



Guerriere & Halnon, Inc.

ENGINEERING & LAND SURVEYING

www.guerriereandhalnon.com

Est. 1972

Whitinsville Office
1029 Providence Road
Whitinsville, MA 01588-2121
Phone: (508) 234-6834
Fax: (508) 234-6723

Milford Office
333 West Street
P.O. Box 235
Milford, MA 01757-0235
Phone: (508) 473-6630
Fax: (508) 473-8243

Franklin Office
55 West Central Street
Franklin, MA 02038-3807
Phone (508) 528-3221
Fax (508) 528-7921

W-3209

July 26, 2019

Wellesley Zoning Board of Appeals
525 Washington Street
Wellesley, MA 02482

Re: Site Plans for 3 Burke Lane, Wellesley

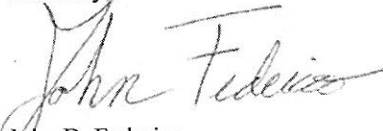
To Whom It May Concern:

Below is a list of revisions to the Guerriere & Halnon, Inc. Site Plans dated July 24, 2019. These revisions address comments from recent meetings with the Zoning Board of Appeals on June 4, 2019 and July 18, 2019, the Fire Department on June 10, 2019, and the Department of Public Works on July 2, 2019.

1. New sidewalks and crosswalk striping were added South of the existing building on Sheet 3 for pedestrian connectivity to Burke Lane.
2. Ramps along the North side of the proposed building were added to Sheet 3 for ADA compliancy.
3. Stairs to the 7 Burke Lane parking lot were added to Sheet 3 for emergency personnel access.
4. Cut & fill analysis summary was added to Sheet 4.
5. Infiltration chamber design elevations were raised. Callouts on Sheet 3 as well as details on Sheet 5 have been revised accordingly.
6. Porous pavement stone reservoir berms with callouts were added to Sheet 3.
7. Bituminous Concrete Berm & Sidewalk Detail and Pavement & Concrete Sidewalk Detail were revised to reflect porous pavement on Sheet 4.
8. A note for retaining wall drainage was added to Sheet 3.
9. Three (3) cross sections were added to Sheet 6 with callouts shown on Sheet 3.
10. Two (2) proposed handicap stalls were revised to be van accessible on Sheet 3.
11. A patio was added West of the existing building on Sheet 3.
12. A/C pads were added North of the existing building on Sheet 3.
13. Existing building utility connections were added on Sheets 2 & 3.
14. Fire and water service layouts were revised to reflect proper tapping locations, a fire department connection, and a new hydrant on Sheet 3. Pipe material callouts have been revised to ductile iron.
15. A sewer manhole was added in the Burke Lane Right-of-Way in lieu of a wye connection on Sheet 3.
16. Pipe size for the gas service to the proposed building was revised on Sheet 3.
17. Additional electric vehicle charging stations with conduits have been added to Sheet 3.
18. Callouts for 5' wide sidewalks within Burke Lane Right-of-Way were added to Sheet 3.

In addition to these changes, Guerriere & Halnon, Inc. has coordinated with the project's architect, landscape architect, photometric engineer, and representatives from Wellesley Municipal Light & Power to address additional concerns from these meetings. These comments will be addressed and submitted to the Zoning Board of Appeals once designs have been finalized. If there are any questions concerning these changes described above, please contact the undersigned.

Sincerely,



John D. Federico
Project Engineer

Site Plans
For
3 BURKE LANE
In
Wellesley, Massachusetts

Date: April 16, 2019
Revised: July 24, 2019



These Plans Contain:

Title	Sheet
Cover Sheet	1
Existing Conditions Plan	2
Site Development & Grading Plan	3
Details Sheet	4
Details Sheet 2	5
Details Sheet 3	6
Landscape Plan	7
Lighting Plan	8

Owner & Applicant
Cedar Place, LLC.
868 Worcester Street
Wellesley, MA 02482



**Guerriere &
Halnon, Inc.**

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Wellesley Zoning Table		
Information obtained from Town of Wellesley Zoning Bylaw, as amended through October 1, 2018.		
Zone Description:	Minimum Required	Proposed
Single Residence District 15 - SRD15	Minimum Allowed	
Building Size	15,000 S.F.	10,829 S.F.
Lot Requirements:		
Minimum Area	15,000 S.F.	40,219 S.F.
Minimum Frontage & Width	60 Feet	147.65 Feet
Yard Requirements:		
Minimum Front Setback	30 Feet	8.5 Feet (Existing)
Minimum Side Setback	20 Feet	11 Feet (Existing)
Minimum Rear Setback	15 Feet	41.8 Feet
Maximum Building Coverage	N/A	26.93%
Maximum Building Height	45 Feet/3 Stories	40 Feet/3 Stories

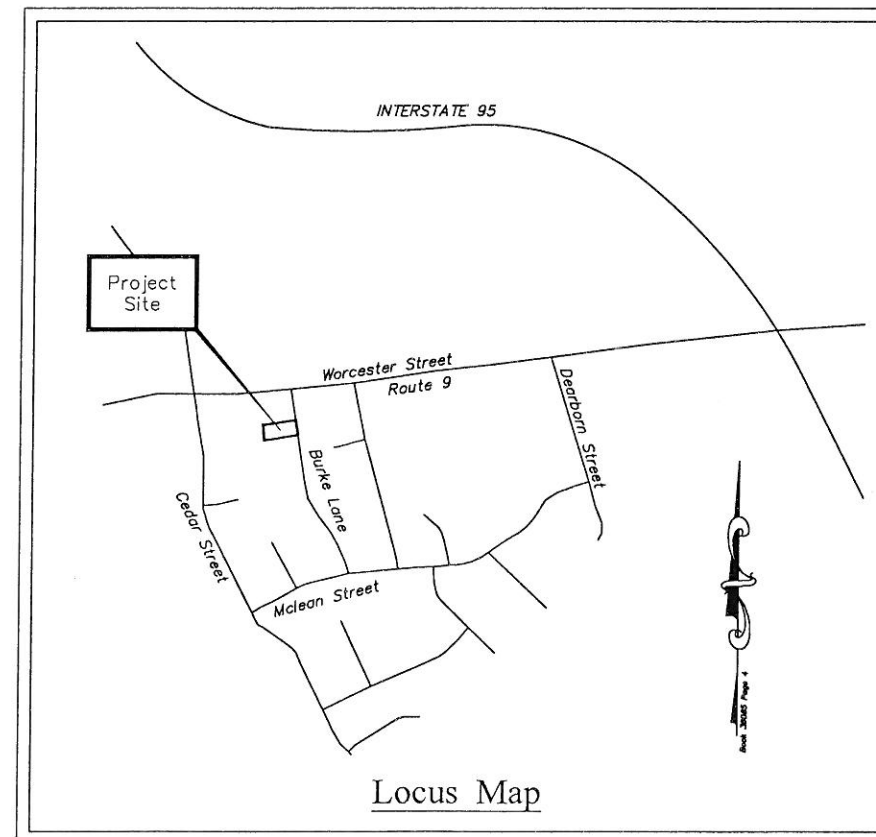
Parking Calculations
Per the Institute of Transportation Engineers (ITE) Parking Generation Manual, 5th Edition, observed parking demand ratios for multifamily residential communities range from 0.75 to 2.05 spaces per dwelling unit with an average parking demand ranging between 1.22 and 2.05 spaces per dwelling unit and 85th percentile peak parking demand ranging between 1.33 and 1.47 spaces per dwelling unit. Proposed on-site parking will total 26 spaces for a ratio of 1.62 spaces per dwelling unit.

Locus References

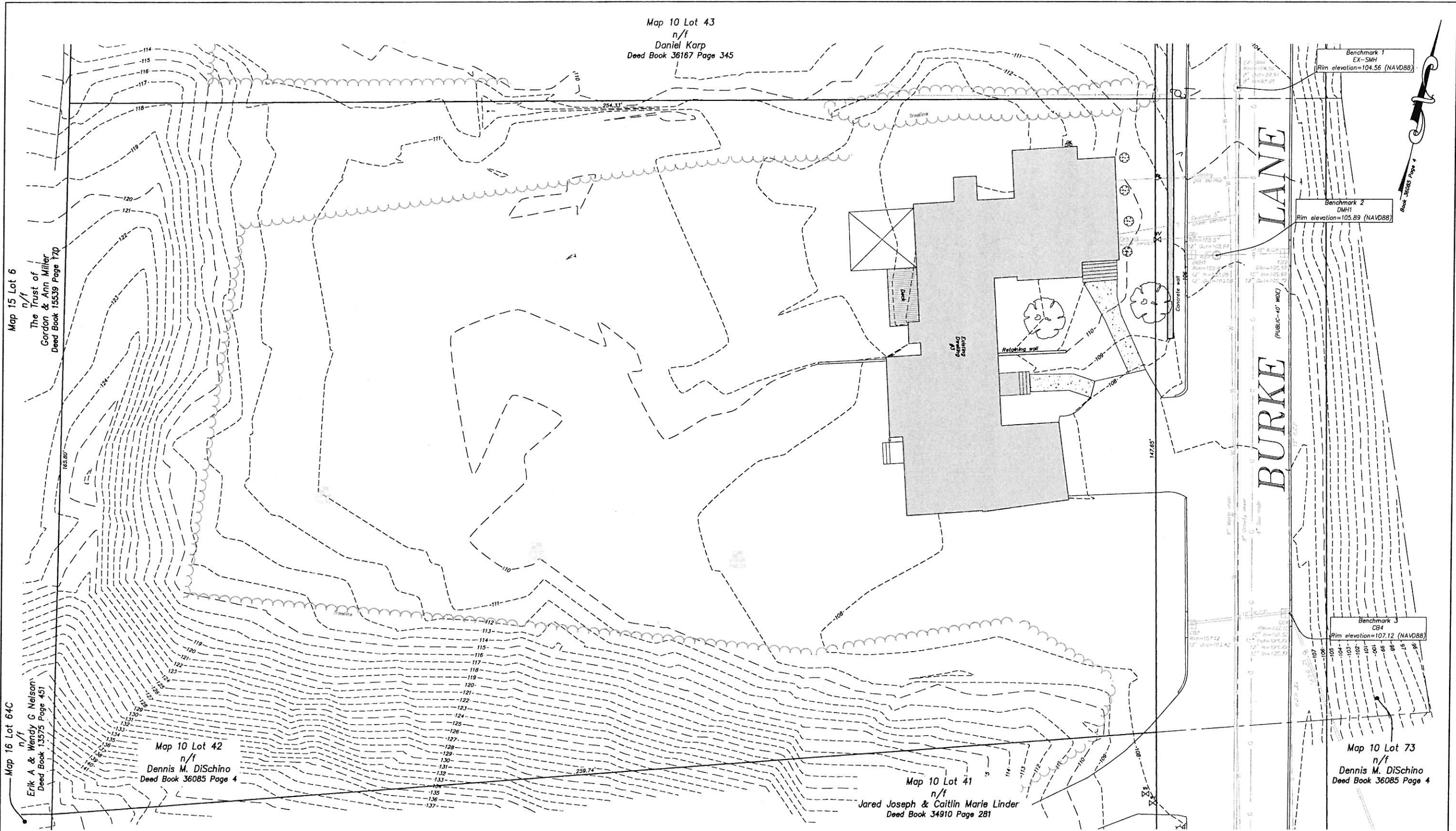
Assessor Map 10 Lot 42
Deed Book 36085 Page 4
Plan Book 2071 Page 359

Site Summary

Wellesley Zoning District - Single Residence District - SRD15
Total Area - 0.923± acres
Proposed Building - 10,829 square feet (2.5 stories)
Water and sewer services provided by Town of Wellesley.
Gas service provided by National Grid.
Overhead electric, telephone and cable available.



Locus Map



Existing Conditions Plan
for
#3 Burke Lane
in
Wellesley, MA

Prepared for:
Cedar Place, LLC
868 Worcester Street
Wellesley, MA 02482

Scale: 1"=10'
July 24, 2019

#	Date	Description	By
1	07/24/19	Revised per ZBA/DPW comments	JDF

Legend

---256---	Existing Contour	S	Sewer Line
---257---	Proposed Contour	D	Drain Line
---258---	Drainage Manhole	W	Water Line
---259---	Sewer Manhole	RD	Roof Drain
---260---	Utility Pole	G	Gas Line
---261---	Water Valve	F	Fire Line
---262---	Edge of Pavement	OHW	Overhead Wires
---263---	Reinforced Concrete Pipe	DTH	Deep Test Hole
---264---	Cape Cod Berm	BS	Bottom of Stone
---265---	Fire Department Connection	TS	Top of Stone
		DI	Ductile Iron

Notes:

- There were no existing wetlands found on site.
- All utilities, structures, and roadways shown on these plans are proposed unless otherwise noted as existing.
- All utilities to be serviced by Town of Wellesley water and sewer. Gas to be provided by National Grid.
- All elevations refer to North American Vertical Datum 88 (NAVD88). To convert to the Town of Wellesley base datum, add 6.286' to the NAVD88 elevation.
- Existing utility locations are based on tie ins provided by the Town of Wellesley Water and Sewer Division. Pipe materials are to be field verified and upgraded to meet the minimum Town of Wellesley Department of Public Work Standards.

DATE: 7/26/19

DALE MACKINNON
C.S.L.
NO. 34675

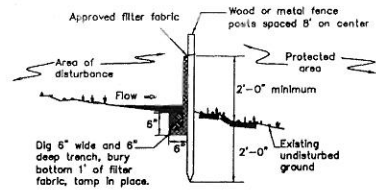
DATE:

DATE:

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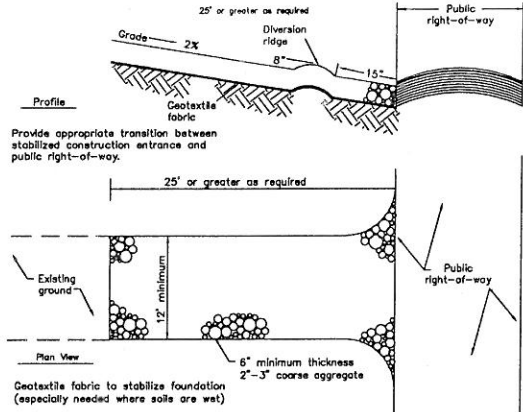
SHEET 2 OF 8

W-3209

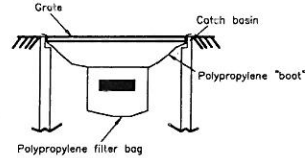


- Notes:
1. Place erosion controls at locations as shown on the site plan.
 2. Silt fence shall be installed so water cannot bypass the fence around the sides.
 3. Inspections shall be frequent and any repairs or replacements shall be made as promptly as possible.
 4. Erosion Controls shall remain in place for the duration of the project unless otherwise instructed by the conservation commission.

Siltation and Erosion Control Barrier
Not to Scale



Stabilized Construction Entrance
Not to Scale



Siltation Basket
Type II-S (Sediment)
Not to Scale

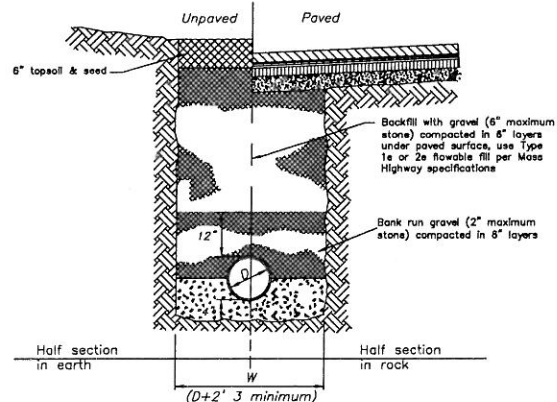
Cut/Fill Summary

Name	Cut Factor	Fill Factor	24 Area	Cut	Fill	Net
Cut/Fill Surface	1.000	1.000	29899 Sq. Ft.	2673 Cu. Yd.	1009 Cu. Yd.	1664 Cu. Yd. <Cut>
Totals			29899 Sq. Ft.	2673 Cu. Yd.	1009 Cu. Yd.	1664 Cu. Yd. <Cut>

Soil Testing Information

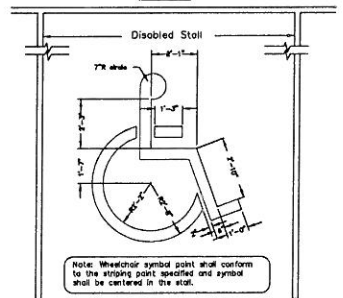
110.99	DTH #4	0"	109.42	DTH #5	0"	108.74	DTH #6	0"
	Sandy Loam			Sandy Loam			Sandy Loam	
110.49	C1	6"	108.92	C1	6"	108.24	C1	6"
	Loamy Sand			Loamy Sand			Loamy Sand	
	5Y 6/3			5Y 6/3			5Y 6/3	
103.99	C2	84"	106.42	C2	36"	106.74	C2	24"
	Sand			Sand			Sand	
	5Y 6/3			5Y 6/3			5Y 6/3	
100.99		120"	99.42		120"	98.74		120"
Perc depth N/A Weeping N/A			Perc depth N/A Weeping N/A			Perc depth N/A Weeping N/A		
Refusal depth N/A Mottles N/A			Refusal depth N/A Mottles N/A			Refusal depth N/A Mottles N/A		
Soil class N/A Water N/A			Soil class N/A Water N/A			Soil class N/A Water N/A		
Estimated seasonlight groundwater not observed at elevation 100.99			Estimated seasonlight groundwater not observed at elevation 99.42			Estimated seasonlight groundwater not observed at elevation 98.74		

Para depth: 110.99, 109.42, 108.74, 108.24, 106.74, 99.42, 98.74. Weeping: N/A, N/A, N/A, N/A, N/A, N/A, N/A. Refused depth: 109.42, 108.92, 108.24, 106.42, 106.74, 99.42, 98.74. Soil class: Sandy Loam, Loamy Sand, Sand. Moisture: N/A, N/A, N/A, N/A, N/A, N/A, N/A. Plasticity: N/A, N/A, N/A, N/A, N/A, N/A, N/A. Estimated seasonal high groundwater not observed at elevation 100.99, 99.42, 98.74.

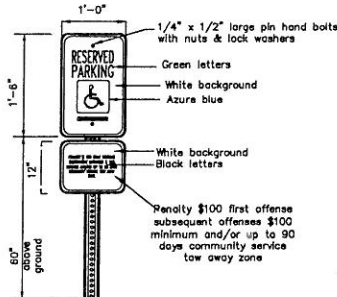


Typical Trench Section
Not to Scale

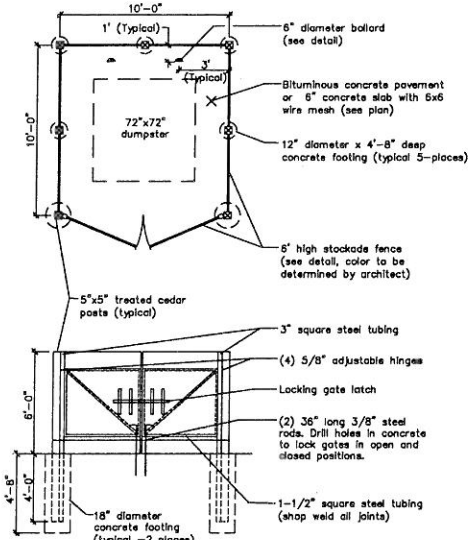
- Disabled Parking Sign
1. 12"x18", 5' to bottom of symbol located so that it cannot be obscured by a car parked in the space. (2' behind curb or 2' behind walk, as applicable)
 2. Conform to local codes.



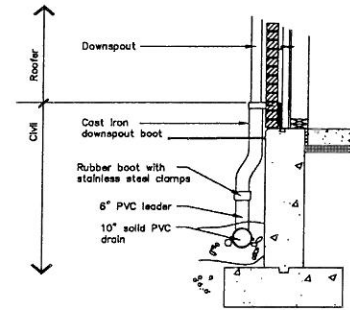
Handicap Parking Space Painting Detail
Not to Scale



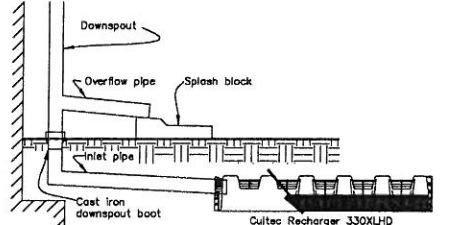
HANDICAP PARKING SIGN DETAIL
Not to Scale



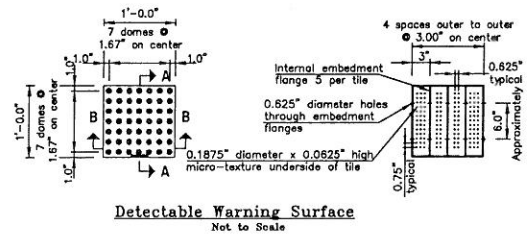
Trash Enclosure
Not to Scale



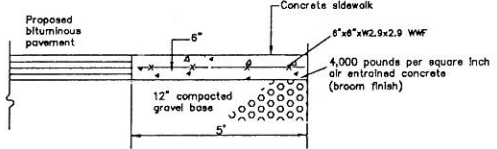
Typical Downspout Connection
Not to Scale



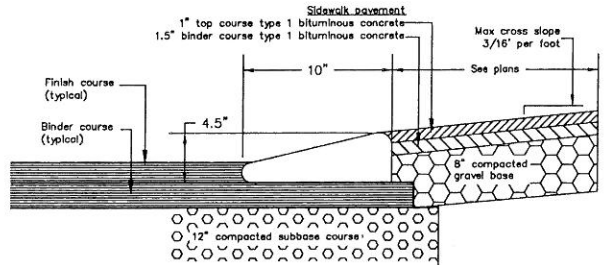
Roof Leader to Culltec Recharger 330XLHD Connection
Not to Scale



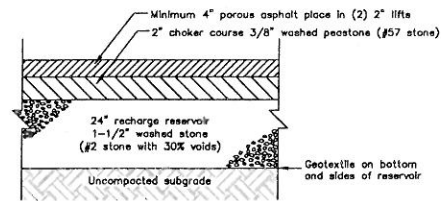
Detectable Warning Surface
Not to Scale



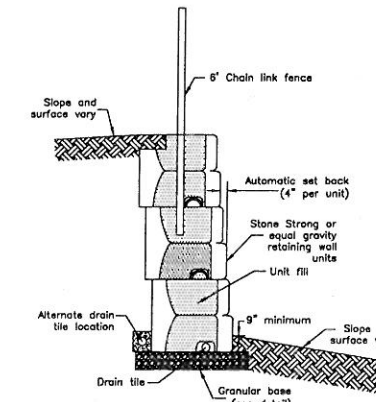
Pavement & Concrete Sidewalk Detail
(Flush for handicap accessibility)
Not to Scale



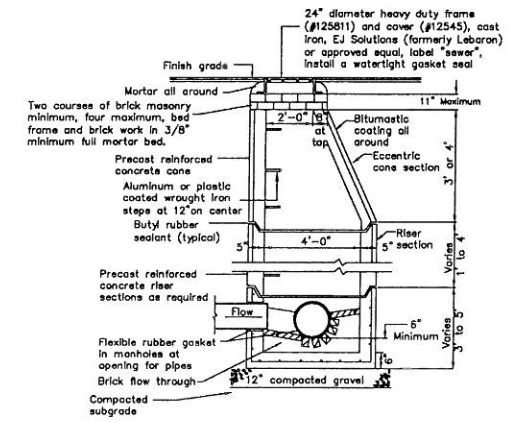
Bituminous Concrete Berm & Sidewalk
Not to Scale



Porous Pavement Detail
Not to Scale



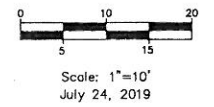
Typical Retaining Wall Cross Section
Not to Scale



Typical Precast Concrete Manhole (Sanitary)
Not to Scale

Site Plan Details
for
#3 Burke Lane
in
Wellesley, MA

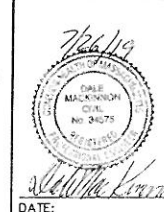
Prepared for:
Cedar Place, LLC
868 Worcester Street
Wellesley, MA 02482



Legend

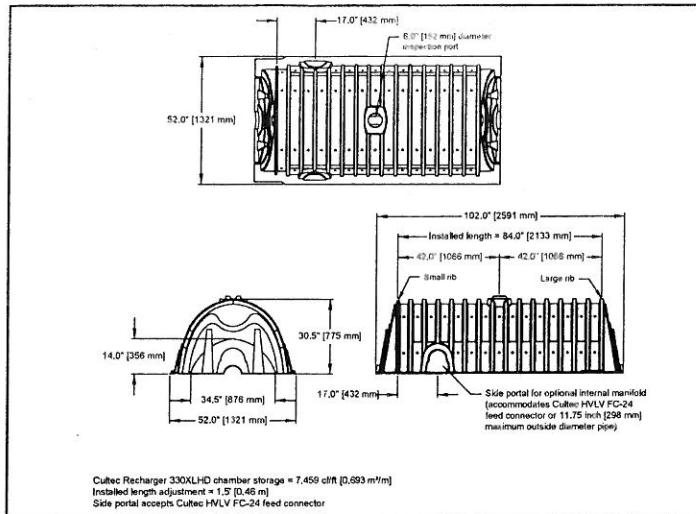
---256---	Existing Contour	S---	Sewer Line
-256-	Proposed Contour	D---	Drain Line
⊙	Drainage Manhole	W---	Water Line
⊙	Sewer Manhole	RD---	Roof Drain
⊙	Utility Pole	G---	Gas Line
⊙	Water Valve	F---	Fire Line
EDP	Edge of Pavement	OHW---	Overhead Wires
RCP	Reinforced Concrete Pipe	DTH	Deep Test Hole
CCB	Cape Cod Berm	BS	Bottom of Stone
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		DI	Ductile Iron

- Notes:
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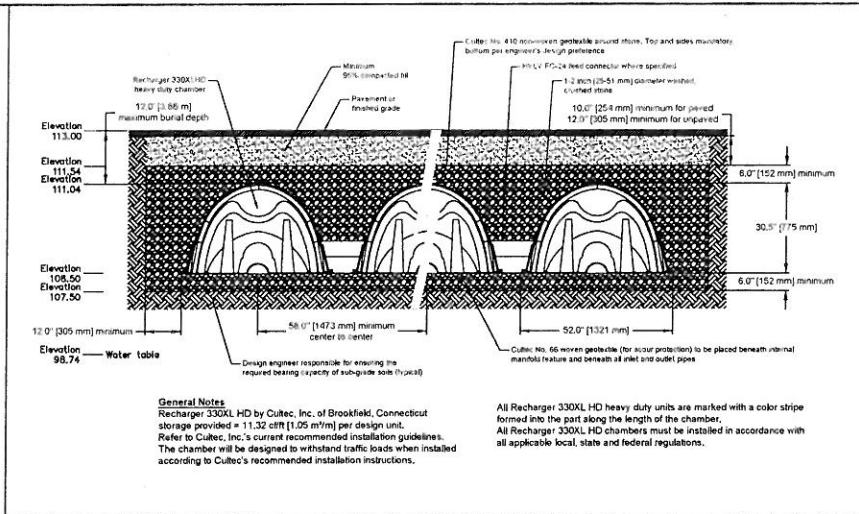


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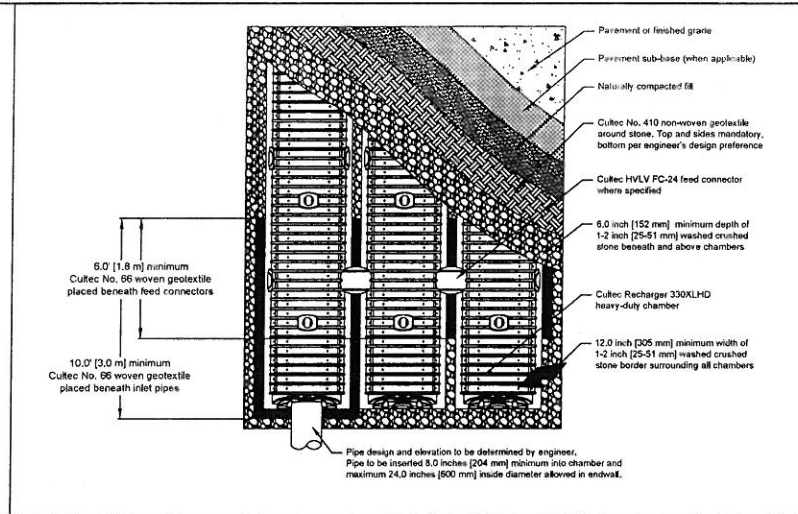
SHEET 4 OF 8 W-3209



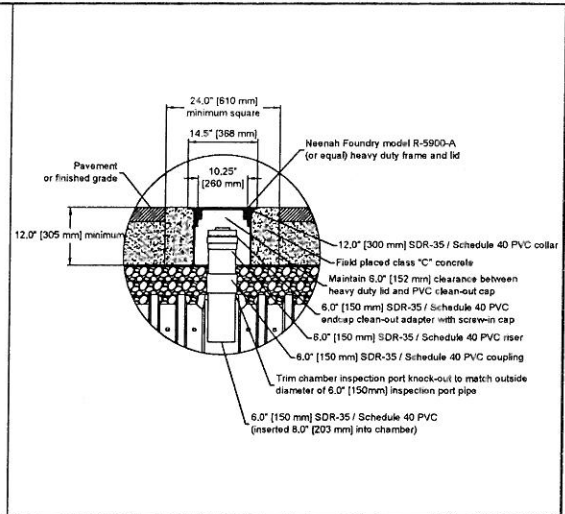
Cultec Recharger 330XLHD Heavy Duty Three View



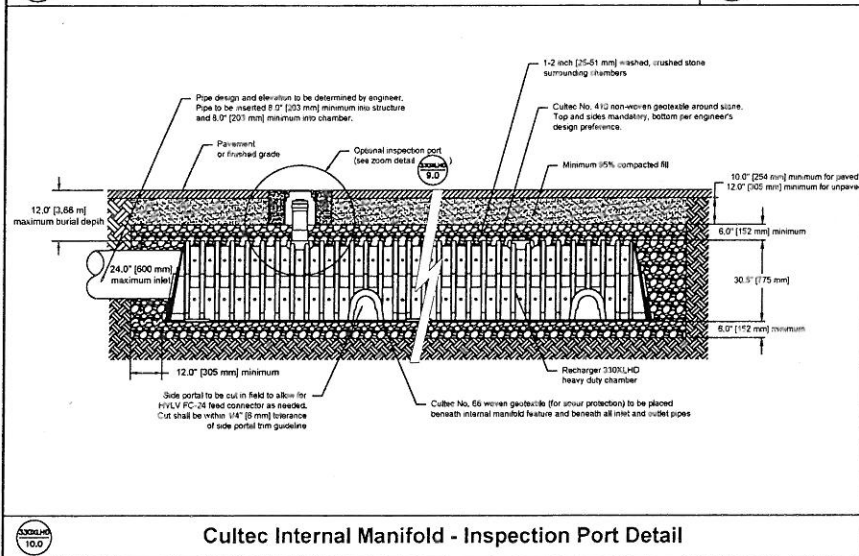
Cultec Recharger 330XLHD Heavy Duty Typical Cross Section



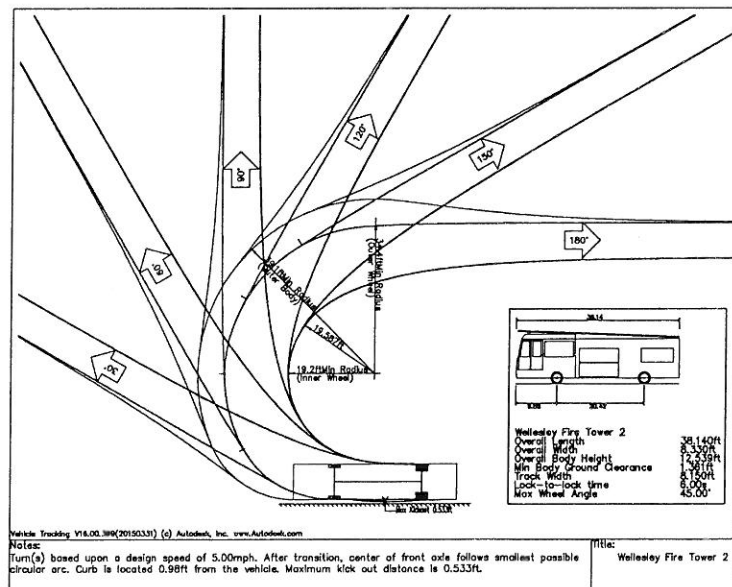
Cultec Recharger 330XLHD Heavy Duty Plan View



Inspection Port - Zoom Detail

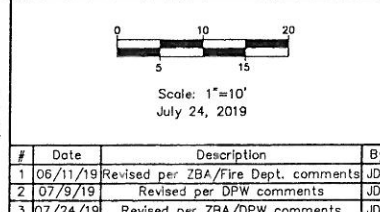


Cultec Internal Manifold - Inspection Port Detail



Site Plan Details
 for
#3 Burke Lane
 in
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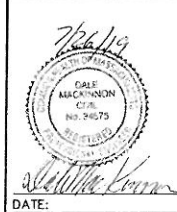
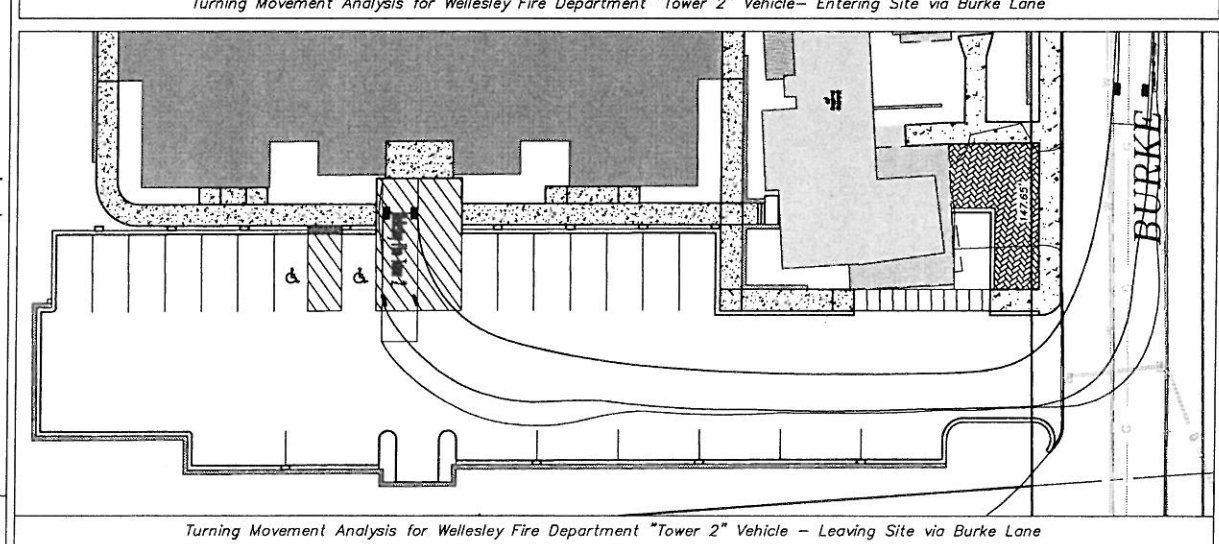
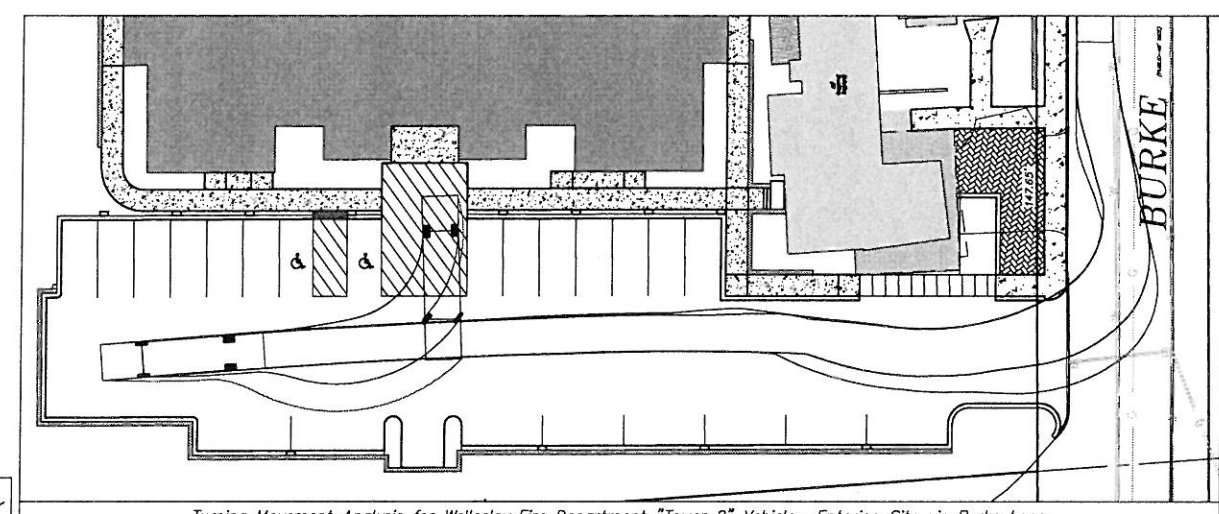
Prepared for:
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Legend			
---	Existing Contour	S	Sewer Line
---	Proposed Contour	D	Drain Line
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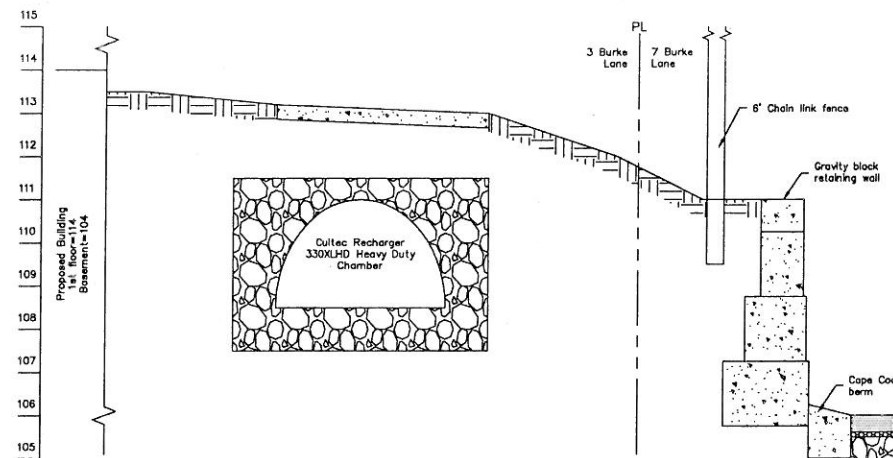
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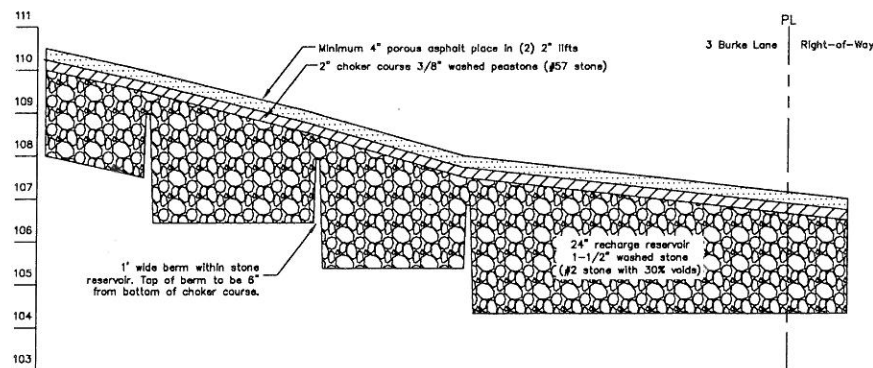


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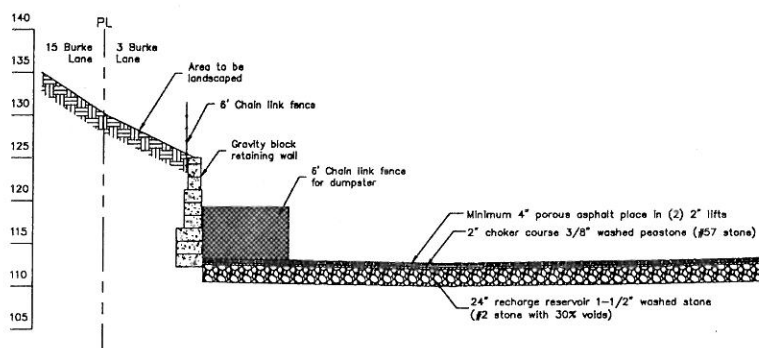
SHEET 5 OF 8 W-3209



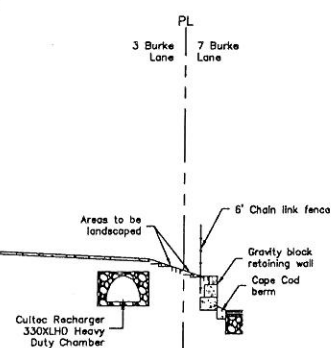
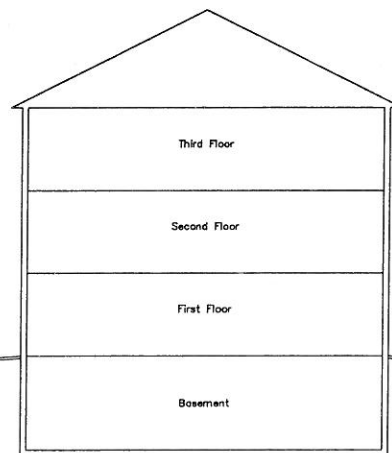
Cross Section A-A
V scale: 1"=2'
H scale: 1"=2'



Cross Section B-B
V scale: 1"=2'
H scale: 1"=10'

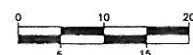


Cross Section C-C
V scale: 1"=10'
H scale: 1"=10'



Site Plan Details
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in
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Prepared for:
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868 Worcester Street
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Scale: 1"=10'

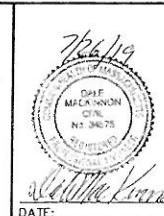
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DATE: _____
DATE: _____

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SHEET 6 OF 8

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