

ISSUED FOR SITE PLAN REVIEW AND PROJECT OF SIGNIFICANT IMPACT WELLESLEY COUNTRY CLUB WELLESLEY, MA

LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	SUBMITTED	REVISED THROUGH
EXISTING CONDITIONS PLAN, SHEET 1	EC-01	10/29/2012	—
EXISTING CONDITIONS PLAN, SHEET 2	EC-02	10/29/2012	—
EXISTING CONDITIONS PLAN, SHEET 3	EC-03	10/29/2012	—
EXISTING CONDITIONS PLAN, SHEET 4	EC-04	10/29/2012	—
PROPOSED OVERALL LAYOUT PLAN	C-1.0	10/29/2012	—
PROPOSED LAYOUT AND MATERIALS PLAN, SHEET 1	C-1.1	10/29/2012	—
PROPOSED LAYOUT AND MATERIALS PLAN, SHEET 2	C-1.2	10/29/2012	—
PROPOSED LAYOUT AND MATERIALS PLAN, SHEET 3	C-1.3	10/29/2012	—
PROPOSED GRADING AND DRAINAGE PLAN, SHEET 1	C-2.1	10/29/2012	—
PROPOSED GRADING AND DRAINAGE PLAN, SHEET 2	C-2.2	10/29/2012	—
PROPOSED GRADING AND DRAINAGE PLAN, SHEET 3	C-2.3	10/29/2012	—
PROPOSED UTILITIES PLAN, SHEET 1	C-3.1	10/29/2012	—
PROPOSED UTILITIES PLAN, SHEET 2	C-3.2	10/29/2012	—
PROPOSED UTILITIES PLAN, SHEET 3	C-3.3	10/29/2012	—
PROPOSED PLANTING PLAN, SHEET 1	C-4.1	10/29/2012	—
PROPOSED PLANTING PLAN, SHEET 2	C-4.2	10/29/2012	—
PROPOSED PLANTING PLAN, SHEET 3	C-4.3	10/29/2012	—
PROPOSED SITE DETAILS, SHEET 1	C-5.1	10/29/2012	—
PROPOSED SITE DETAILS, SHEET 2	C-5.2	10/29/2012	—
PROPOSED SITE DETAILS, SHEET 3	C-5.3	10/29/2012	—

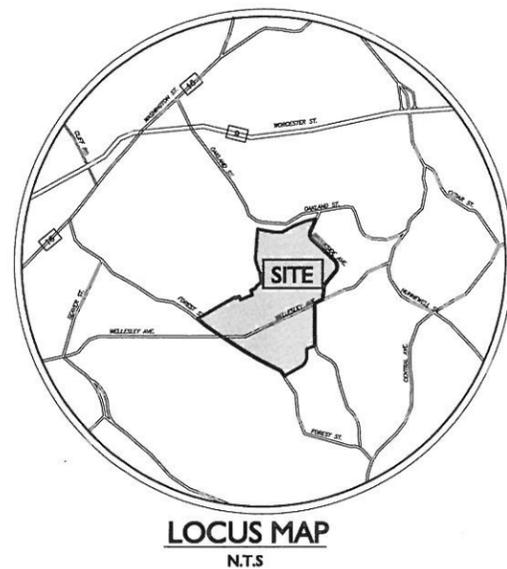
APPLICANT/OWNER:
WELLESLEY COUNTRY CLUB
294 WELLESLEY AVE.
WELLESLEY, MA 02481

CONTRACTOR:
NEW ENGLAND CONSTRUCTION
239 BOURNE AVE.
RUMFORD, RI 02916

SITE ENGINEERS:
ALLEN & MAJOR ASSOCIATES, INC.
10 MAIN STREET
LAKEVILLE, MA 02346

ARCHITECT:
GOLF STRUCTURE ALTERNATIVES
PO BOX 779
RYE, NH 03870

SURVEYORS:
ANDREWS SURVEY AND ENGINEERING INC.
PO BOX 312, 104 MENDON ST.
UXBRIDGE, MA 01569



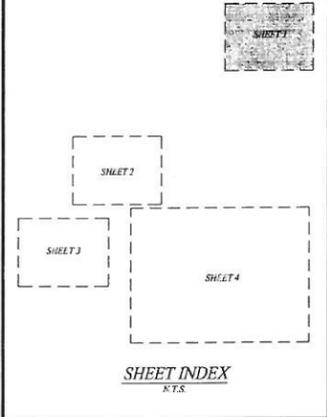
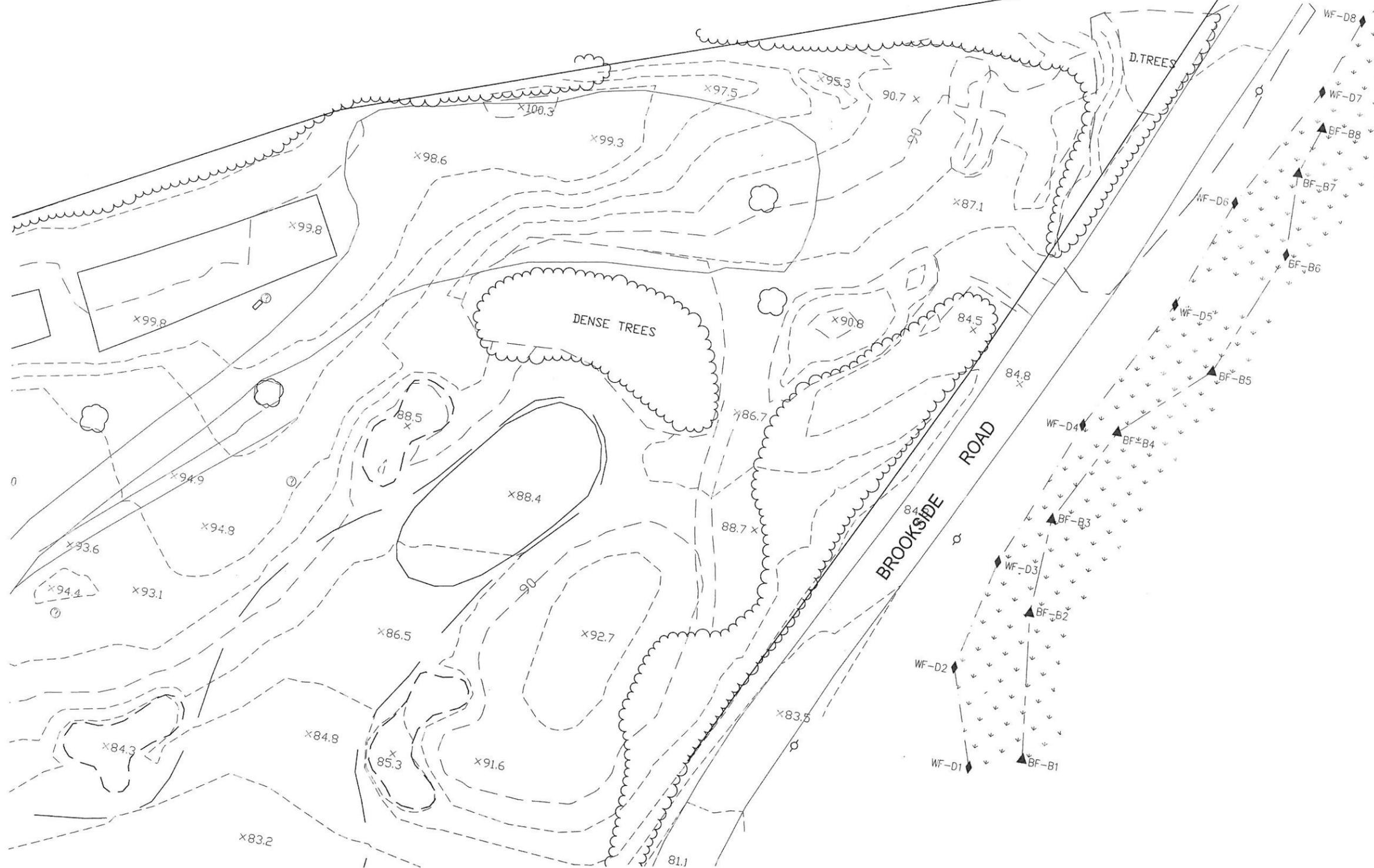


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Land Surveying - Civil Engineering - Site Planning

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Uxbridge, Massachusetts 01569-0312
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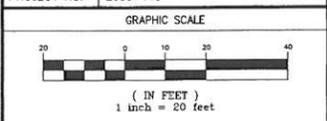
MAP 31, LOT 20
N/F
TOWN OF WELLESLEY
"BROOKSIDE GARDENS"



PROJECT: EXISTING CONDITIONS OF WELLESLEY COUNTRY CLUB WELLESLEY & NEEDHAM, MA
CLIENT: WELLESLEY COUNTRY CLUB 294 WELLESLEY AVENUE WELLESLEY, MA 02481

REVISIONS		
NO.	DATE	DESCRIPTION

CAD FILE	...\\dwg\ALLEN MAJOR.dwg
DRAWN BY	TRB, SJJ
CHECKED BY	JRA
DATE	FEBRUARY 23, 2012
PROJECT NO.	2009-140



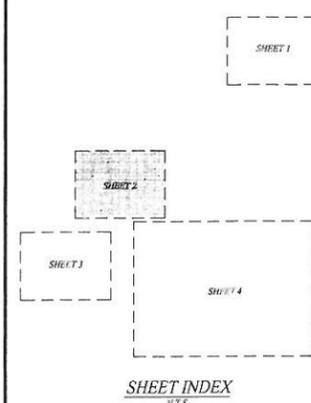
SHEET TITLE
EXISTING CONDITIONS PLAN
SHEET 1 OF 4

	DRAWING NO.
	EC-01



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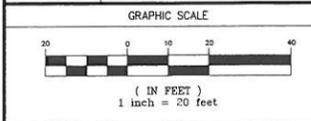
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PROJECT: EXISTING CONDITIONS OF WELLESLEY COUNTRY CLUB WELLESLEY & NEEDHAM, MA

CLIENT: WELLESLEY COUNTRY CLUB 294 WELLESLEY AVENUE WELLESLEY, MA 02481

REVISIONS		
NO.	DATE	DESCRIPTION



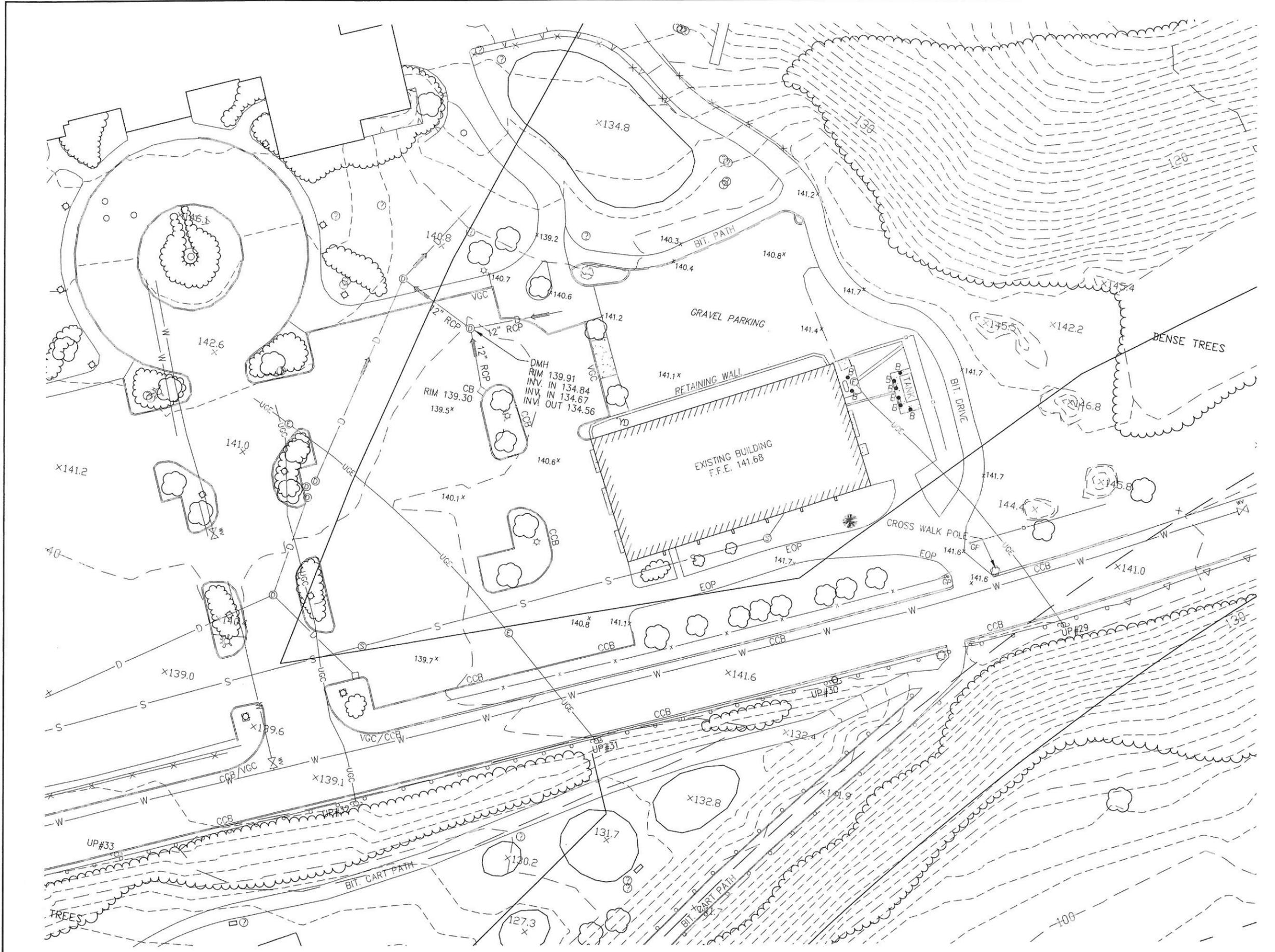
SHEET TITLE

EXISTING CONDITIONS PLAN

SHEET 2 OF 4



DRAWING NO.
EC-02

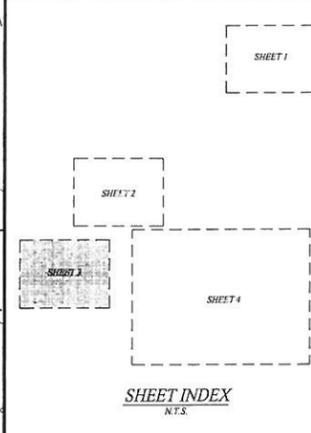




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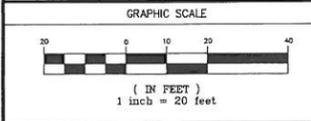
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PROJECT: EXISTING CONDITIONS OF WELLESLEY COUNTRY CLUB WELLESLEY & NEEDHAM, MA
CLIENT: WELLESLEY COUNTRY CLUB 294 WELLESLEY AVENUE WELLESLEY, MA 02481

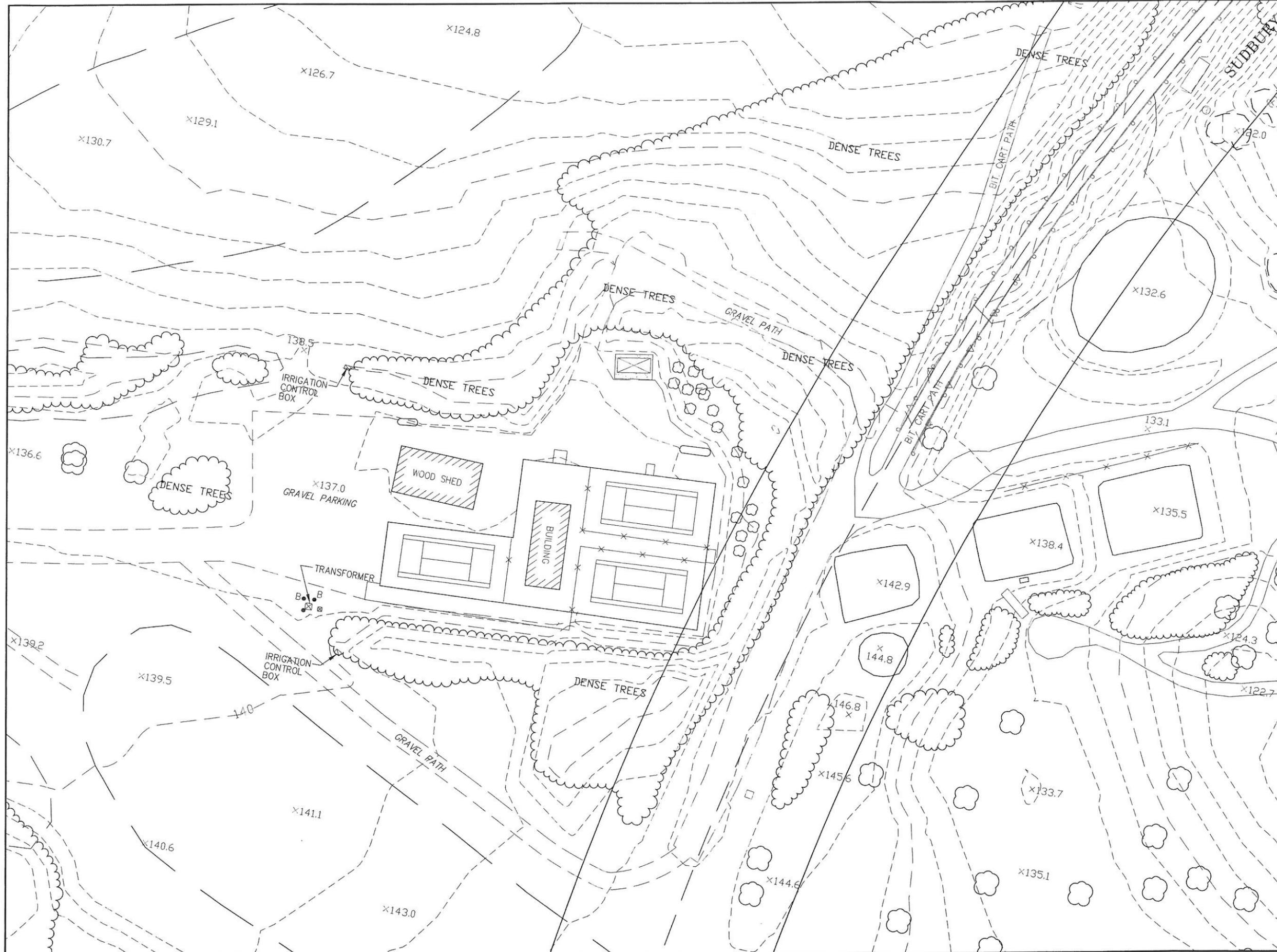
REVISIONS		
NO.	DATE	DESCRIPTION

CAD FILE: ...dwg\ALLEN MAJOR.dwg
DRAWN BY: TRB, SJO
CHECKED BY: JRA
DATE: FEBRUARY 23, 2012
PROJECT NO.: 2009-140



SHEET TITLE
EXISTING CONDITIONS PLAN
SHEET 3 OF 4

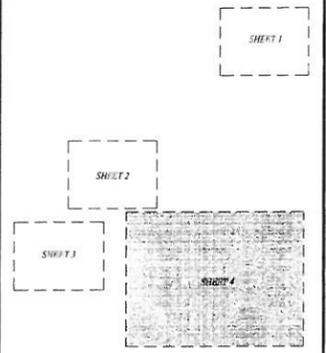
DRAWING NO.
EC-03





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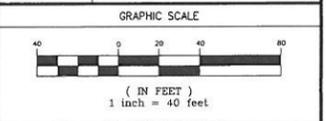


SHEET INDEX
 N.T.S.

PROJECT: EXISTING CONDITIONS OF WELLESLEY COUNTRY CLUB WELLESLEY & NEEDHAM, MA
 CLIENT: WELLESLEY COUNTRY CLUB 294 WELLESLEY AVENUE WELLESLEY, MA 02481

REVISIONS		
NO.	DATE	DESCRIPTION

CAD FILE: ...dwg\ALLEN MA-IOP.dwg
 DRAWN BY: TRB, SJO
 CHECKED BY: JRA
 DATE: FEBRUARY 23, 2012
 PROJECT NO.: 2009-140



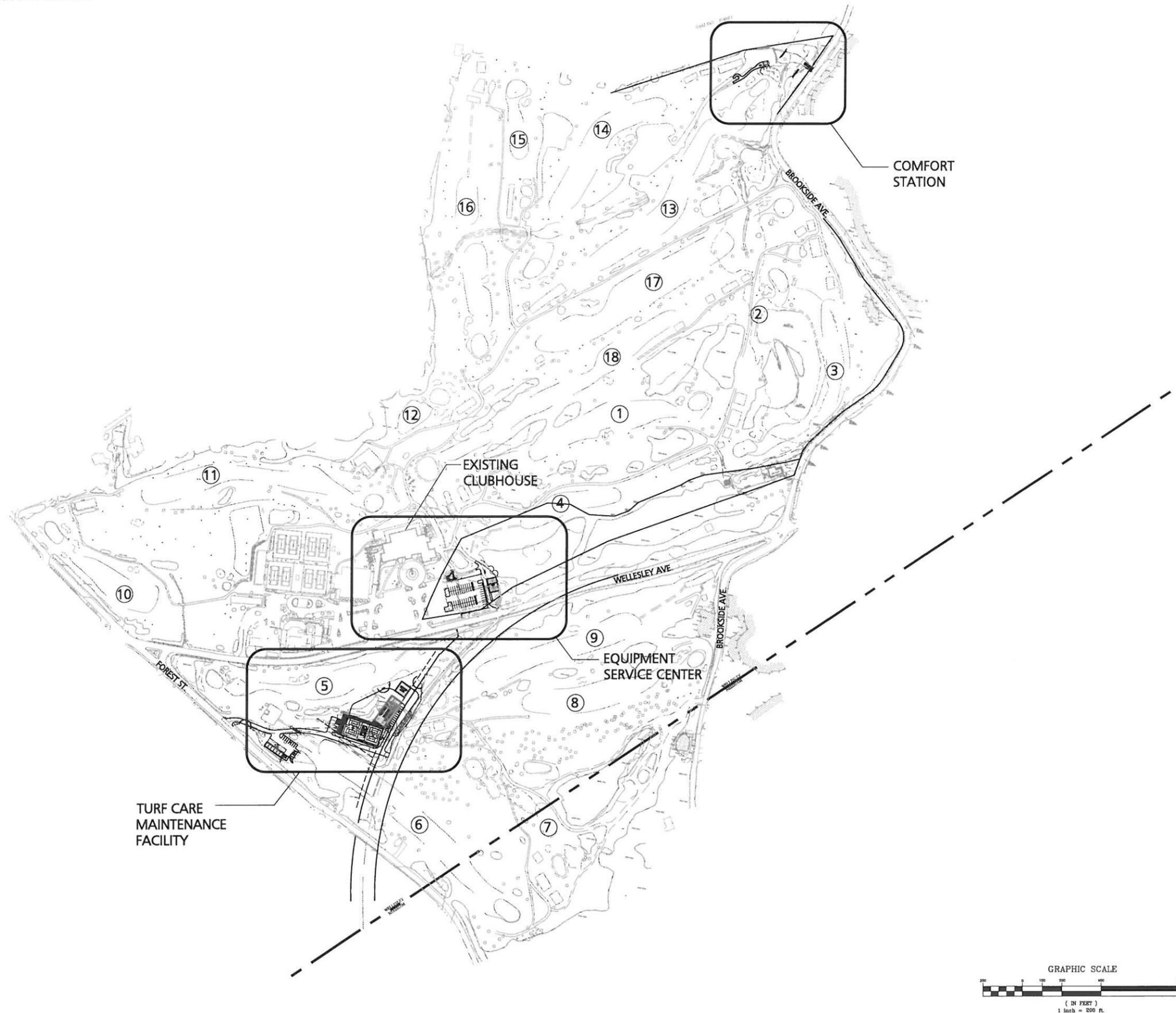
SHEET TITLE
 EXISTING CONDITIONS PLAN
 SHEET 4 OF 4

	DRAWING NO.
	EC-04



WELLESLEY
 NEEDHAM

SEE SHEET C-1.2 FOR NOTES AND LEGEND



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV.	DATE	DESCRIPTION

APPLICANT/OWNER:
WELLESLEY COUNTRY CLUB
294 WELLESLEY AVE.
WELLESLEY, MA 02481

PROJECT:
WELLESLEY COUNTRY CLUB
WELLESLEY, MA

PROJECT NO.	1828-02	DATE:	SEPTEMBER 17, 2012
SCALE:	1" = 200'	DWG. NAME:	1828-02-LM
DESIGNED BY:	PLC / ES	CHECKED BY:	PLC

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
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LAKEVILLE, MA 02347-1674
TEL: (508) 923-1010
FAX: (508) 923-6899

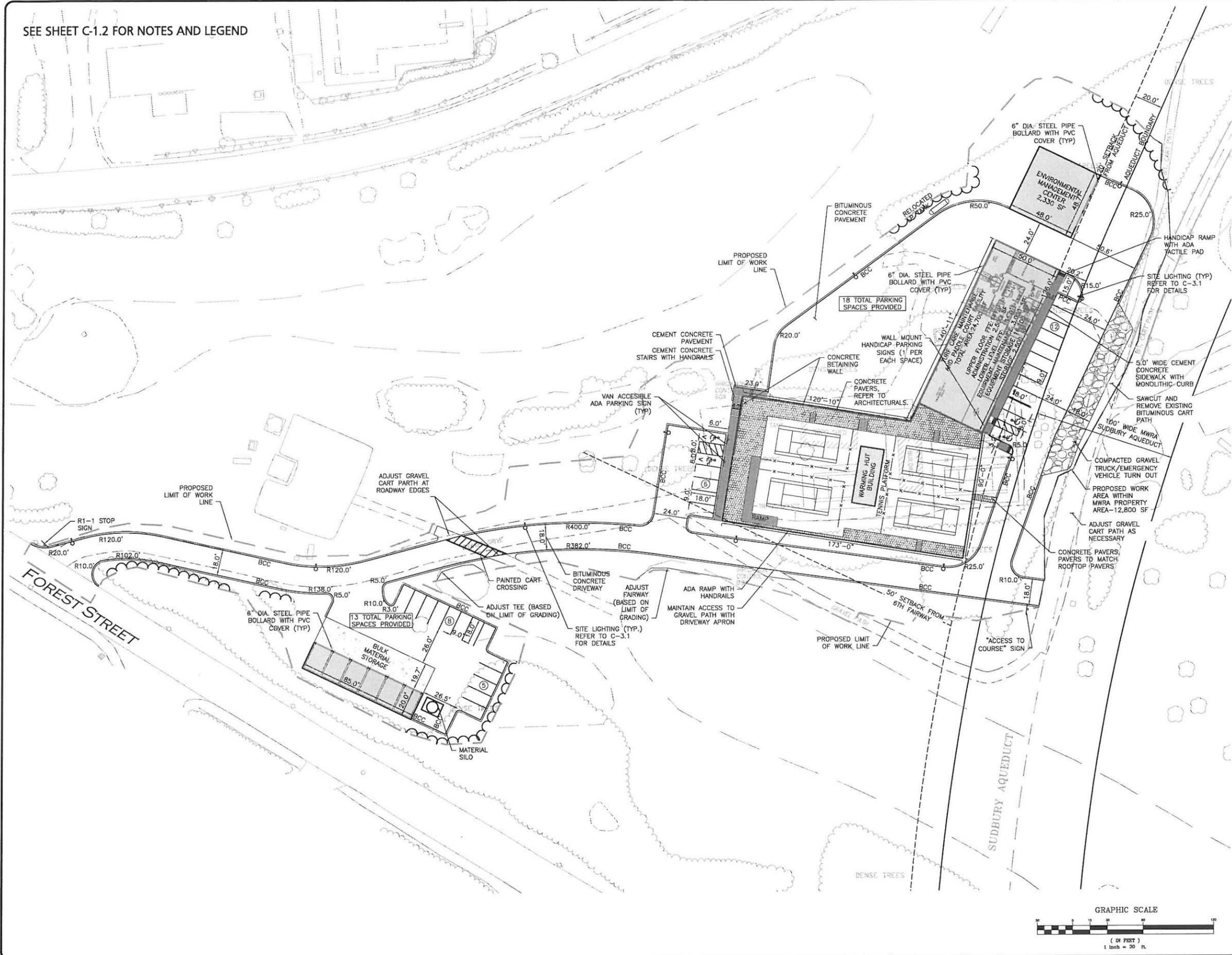
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DRAWING TITLE:	SHEET No.
OVERALL PLAN	C-1.0

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REV.	DATE	DESCRIPTION

APPLICANT/OWNER:
WELLESLEY COUNTRY CLUB
294 WELLESLEY AVE.
WELLESLEY, MA 02481

PROJECT:
WELLESLEY COUNTRY CLUB
WELLESLEY, MA

PROJECT NO. 1828-02 DATE: SEPTEMBER 17, 2012

SCALE: 1" = 30' DWG. NAME: C1828-02-LM

DESIGNED BY: PLC / ES CHECKED BY: PLC

PREPARED BY:



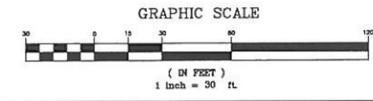
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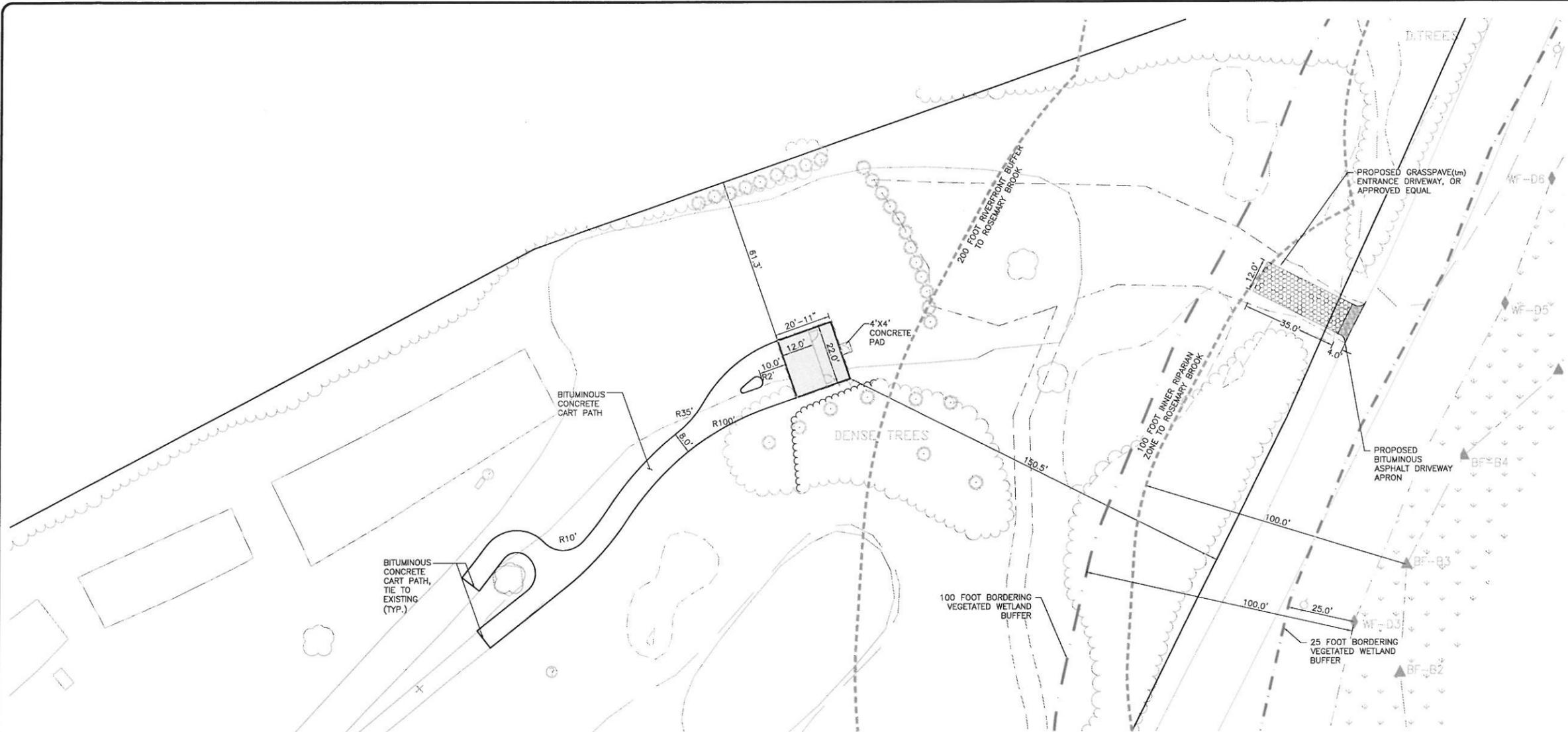
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DRAWING TITLE: PROPOSED LAYOUT PLAN	SHEET No. C-1.1
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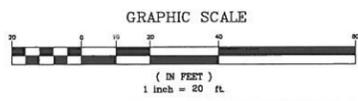
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GENERAL NOTES

1. APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF WELLESLEY REGULATIONS AND ORDINANCES, AND O.S.H.A. STANDARDS. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS OF THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND TOWN REGULATIONS AND/OR SPECIFICATIONS.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "CALL BEFORE YOU DIG" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES, AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES DESIGNATED ON THESE DRAWINGS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
6. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
7. ALL ISLANDS WITH CURB SHALL BE LANDSCAPED. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
8. ALL DIMENSIONS AND RADI ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL CURBING MATERIAL SHALL BE AS NOTED WITH A 6" REVEAL UNLESS OTHERWISE NOTED.
9. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BASE BID.
10. EXISTING CONDITIONS ARE BASED ON THE SURVEY PREPARED BY FIELD RESOURCES INC. OF NEEDHAM, MA DATED AUGUST 12, 2010, REVISED SEPTEMBER 14, 2010 AND SUPPLEMENTED WITH DIGITIZED AERIAL PHOTOGRAPH INFORMATION OBTAINED BY ALLEN & MAJOR ASSOCIATES.
11. HANDICAP ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE ARCHITECTURAL ACCESS BOARD OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC SAFETY, THE AMERICANS WITH DISABILITIES ACT OR ANY AGENCY SUPERSEDING SUCH AGENCY.
12. ACCESSIBLE PARKING SPACES DESIGNATED WITH A "V" SHALL BE SIGNED AS "VAN ACCESSIBLE" PER A.D.A. 4.1.2.5b. BARRIER FREE RAMPS SHALL BE CONSTRUCTED AT ALL STREET INTERSECTIONS AND DRIVEWAY APPROACHES.
13. ALL HANDICAP RAMPS SHALL BE POURED CEMENT CONCRETE. ALL HANDICAP RAMPS WHICH LEAD FROM A "SAFE" AREA TO A TRAVELED WAY SHALL HAVE AN INTEGRAL TRUNCATED DOME DETECTABLE WARNING SURFACE INSTALLED, PER ADA STANDARDS.
14. PLOWED SNOW SHALL BE STACKED IN UNUSED PARKING SPACES AND NOT VISUALLY IMPAIR SAFE TRAVEL OF VEHICULAR OR PEDESTRIAN MOVEMENTS. HIGHER EVENT SNOW FALLS, OR IF DESIGNATED AREAS ARE AT CAPACITY, SHALL REQUIRE THE SNOW TO BE REMOVED FROM THE SITE.

LEGEND:	
EXISTING PROPERTY LINE	—
PROPOSED PROPERTY LINE	- - - - -
SIGN	+
BOLLARD	⊕
BUILDING	▭
BUILDING ARCHITECTURE	▭ (with internal lines)
BUILDING INTERIOR WALLS	▭ (with dashed lines)
CURB	▬▬▬▬▬▬
HAYBALES	▬▬▬▬▬▬ (with diagonal lines)
PARKING STRIPING	▬▬▬▬▬▬ (with 'P' symbol)
PARKING COUNT	⓪
TRANSFORMER	T
WETLAND BUFFER 25'	- · - · - · - · - · - · - · - ·
WETLAND BUFFER 100'	- - - - -
RIVERFRONT BUFFER 100'	- · - · - · - · - · - · - · - ·
RIVERFRONT BUFFER 200'	- - - - -



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV.	DATE	DESCRIPTION

APPLICANT/OWNER:
WELLESLEY COUNTRY CLUB
294 WELLESLEY AVE.
WELLESLEY, MA 02481

PROJECT:
WELLESLEY COUNTRY CLUB
WELLESLEY, MA

PROJECT NO.	1828-02	DATE:	SEPTEMBER 17, 2012
SCALE:	1" = 20'	DWG. NAME:	C1828-02-LM
DESIGNED BY:	PLC/ES	CHECKED BY:	PLC

PREPARED BY:

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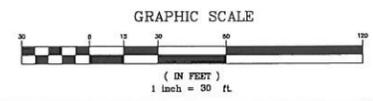
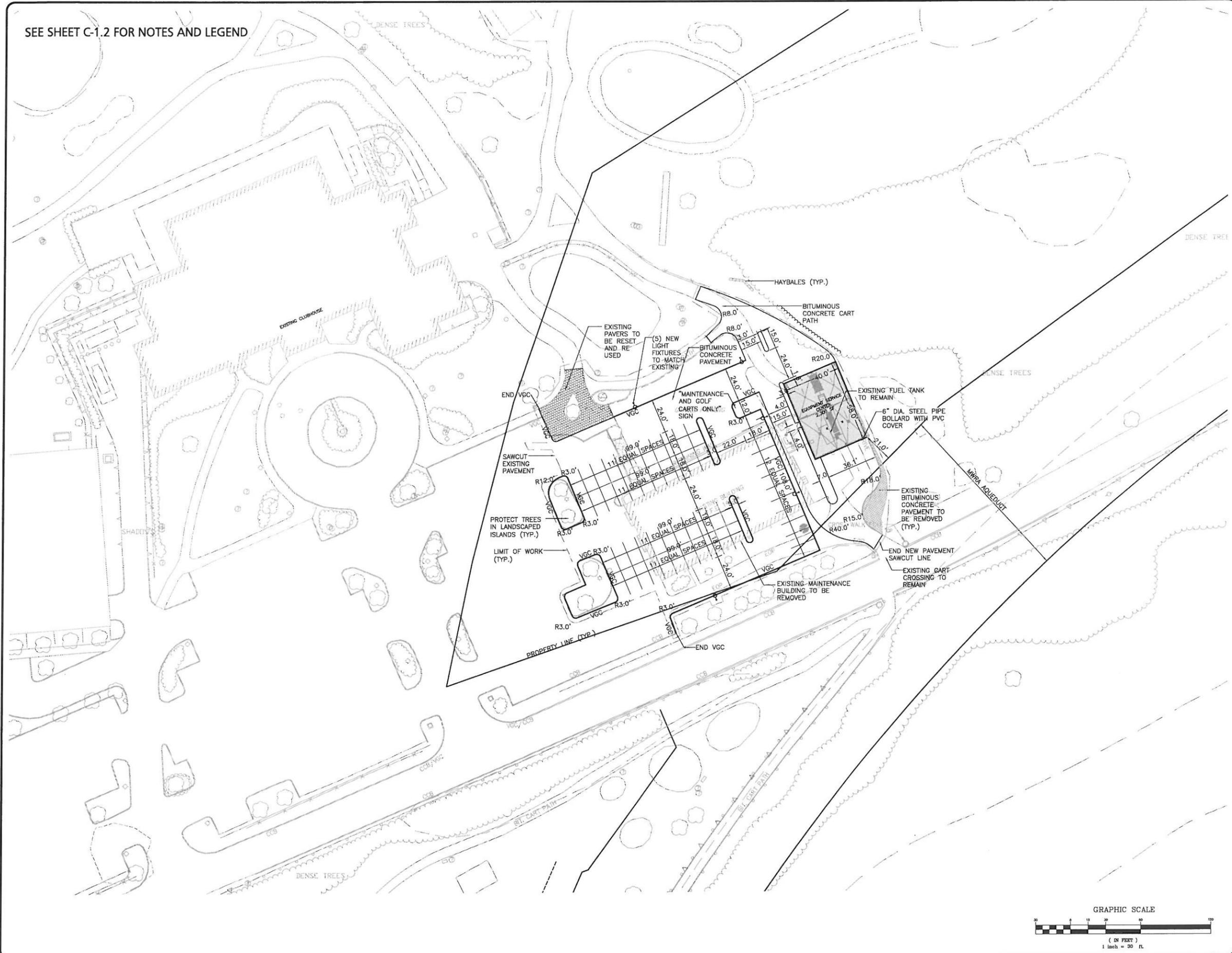
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DRAWING TITLE: PROPOSED LAYOUT PLAN	SHEET No. C-1.2
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SEE SHEET C-1.2 FOR NOTES AND LEGEND



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294 WELLESLEY AVE.
WELLESLEY, MA 02481

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WELLESLEY COUNTRY CLUB
WELLESLEY, MA

PROJECT NO. 1828-02 DATE: SEPTEMBER 17, 2012
SCALE: 1" = 30' DWG. NAME: C1828-02-LM
DESIGNED BY: PLC/ES CHECKED BY: PLC

PREPARED BY:

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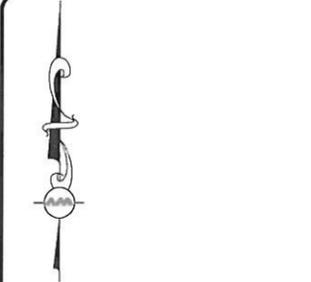
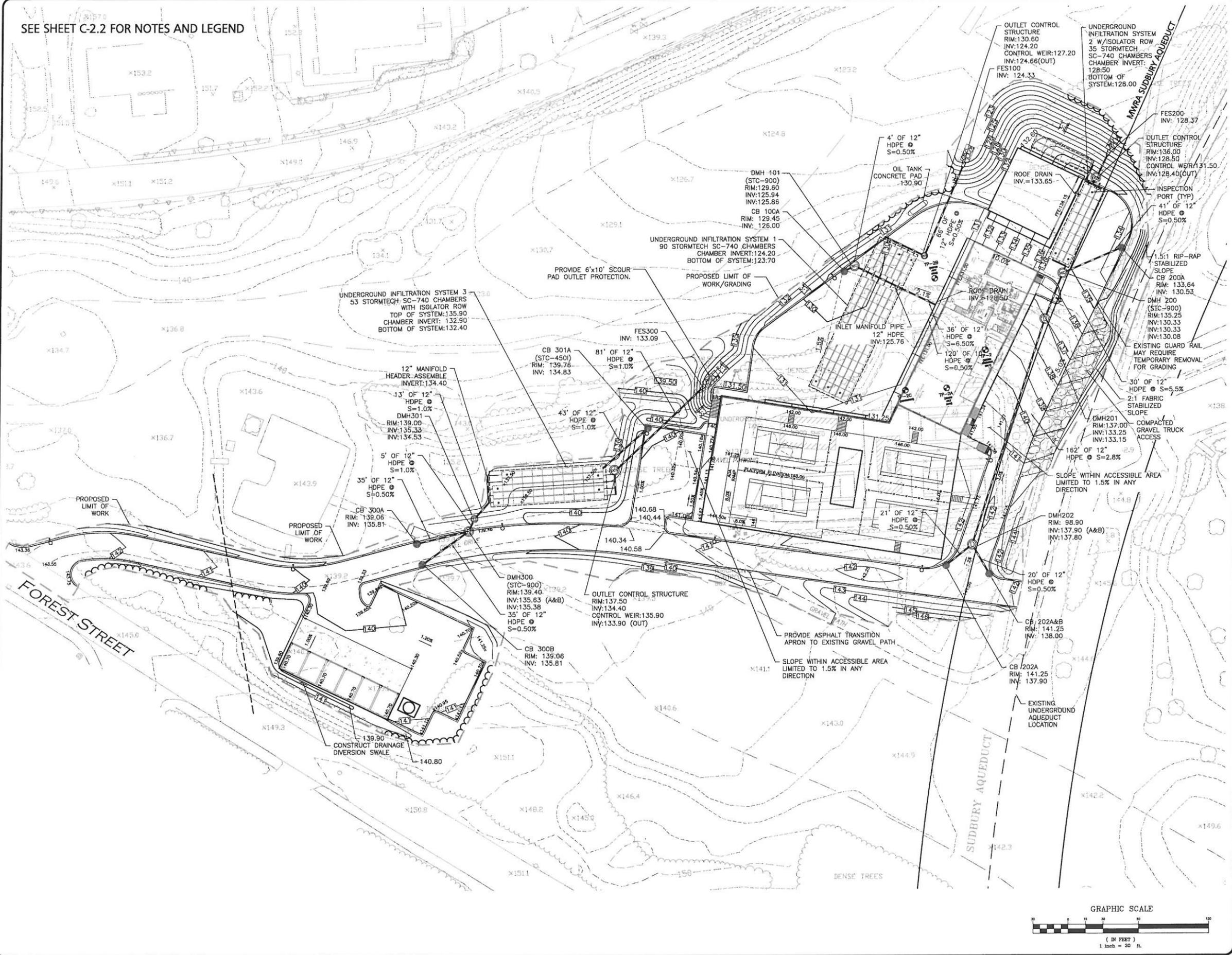
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DRAWING TITLE: SHEET No.
PROPOSED LAYOUT PLAN **C-1.3**

SEE SHEET C-2.2 FOR NOTES AND LEGEND



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV.	DATE	DESCRIPTION

APPLICANT/OWNER:
WELLESLEY COUNTRY CLUB
294 WELLESLEY AVE.
WELLESLEY, MA 02481

PROJECT:
WELLESLEY COUNTRY CLUB
WELLESLEY, MA

PROJECT NO.	1828-02	DATE:	SEPTEMBER 17, 2012
SCALE:	1" = 20'	DWG. NAME:	C1828-02-G
DESIGNED BY:	PLC/ES	CHECKED BY:	PLC

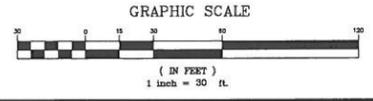


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TEL: (508) 923-1010
FAX: (508) 923-6309

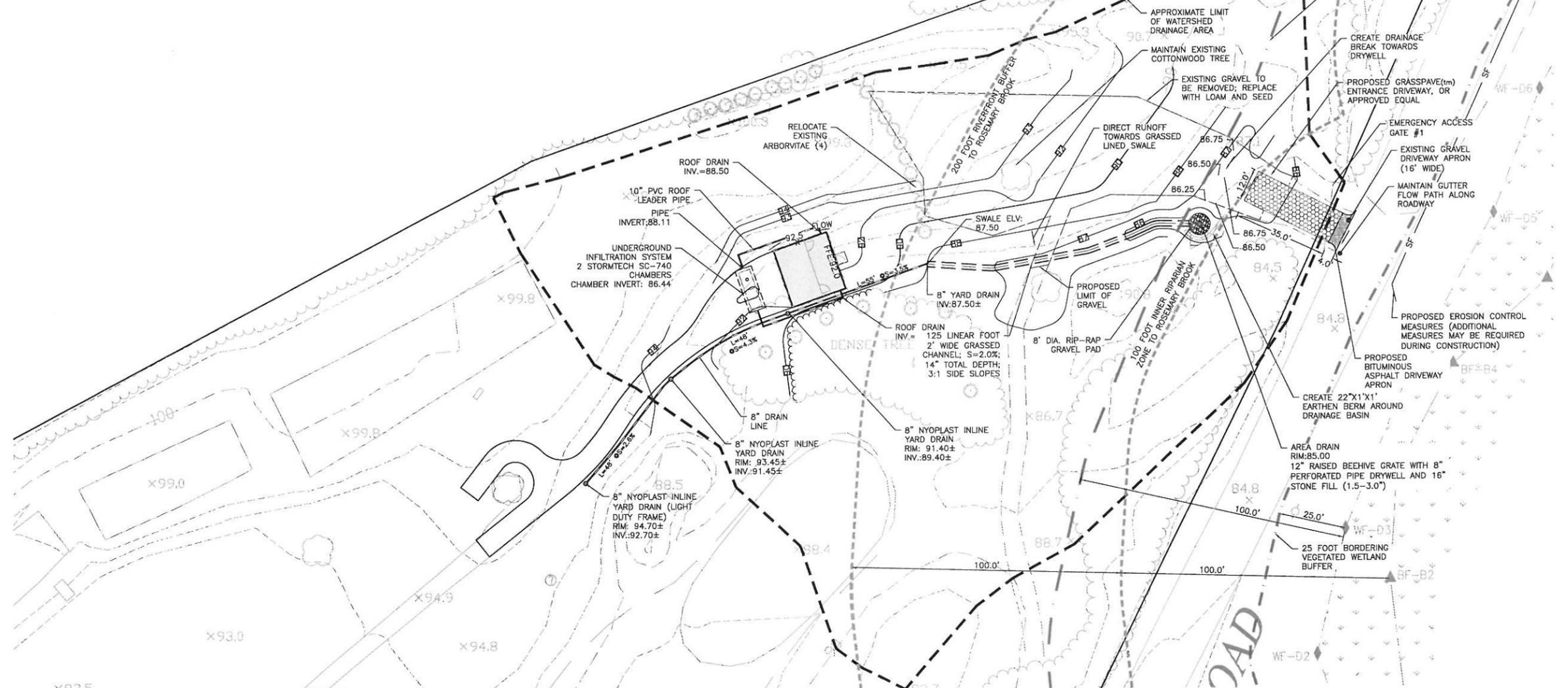
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DRAWING TITLE: GRADING AND DRAINAGE PLAN	SHEET No. C-2.1
--	---------------------------



LAND



GRADING AND DRAINAGE NOTES

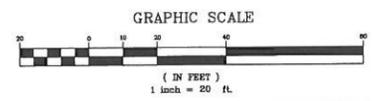
- EXISTING CONDITIONS ARE BASED ON THE SURVEY PREPARED BY ANDREWS SURVEY AND ENGINEERING INC. OF UXBRIDGE, MA.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- STORM PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CLASS III, UNLESS OTHERWISE NOTED ON THE PLANS. INSTALLED WITH A MINIMUM DEPTH OF COVER OF 24"
- PROPOSED GRADE CONTOUR SHOWN AT 2 FOOT INTERVALS.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM DRAIN MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "DRAIN".
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH TOWN SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AND APPROVED BY OWNER'S REPRESENTATIVE.
- ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO LOCAL DRAINAGE REQUIREMENTS.
- DURING CONSTRUCTION CATCH BASIN INLETS SHALL BE PROTECTED FROM THE TRANSPORT OF SEDIMENT INTO THE CLOSED DRAINAGE SYSTEM BY THE USE OF HAYBALES AT CATCH BASINS OR INSTALLED SILT SACKS. ALTERNATIVE METHODS MAY BE USED SUBJECT TO OWNER OR ENGINEER APPROVAL.
- A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN

CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.

- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BASE SURVEY AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
- CONTRACTOR TO NOTIFY CLIENT IN WRITING IF ANY DISCREPANCIES ARE FOUND BEFORE ACTING ON ANY RESOLUTION.
- APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF WELLESLEY REGULATIONS AND ORDINANCES AND O.S.H.A. STANDARDS. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS OF THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES BETWEEN TOWN REGULATIONS AND PLANS.
- ALL NEW ROOF DRAINAGE PIPES SHALL BE PVC, SIZED AS NOTED ON THE PLANS, TURNED UP ABOVE GRADE AND BE TERMINATED WITH A FITTING SPECIFICALLY DESIGNED TO RECEIVE A RECTANGULAR DOWNSPOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL DRAINAGE STRUCTURES ON SITE PRIOR TO COMPLETION OF PROJECT. THIS INCLUDES FLUSHING ALL DRAIN PIPES AND CLEANING ALL MANHOLES AND CATCH BASIN SUMPS OF ALL SEDIMENT AND DEBRIS.
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONCRETE STRUCTURES FOR BUOYANCY PRIOR TO FABRICATION. THE CONTRACTOR SHALL TAKE MEASURES TO GUARANTEE STRUCTURES DO NOT FLOAT WHEN FULLY SUBMERGED DUE TO GROUNDWATER OR OTHER INUNDATION.
- ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- WHERE THE SITE GRADING ABUTS THE ROADWAY, THE GUTTER LINE IS TO BE MAINTAINED ON THE MAIN ROADWAY.
- ACCESSIBLE PARKING AREA MUST NOT EXCEED 2.0% IN ANY DIRECTION TO INSURE COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. ADA ACCESSIBLE PATHS CAN NOT EXCEED 5.0% RUNNING SLOPE WITH A 2% CROSS SLOPE.
- THE EROSION MEASURES SHOWN HEREON REPRESENT THE MINIMAL NECESSARY TO BE IMPLEMENTED DURING CONSTRUCTION. ADDITIONAL MEASURES MAY BE REQUIRED BASED ON FIELD CONDITIONS OR AS SPECIFIED IN THE ORDER OF CONDITIONS. IT IS THE DESIGN INTENT TO UTILIZE A SILT SOCK EROSION BARRIER OR APPROVED EQUAL.

LEGEND:

CATCH BASIN	
DRAIN LINE	
RIPRAP OUTFALL	
10' CONTOUR	
2' CONTOUR	
SPOT GRADE	
WETLAND BUFFER 25'	
WETLAND BUFFER 100'	
RIVERFRONT BUFFER 100'	
RIVERFRONT BUFFER 200'	
UNDERGROUND INFILTRATION SYSTEM	
EROSION BARRIER	



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV.	DATE	DESCRIPTION

APPLICANT/OWNER:
WELLESLEY COUNTRY CLUB
294 WELLESLEY AVE.
WELLESLEY, MA 02481

PROJECT:
WELLESLEY COUNTRY CLUB
WELLESLEY, MA

PROJECT NO. 1828-02 DATE: SEPTEMBER 17, 2012

SCALE: 1" = 20' DWG. NAME: C1828-02-G

DESIGNED BY: PLC/ES CHECKED BY: PLC

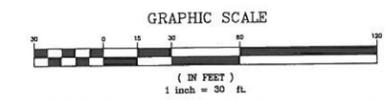
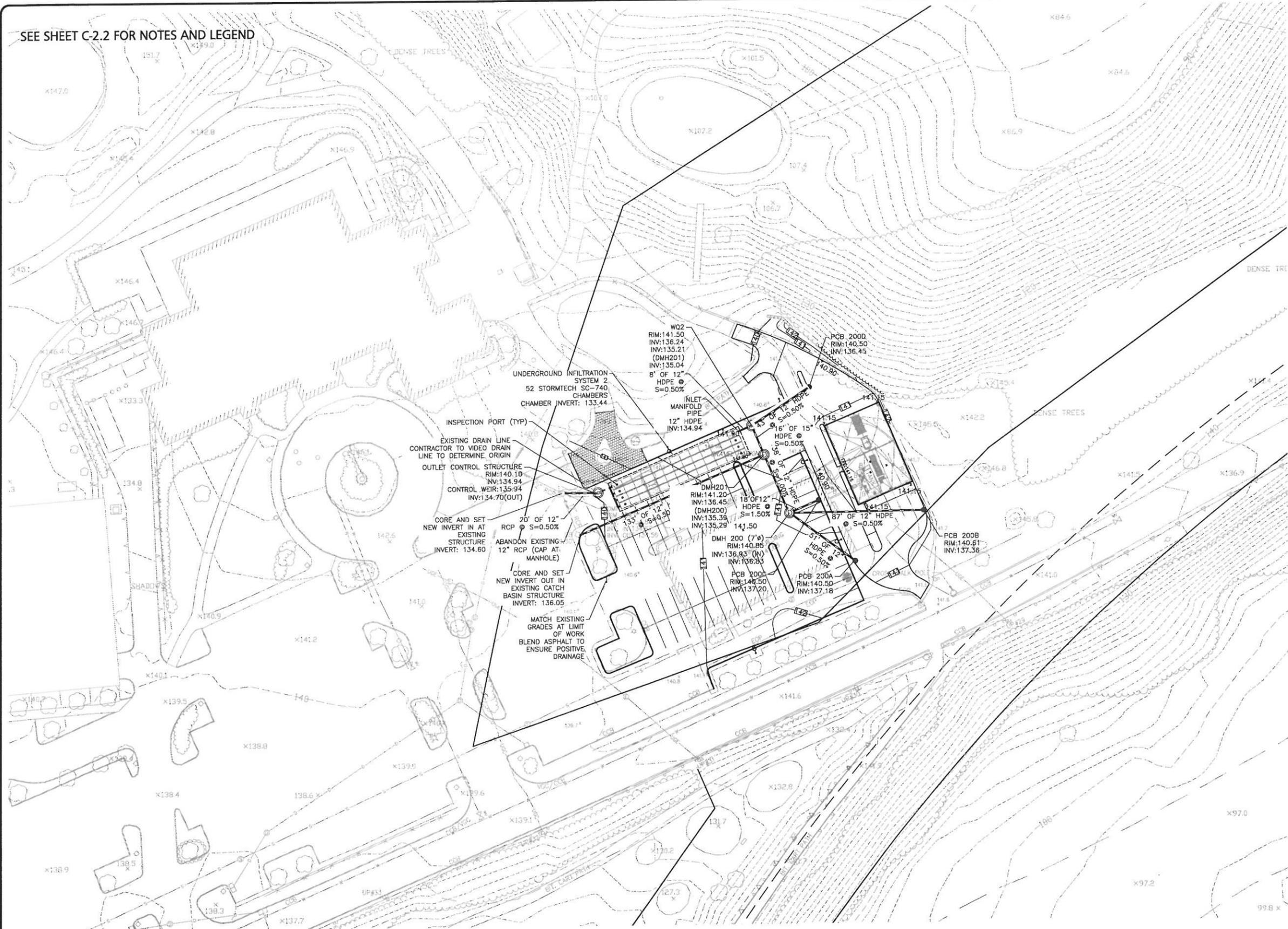
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DRAWING TITLE: GRADING AND DRAINAGE PLAN SHEET No. C-2.2

SEE SHEET C-2.2 FOR NOTES AND LEGEND



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WELLESLEY, MA 02481

PROJECT:
WELLESLEY COUNTRY CLUB
WELLESLEY, MA

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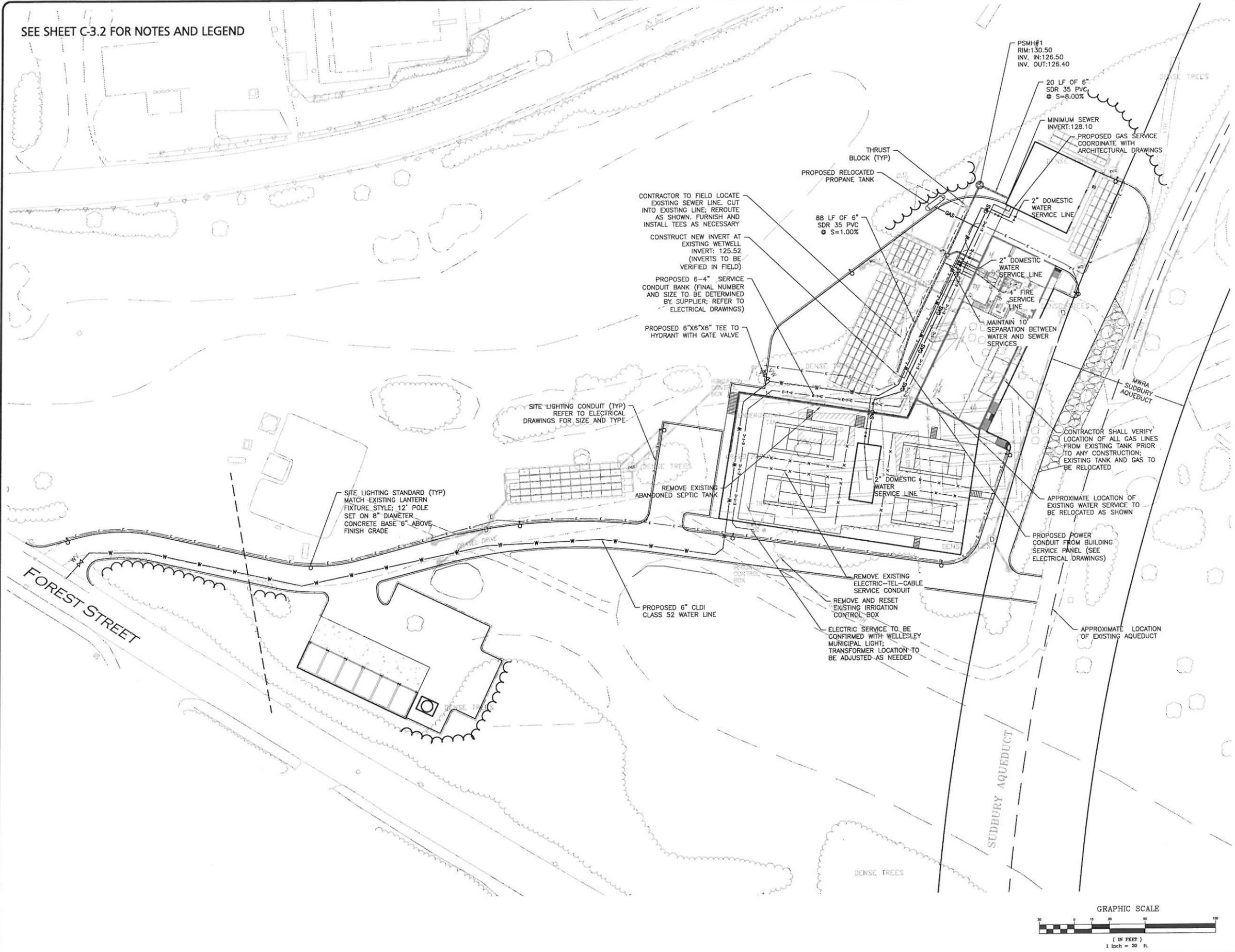
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DRAWING TITLE: GRADING AND DRAINAGE PLAN SHEET No. C-2.3

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SEE SHEET C-3.2 FOR NOTES AND LEGEND



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WELLESLEY, MA 02481

PROJECT:
WELLESLEY COUNTRY CLUB
WELLESLEY, MA

PROJECT NO. 1828-02 DATE: SEPTEMBER 17, 2012
SCALE: 1" = 30' DWG. NAME: C1828-02-U
DESIGNED BY: PLC/ES CHECKED BY: PLC

PREPARED BY:



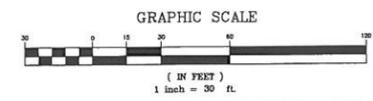
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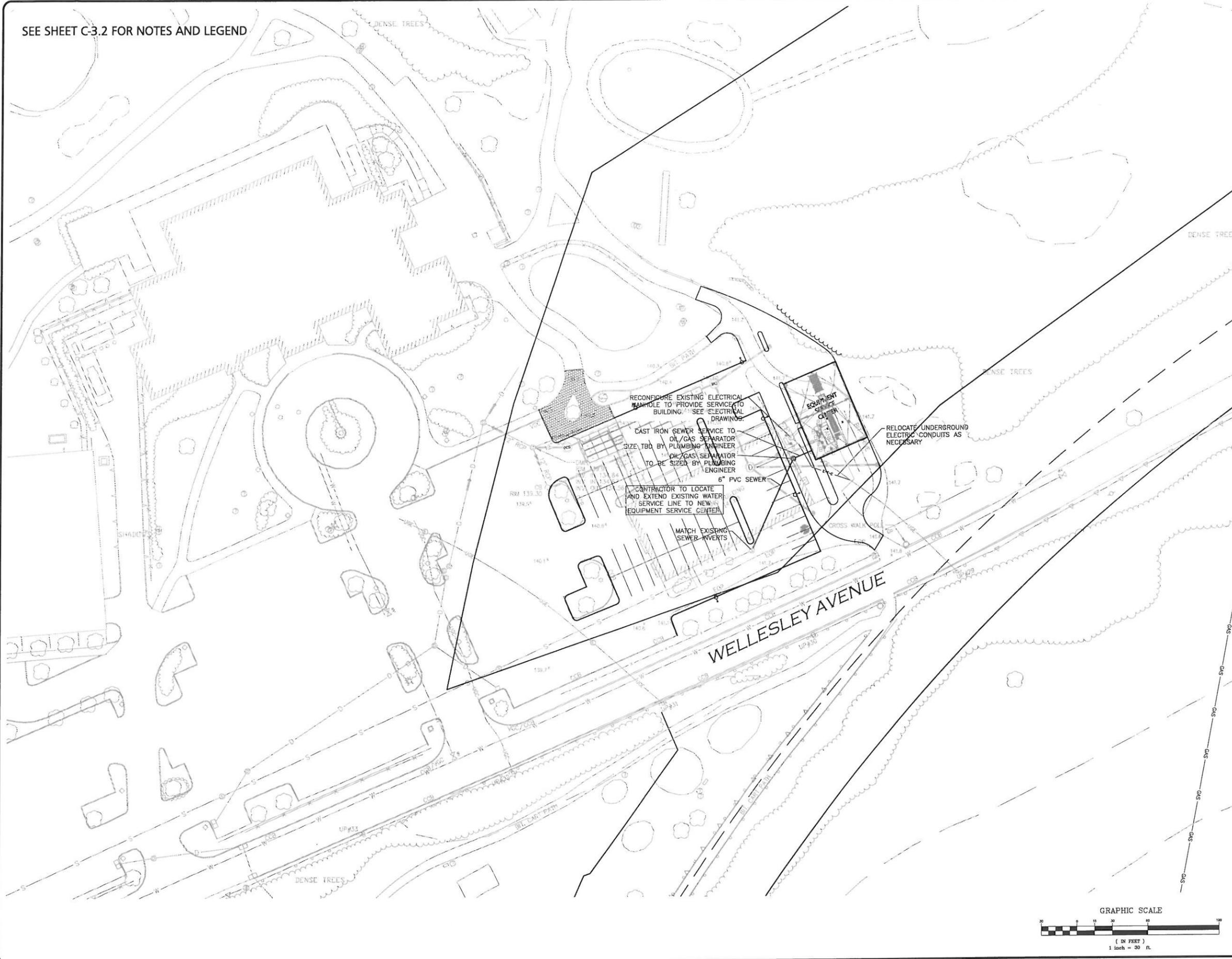
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DRAWING TITLE: UTILITIES PLAN SHEET No. C-3.1



SEE SHEET C-3.2 FOR NOTES AND LEGEND



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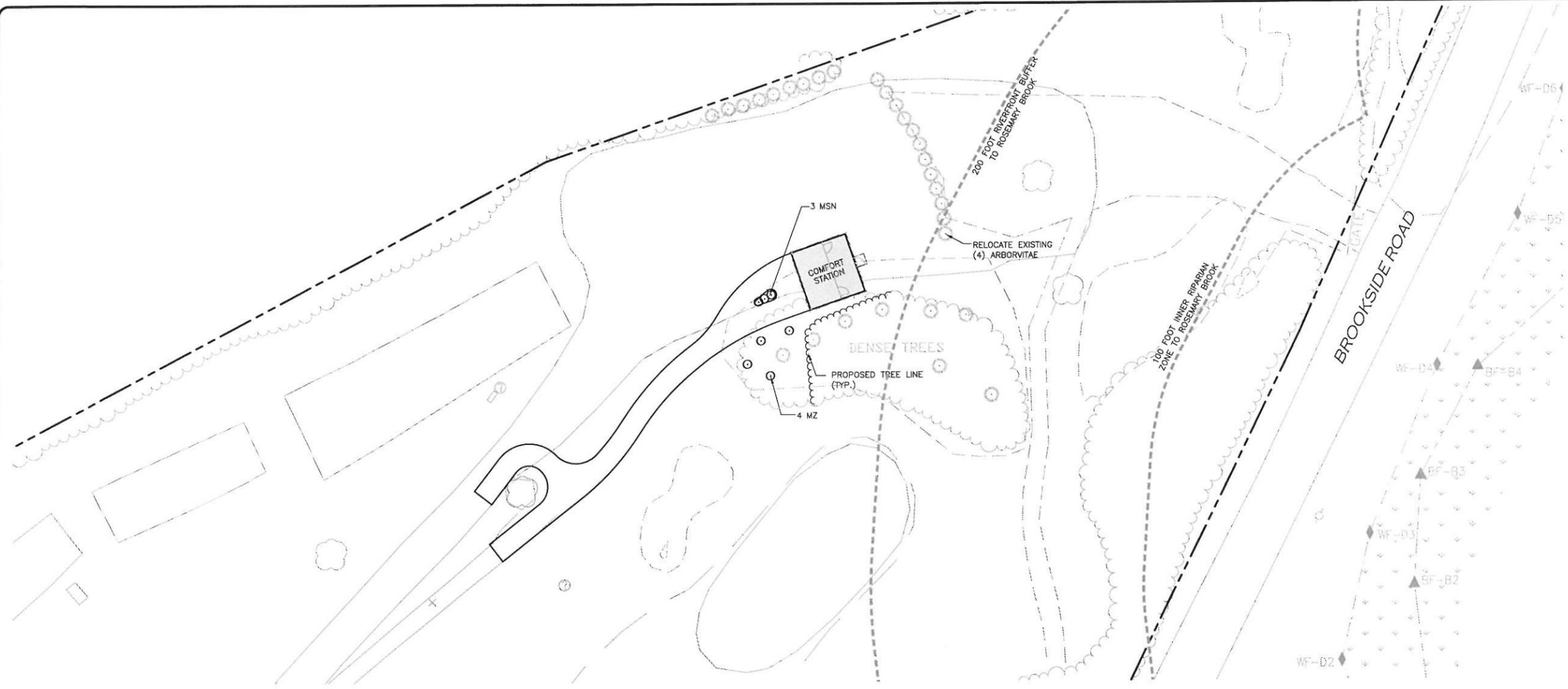
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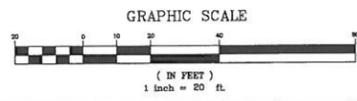
DRAWING TITLE: UTILITIES PLAN	SHEET No. C-3.3
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PLANTING SCHEDULE				
KEY	QNTY	BOTANICAL NAME	COMMON NAME	SIZE
ORNAMENTAL GRASSES				
MSN	3	MISCANTHUS SINENSIS 'NIPPON'	JAPANESE SILVER GRASS	#3 POT
MZ	4	MISCANTHUS SINENSIS 'ZEBRINUS'	ZEBRA MAIDEN GRASS	#3 POT

GENERAL NOTES

1. ALL DISTURBED AREA/S SHALL BE LOAMED AND SEEDED BOTH INSIDE AND OUTSIDE THE CONTRACT LIMIT LINE.
2. THE SUBCONTRACTOR SHALL PROTECT ALL EXISTING TREES AND VEGETATION TO REMAIN.
3. ALL UNSURFACED AREAS SHALL RECEIVE 6" OF TOPSOIL, GRASS SEED MULCH AND BE WATERED AND MAINTAINED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AND MOWED TWICE.
4. ALL SHRUBS SHALL BE SURROUNDED BY PINE BARK MATERIAL.
5. REFER TO LANDSCAPE/MECHANICAL PLANS FOR IRRIGATION DETAIL.
6. ALL EXISTING PLANTED AREAS OUTSIDE THE LIMIT OF WORK SHALL REMAIN UNDISTURBED.
7. ALL RIP-RAP IS TO BE COVERED WITH SUFFICIENT LOAM TO ALLOW THE HEALTHY, FULL DEVELOPMENT OF GRASS.



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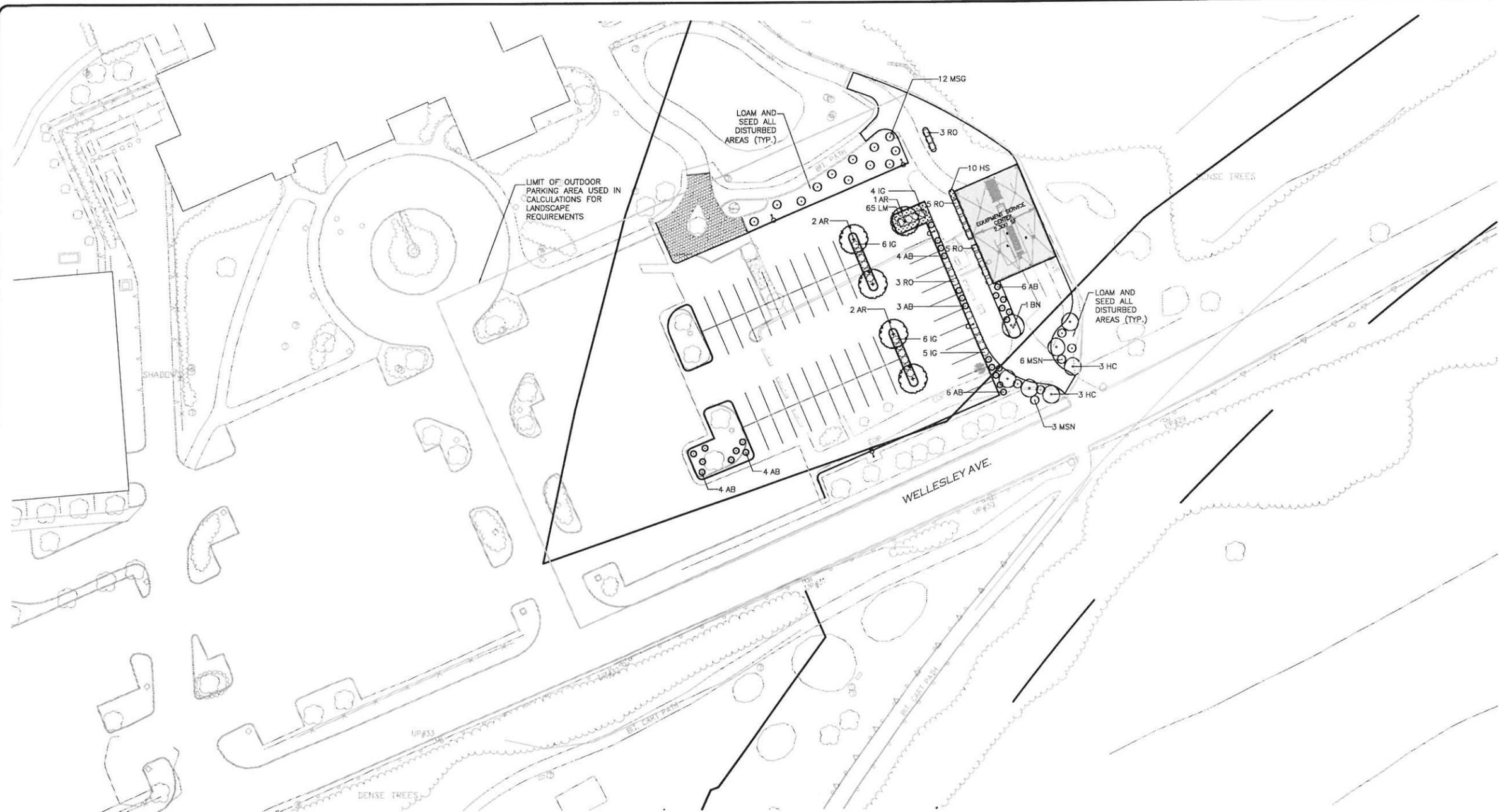
PROJECT:
 WELLESLEY COUNTRY CLUB
 WELLESLEY, MA

PROJECT NO. 1828-02 DATE: SEPTEMBER 17, 2012
 SCALE: 1" = 20' DWG. NAME: C1828-02-P
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DRAWING TITLE: SHEET No.
 PROPOSED PLANTING PLAN C-4.2



TOWN OF WELLESLEY, ZONING SUMMARY:

**SECTION XXI. OFF-STREET PARKING
SUBPART 3 - DEVELOPMENT STANDARDS
LANDSCAPING**

ITEM A REQUIRED: OUTDOOR PARKING AREAS CONTAINING TWENTY (20) OR MORE PARKING SPACES, THERE SHALL BE PLANTED AT LEAST ONE TREE FOR EVERY TEN (10) PARKING SPACES ON ANY SIDE OF THE PERIMETER OF SUCH PARKING AREA THAT ABUTS THE SIDE LINE OF A PRIVATE OR PUBLIC WAY, OR ABUTS THE LOT LINE IN RESIDENTIAL DISTRICTS OR LAND USED FOR RESIDENTIAL PURPOSES.

EQUIPMENT SERVICE CENTER:
59 PROPOSED PARKING STALLS = 6 TREES REQUIRED

TURF CARE MAINTENANCE FACILITY:
36 PROPOSED PARKING STALLS=4 TREES REQUIRED

PROPOSED: EQUIPMENT SERVICE CENTER:
9 TREES PROVIDED

TURF CARE MAINTENANCE FACILITY:
11 TREES PROVIDED

ITEM B REQUIRED: IN ANY OUTDOOR PARKING AREA A LANDSCAPED OPEN SPACE HAVING AN AREA OF NOT LESS THAN 10% OF THE OUTDOOR PARKING AREA ON THE LOT SHALL BE PROVIDED. A MINIMUM OF 1/2 OF THE REQUIRED LANDSCAPED OPEN SPACE SHALL BE LOCATED IN THE INTERIOR OF THE PARKING AREA.

PROPOSED: EQUIPMENT SERVICE CENTER:
PAVED AREA=40,845 SF
10% REQUIREMENT=4,085 SF

INTERIOR LANDSCAPING=1/2 OF 4,085=2,043 SF REQUIRED
INTERIOR LANDSCAPING PROVIDED=4,537 SF

TURF CARE MAINTENANCE FACILITY:
PAVED AREA=12,159 SF
10% REQUIREMENT=1,216 SF

INTERIOR LANDSCAPING=1/2 OF 1,216=608 SF REQUIRED
INTERIOR LANDSCAPING PROVIDED=1,017 SF

**SECTION XXI. OFF-STREET PARKING
SUBPART 3 - DEVELOPMENT STANDARDS
SCREENING**

REQUIRED: ANY PARKING, STORAGE, OR SERVICE AREA WHICH ABUTS RESIDENTIAL DISTRICTS OR USES AND ANY PARKING AREA SHALL BE SCREENED FROM A PUBLIC OR PRIVATE WAY IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

PROPOSED: EQUIPMENT SERVICE CENTER:
EXISTING SCREENING ALONG WELLESLEY AVE. IS NOT GOING TO BE DISTURBED

TURF CARE MAINTENANCE FACILITY:
EXISTING SCREENING ALONG FOREST STREET IS NOT GOING TO BE DISTURBED

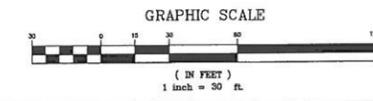
COMFORT STATION:
EXISTING SCREENING ALONG BROOKSIDE ROAD IS NOT GOING TO BE DISTURBED

GENERAL NOTES

1. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED BOTH INSIDE AND OUTSIDE THE CONTRACT LIMIT LINE.
2. THE SUBCONTRACTOR SHALL PROTECT ALL EXISTING TREES AND VEGETATION TO REMAIN.
3. ALL UNSURFACED AREAS SHALL RECEIVE 6" OF TOPSOIL, GRASS SEED MULCH AND BE WATERED AND MAINTAINED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AND MOWED TWICE.
4. ALL SHRUBS SHALL BE SURROUNDED BY PINE BARK MATERIAL.
5. REFER TO LANDSCAPE/MECHANICAL PLANS FOR IRRIGATION DETAIL.
6. ALL EXISTING PLANTED AREAS OUTSIDE THE LIMIT OF WORK SHALL REMAIN UNDISTURBED.
7. ALL RIP-RAP IS TO BE COVERED WITH SUFFICIENT LOAM TO ALLOW THE HEALTHY, FULL DEVELOPMENT OF GRASS.

PLANTING SCHEDULE

KEY	QNTY	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS TREES				
AR	5	ACER RUBRUM 'RED SUNSET'	RED MAPLE	2 1/2"-3" CAL.
FLOWERING TREES				
BN	1	BETULA NIGRA 'HERITAGE CULLY'	HERITAGE RIVER BIRCH	7'-8' HT.
HC	6	HALESIA CAROLINA	SILVERBELL	5'-6' HT.
SHRUBS				
AB	27	AZALEA BLAAUW'S PINK	BLAAUW'S PINK AZALEA	2'-2 1/2' HT.
RO	16	RHODODENDRON OLGA	OLGA RHODODENDRON	2'-2 1/2' HT.
IG	21	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	#5 POT
ORNAMENTAL GRASSES AND PERENNIALS				
MSG	12	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	#3 POT
MSN	9	MISCANTHUS SINENSIS 'NIPPON'	JAPANESE SILVER GRASS	#3 POT
HS	10	HEMEROCALLIS 'STELLA D'ORO'	DAYLILY	#3 POT
LM	65	LIRIOPE MUSCARI 'BIG BLUE'	LILYTURF	#3 POT



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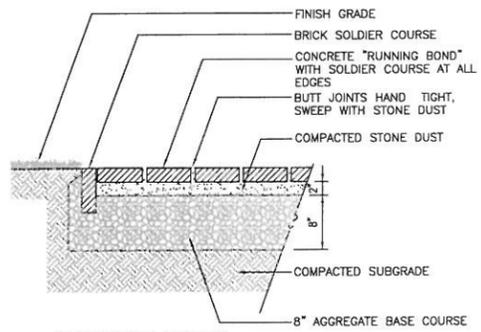
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DRAWING TITLE: **PROPOSED PLANTING PLAN** SHEET No. **C-4.3**



NOTE: CONCRETE PAVERS TO MATCH THE PAVERS ON ROOF TOP. REFER TO ARCHITECTURALS.

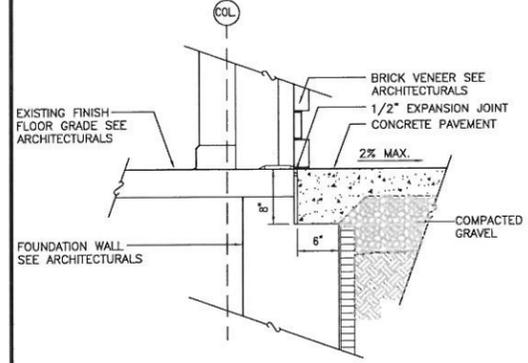
CONCRETE PAVERS ON STONE DUST 9
NOT TO SCALE



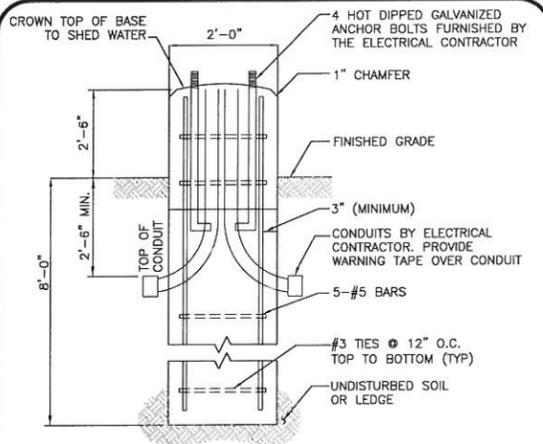
NOTE: R7-8 SIGN - THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFIRM WITH LOCAL REGULATIONS.

TO BE PLACED ONLY AT PARKING SPOTS DENOTED WITH THE LETTER V.

HANDICAP PARKING SIGN DETAIL 6
NOT TO SCALE

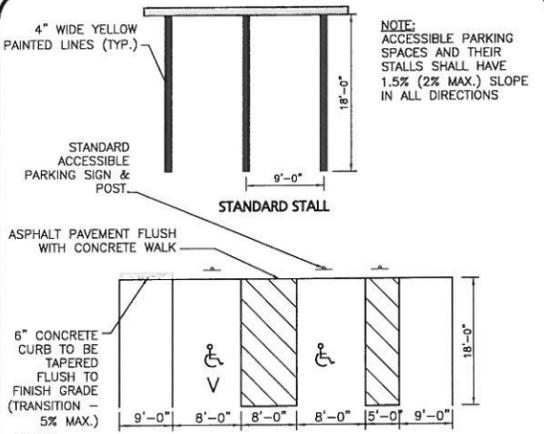


CONCRETE PAVEMENT AT THRESHOLD 3
NOT TO SCALE



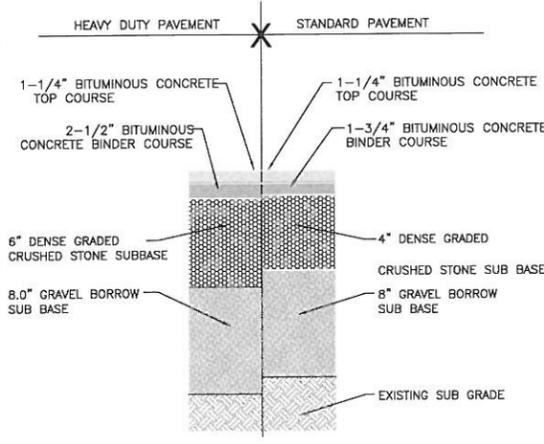
ANCHOR BOLTS TO BE SET IN BOLT CIRCLE EXACT SIZE AND LOCATION OF BOLTS MUST BE VERIFIED WITH ELECTRIC CONTRACTOR BEFORE SETTING. POLE LOCATION BY OTHERS. GROUNDING PER LIGHTING PLANS.

LIGHT POLE BASE 8
NOT TO SCALE



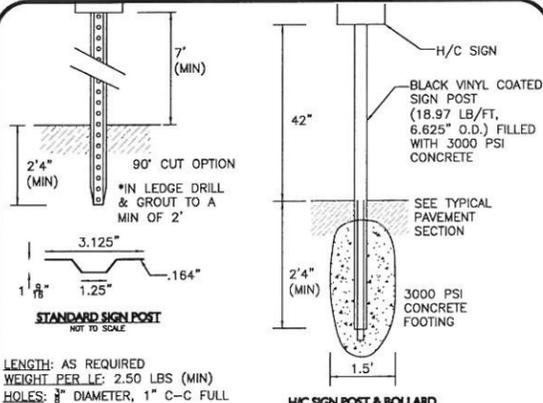
NOTES:
1. ADA STALL STRIPING TO COMPLY WITH STATE OF MASSACHUSETTS ADA STANDARDS
2. "V" DENOTES HANDICAPPED ACCESSIBLE PARKING SPACE.
3. STALLS SHOWN ARE TYPICAL. REFER TO SITE PLAN FOR ACTUAL LAYOUT.

ACCESSIBLE PARKING-SIZE AND MARKINGS DETAIL 5
NOT TO SCALE



BASE AND SUBBASE MATERIAL TO CONFORM TO MASSHIGHWAY STATE STANDARD SPECIFICATIONS SECTIONS M.3.11.03

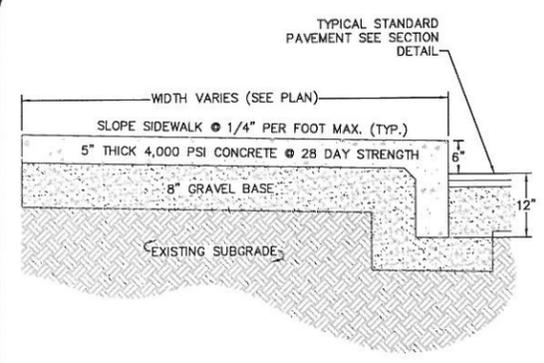
BITUMINOUS CONCRETE PAVEMENT 2
NOT TO SCALE



LENGTH: AS REQUIRED
WEIGHT PER LF: 2.50 LBS (MIN)
HOLES: 3/8\"/>

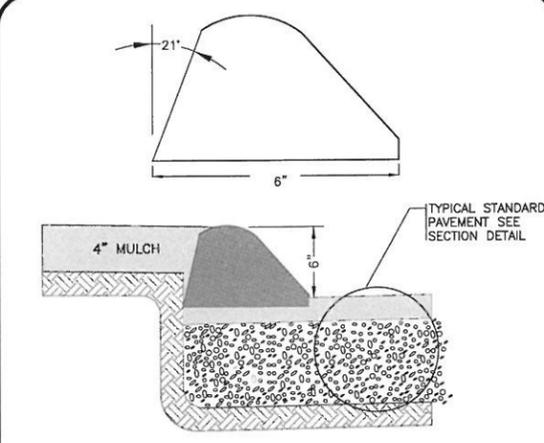
NOTE:
1. STEEL PIPE BOLLARD & CONCRETE FOOTING TO BE USED ON ALL H/C SIGNS. STANDARD SIGN POST SHALL BE USED ON ALL OTHER SIGNS.

SIGN POSTS 7
NOT TO SCALE



NOTES:
1. SIDEWALK TO HAVE TOLLED JOINTS IN A 5' X 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER.
2. TOOLED JOINT 6\"/>

CONCRETE SIDEWALK DETAIL 4
NOT TO SCALE



NOTE: BITUMINOUS CURB TO BE PLACED ON TOP OF BINDER PRIOR TO WEARING COURSE

BITUMINOUS CONCRETE CURB 1
NOT TO SCALE

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV.	DATE	DESCRIPTION

APPLICANT/OWNER:
WELLESLEY COUNTRY CLUB
294 WELLESLEY AVE.
WELLESLEY, MA 02481

PROJECT:
WELLESLEY COUNTRY CLUB
WELLESLEY, MA

PROJECT NO. 1828-02 DATE: SEPTEMBER 17, 2012

SCALE: N.T.S DWG. NAME: C1828-02-D

DESIGNED BY: PLC/ES CHECKED BY: PLC

PREPARED BY:

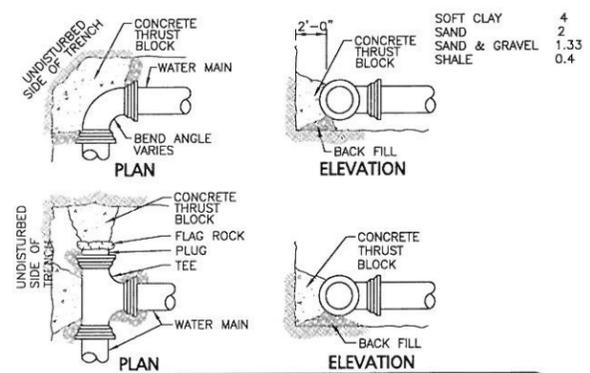
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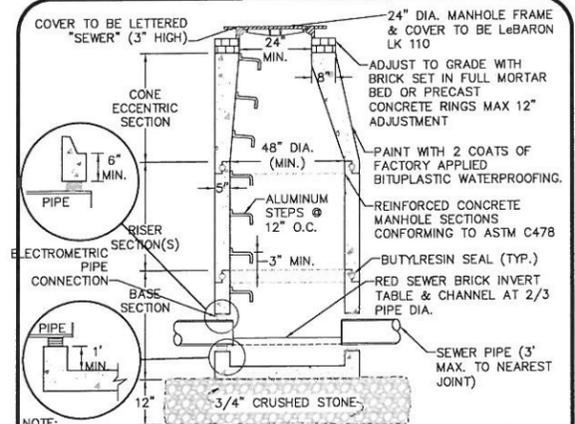
DRAWING TITLE: **SITE DETAILS 1** SHEET No. **C-5.1**



SOFT CLAY 4
SAND & GRAVEL 1.33
SHALE 0.4

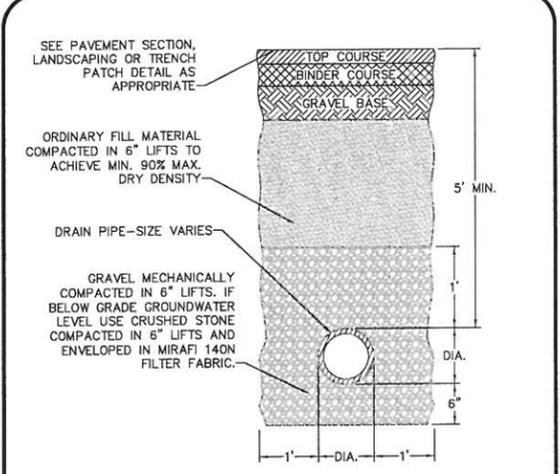
PIPE DIAMETER	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)	TEES, PLUGS, CAPS & HYDRANTS (SQ. FT.)
6"	5	3	3	4
8"	9	6	3	9
10"	13	7	4	12
12"	20	10	5	16

THRUST BLOCK DETAILS
NOT TO SCALE



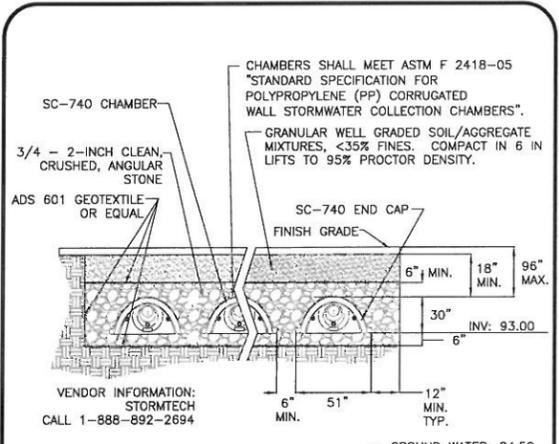
NOTE: THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAK PROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENT AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND (H-20 LOADING) OR WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE.

SEWER MANHOLE
NOT TO SCALE



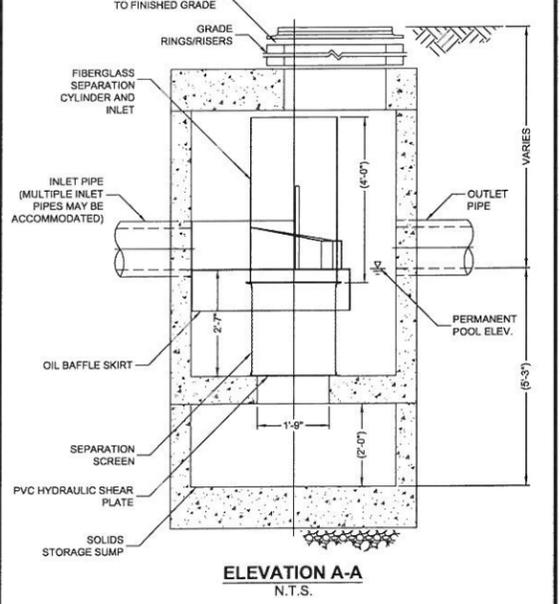
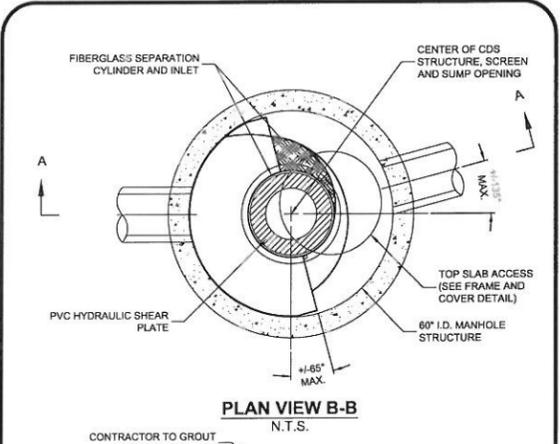
TYPICAL DRAIN TRENCH DETAIL
NOT TO SCALE

- NOTES:
1. ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
2. ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
3. SIZE OF CONCRETE THRUST BLOCKS SHALL BE AS NOTED BELOW.
4. MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
5. KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.
6. THE BELOW PREDICATED ON A WATER PRESSURE OF 225 PSI AND A SOIL RESISTANCE OF 2000 PSF (TILL). FOR OTHER SOILS THE VALUES IN THE ABOVE TABLE SHALL BE MULTIPLIED BY:



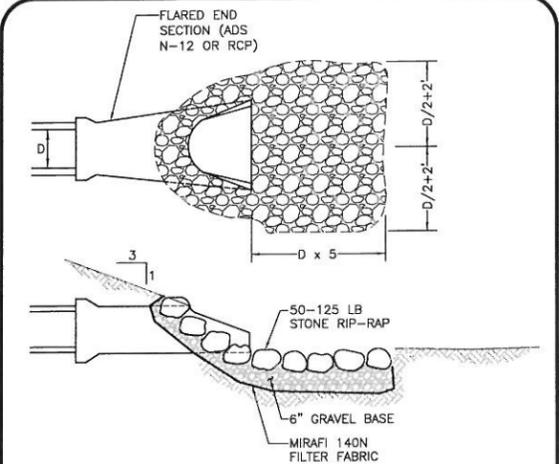
NOTE: SOIL TESTS IN THE AREA DID NOT ENCOUNTER ANY GROUNDWATER OR REDOXIMORPHIC FEATURES. GROUNDWATER IS ASSUMED BASED ON NEARBY WETLAND ELEVATIONS

TYPICAL STORMTECH SC-740 CHAMBER* CROSS SECTION
*OR APPROVED EQUAL NOT TO SCALE

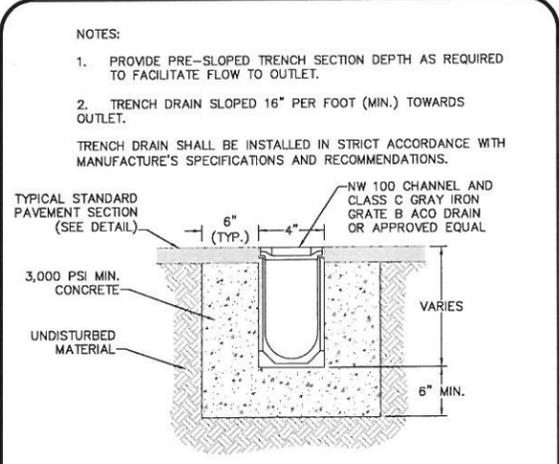


- NOTES:
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FROM CONTECH FOR WATER QUALITY STRUCTURE.
2. STRUCTURE SHALL BE RATED FOR HS-20 LOADING.

CONTECH CDS 2020 WATER QUALITY STRUCTURE*
*OR APPROVED EQUAL NOT TO SCALE

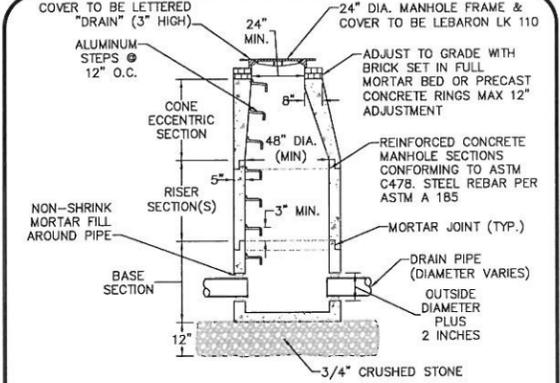


FLARED END SECTION WITH RIP RAP
NOT TO SCALE



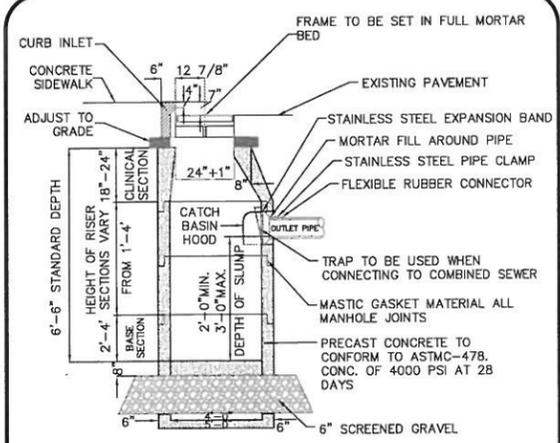
TYPICAL TRENCH DETAIL
NOT TO SCALE

- NOTES:
1. PROVIDE PRE-SLOPED TRENCH SECTION DEPTH AS REQUIRED TO FACILITATE FLOW TO OUTLET.
2. TRENCH DRAIN SLOPED 16" PER FOOT (MIN.) TOWARDS OUTLET.
TRENCH DRAIN SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS AND RECOMMENDATIONS.



PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE

NOTE: THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE AND STRENGTH QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENT AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND (H-20 LOADING) WITHOUT FAILURE.



PRECAST CONCRETE CATCH BASIN
NOT TO SCALE

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV.	DATE	DESCRIPTION

APPLICANT/OWNER:
WELLESLEY COUNTRY CLUB
294 WELLESLEY AVE.
WELLESLEY, MA 02481

PROJECT:
WELLESLEY COUNTRY CLUB
WELLESLEY, MA

PROJECT NO. 1828-02 DATE: SEPTEMBER 17, 2012

SCALE: N.T.S DWG. NAME: C1828-02-D

DESIGNED BY: PLC/ES CHECKED BY: PLC

PREPARED BY:



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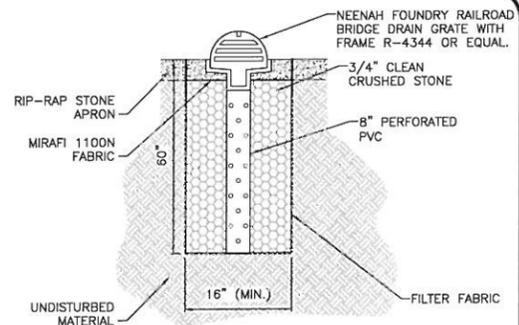
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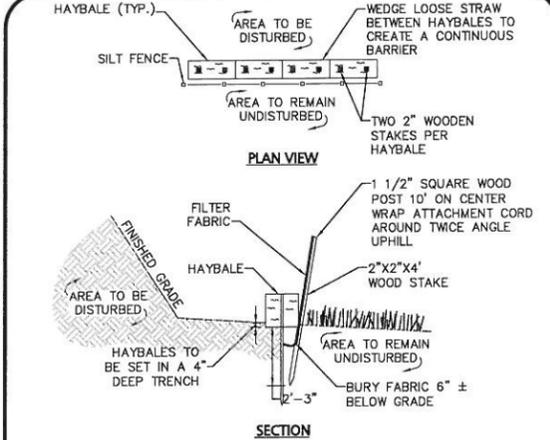
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DRAWING TITLE: SHEET No.

SITE DETAILS 2 C-5.2

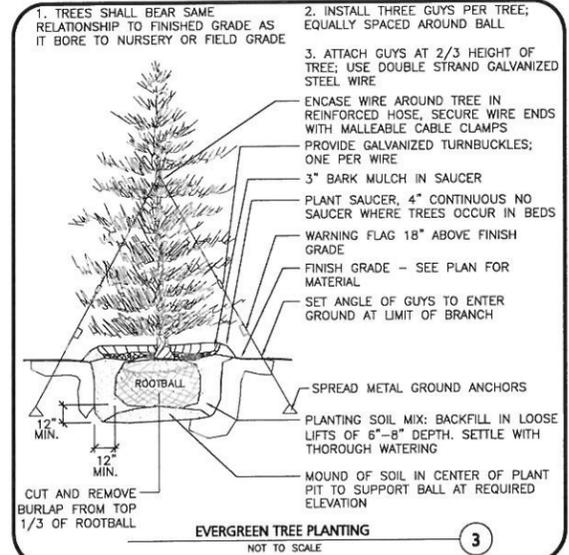


DRYWELL DRAIN
NOT TO SCALE



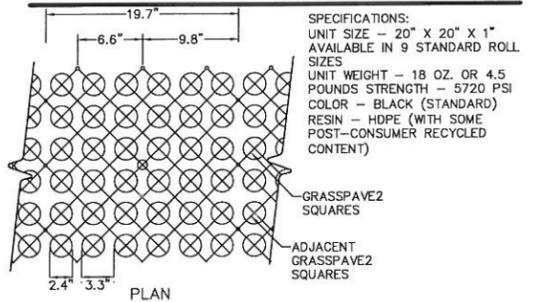
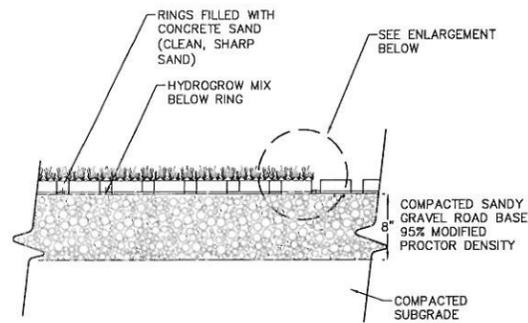
NOTE: DEPTH TO BE 2' UNLESS POST IS TO BE SET IN PEAT THEN 3' OR DEPTH POSSIBLE BY PUSHING BY HAND SHALL BE REQUIRED.

SILT FENCE AND HAYBALE DETAIL
NOT TO SCALE



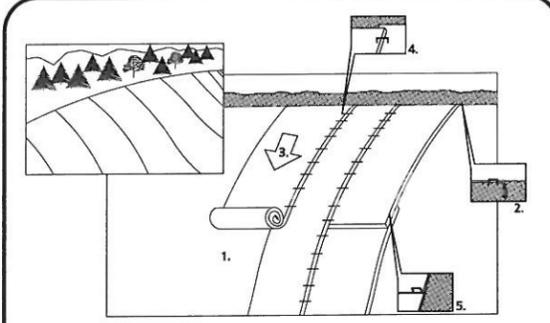
NOTE: ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE.

EVERGREEN TREE PLANTING
NOT TO SCALE



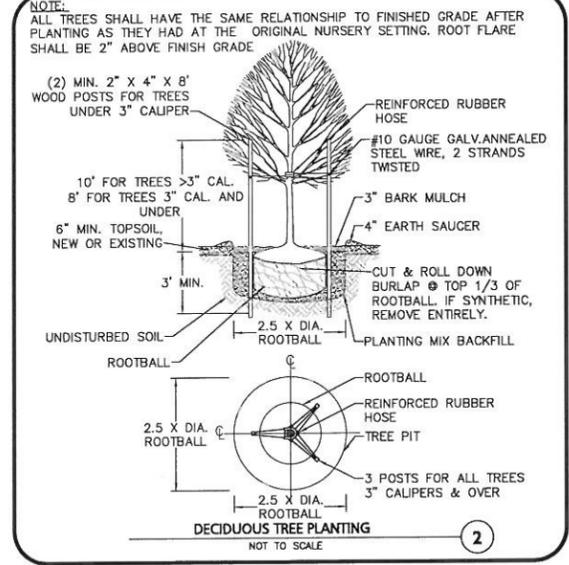
NOTE: 1. GRASSPAVE2 DETAIL PROVIDED BY MANUFACTURER. REFER TO WWW.INVISIBLESTRUCTURES.COM FOR MORE DETAILED INFORMATION. 1600 JACKSON ST., STE. 310, GOLDEN, COLORADO 80401; TEL: 800-233-1510

GRASSPAVE(TM) DETAIL
NOT TO SCALE



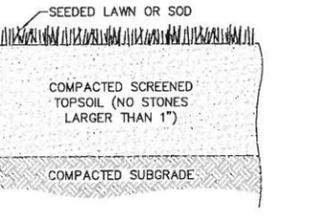
NOTE: 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. 3. ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW. 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP. 5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAP AREA, APPROXIMATELY 12" APART.

SLOPE STABILIZATION DETAIL
NOT TO SCALE

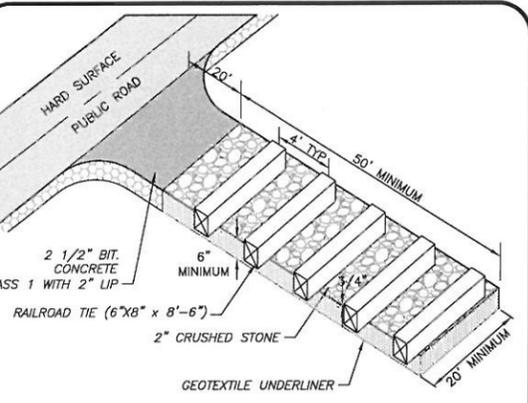


NOTE: 1. TOP OF LOAM (TOPSOIL) IS FINISHED GRADE. 2. TOPSOIL SHALL BE FERTILE, FRIABLE SOIL, TYPICAL OF PRODUCT SOILS IN THE SURROUNDING AREA AND SHALL CONTAIN BETWEEN 5% AND 12% ORGANIC MATTER AND SHALL HAVE A MAXIMUM STONE SIZE OF 1" AND SHALL CONFORM TO THE FOLLOWING GRADATION:

SIEVE	% PASSING
1"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	28-40

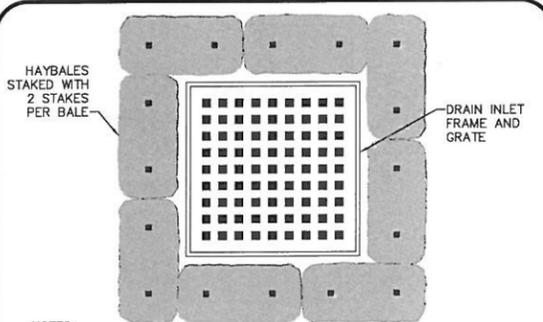


SEEDED OR SODDED LAWN
NOT TO SCALE



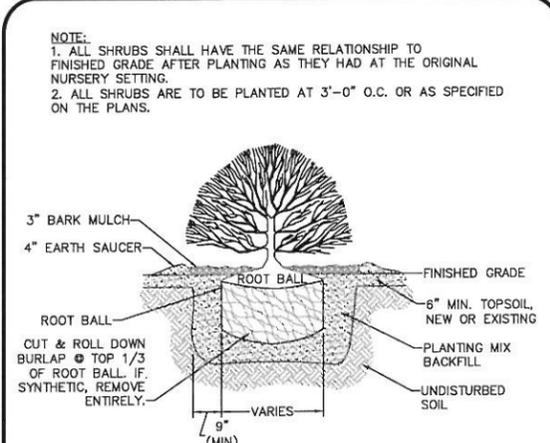
NOTES: 1. MAINTAIN ANTI-TRACKING PAVEMENT IN GOOD CONDITION THROUGH OUT CONSTRUCTION PERIOD. 2. ROADWAY SHALL BE SWEEPED DAILY TO REMOVE ANY MATERIAL THAT MAY BE TRACKED ONTO THE PAVEMENT.

CONSTRUCTION ENTRANCE
NOT TO SCALE



NOTES: 1. HAYBALES SHALL BE POSITIONED IN A ROW SO THAT EACH END TIGHTLY ABUTS THE ADJACENT BALE. 2. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER. 3. FREQUENT INSPECTIONS SHALL BE CONDUCTED AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY IF NECESSARY. 4. WEDGE LOOSE STRAW BETWEEN HAYBALES TO CREATE A CONTINUOUS BARRIER.

TYPICAL HAYBALE FILTER DETAIL
NOT TO SCALE



NOTE: 1. ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. 2. ALL SHRUBS ARE TO BE PLANTED AT 3'-0" O.C. OR AS SPECIFIED ON THE PLANS.

SHRUB PLANTING
NOT TO SCALE

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV.	DATE	DESCRIPTION

APPLICANT/OWNER:
WELLESLEY COUNTRY CLUB
294 WELLESLEY AVE.
WELLESLEY, MA 02481

PROJECT:
WELLESLEY COUNTRY CLUB
WELLESLEY, MA

PROJECT NO. 1828-02 DATE: SEPTEMBER 17, 2012
SCALE: N.T.S DWG. NAME: C1828-02-D

DESIGNED BY: PLC/ES CHECKED BY: PLC

PREPARED BY:

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DRAWING TITLE: **SITE DETAILS 3** SHEET No. **C-5.3**