



ZONING BOARD OF APPEALS

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

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ZBA 2016-78

Petition of Unitarian Universalist Society
of Wellesley Hills
309 Washington Street

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday, October 6, 2016 at 7:30 p.m. in the Juliani Meeting Room, 525 Washington Street, Wellesley, on the petition of Unitarian Universalist Society Of Wellesley Hills requesting renewal of a Special Permit that was granted on August 18, 2011 pursuant to the provisions of Section II A 8 (j) and Section XXV of the Zoning Bylaw and extended pursuant to the Permit Extension Act, (St. 2010, c. 240 § 173) As Amended (St. 2012, c. 238, §§ 74-75), for non-accessory use of off-street parking spaces in its existing parking lot for 15 vehicles, at 309 Washington Street, in a General Residence District, which is a use not allowed by right.

On September 21, 2016, the Petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing was John Pattillo, representing the Unitarian Universalist Society of Wellesley Hills, the Petitioner.

The Chairman said that the request is for renewal of a special permit to use 15 parking spaces for non-accessory parking. He asked if anything has changed since the previous special permit was granted. Mr. Pattillo said that nothing has changed and there have been no problems.

A Board member asked if the six conditions from the prior approval are acceptable. Mr. Pattillo said that they are. A Board member said that Condition 6 set the expiration date at one year. He said that he would not object to making this a three-year renewal.

There was no one present at the public hearing who wished to speak to the petition.

Statement of Facts

The subject parking lot is located at 309 Washington Street, in a General Residence District.

The Petitioner is requesting renewal of a Special Permit that was granted on August 18, 2011 pursuant to the provisions of Section II A 8 (j) and Section XXV of the Zoning Bylaw and extended pursuant to the Permit Extension Act, (St. 2010, c. 240 § 173) As Amended (St. 2012, c. 238, §§ 74-75), for non-accessory use of off-street parking spaces in its existing parking lot for 15 vehicles, which is a use not allowed by right in a General Residence District.

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On October 6, 2016, the Planning Board reviewed the petition and recommended that the Special Permit be granted with the same conditions.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing.

A Special Permit is required pursuant to Section II A 8 (j) of the Zoning Bylaw, as the requested use of the parking lot for non-accessory off-street parking for 15 vehicles in the existing parking lot is not a use allowed by right in a General Residence District.

It is the opinion of this Authority that the non-accessory use parking shall not cause significant disturbance or disruption of any residential neighborhood, shall not detract from the use of the parking lot for the accessory use, or reduce landscaping or screening areas.

Therefore, renewal of a Special Permit is granted, subject to the following conditions:

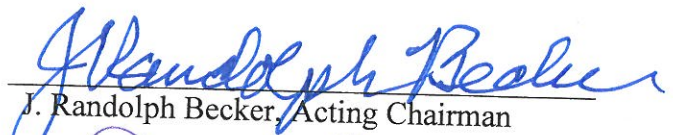
1. Hours of operation shall be from 8 a.m. to 7 p.m., Monday through Friday.
2. Parking spaces shall be assigned on a monthly basis only.
3. There shall be no overnight parking.
4. Parking shall be in accordance with the original plan submitted for ZBA 2006-49. Parking shall be assigned to the blue area at the back of the lot. Parking shall be assigned to the spaces closest to Washington Street in the green area when the blue parking area is full. There shall be no parking in the pink area.
5. Lighting shall be turned off by 10 p.m.
6. The Special Permit shall expire three years from the date time-stamped on this decision.

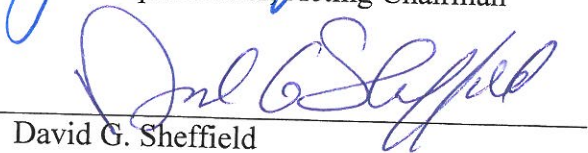
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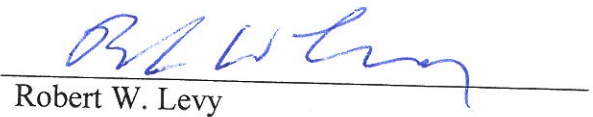
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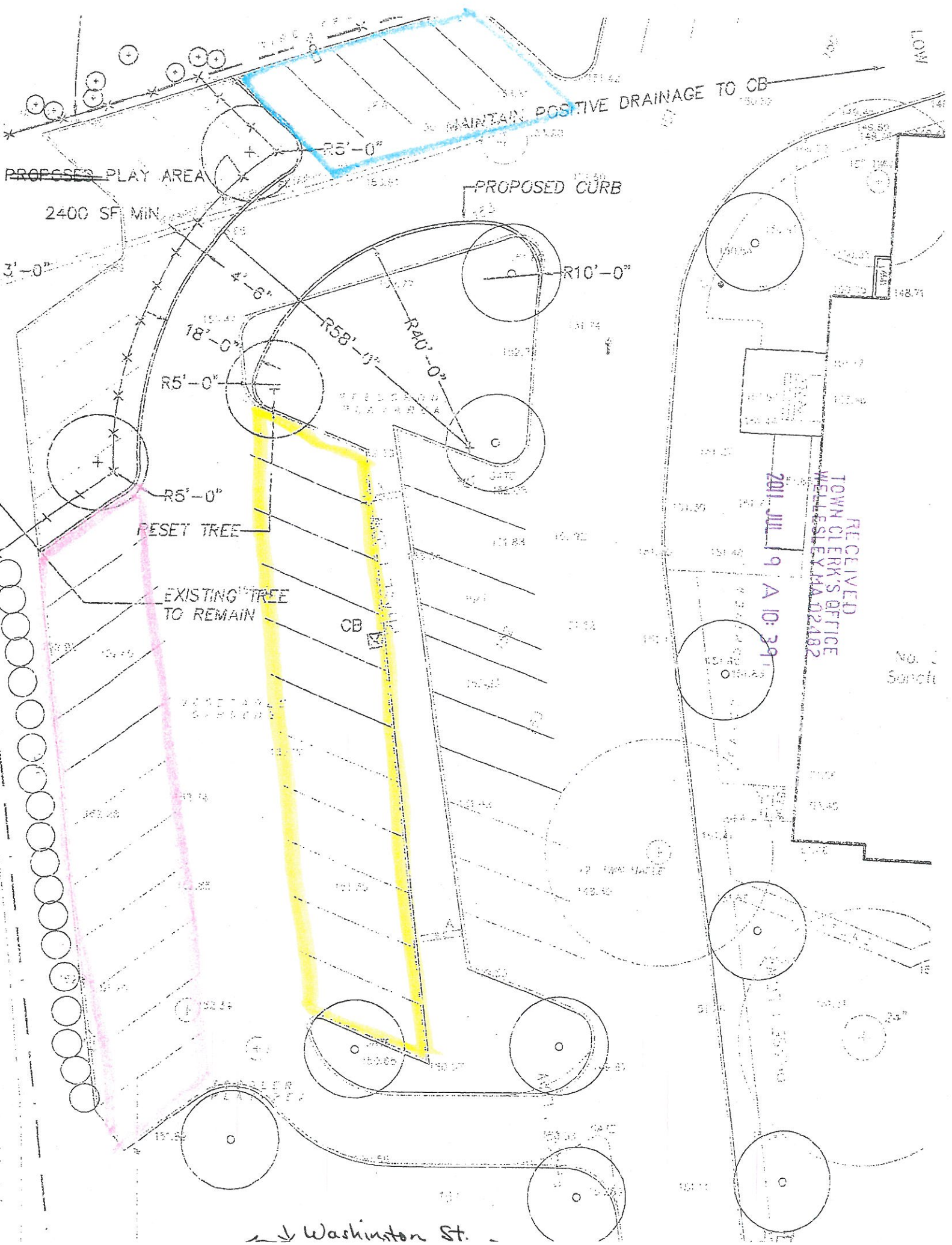
APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN THE
OFFICE OF THE TOWN CLERK.


J. Randolph Becker, Acting Chairman


David G. Sheffield


Robert W. Levy

cc: Planning Board
Inspector of Buildings
lrm



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