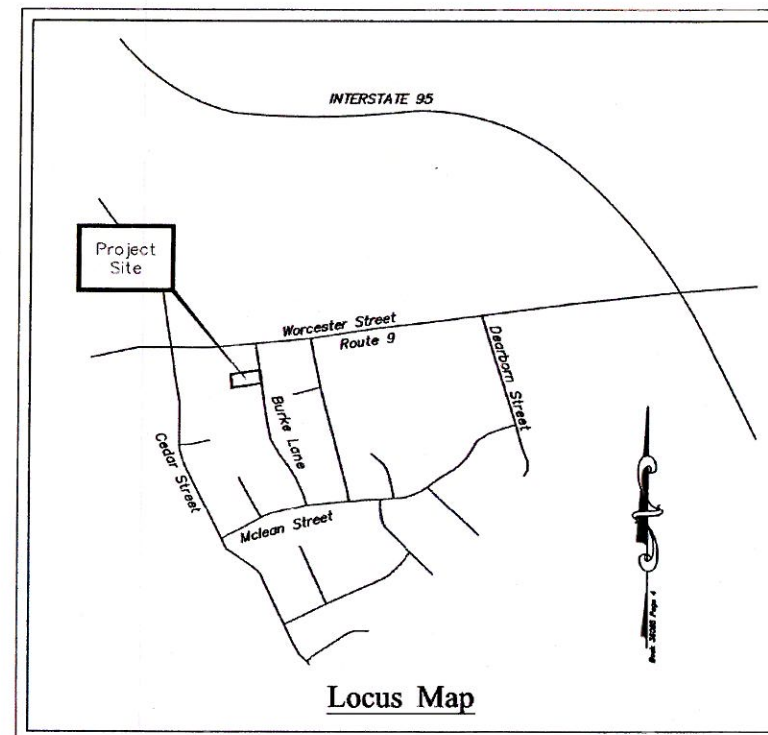


Site Plans
For
3 BURKE LANE
In
Wellesley, Massachusetts

Date: April 16, 2019
Revised: September 30, 2019

Wellesley Zoning Table		
Information obtained from Town of Wellesley Zoning Bylaw, as amended through October 1, 2018.		
Zone Description:	Minimum Required	Proposed
Single Residence District 15 - SRD15		
Building Size	15,000 S.F.	10,829 S.F.
Lot Requirements		
Minimum Area	15,000 S.F.	40,219 S.F.
Minimum Frontage & Width	50 Feet	147.65 Feet
Yard Requirements		
Minimum Front Setback	30 Feet	8.5 Feet (Existing)
Minimum Side Setback	20 Feet	11 Feet (Existing)
Minimum Rear Setback	15 Feet	41.8 Feet
Maximum Building Coverage	N/A	26.93%
Maximum Building Height	45 Feet/3 Stories	41 Feet/2.5 Stories
Parking Calculations		
Per the Institute of Transportation Engineers (ITE) Parking Generation Manual, 5th Edition, observed parking demand ratios for multifamily residential communities range from 0.75 to 2.05 spaces per dwelling unit with an average parking demand ranging between 1.22 and 2.05 spaces per dwelling unit and 85th percentile peak parking demand ranging between 1.33 and 1.47 spaces per dwelling unit. Proposed on-site parking will total 28 spaces for a ratio of 1.62 spaces per dwelling unit.		

Locus References	
Assessor Map 10 Lot 42	
Deed Book 36085 Page 4	
Plan Book 2071 Page 359	
Site Summary	
Wellesley Zoning District - Single Residence District - SRD15	
Total Area - 0.923± acres	
Proposed Building - 10,829 square feet (2.5 stories)	
Water and sewer services provided by Town of Wellesley.	
Gas service provided by National Grid.	
Overhead electric, telephone and cable available.	



These Plans Contain:	
Title	Sheet
Cover Sheet	1
Existing Conditions Plan	2
Site Development & Grading Plan	3
Details Sheet	4
Details Sheet 2	5
Details Sheet 3	6
Landscape Plan	7
Lighting Plan	8

Owner & Applicant
Cedar Place, LLC.
868 Worcester Street
Wellesley, MA 02482

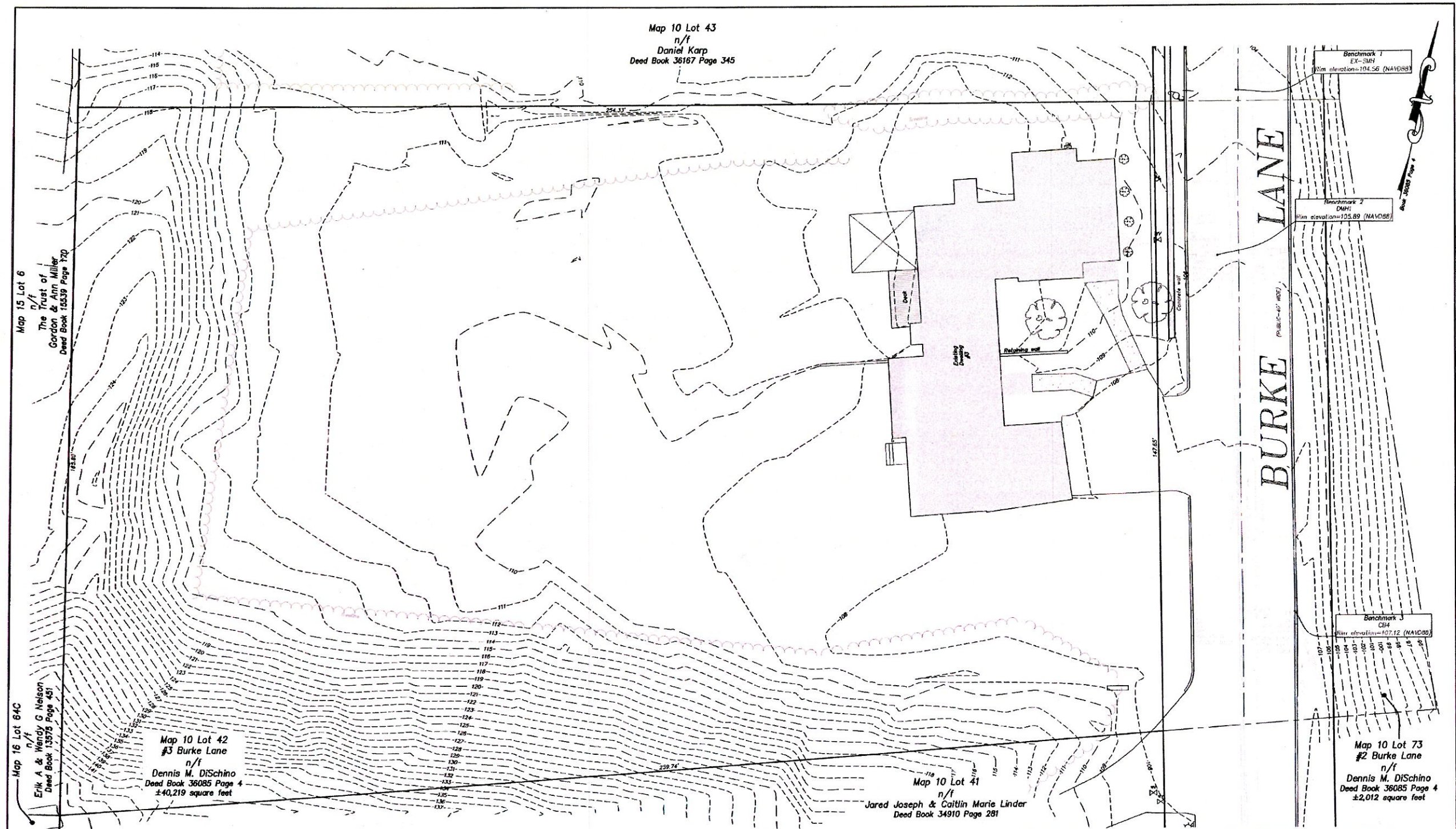


**Guerriere &
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Existing Conditions Plan
for
#3 Burke Lane
in
Wellesley, MA

Prepared for:
Cedar Place, LLC
868 Worcester Street
Wellesley, MA 02482

Scale: 1"=10'
September 30, 2019

Legend

--- Existing Contour	S Sewer Line
- - - Proposed Contour	D Drain Line
⊙ Drainage Manhole	W Water Line
⊙ Sewer Manhole	RD Road Drain
⊙ Utility Pole	C Gas Line
⊙ Water Valve	F Fire Line
EOP Edge of Pavement	OW Overhead Wire
RQP Reinforced Concrete Pipe	DTH Deep Test Hole
CCB Cope Curb Beam	BS Bottom of Stone
FDC Fire Department Connection	TS Top of Stone
	DI Ductile Iron

Notes

- There were no existing wetlands found on site.
- All utilities, structures, and roadways shown on these plans are proposed unless otherwise noted as existing.
- All units to be serviced by Town of Wellesley water and sewer. Gas to be provided by National Grid.
- All elevations refer to North American Vertical Datum 88 (NAVD88). To convert to the Town of Wellesley base datum, add 6.288' to the NAVD88 elevation.
- Existing utility locations are based on the info provided by the Town of Wellesley Water and Sewer Division. Pipe materials are to be field verified and upgraded to meet the minimum Town of Wellesley Department of Public Work Standards.

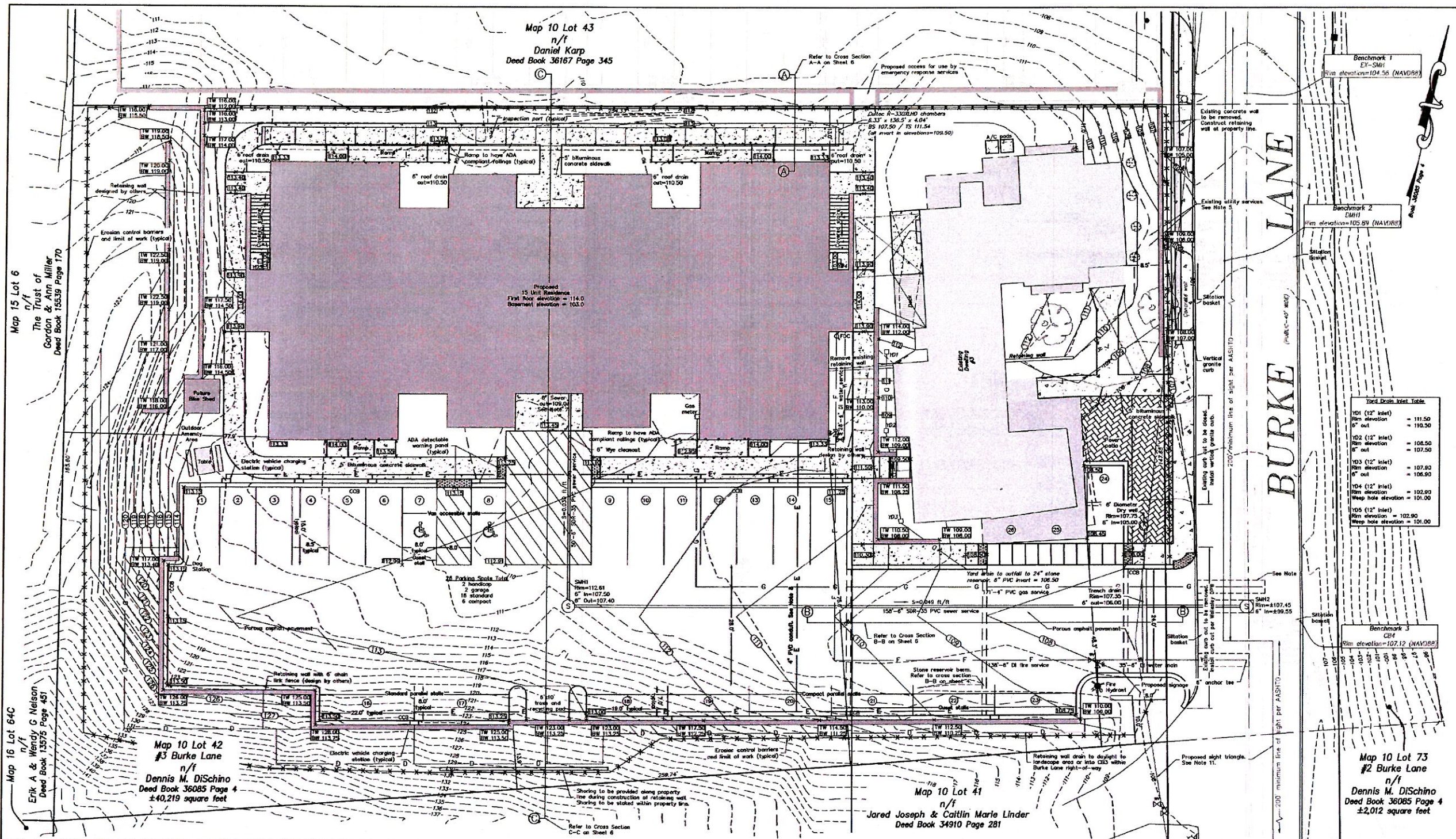
DATE: _____

DATE: 10/9/2019

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SHEET 2 OF 8

W-3209



Final Drain Inlet Table

Y01 (12" Inlet)	Rim elevation = 111.50
6" out	110.50
Y02 (12" Inlet)	Rim elevation = 108.50
6" out	107.50
Y03 (12" Inlet)	Rim elevation = 107.80
6" out	106.90
Y04 (12" Inlet)	Rim elevation = 102.80
Weep hole elevation = 101.00	
Y05 (12" Inlet)	Rim elevation = 102.90
Weep hole elevation = 101.00	

**Site Development
& Grading Plan**
for
#3 Burke Lane
in
Wellesley, MA

Prepared for:
Cedar Place, LLC
868 Worcester Street
Wellesley, MA 02482

Scale: 1"=10'
September 30, 2019

#	Date	Description	By
1	05/11/19	Revised per ZBA/Fire Dept. comments	JDF
2	07/19/19	Revised per DPW comments	JDF
3	07/24/19	Revised per ZBA/DPW comments	JDF
4	08/25/19	Revised per ZBA/DPW comments	JDF
5	09/30/19	Revised per ZBA/client comments	JDF

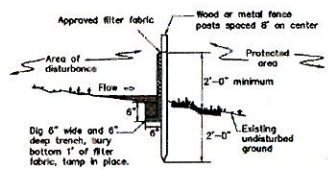
Legend

--- 256 ---	Existing Contour	S	Sewer Line
--- 257 ---	Proposed Contour	D	Drain Line
--- 258 ---	Drainage Manhole	W	Water Line
--- 259 ---	Sewer Manhole	RD	Roof Drain
--- 260 ---	Utility Pole	G	Gas Line
--- 261 ---	Water Valve	F	Fire Line
--- 262 ---	Edge of Pavement	OWH	Overhead Wires
--- 263 ---	Reinforced Concrete Pipe	DTH	Deep Test Hole
--- 264 ---	Cape Cod Storm	BS	Bottom of Stone
--- 265 ---	Fire Department Connection	TS	Top of Stone
--- 266 ---		DI	Ductile Iron

- Notes**
- There were no existing wetlands found on site.
 - All utilities, structures, and roadways shown on these plans are proposed unless otherwise noted as existing.
 - All utility lines to be installed by Town of Wellesley water and sewer. Gas to be provided by National Grid.
 - All elevations refer to North American Vertical Datum 88 (NAVD88). To convert to the Town of Wellesley base datum, add 6.280' to the NAVD88 elevation.
 - Existing utility locations are based on the data provided by the Town of Wellesley Water and Sewer Division. Pipe materials are to be field verified and approved to meet the minimum Town of Wellesley Department of Public Works Standards.
 - Contractor to saw cut pavement and trench as needed. All pavement milling and replacement as well as trenching and utility installation shall be made in accordance with the Town of Wellesley Department of Public Works (DPW) standards, the Town of Wellesley Engineer, and the Town of Wellesley Street Department.
 - Sewer pipe is to be constructed of Schedule 40 PVC for a minimum of 10' outside of foundation.
 - Electric vehicle charging stations are to be serviced by underground conduits. Refer to electrical plans for sizes, details, and specifications.
 - Contractor to provide channel access on all downspout connections.
 - All proposed signage and pavement markings shall be installed to conform with the latest standards of the Manual on Uniform Traffic Control Devices (MUTCD).
 - Signs, landscaping and other features located within sight triangle areas shall be designed, installed and maintained so as not to exceed 2.5-feet in height. Some windows located within sight triangle areas that exceed 3.5-feet in height or that would otherwise inhibit sight lines shall be promptly removed.

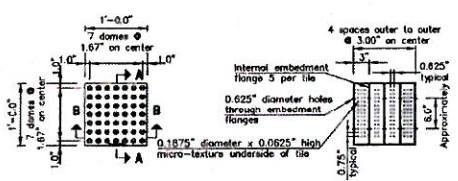


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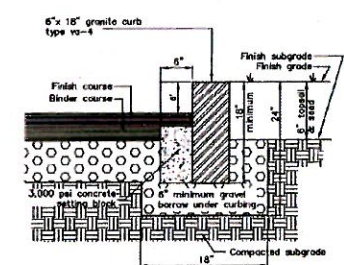
- Notes:**
1. Place erosion controls at locations as shown on the site plan.
 2. Silt fence shall be installed so water cannot bypass the fence around the sides.
 3. Inspections shall be frequent and any repairs or replacements shall be made as promptly as possible.
 4. Erosion Controls shall remain in place for the duration of the project unless otherwise instructed by the conservation commission.

Siltation and Erosion Control Barrier
Not to Scale



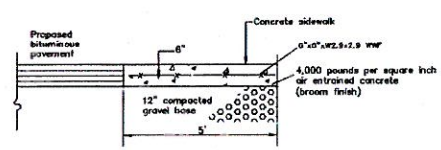
- Notes:**
1. Warning surface panels shall be made of cast iron. Panels can be either non-painted or painted federal yellow.

Detectable Warning Surface
Not to Scale

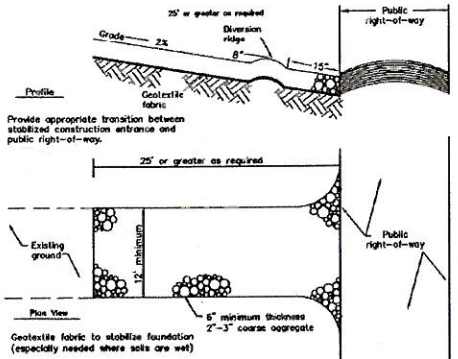


- Notes:**
1. See Mass Highway Department standard detail 106.30.
 2. See Mass Highway Department standard specification section 500 & 501.

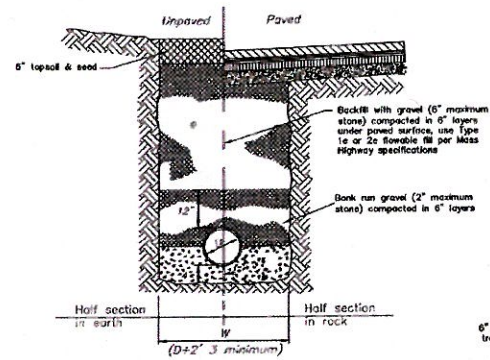
Typical Vertical Granite Curb
Not to Scale



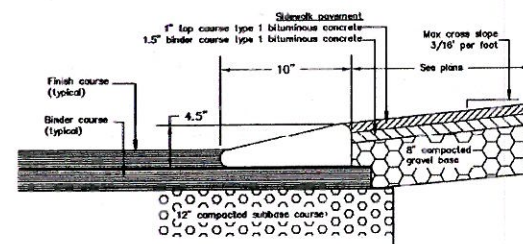
Pavement & Concrete Sidewalk Detail
(Flush for handicap accessibility)
Not to Scale



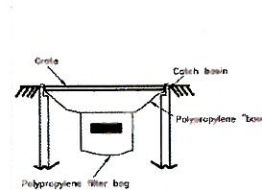
Stabilized Construction Entrance
Not to Scale



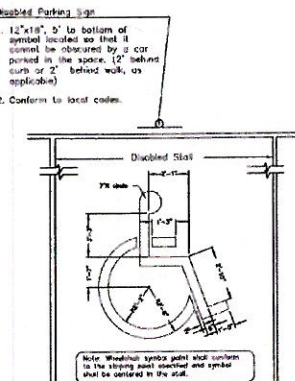
Typical Trench Section
Not to Scale



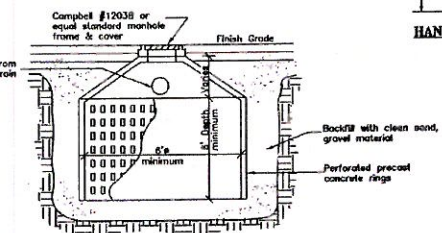
Bituminous Concrete Berm & Sidewalk
Not to Scale



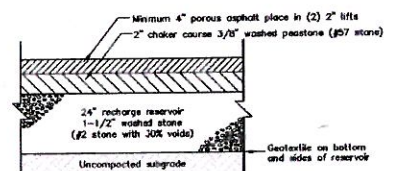
Siltation Basket
Type II-S (Sediment)
Not to Scale



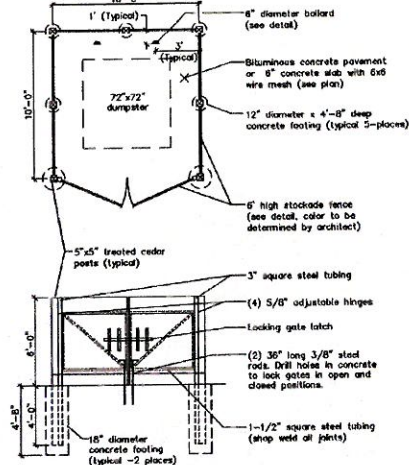
Handicap Parking Space Painting Detail
Not to Scale



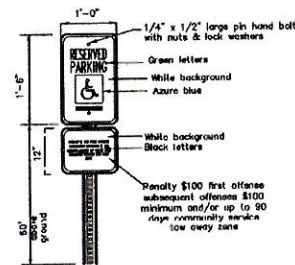
Typical Dry Well Detail
Not to Scale



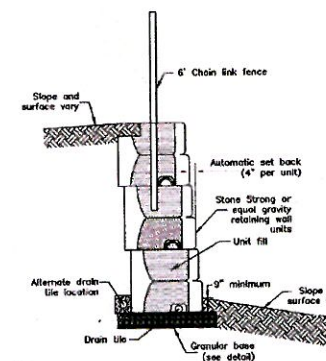
Porous Pavement Detail
Not to Scale



Trash Enclosure
Not to Scale



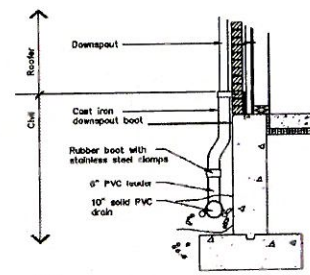
HANDICAP PARKING SIGN DETAIL
Not to Scale



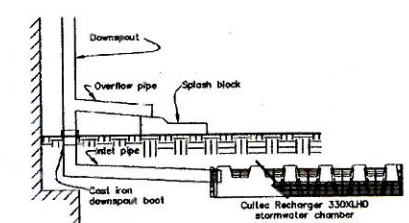
Typical Retaining Wall Cross Section
Not to Scale

Cut/Fill Summary

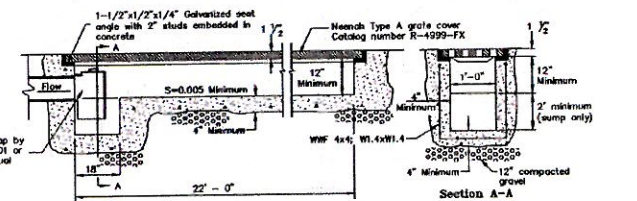
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Cut-Fill Surface	1.000	1.000	32599 Sq. Ft.	2764 Cu. Yd.	1024 Cu. Yd.	1740 Cu. Yd. <Cut>
Totals			32599 Sq. Ft.	2764 Cu. Yd.	1024 Cu. Yd.	1740 Cu. Yd. <Cut>



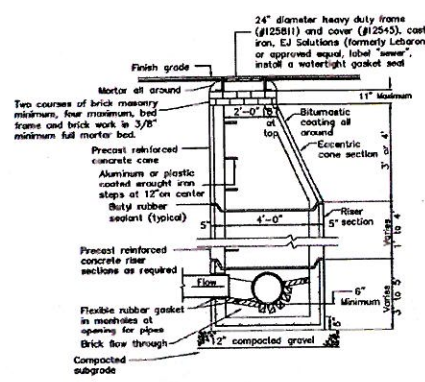
Typical Downspout Connection
Not to Scale



Roof Leader to Cullee Recharger 330XLHD Connection
Not to Scale



Typical Concrete Trench Drain
(Poured in Place)
Not to Scale



Typical Precast Concrete Manhole (Sanitary)
Not to Scale

Site Plan Details
for
#3 Burke Lane
in
Wellesley, MA

Prepared for:
Cedar Place, LLC
868 Worcester Street
Wellesley, MA 02482

0 10 20
5 15
Scale: 1"=10'
September 30, 2019

#	Date	Description	By
1	07/9/19	Revised per DPW comments	JDF
2	07/24/19	Revised per ZBA/DPW comments	JDF
3	08/29/19	Revised per ZBA/DPW comments	JDF

Legend

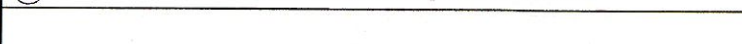
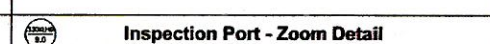
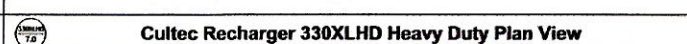
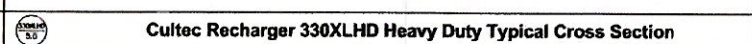
--256--	Existing Contour	S	Sewer Line
-256-	Proposed Contour	D	Drain Line
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⊙	Sewer Manhole	RD	Roof Drain
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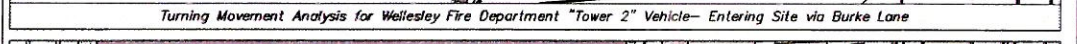
- Notes:**
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DATE: _____

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SHEET 4 OF 8
W-3209

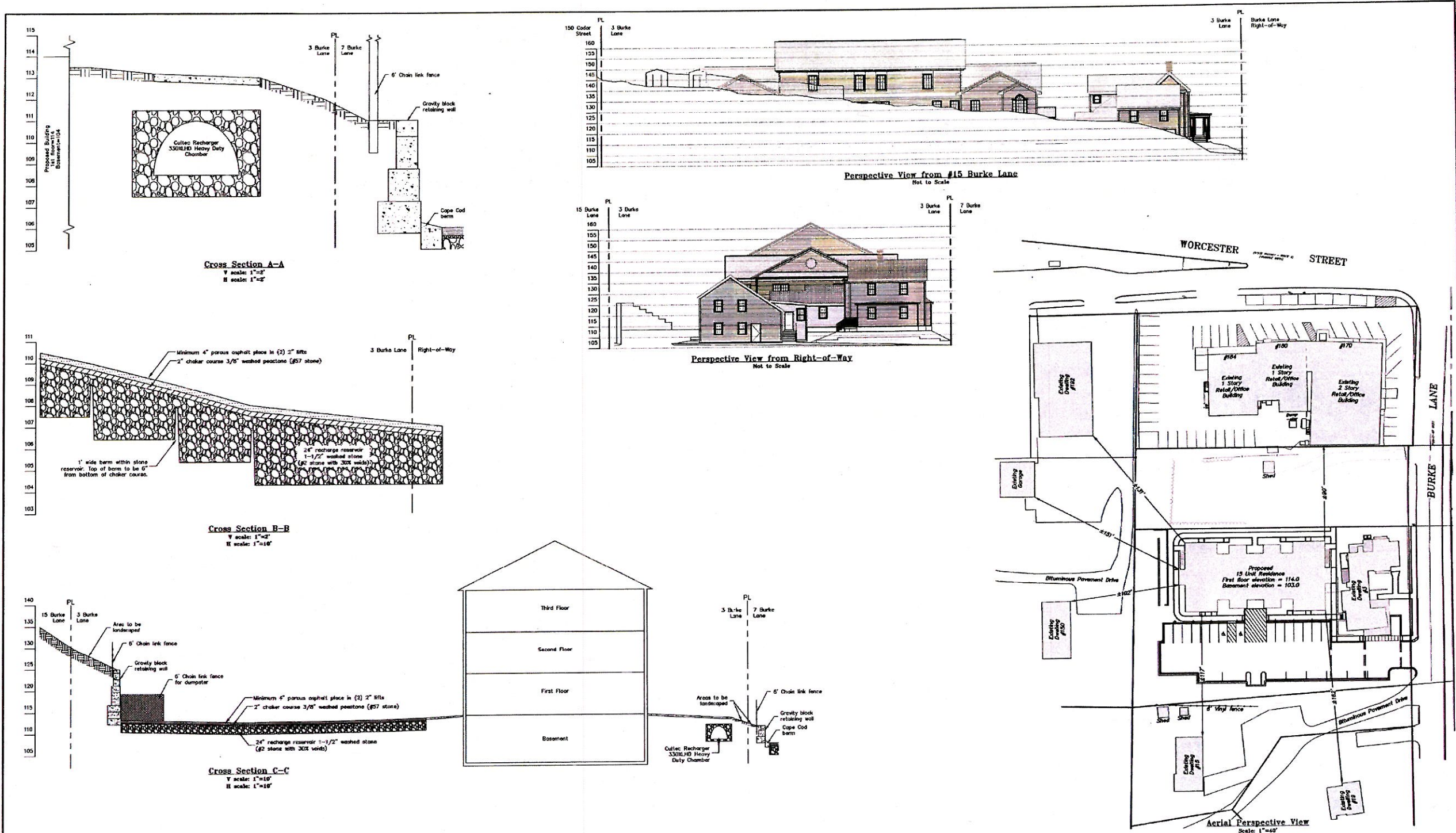




- | | | |
|--|---|---|
| <h2 style="margin: 0;">Site Plan Details</h2> <p style="text-align: center;">for</p> <h1 style="margin: 0;">#3 Burke Lane</h1> <p style="text-align: center;">in</p> <h1 style="margin: 0;">Wellesley, MA</h1> | <h2 style="margin: 0;">Cedar Place, LLC</h2> <h1 style="margin: 0;">868 Worcester Street</h1> <h1 style="margin: 0;">Wellesley, MA 02482</h1> |  <p style="font-size: small;">Scale: 1" =
September 30, 2019</p> |
|--|---|---|



-



Site Plan Details
for
#3 Burke Lane
in
Wellesley, MA

Prepared for:
Cedar Place, LLC
868 Worcester Street
Wellesley, MA 02482

0 10 20
Scale: 1"=10'
September 30, 2019

#	Date	Description	By
1	07/24/19	Revised per ZBA/DPW comments	JOF
2	08/29/19	Revised per ZBA/DPW comments	JOF

Legend

---256--- Existing Contour
---258--- Proposed Contour
⊙ Drainage Manhole
⊙ Sewer Manhole
⊙ Utility Pole
⊙ Water Valve
EOP Edge of Pavement
RCP Reinforced Concrete Pipe
CCB Cape Cod Berm
FDC Fire Department Connection

S Sewer Line
D Drain Line
W Water Line
RD Roof Drain
G Gas Line
F Fire Line
OHW Overhead Wires
DTH Deep Test Hole
BS Bottom of Stone
TS Top of Stone
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Notes

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DATE: _____

DATE: 10/2/19

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SHEET
6 OF 8

W-3209