

**Guerriere &
Halnon, Inc.**
ENGINEERING & LAND SURVEYING

www.guerriereandhalnon.com
Est. 1972

Whitinsville Office
1029 Providence Road
Whitinsville, MA 01588-2121
Phone: (508) 234-6834
Fax: (508) 234-6723

Milford Office
333 West Street
P.O. Box 235
Milford, MA 01757-0235
Phone: (508) 473-6630
Fax: (508) 473-8243

Franklin Office
55 West Central Street
Franklin, MA 02038-3807
Phone (508) 528-3221
Fax (508) 528-7921

W-3209

September 5, 2019

Wellesley Zoning Board of Appeals
525 Washington Street
Wellesley, MA 02482

Re: Site Plans for 3 Burke Lane, Wellesley

To Whom It May Concern:

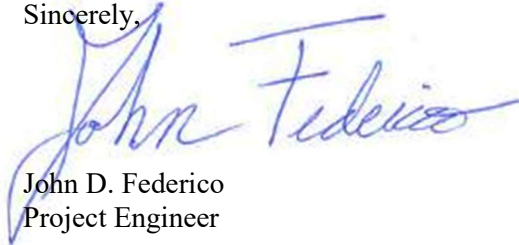
Below is a list of revisions to the Guerriere & Halnon, Inc. Site Plans dated August 29, 2019. Revisions 1-18 address comments from meetings with the Zoning Board of Appeals on June 4, 2019 and July 18, 2019, the Fire Department on June 10, 2019, and the Department of Public Works on July 2, 2019. Revisions 19-32 address comments from the most recent meeting with the Zoning Board of Appeals on August 6, 2019, the Department of Public Works Peer Review Letter dated May 9, 2019, and the VHB Transportation Peer Review Letter dated July 31, 2019.

1. New sidewalks and crosswalk striping were added South of the existing building on Sheet 3 for pedestrian connectivity to Burke Lane.
2. Ramps along the North side of the proposed building were added to Sheet 3 for ADA compliancy.
3. Stairs to the 7 Burke Lane parking lot were added to Sheet 3 for emergency personnel access.
4. Cut & fill analysis summary was added to Sheet 4.
5. Infiltration chamber design elevations were raised. Callouts on Sheet 3 as well as details on Sheet 5 have been revised accordingly.
6. Porous pavement stone reservoir berms with callouts were added to Sheet 3.
7. Bituminous Concrete Berm & Sidewalk Detail and Pavement & Concrete Sidewalk Detail were revised to reflect porous pavement on Sheet 4.
8. A note for retaining wall drainage was added to Sheet 3.
9. Three (3) cross sections were added to Sheet 6 with callouts shown on Sheet 3.
10. Two (2) proposed handicap stalls were revised to be van accessible on Sheet 3.
11. A patio was added West of the existing building on Sheet 3.
12. A/C pads were added North of the existing building on Sheet 3.
13. Existing building utility connections were added on Sheets 2 & 3.
14. Fire and water service layouts were revised to reflect proper tapping locations, a fire department connection, and a new hydrant on Sheet 3. Pipe material callouts have been revised to ductile iron.
15. A sewer manhole was added in the Burke Lane Right-of-Way in lieu of a wye connection on Sheet 3.
16. Pipe size for the gas service to the proposed building was revised on Sheet 3.
17. Additional electric vehicle charging stations with conduits and Note 8 have been added to Sheet 3.
18. Callouts for 5' wide sidewalks within Burke Lane Right-of-Way were added to Sheet 3.
19. A statement to verify existing pipe materials and upgrade the connections to minimum town standards was added to Note 5 on Sheets 2 & 3.
20. Note 11 was added to Sheet 3 for height restrictions on features located within limits of sight triangle. A callout was added to Sheet 3 to denote the limits of the sight triangle.
21. A note for pavement milling and replacement was added to Sheet 3.
22. The outdoor amenity area was revised to include a future bike shed location on Sheet 3.

23. The western retaining wall was revised to remove an encroachment onto the 7 Burke Lane property as well as provide 10' of separation to the proposed building on Sheet 3. The retaining wall drainage pipe layout was revised on Sheet 3 per Redi-rock Shop Drawings. A note was added to the typical detail on Sheet 4 for fencing along the wall.
24. A note for retaining wall shoring was added to Sheet 3.
25. The limits of work were revised on Sheet 3.
26. ADA compliant railings for ramps were added with notes to Sheet 3.
27. All utility service pipe lengths were added on Sheet 3.
28. ADA detectable warning panels were added on Sheet 3 with a paint and material note added to the typical detail on Sheet 4.
29. An overflow trench drain and dry well were added on Sheet 3 with callouts. Typical details were added on Sheet 4.
30. Cut and fill analysis was revised on Sheet 4.
31. Soil logs were moved from Sheet 4 to Sheet 5.
32. Three (3) perspective views were added to Sheet 6.

If there are any questions concerning these changes described above, please contact the undersigned.

Sincerely,

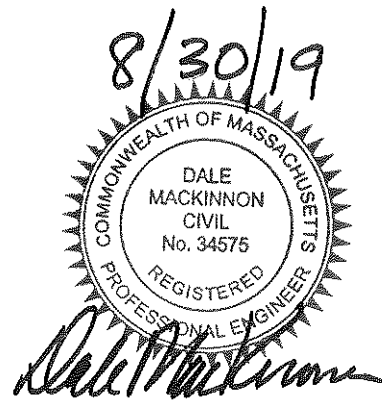
A handwritten signature in blue ink that reads "John D. Federico". The signature is fluid and cursive, with the first name "John" being more prominent than the last name "Federico".

John D. Federico
Project Engineer

G:\CD\Whitinsville\W3209\DWG\Design Drawings\Current\W3209-W2784 Working Plan 20190830.dwg 2019-08-30 Federico

Site Plans
For
3 BURKE LANE
In
Wellesley, Massachusetts

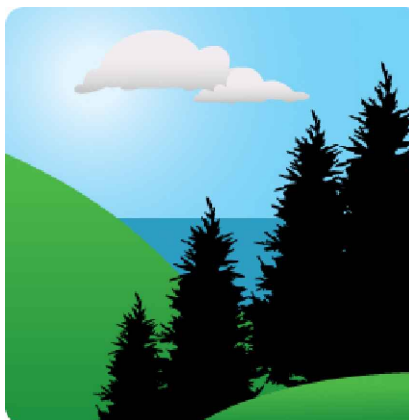
Date: April 16, 2019
Revised: August 29, 2019



These Plans Contain:

Title	Sheet
Cover Sheet	1
Existing Conditions Plan	2
Site Development & Grading Plan	3
Details Sheet	4
Details Sheet 2	5
Details Sheet 3	6
Landscape Plan	7
Lighting Plan	8

Owner & Applicant
Cedar Place, LLC.
868 Worcester Street
Wellesley, MA 02482



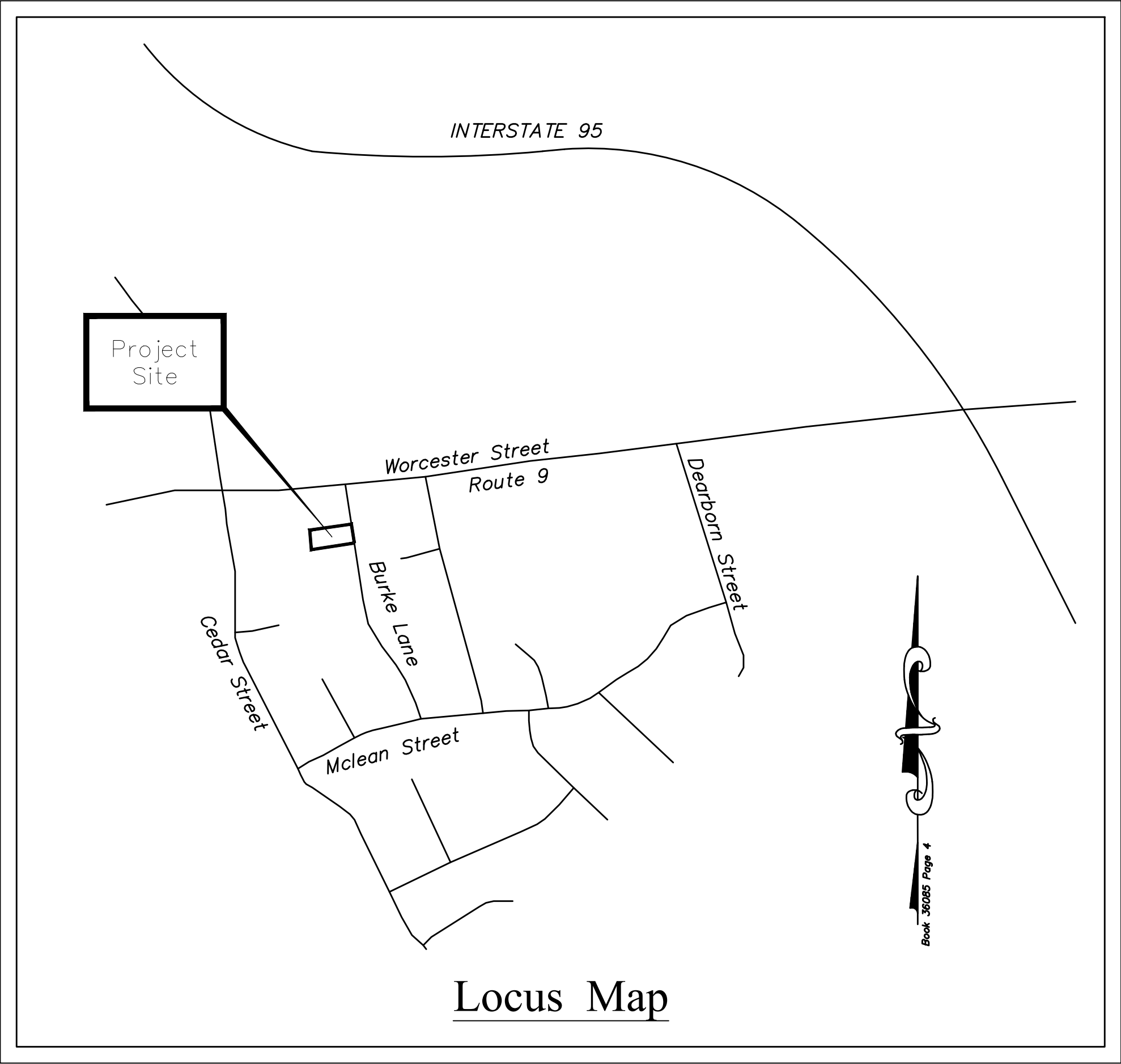
Guerriere &
Halnon, Inc.

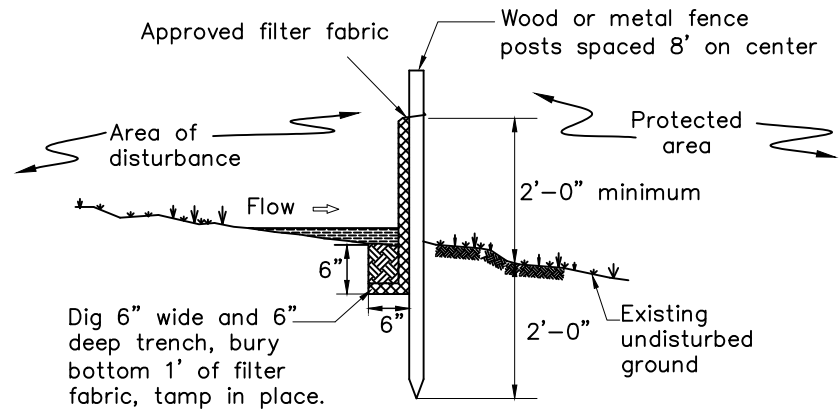
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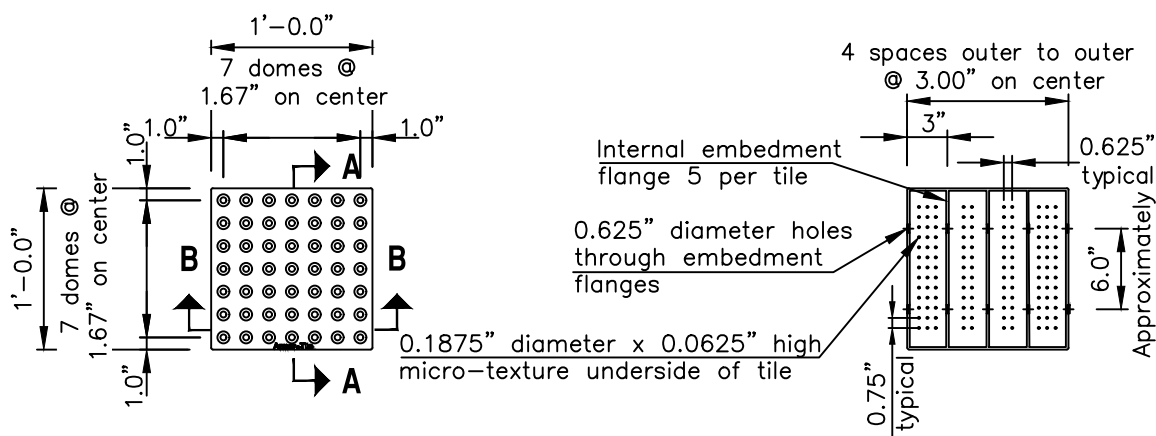
Wellesley Zoning Table		
Information obtained from Town of Wellesley Zoning Bylaw, as amended through October 1, 2018.		
Zone Description:	Minimum Required Maximum Allowed	Proposed
Single Residence District 15 – SRD15		
Building Size	15,000 S.F.	10,829 S.F.
Lot Requirements:		
Minimum Area	15,000 S.F.	40,219 S.F.
Minimum Frontage & Width	60 Feet	147.65 Feet
Yard Requirements:		
Minimum Front Setback	30 Feet	8.5 Feet (Existing)
Minimum Side Setback	20 Feet	11 Feet (Existing)
Minimum Rear Setback	15 Feet	41.8 Feet
Maximum Building Coverage	N/A	26.93%
Maximum Building Height	45 Feet/3 Stories	41 Feet/2.5 Stories
Parking Calculations		
Per the Institute of Transportation Engineers (ITE) Parking Generation Manual, 5th Edition, observed parking demand ratios for multifamily residential communities range from 0.75 to 2.05 spaces per dwelling unit with an average parking demand ranging between 1.22 and 2.05 spaces per dwelling unit and 85th percentile peak parking demand ranging between 1.33 and 1.47 spaces per dwelling unit. Proposed on-site parking will total 26 spaces for a ratio of 1.62 spaces per dwelling unit.		

Locus References
Assessor Map 10 Lot 42 Deed Book 36085 Page 4 Plan Book 2071 Page 359
Site Summary
Wellesley Zoning District – Single Residence District – SRD15 Total Area – 0.923± acres Proposed Building – 10,829 square feet (2.5 stories) Water and sewer services provided by Town of Wellesley. Gas service provided by National Grid. Overhead electric, telephone and cable available.

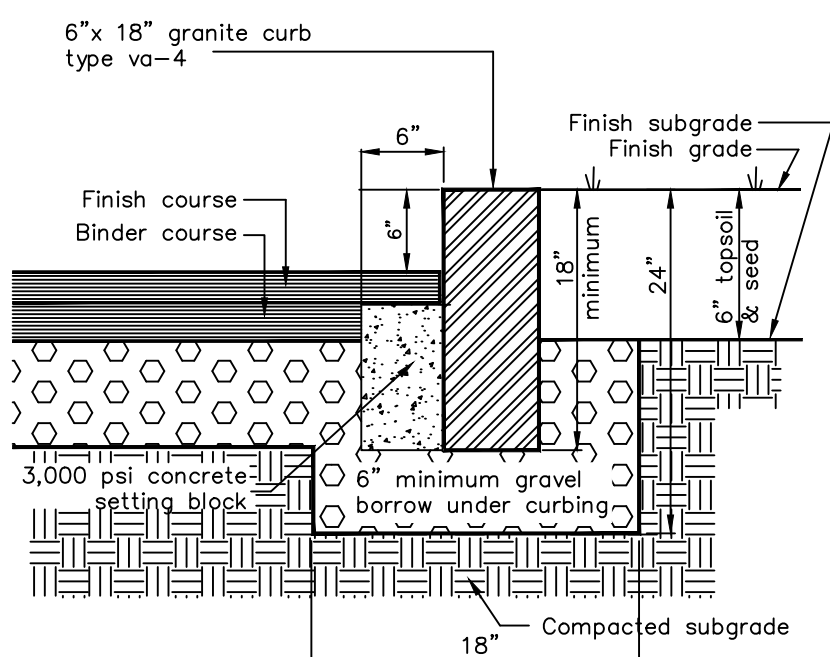




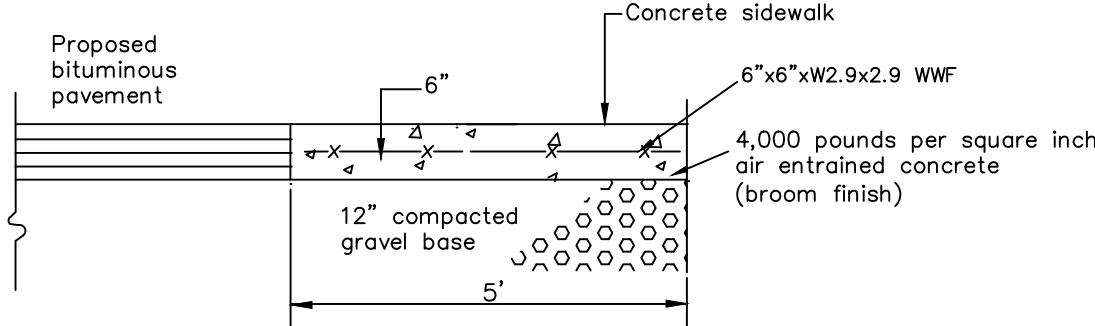
Siltation and Erosion Control Barrier
Not to Scale



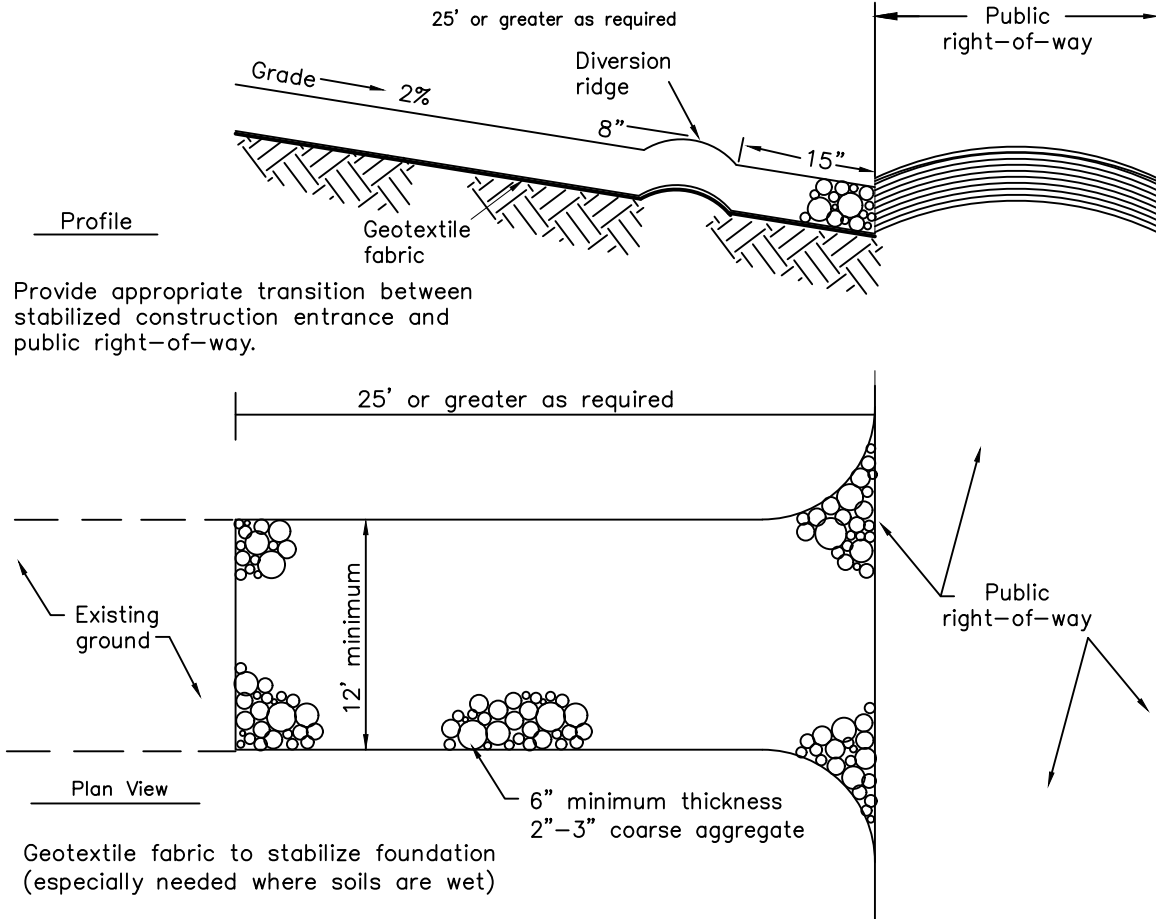
Detectable Warning Surface
Not to Scale



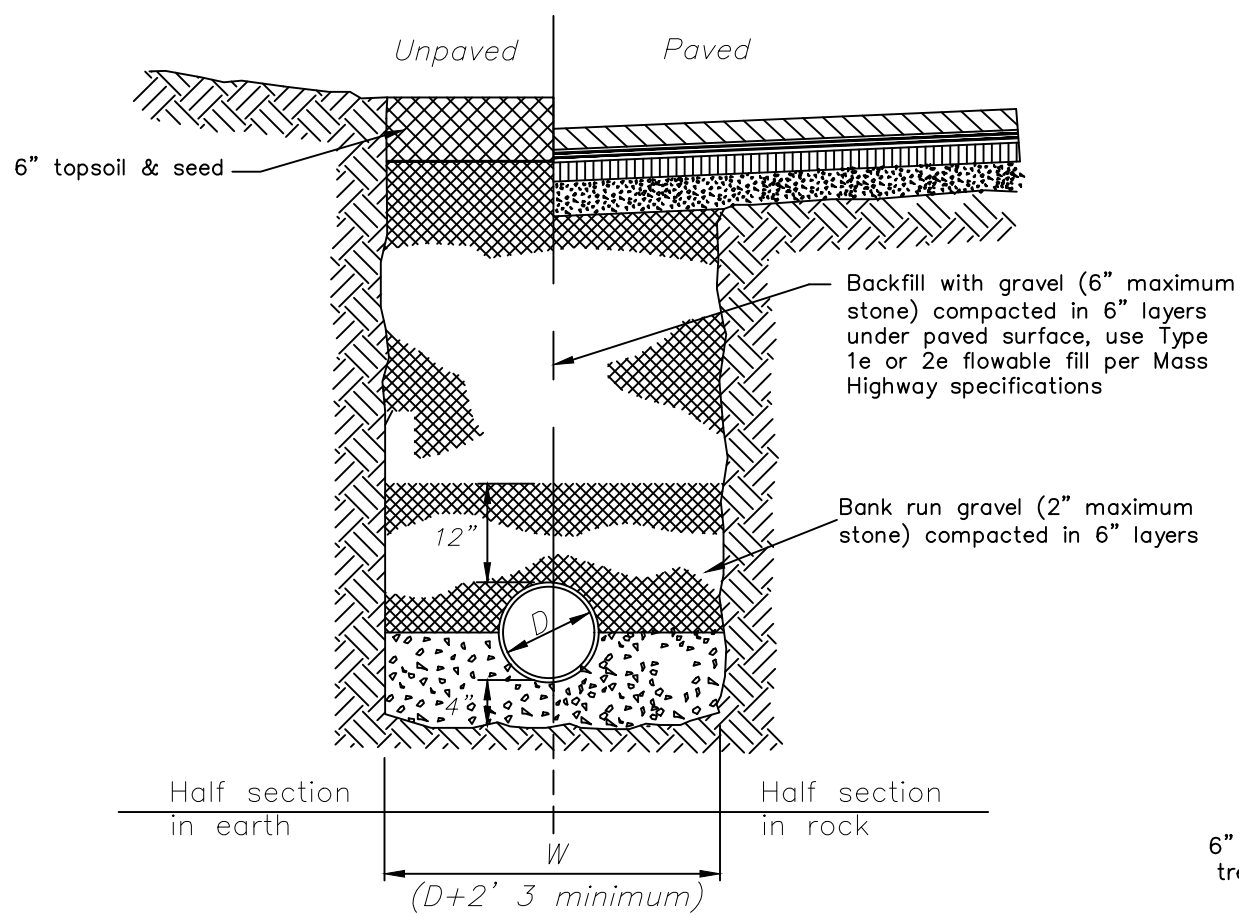
Typical Vertical Granite Curb
Not to Scale



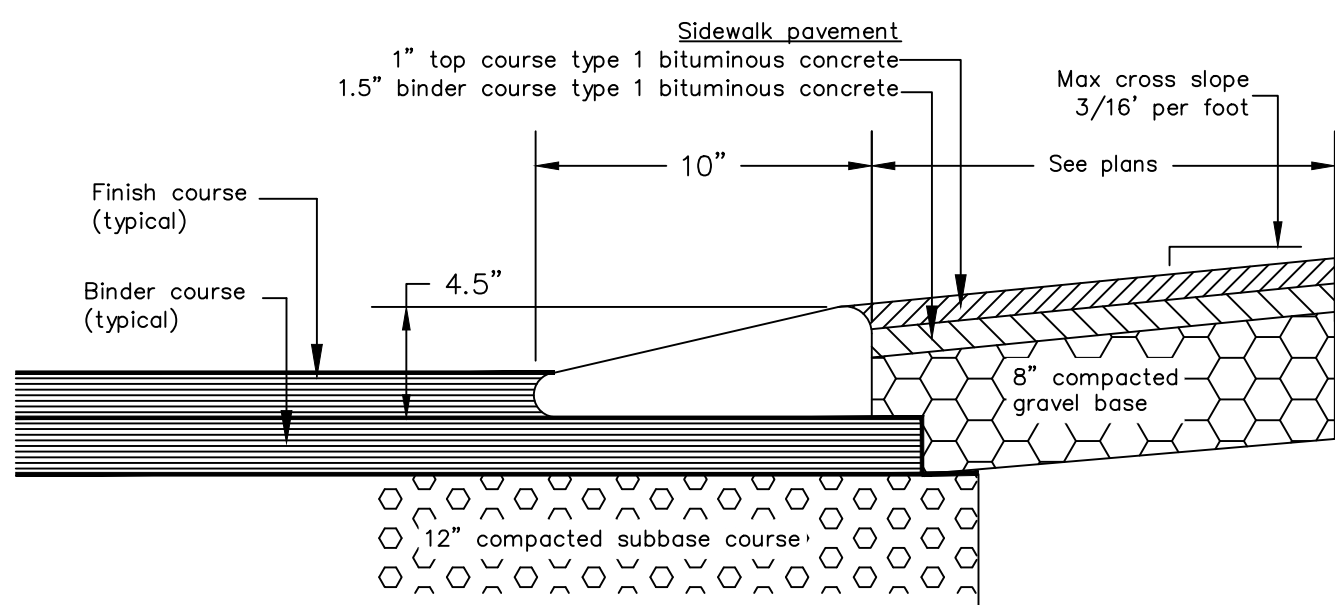
**Pavement & Concrete Sidewalk Detail
(Flush for handicap accessibility)**
Not to Scale



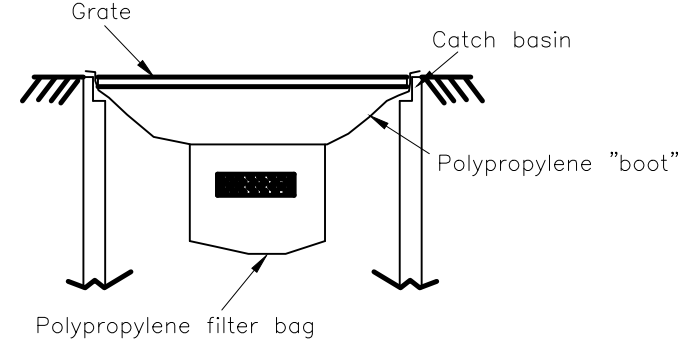
Stabilized Construction Entrance
Not to Scale



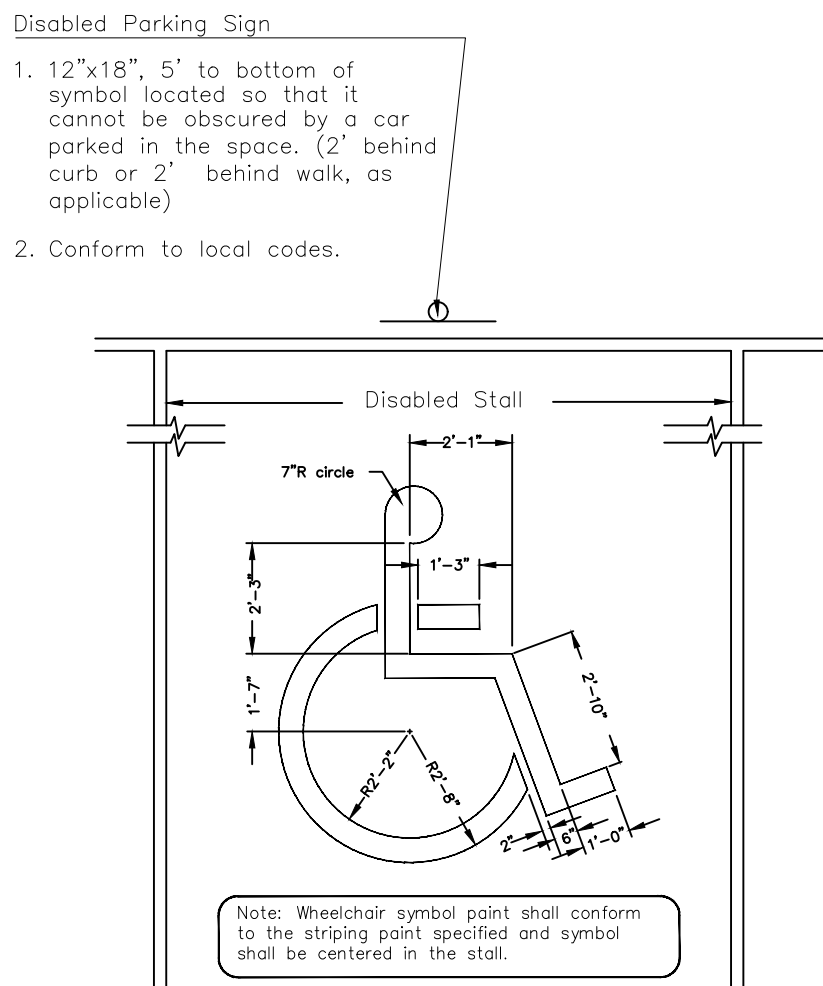
Typical Trench Section
Not to Scale



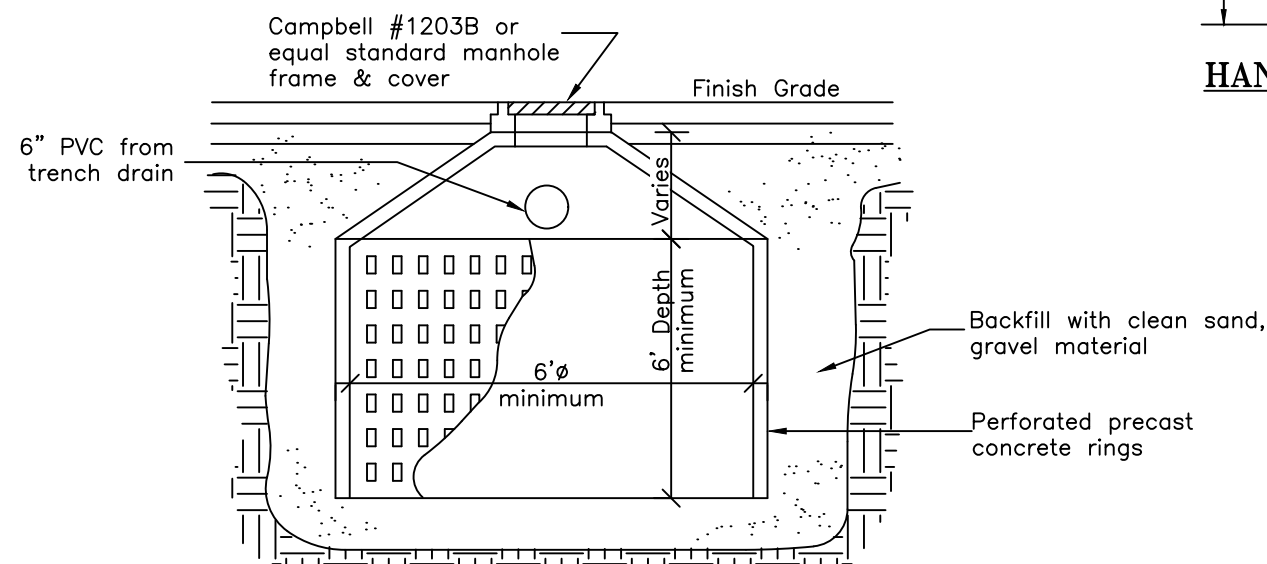
Bituminous Concrete Berm & Sidewalk
Not to Scale



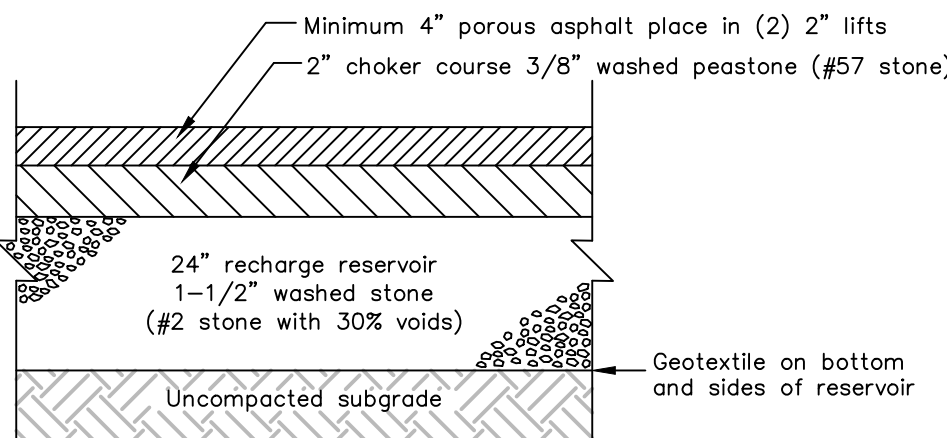
**Siltation Basket
Type II-S (Sediment)**
Not to Scale



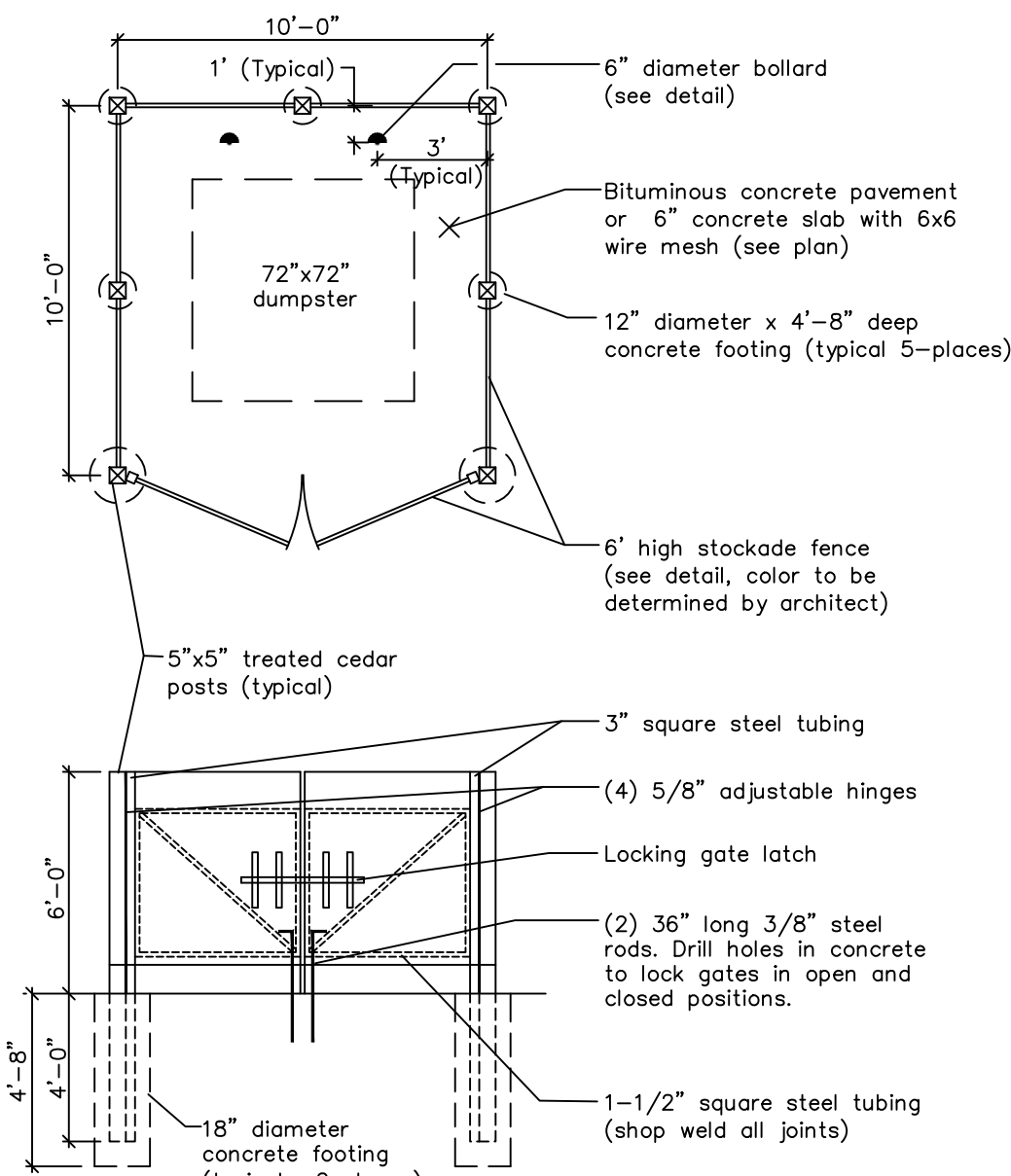
Handicap Parking Space Painting Detail
Not to Scale



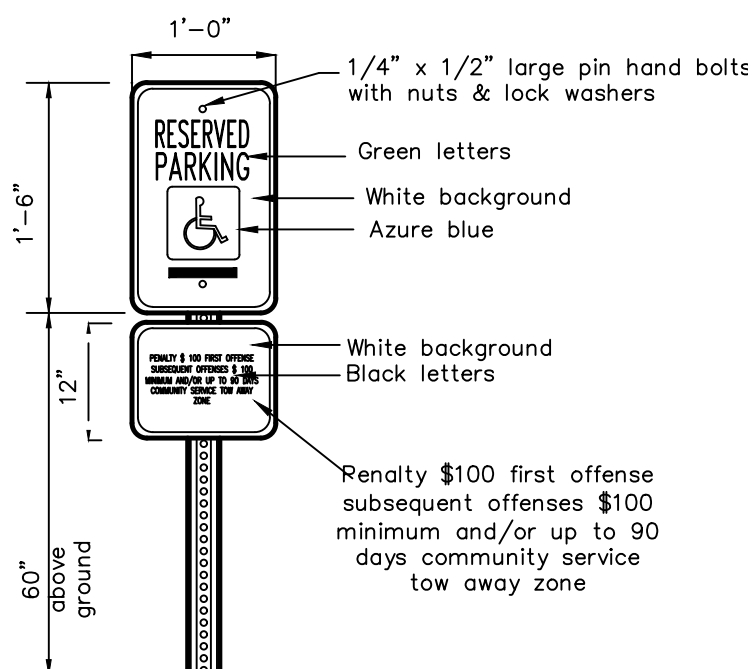
Typical Dry Well Detail
Not to Scale



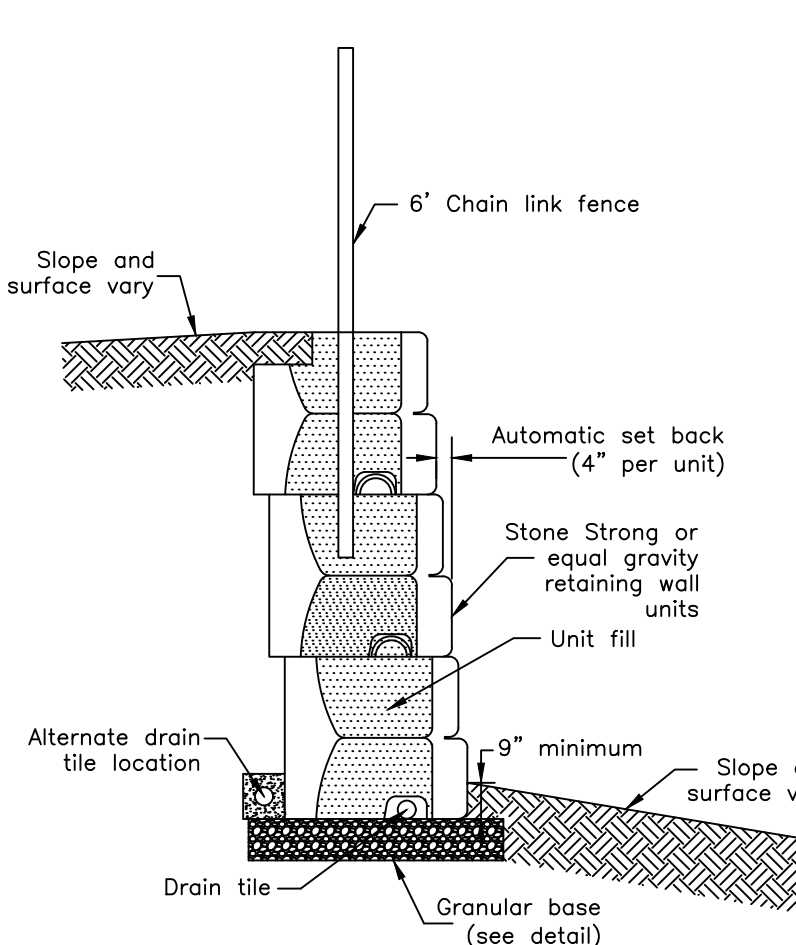
Porous Pavement Detail
Not to Scale



Trash Enclosure
Not to Scale



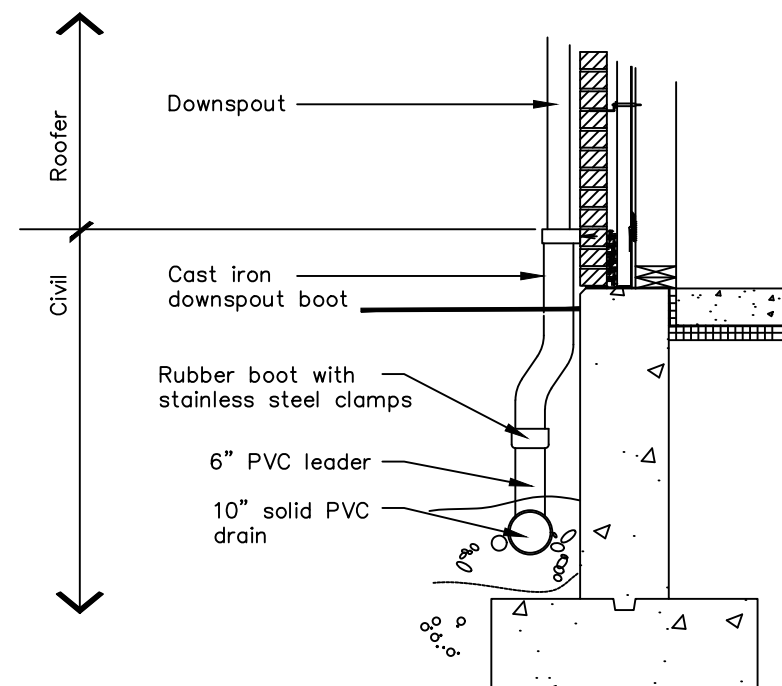
HANDICAP PARKING SIGN DETAIL
Not to Scale



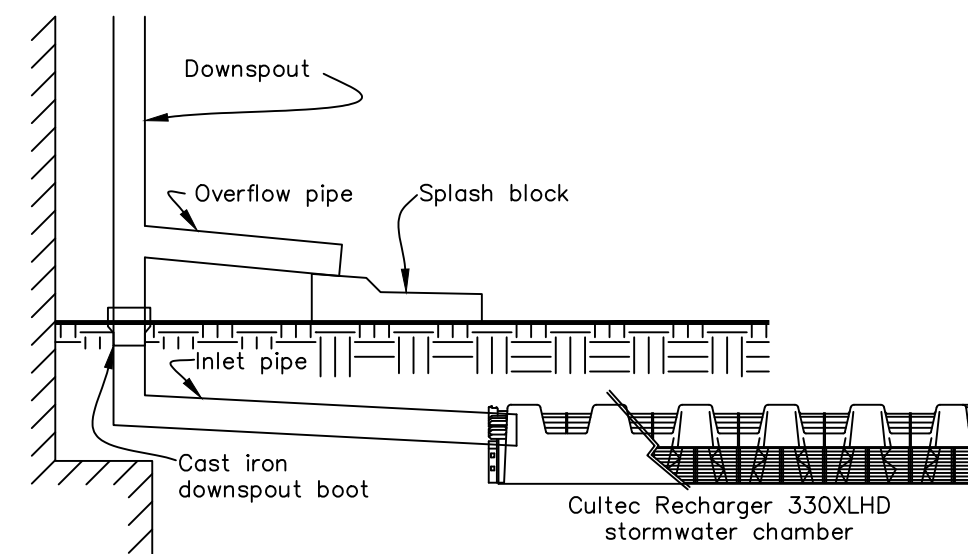
Typical Retaining Wall Cross Section
Not to Scale

Cut/Fill Summary

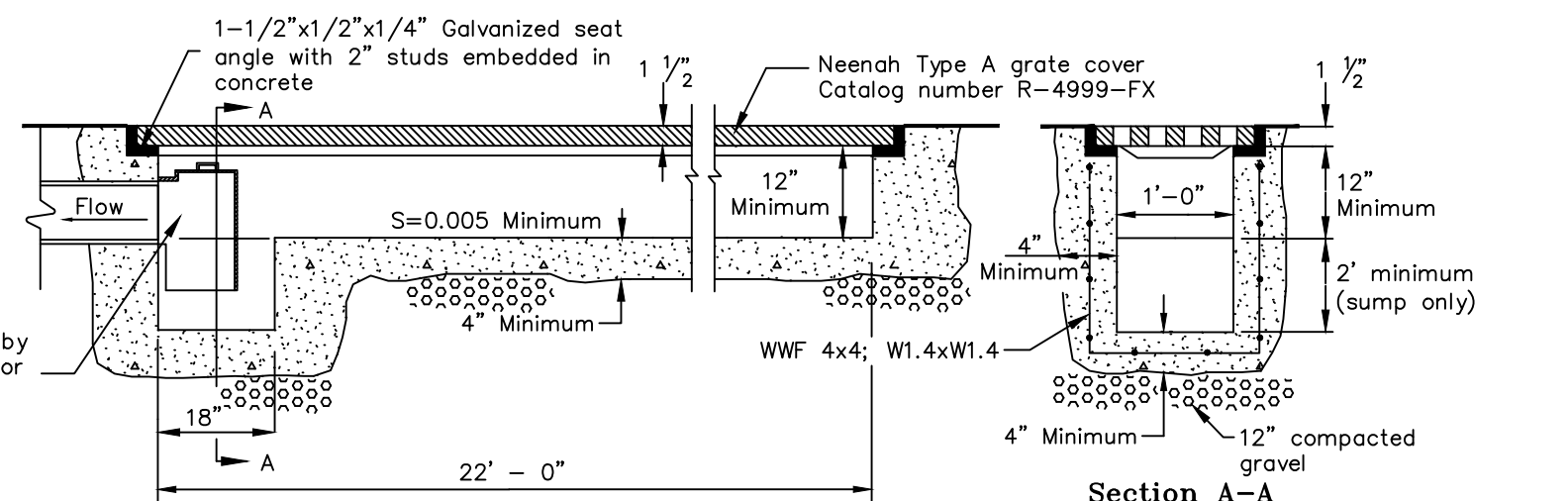
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Cut-Fill Surface	1.000	1.000	32599 Sq. Ft.	2764 Cu. Yd.	1024 Cu. Yd.	1740 Cu. Yd.<Cut>
Totals			32599 Sq. Ft.	2764 Cu. Yd.	1024 Cu. Yd.	1740 Cu. Yd.<Cut>



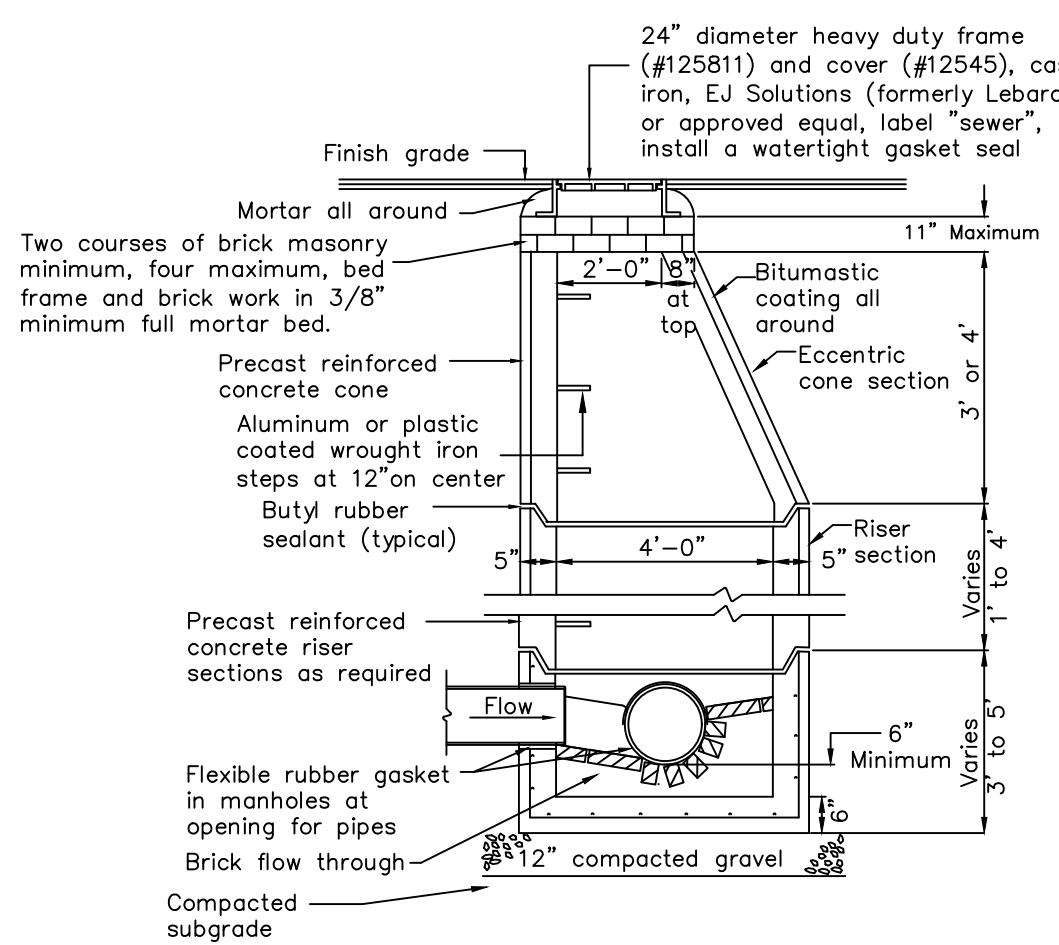
Typical Downspout Connection
Not to Scale



**Roof Leader to Cultec Recharger
330XLHD Connection**
Not to Scale



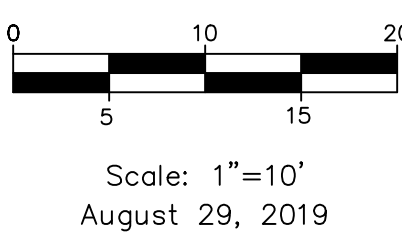
**Typical Concrete Trench Drain
(Poured in Place)**
Not to Scale



Typical Precast Concrete Manhole (Sanitary)
Not to Scale

Site Plan Details
for
#3 Burke Lane
in
Wellesley, MA

Prepared for:
Cedar Place, LLC
868 Worcester Street
Wellesley, MA 02482

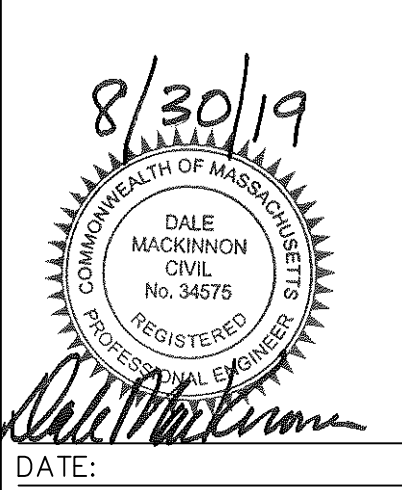


#	Date	Description	By
1	07/9/19	Revised per DPW comments	JDF
2	07/24/19	Revised per ZBA/DPW comments	JDF
3	08/29/19	Revised per ZBA/DPW comments	JDF

Legend	
--256--	Existing Contour
256	Proposed Contour
⊙	Drainage Manhole
⊙	Sewer Manhole
⊙	Utility Pole
⊙	Water Valve
EOP	Edge of Pavement
RCP	Reinforced Concrete Pipe
CCB	Cape Cod Berm
FDC	Fire Department Connection
—S—	Sewer Line
—D—	Drain Line
—W—	Water Line
—RD—	Roof Drain
—G—	Gas Line
—F—	Fire Line
—OHW—	Overhead Wires
DTH	Deep Test Hole
BS	Bottom of Stone
TS	Top of Stone
DI	Ductile Iron

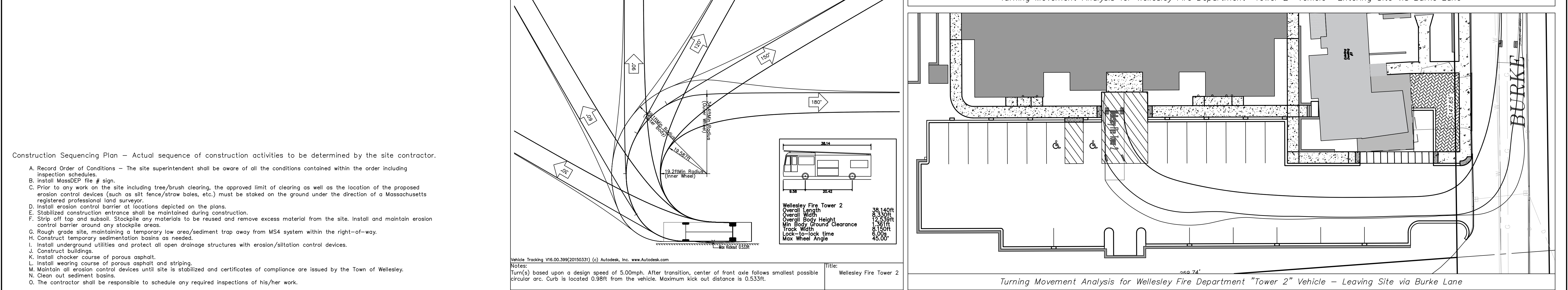
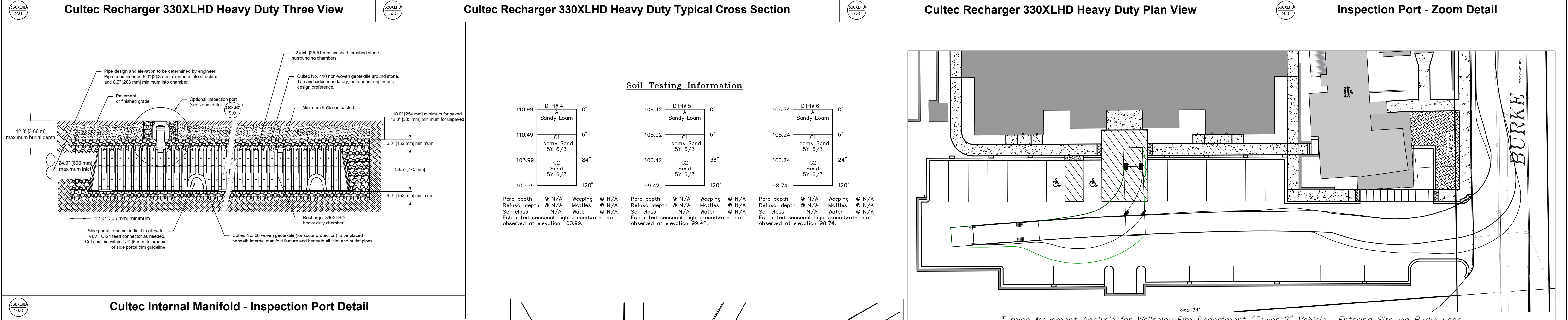
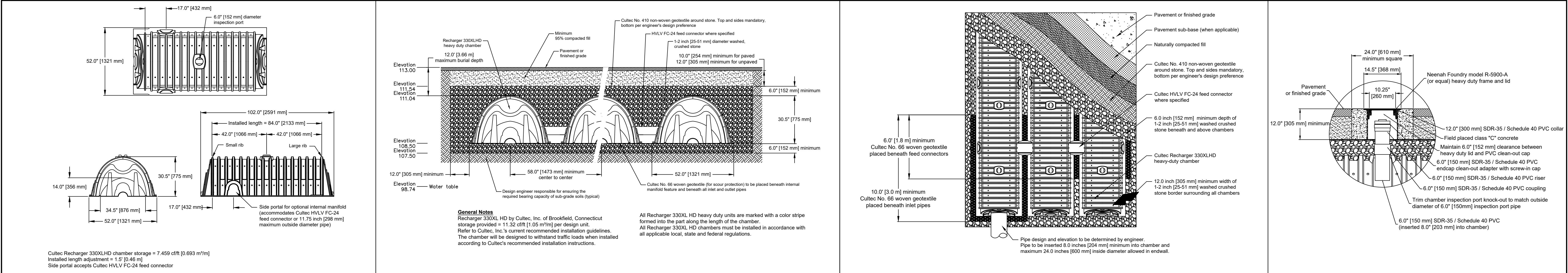
Notes:

- There were no existing wetlands found on site.
- All utilities, structures, and roadways shown on these plans are proposed unless otherwise noted as existing.
- All units to be serviced by Town of Wellesley water and sewer.
- All elevations refer to North American Vertical Datum 88 (NAVD88). To convert to the Town of Wellesley base datum, add 6.286' to the NAVD88 elevation.



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SHEET 4 OF 8 W-3209



Site Plan Details
for
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in
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Prepared for:
Cedar Place, LLC
868 Worcester Street
Wellesley, MA 02482

0 10 20
5 15
Scale: 1"=10'
August 29, 2019

#	Date	Description	By
1	06/11/19	Revised per ZBA/Fire Dept. comments	JDF
2	07/9/19	Revised per DPW comments	JDF
3	07/24/19	Revised per ZBA/DPW comments	JDF
4	08/29/19	Revised per ZBA/DPW comments	JDF

Legend

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⊙ Drainage Manhole
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RCP Reinforced Concrete Pipe
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FDC Fire Department Connection

—S— Sewer Line
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—G— Gas Line
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—OHW— Overhead Wires
DTH Deep Test Hole
BS Bottom of Stone
TS Top of Stone
DI Ductile Iron

Notes:

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8/30/19
DALE MACKINNON
CIVIL
No. 34576
REGISTERED
PROFESSIONAL ENGINEER
DATE:

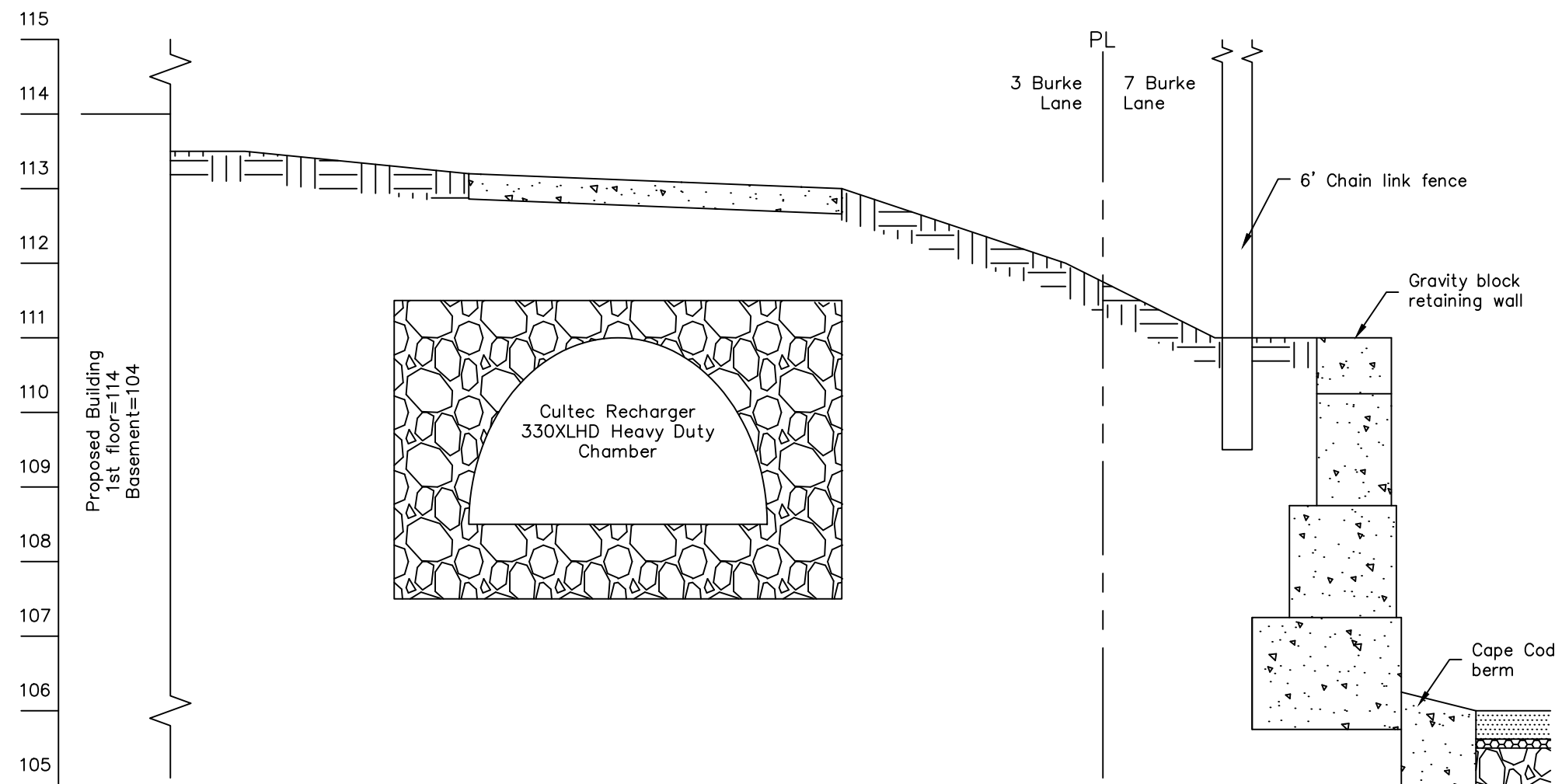
DATE:

DATE:

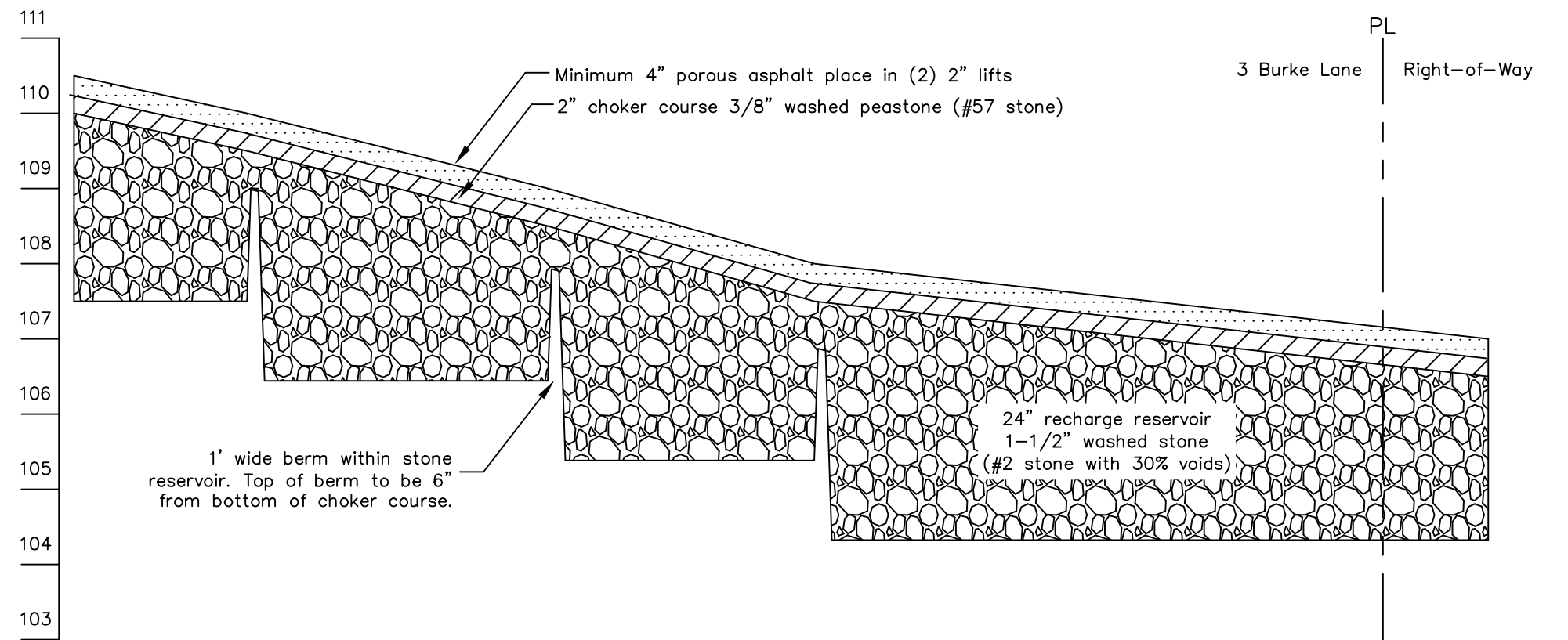
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SHEET
5 OF 8

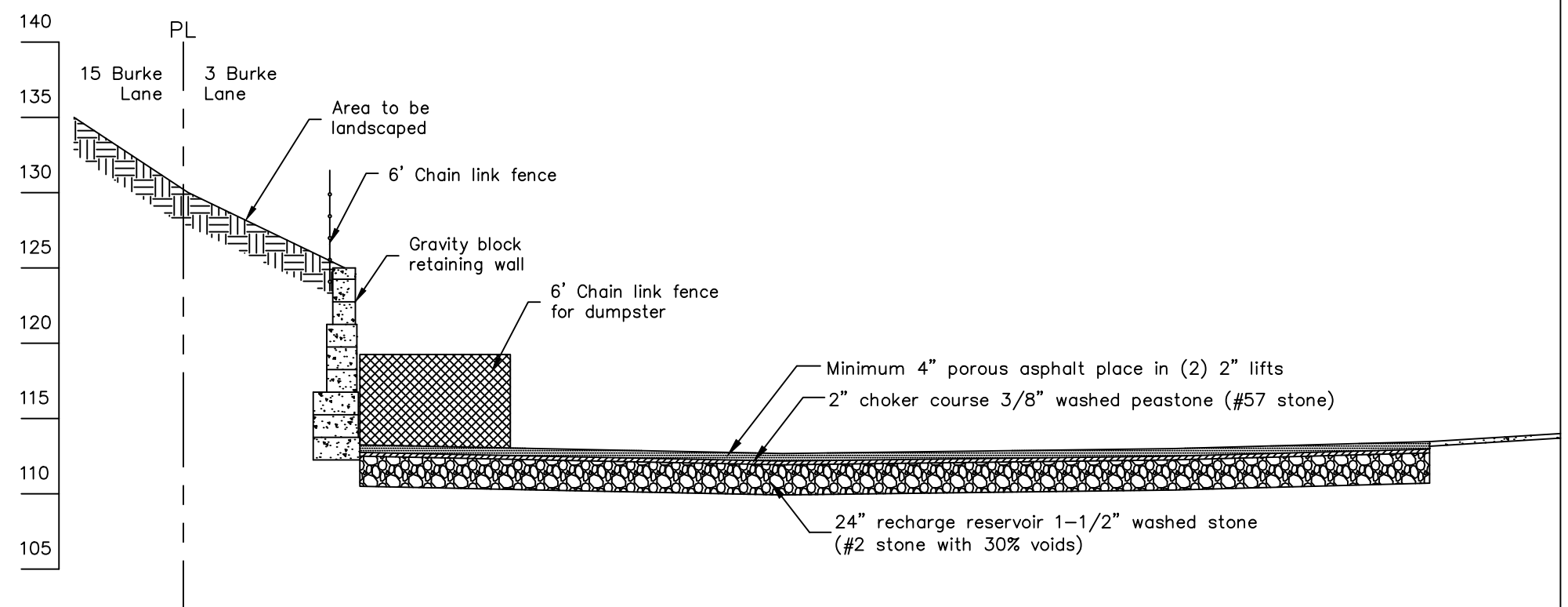
W-3209



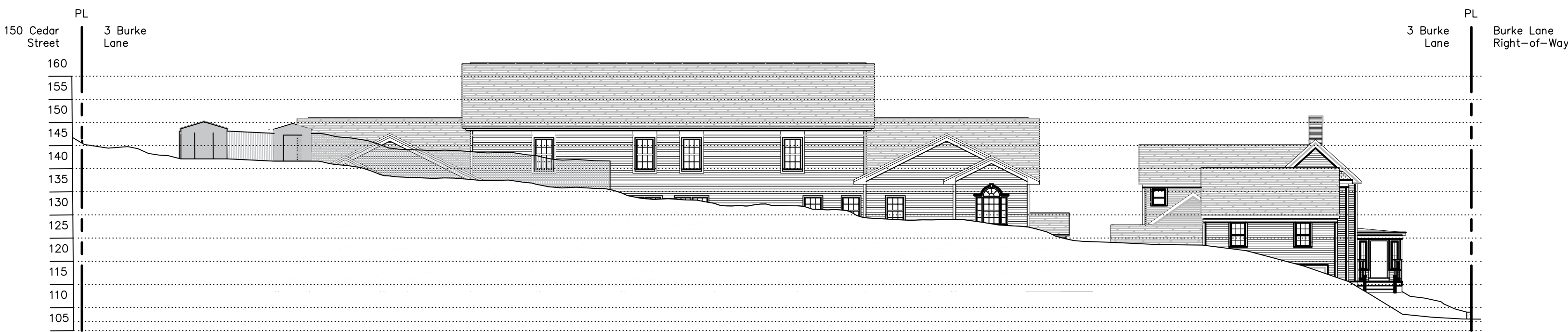
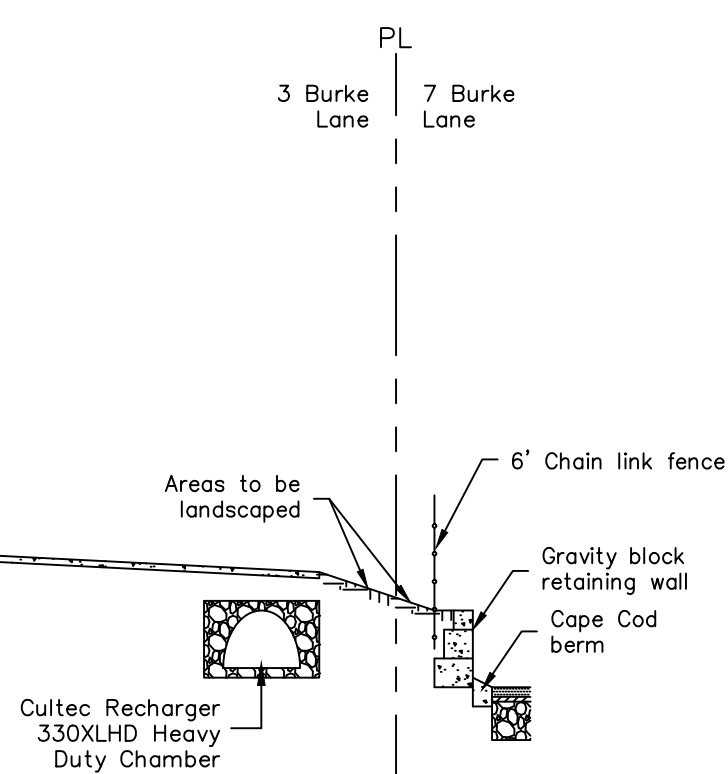
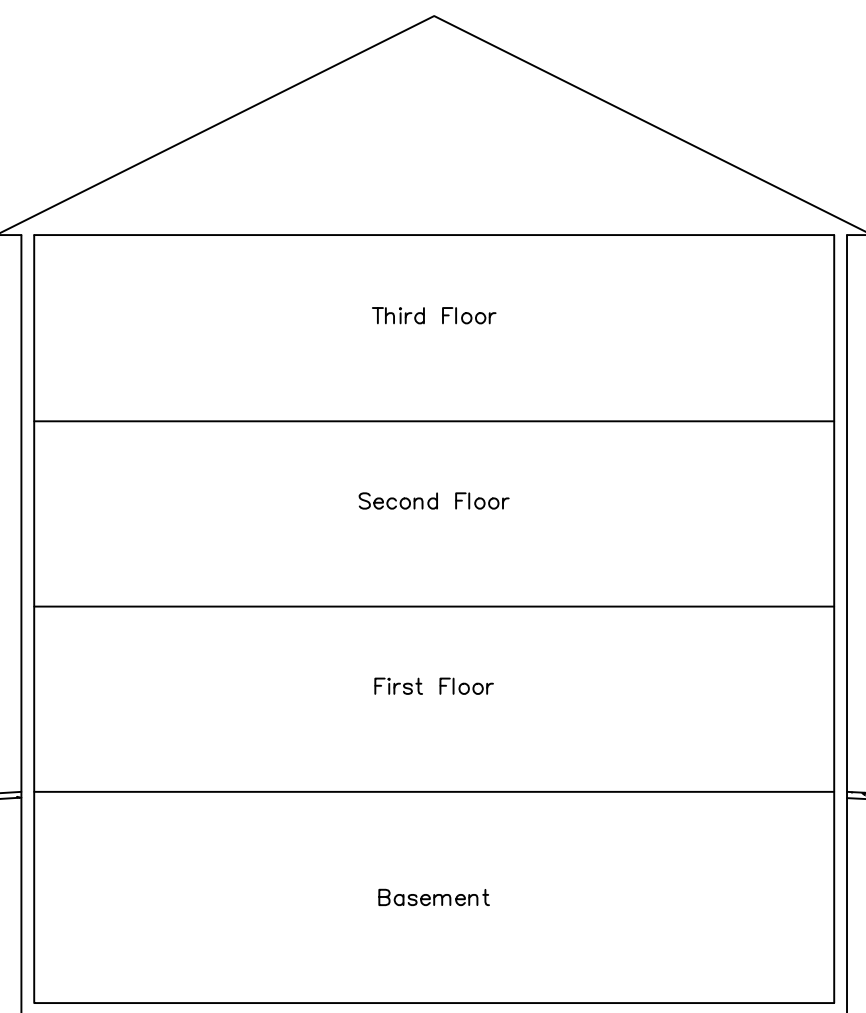
Cross Section A-A
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H scale: 1"=2'



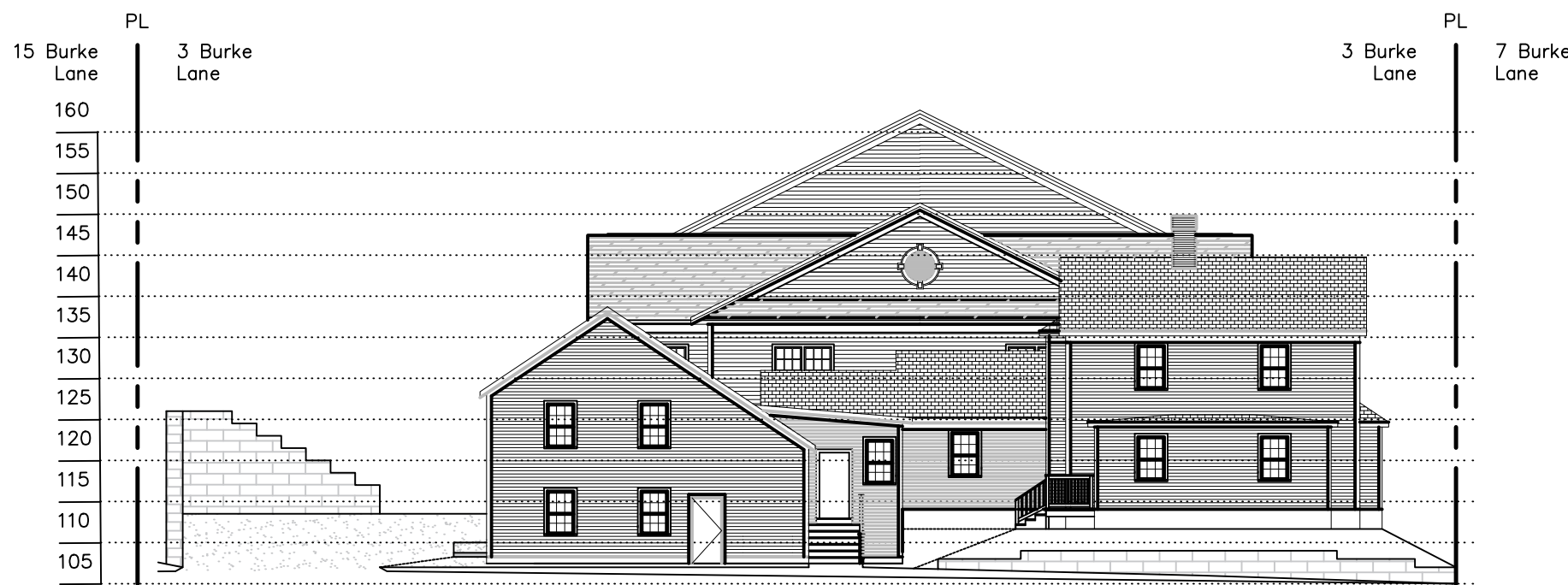
Cross Section B-B
V scale: 1"=2'
H scale: 1"=10'



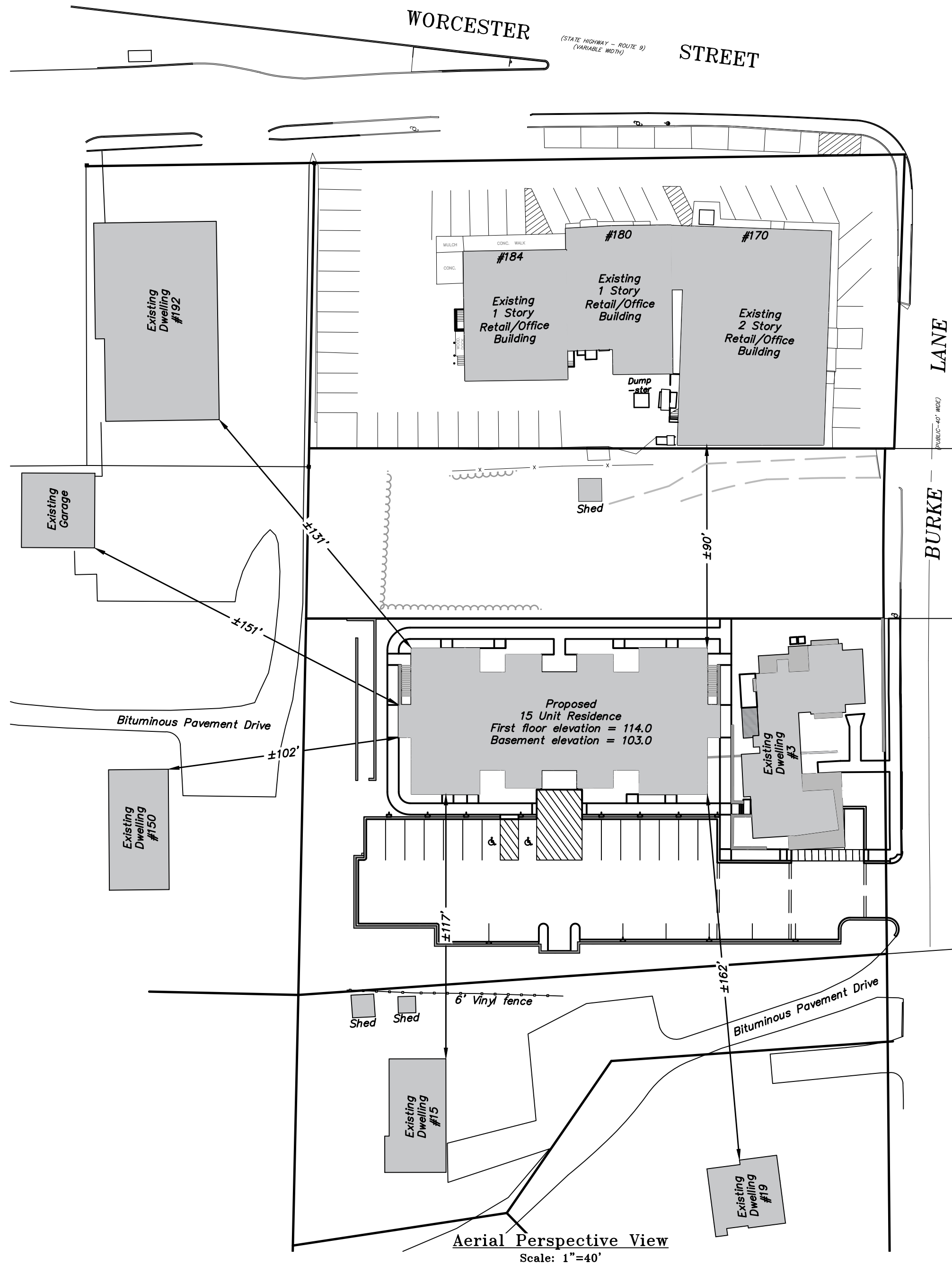
Cross Section C-C
V scale: 1"=10'
H scale: 1"=10'



Perspective View from #15 Burke Lane
Not to Scale



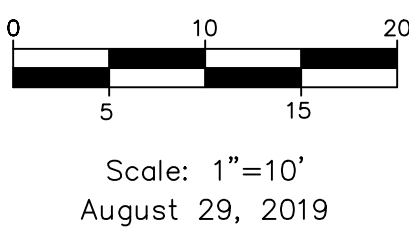
Perspective View from Right-of-Way
Not to Scale



Aerial Perspective View
Scale: 1"=40'

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Wellesley, MA

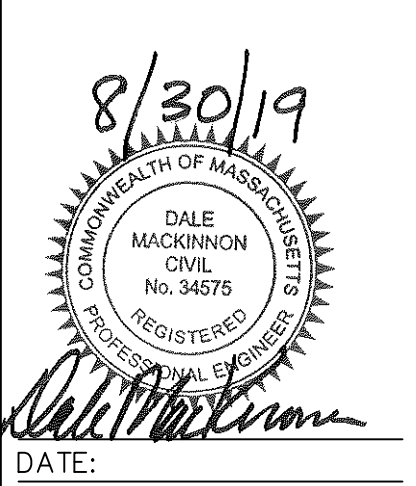
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SHEET 6 OF 8 W-3209