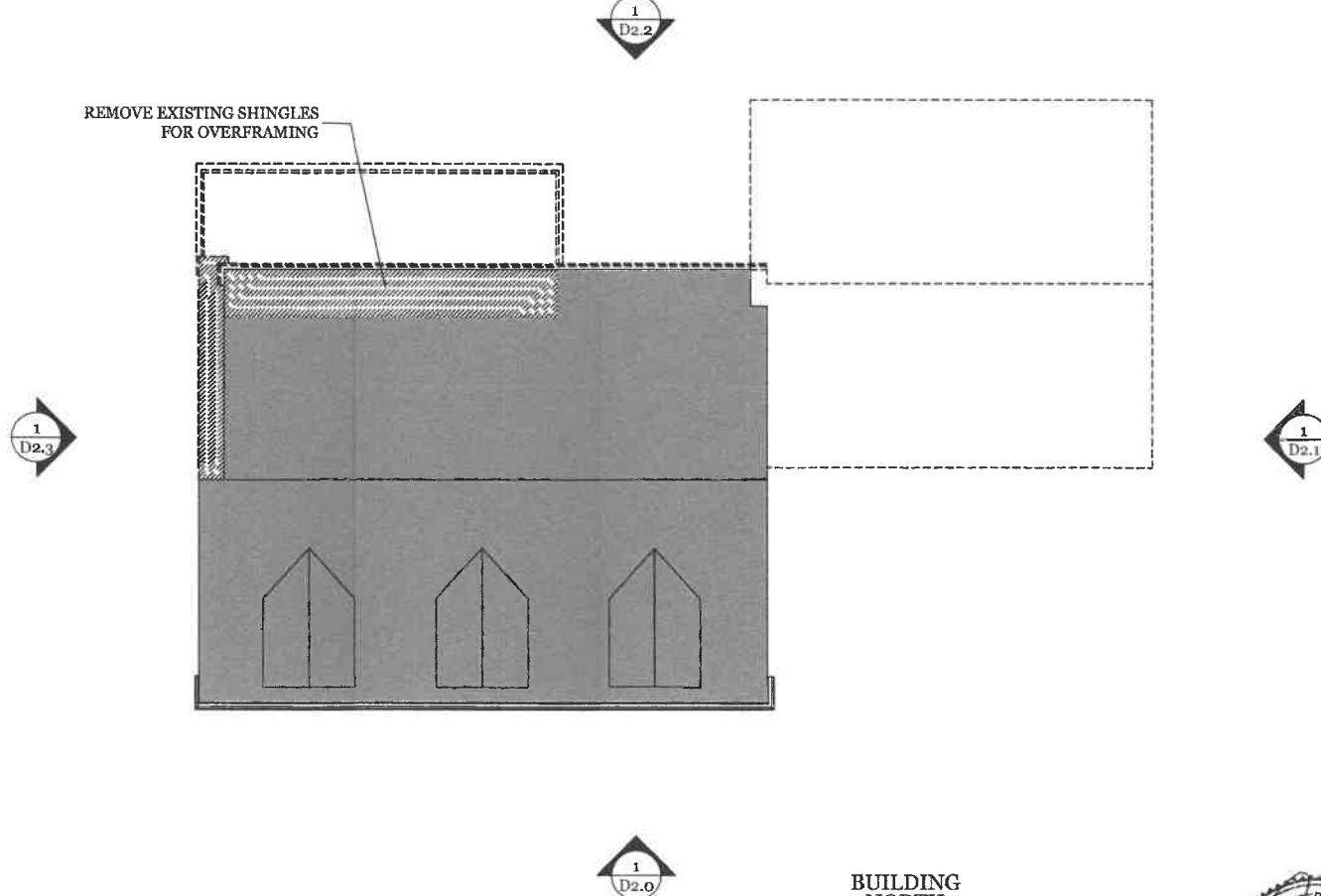
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D1.1

SECOND FLOOR
DEMOLITION PLAN

9 Vane Street Addition
Wellesley, Massachusetts

8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617-423-3940



D1.2

October 17, 2015 - Issued for Construction

9 Vane Street Addition
Wellesley, Massachusetts

ROOF
DEMOLITION PLAN

SMOOK
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617.423.5040

Scale: 1/8" = 1'-0"



DEMOLITION LEGEND

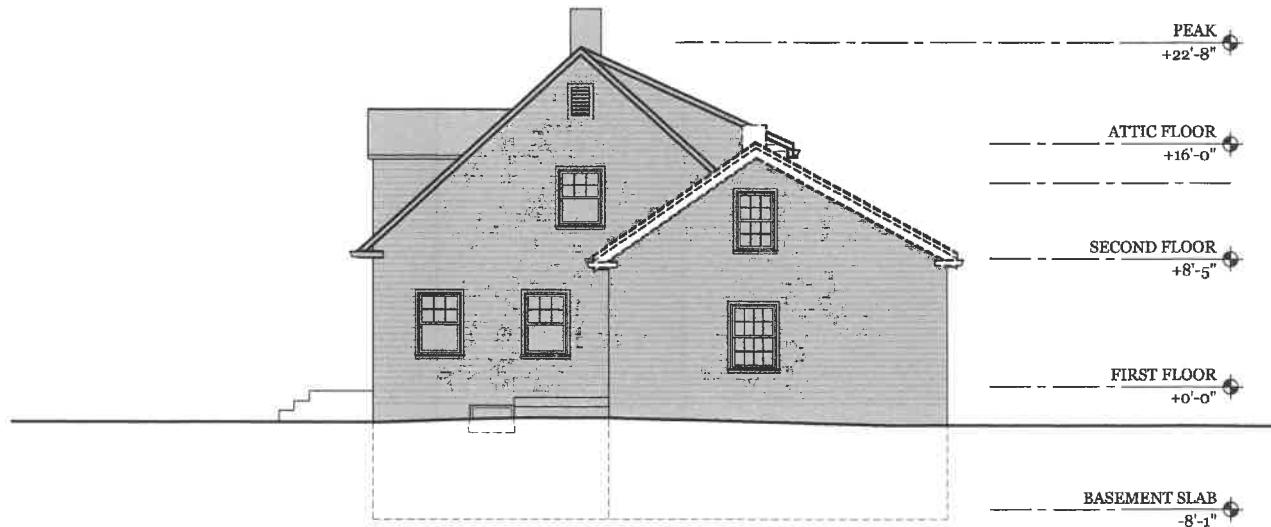
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED



Scale: 1/8" = 1'-0"

D2.0

October 17, 2025 - Issued for Construction



DEMOLITION LEGEND

-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE DEMOLISHED

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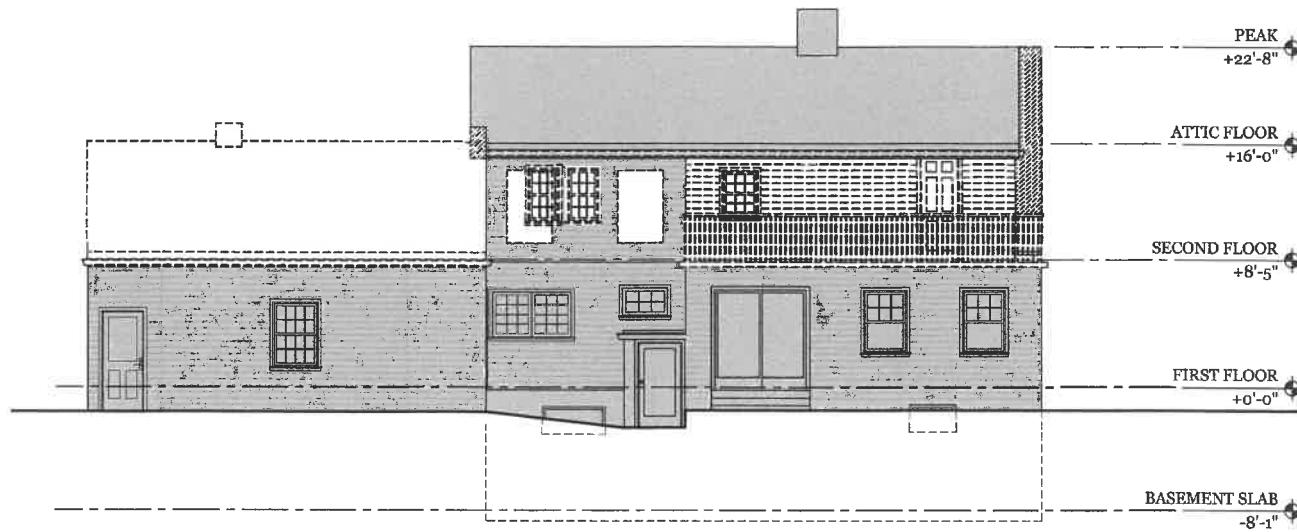
D2.1

9 Vane Street Addition
Wellfleet, Massachusetts

SMOOK
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617/423-3040

EAST ELEVATION
DEMOLITION

Scale: 1/8" = 1'-0"



DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- - - EXISTING CONSTRUCTION TO BE DEMOLISHED



D2.2

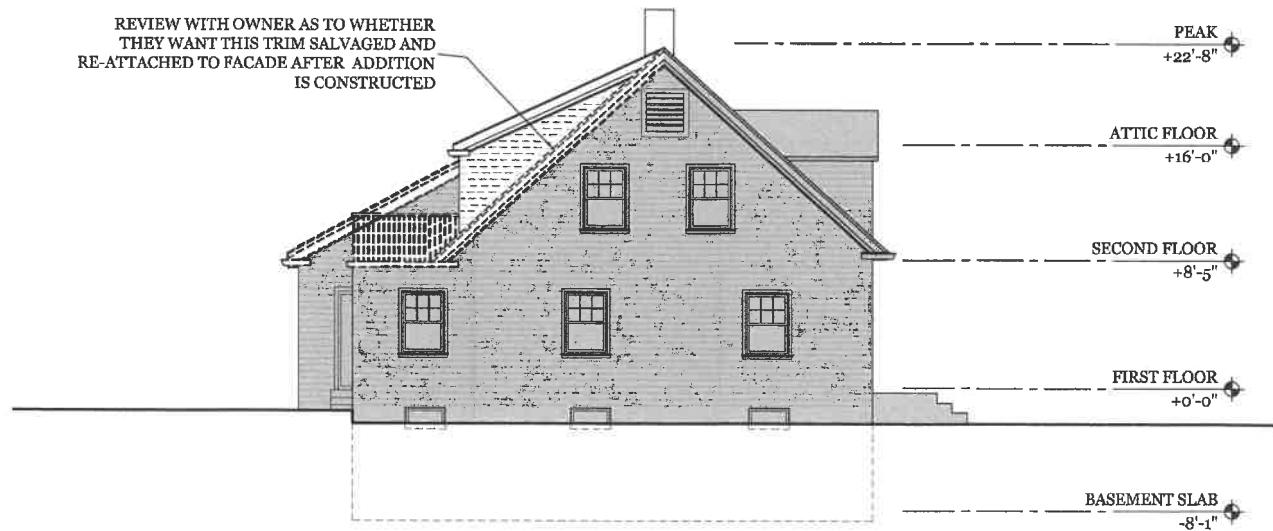
9 Vane Street Addition
Wellesley, Massachusetts

NORTH ELEVATION
DEMOLITION

SMOOK
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617.423.3040

Scale: 1/8" = 1'-0"

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DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- - - EXISTING CONSTRUCTION TO BE DEMOLISHED

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D2.3

WEST ELEVATION
DEMOLITION

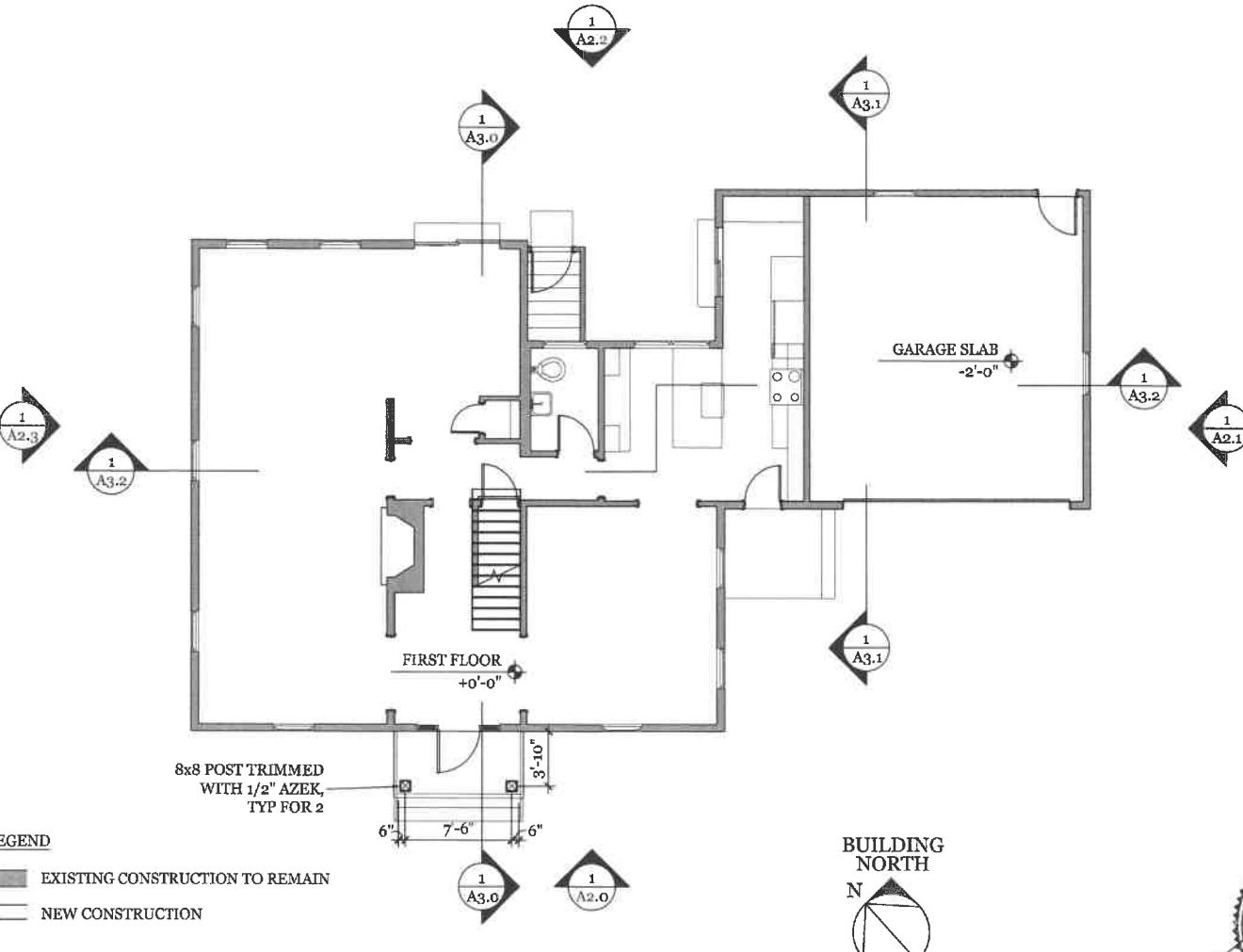
9 Vane Street Addition
Wellesley, Massachusetts

SMOOK
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617.443.9040

Scale: 1/8" = 1'-0"

NEW WORK LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION



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A1.0

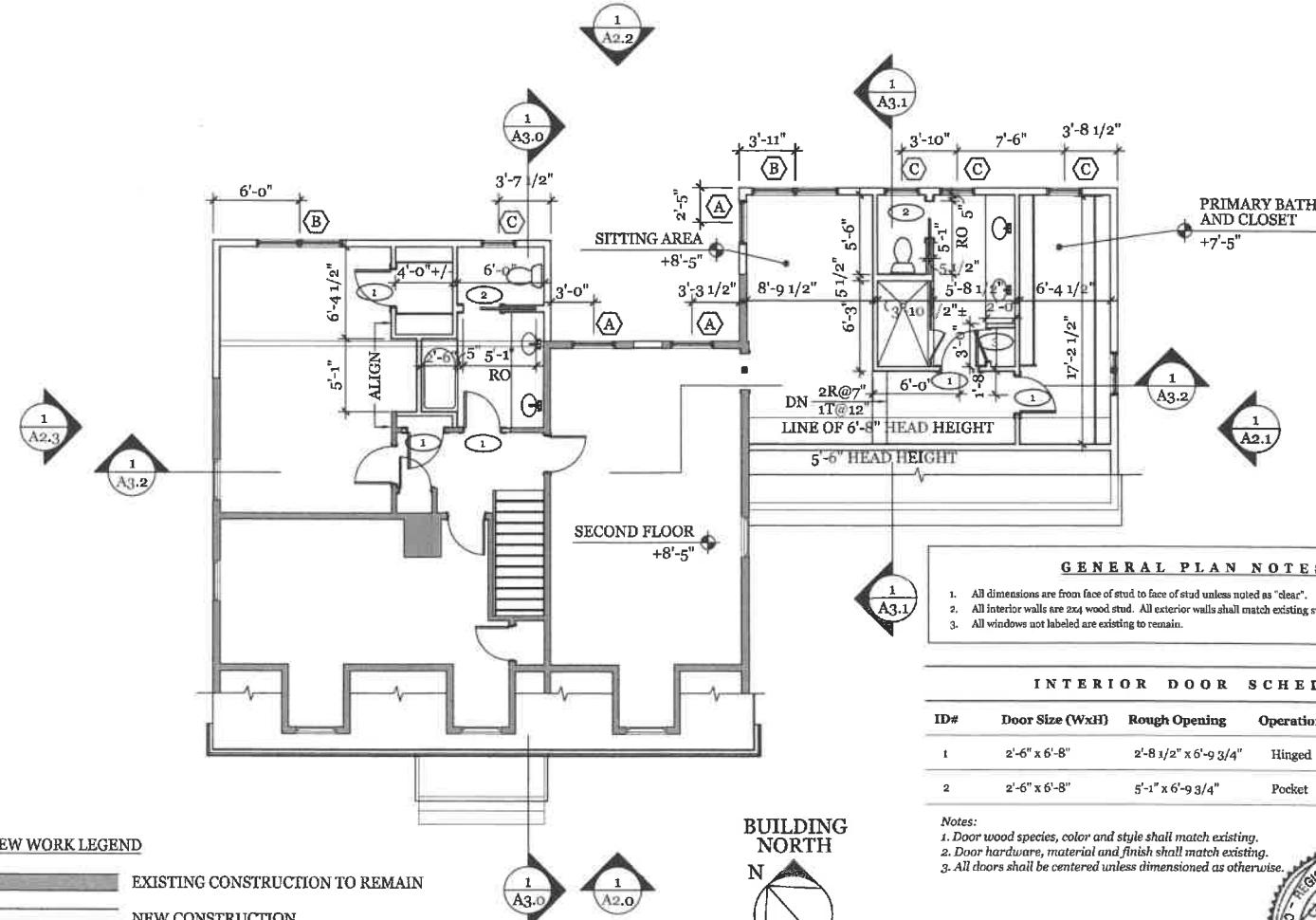
FIRST FLOOR
NEW WORK PLAN

9 Vane Street Addition
Wellesley, Massachusetts

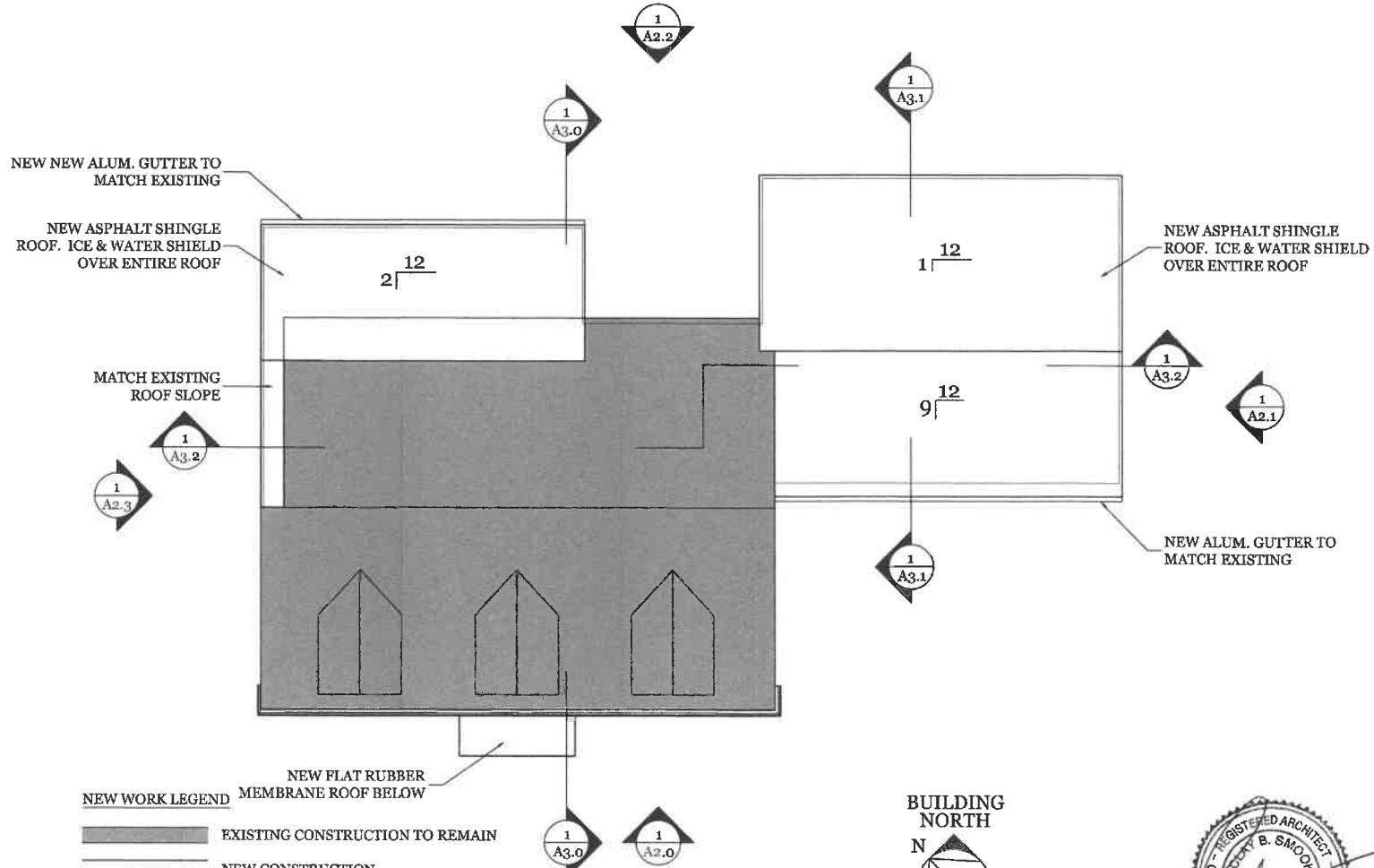
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617-423-3500

NEW WORK LEGEND

 EXISTING CONSTRUCTION TO REMAIN
 NEW CONSTRUCTION



October 17, 2025 - Issued for Construction



October 17, 2025 - Issued for Construction



A1.2

9 Vane Street Addition
Wellesley, Massachusetts

ROOF
NEW WORK PLAN

SMOOK
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617.423.3040

Scale: 1/8" = 1'-0"



NEW WORK LEGEND

EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION



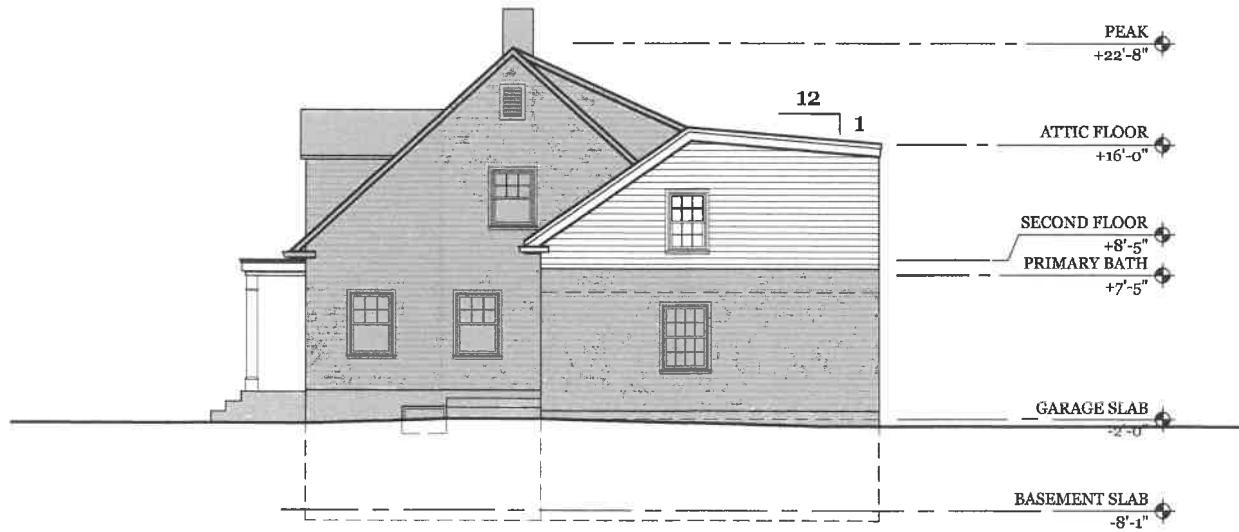
October 17, 2025 - Issued for Construction

A2.0

9 Vane Street Addition
Wellesley, Massachusetts

S.M.O.O.K.
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617.453.3540

Scale: 1/8" = 1'-0"



NEW WORK LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION

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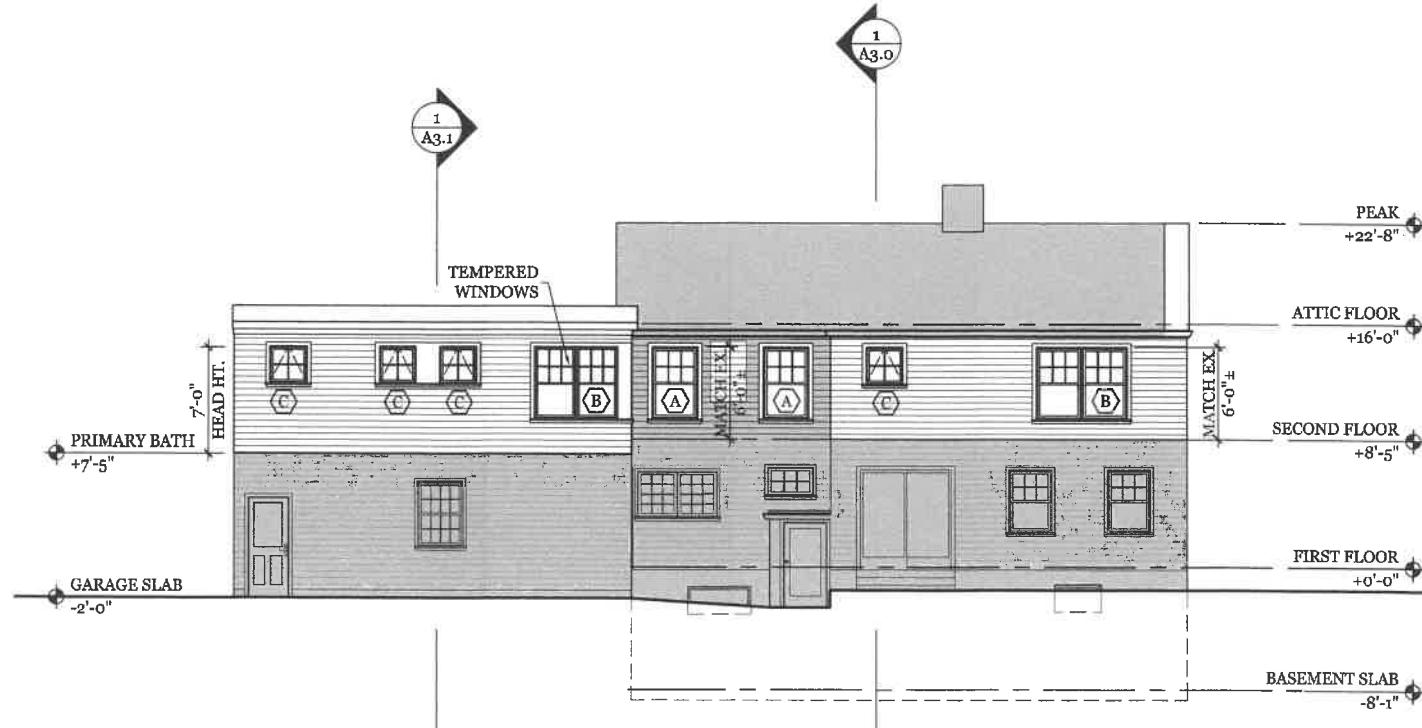
A2.1

9 Vane Street Addition
Wellesley, Massachusetts

EAST ELEVATION
NEW WORK

SMOOK
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617-423-3940

Scale: 1/8" = 1'-0"



NEW WORK LEGEND

-  EXISTING CONSTRUCTION TO REMAIN
-  NEW CONSTRUCTION

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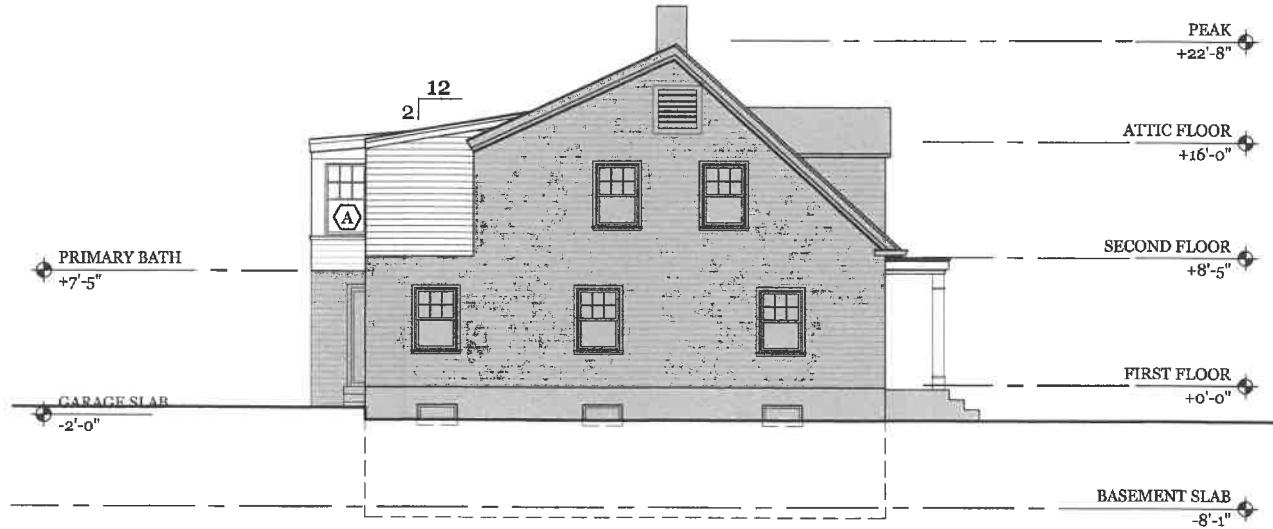


Scale: 1/8" = 1'-0"

A2.2

9 Vane Street Addition
Wellesley, Massachusetts

SMOOK
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617.423.3040



NEW WORK LEGEND

EXISTING CONSTRUCTION TO REMAIN

NEW CONSTRUCTION

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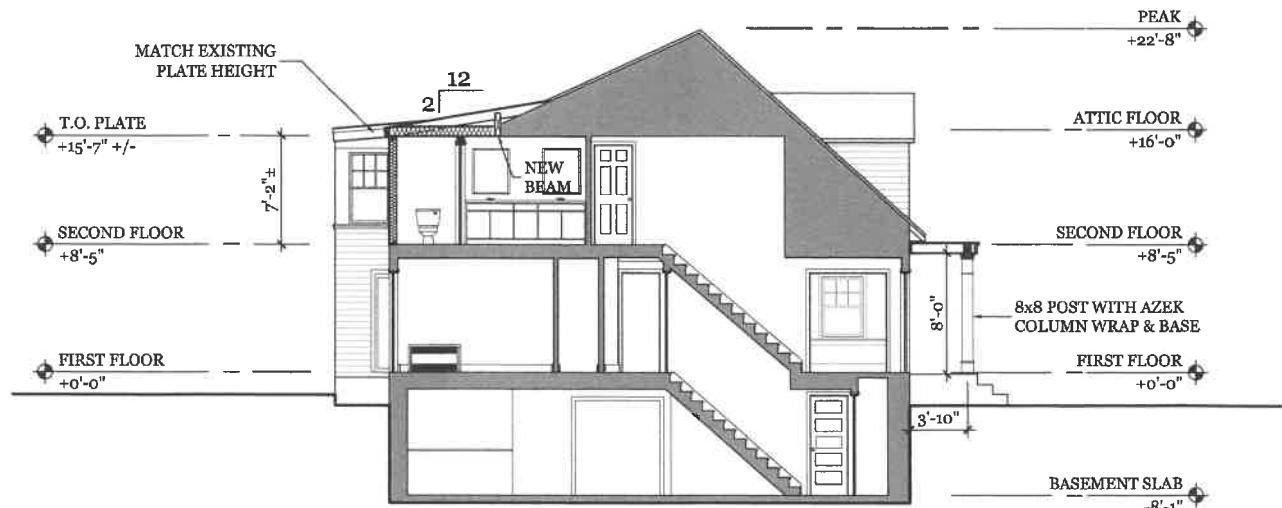


Scale: 1/8" = 1'-0"

A2.3

WEST ELEVATION
NEW WORK

SMOOK
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Westborough, Massachusetts 01581
617.442.3040



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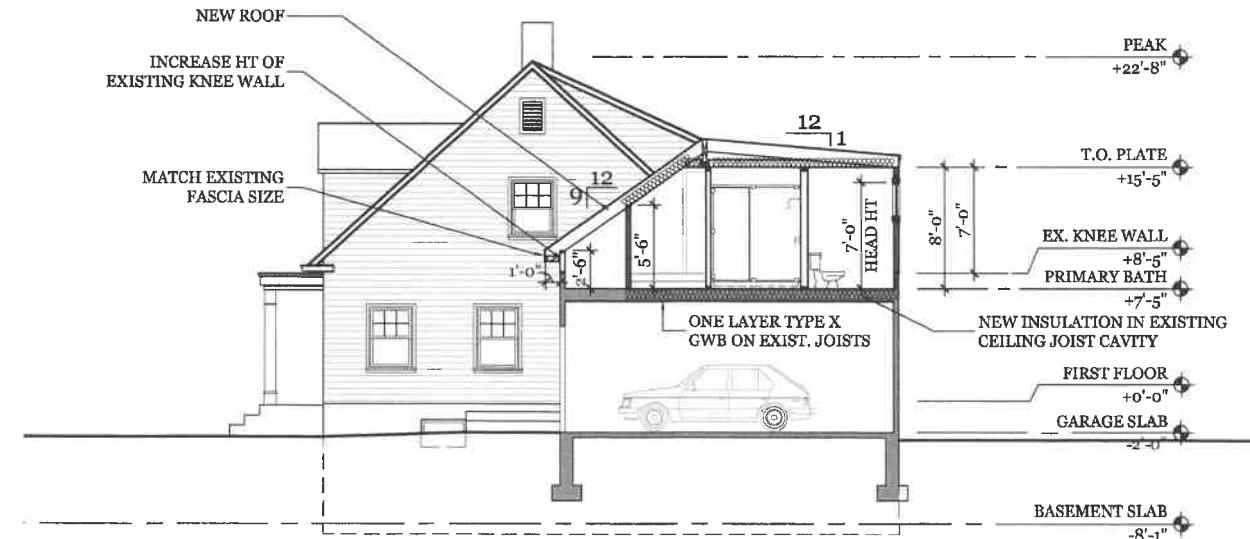
A3.0

9 Vane Street Addition
Wellesley, Massachusetts

SMOOK
ARCHITECTURE & URBAN DESIGN, INC.
8 Lyman Street, Suite 206
Wellesley, Massachusetts 02481
617-423-3040

CROSS SECTION

Scale: 1/8" = 1'-0"



NEW WORK LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION

October 17, 2025 - Issued for Construction



A3.1

CROSS SECTION

9 Vane Street Addition
Wellesley, Massachusetts

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Westborough, Massachusetts 01581
617.443.3640

Scale: 1/8" = 1'-0"







