

# WELLESLEY COUNTRY CLUB WELLESLEY, MASSACHUSETTS TURF CARE CENTER

DRAWINGS & SPECIFICATIONS

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A2	TURF CARE MAINTENANCE FACILITY SECOND FLOOR PLAN
A3	TURF CARE MAINTENANCE FACILITY PARTIAL ROOF PLAN
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SP2	SPECIFICATIONS
SP3	SPECIFICATIONS

PROJECT STREET ADDRESS:

WELLESLEY COUNTRY CLUB  
FOREST STREET  
WELLESLEY, MASSACHUSETTS

DESIGN CRITERIA:

- 1) 2009 IBC, MASSACHUSETTS STATE BUILDING CODE-8TH EDITION,
  - 2) 521 CMR MASSACHUSETTS ARCHITECTURAL ACCESS BOARD
  - 3) LOFT FLOOR LOAD = 125 PSF, ADMINISTRATION = 50 PSF, CORRIDOR = 80 PSF
  - 4) GROUND SNOW LOAD = 40 PSF
  - 5) WIND SPEED = 110 MPH
  - 5) OCCUPANCY CLASSIFICATION - USE GROUP
 

ADMINISTRATION	-	B
EQUIPMENT MAINTENANCE #		
STORAGE	-	S1
ENVIRONMENTAL MANAGEMENT		
CENTER	-	U
FUELING / EQUIPMENT WASHDOWN		
CENTER	-	U
BULK MATERIAL STORAGE	-	U
  - 6) CONSTRUCTION TYPE:
 

ENVIRONMENTAL MANAGEMENT CENTER	=	3B
TURF CARE MAINTENANCE FACILITY	=	5B
FUELING/EQUIPMENT WASHDOWN CENTER	=	3B
BULK MATERIAL STORAGE	=	3B
  - 7) OCCUPANCY LOAD:
 

ADMINISTRATION	-	25
EQUIPMENT STORAGE	-	69
EQUIPMENT MAINTENANCE	-	9
		103
- ACTUAL OCCUPANT LOAD = 30 MAX.

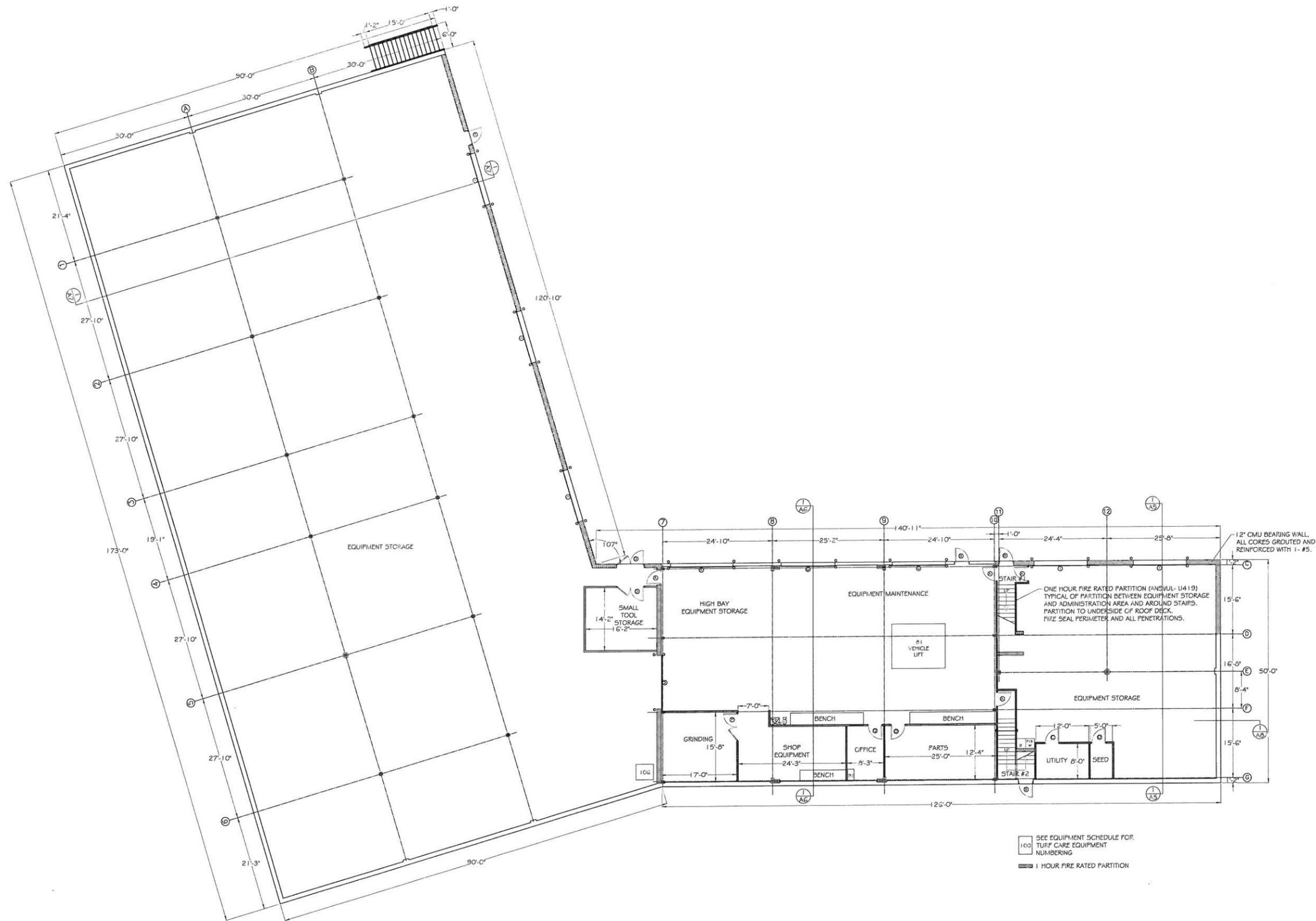
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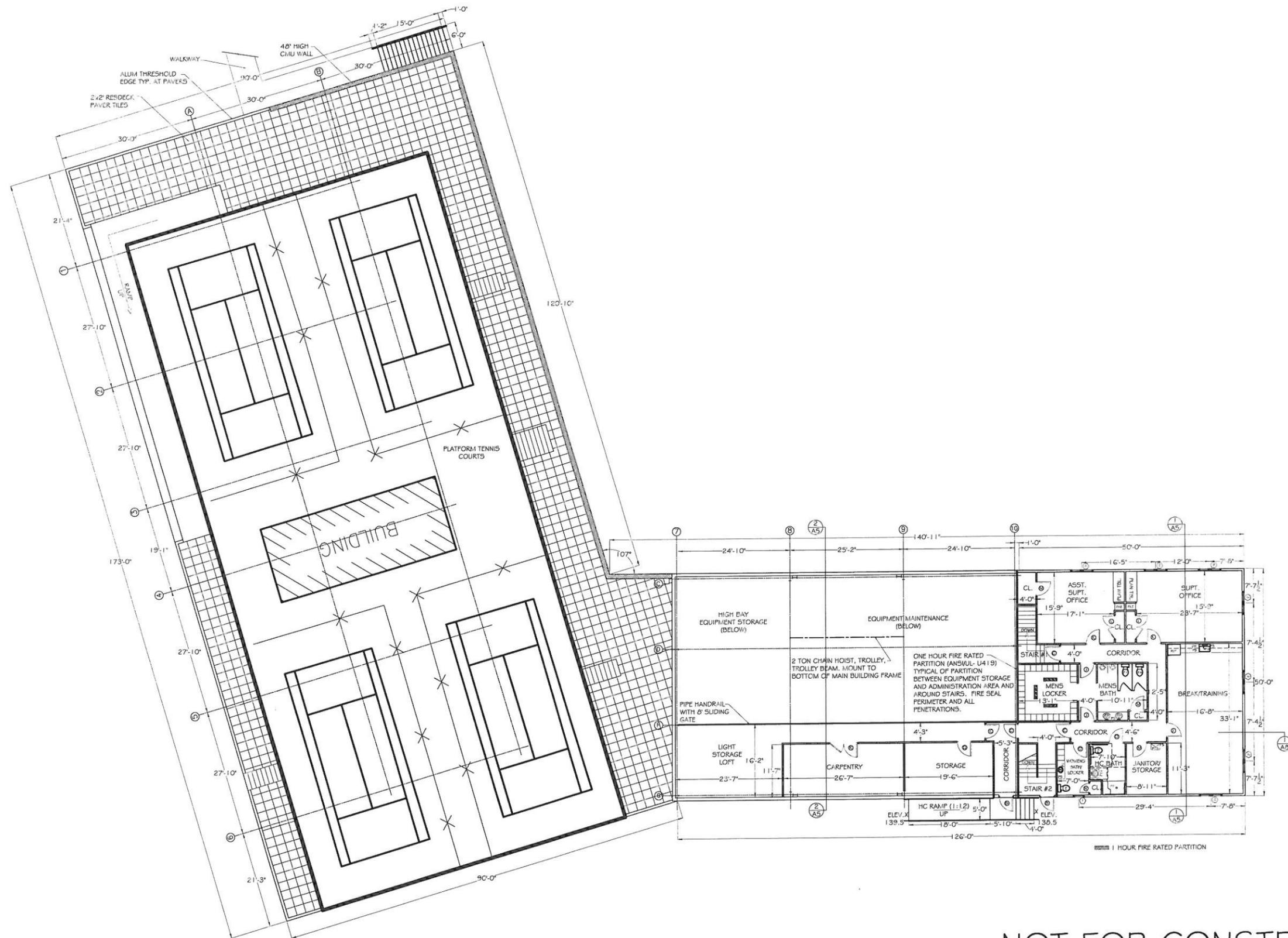
REV.#	DATE	REVISION

TURF CARE CENTER		
CLIENT: WELLESLEY COUNTRY CLUB		
LOCATION: WELLESLEY, MASSACHUSETTS		
SCALE:	DATE: 8.25.2012	DRAWN BY:RWM



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					CLIENT: WELLESLEY COUNTRY CLUB				
					LOCATION: WELLESLEY, MA				
					TITLE: FIRST FLOOR PLAN				
					SCALE: 3/32" = 1'-0"	DATE: 8.25.2012	DRAWN BY: RWM		



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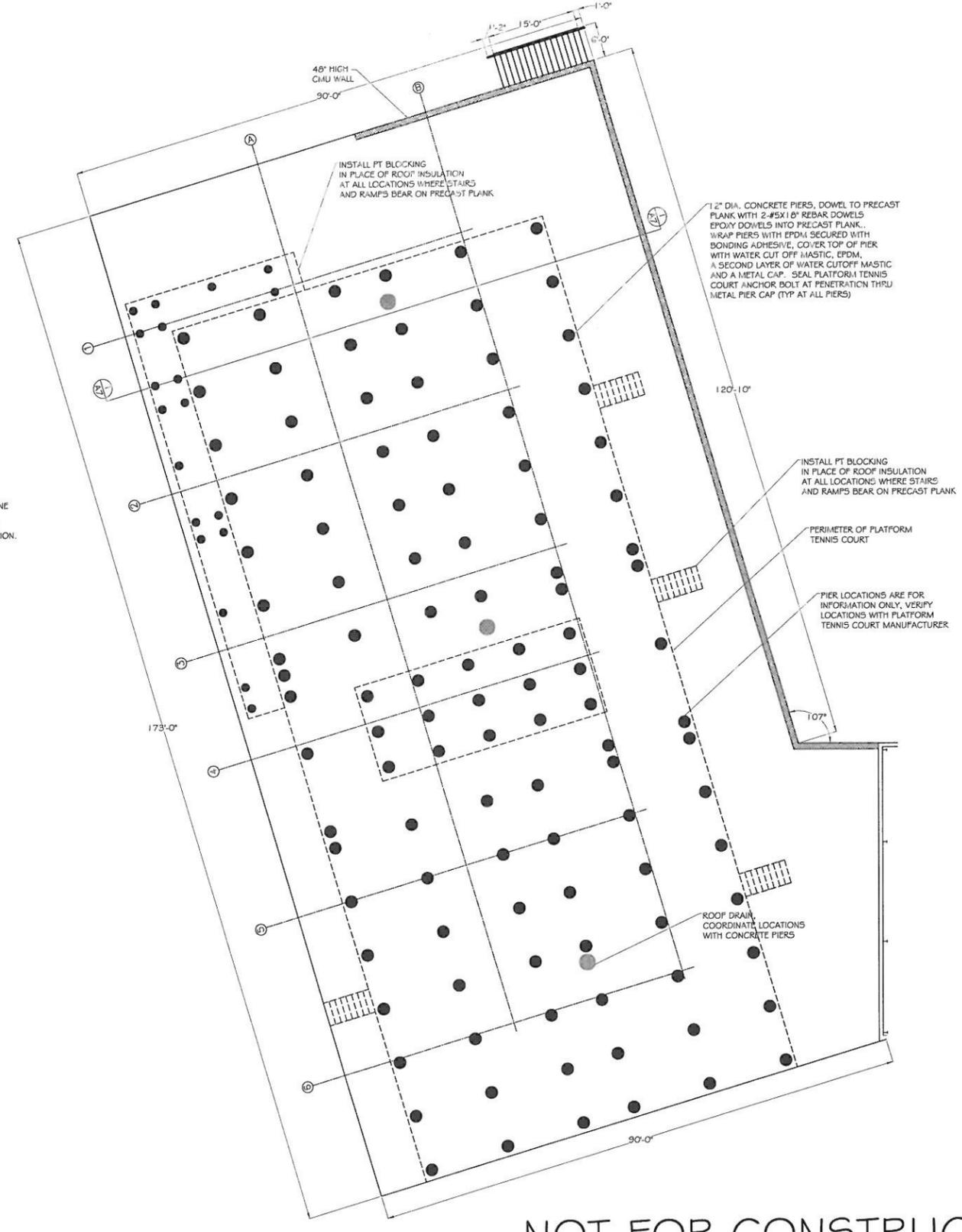
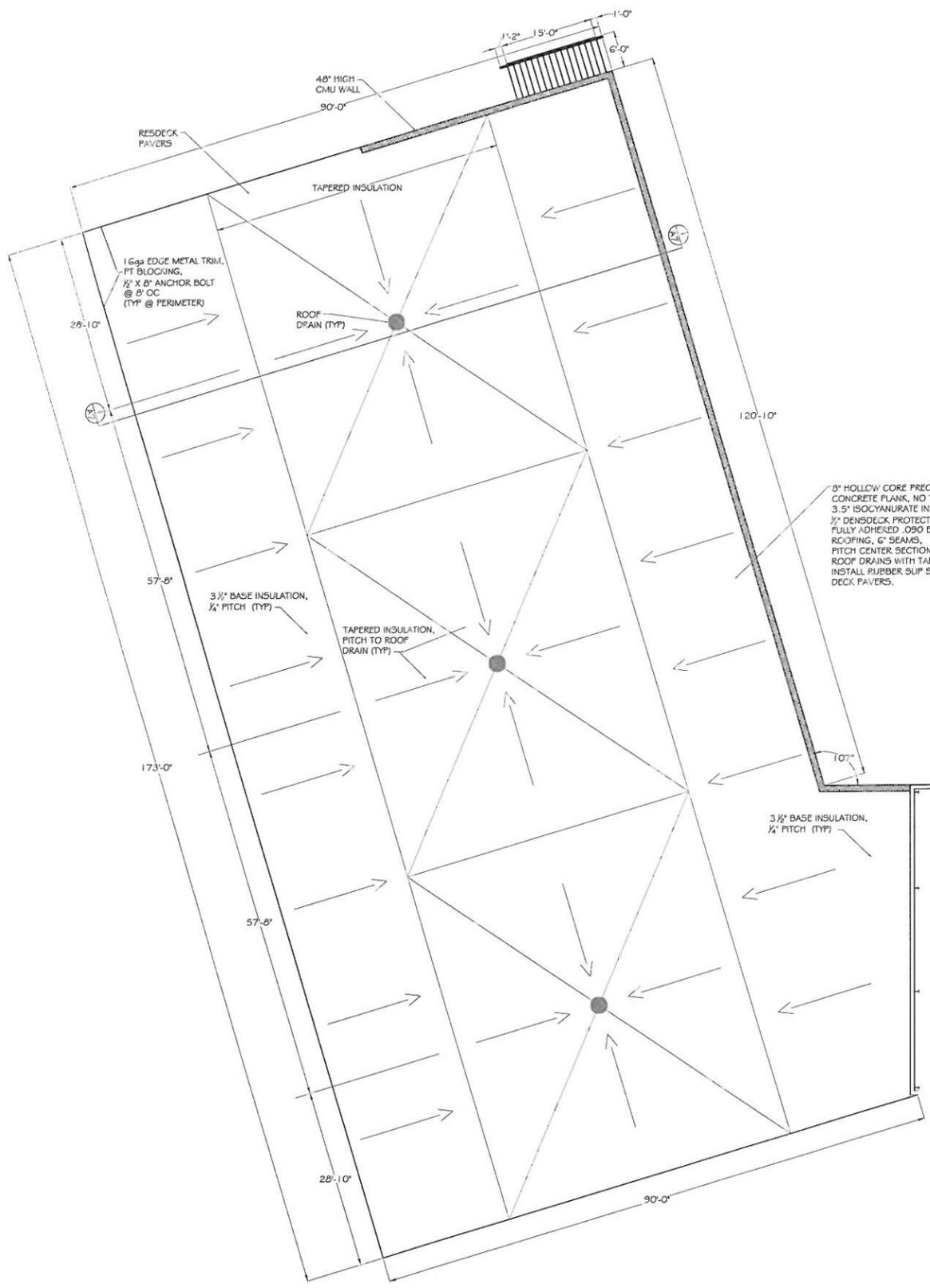


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REV.#	DATE	REVISION

TURF CARE MAINTENANCE FACILITY  
 CLIENT: WELLESLEY COUNTRY CLUB  
 LOCATION: WELLESLEY, MA  
 TITLE: SECOND FLOOR PLAN  
 SCALE: 3/32" = 1'-0"  
 DATE: 8.25.2012 | DRAWN BY: RWM

A2



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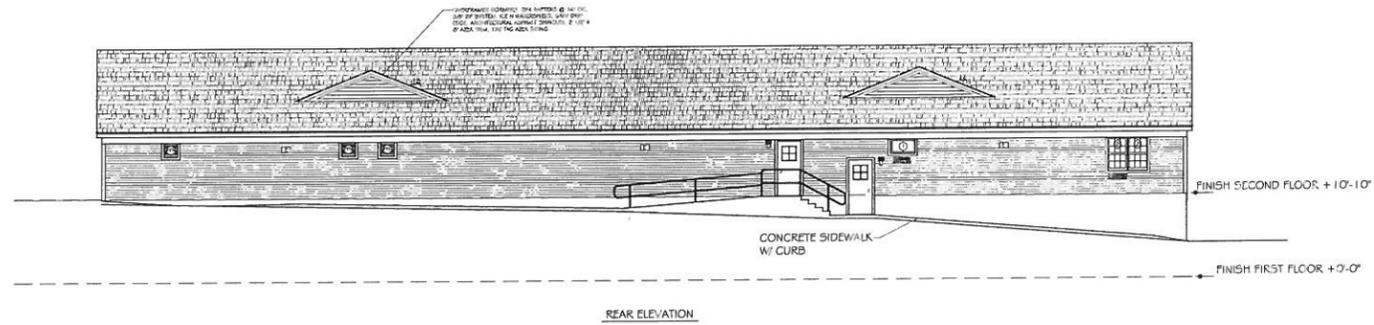


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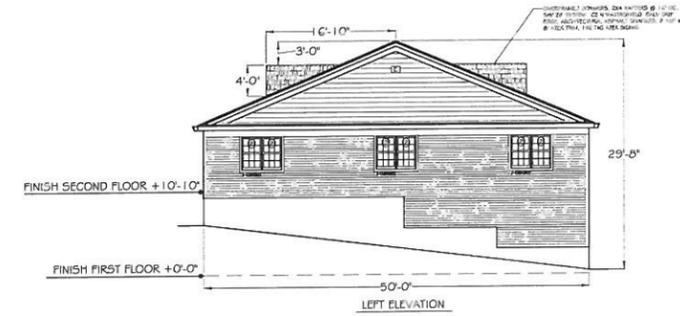
REV.#	DATE	REVISION

TURF CARE MAINTENANCE FACILITY  
 CLIENT: WELLESLEY COUNTRY CLUB  
 LOCATION: WELLESLEY, MA  
 TITLE: PARTIAL ROOF PLAN  
 SCALE: 3/32" = 1'-0"  
 DATE: 8.25.2012  
 DRAWN BY: RWM

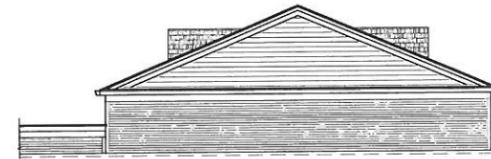
A3



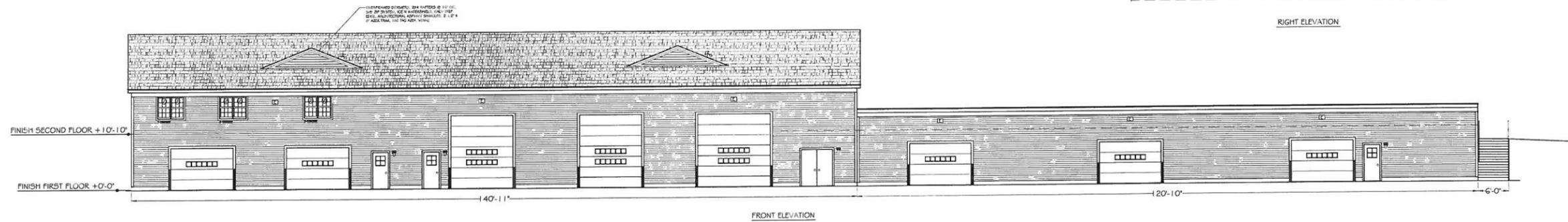
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

NOT FOR CONSTRUCTION

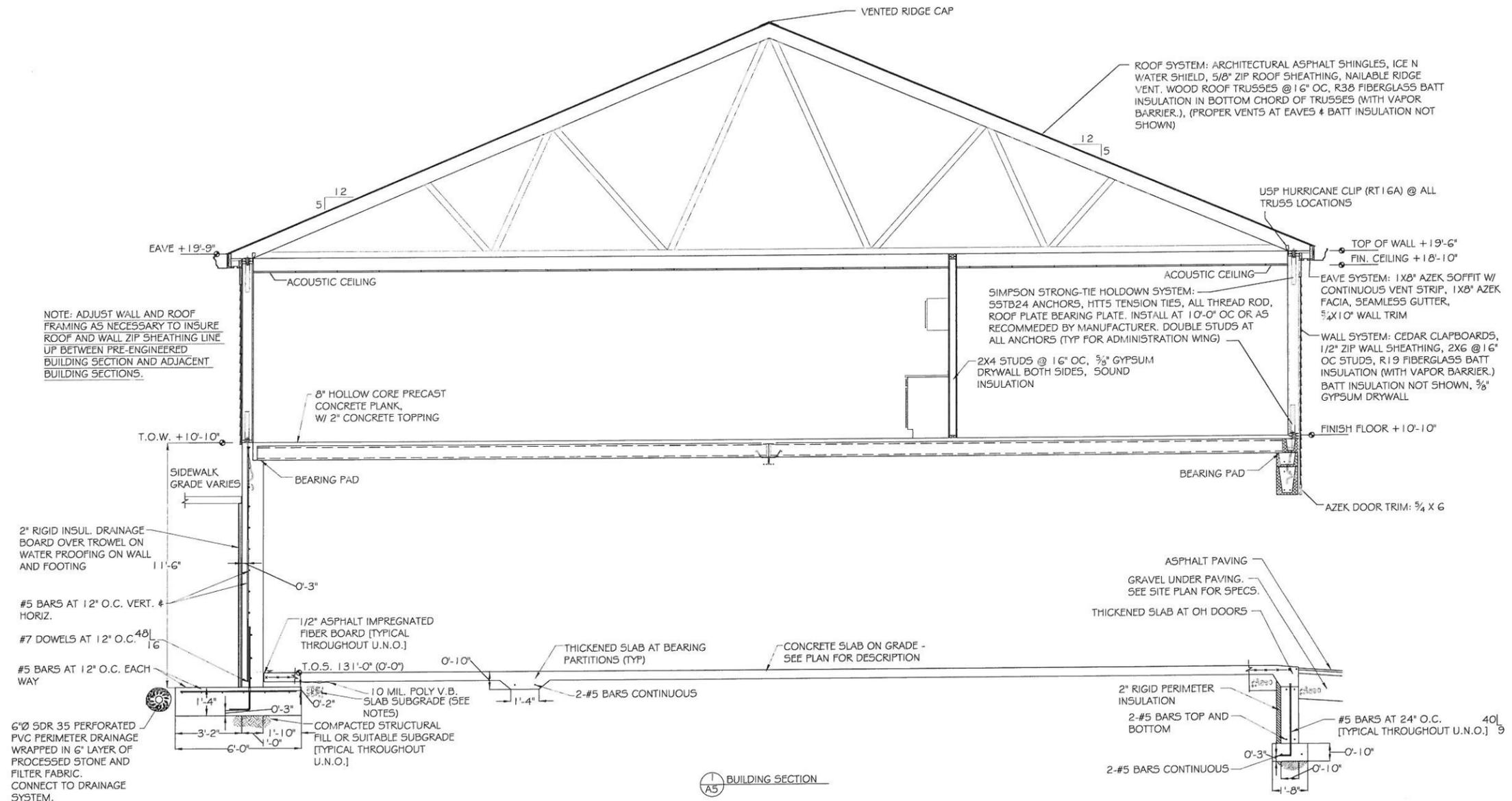


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REV.#	DATE	REVISION

TURF CARE MAINTENANCE FACILITY		
CLIENT: WELLESLEY COUNTRY CLUB		
LOCATION: WELLESLEY, MA		
TITLE: ELEVATIONS		
SCALE: 3/32" = 1'-0"	DATE: 8.25.2012	DRAWN BY: RWM

A4



NOTE: ADJUST WALL AND ROOF FRAMING AS NECESSARY TO INSURE ROOF AND WALL ZIP SHEATHING LINE UP BETWEEN PRE-ENGINEERED BUILDING SECTION AND ADJACENT BUILDING SECTIONS.

ROOF SYSTEM: ARCHITECTURAL ASPHALT SHINGLES, ICE N WATER SHIELD, 5/8" ZIP ROOF SHEATHING, NAILABLE RIDGE VENT. WOOD ROOF TRUSSES @ 16" OC, R38 FIBERGLASS BATT INSULATION IN BOTTOM CHORD OF TRUSSES (WITH VAPOR BARRIER.), (PROPER VENTS AT EAVES & BATT INSULATION NOT SHOWN)

USP HURRICANE CLIP (RT16A) @ ALL TRUSS LOCATIONS

SIMPSON STRONG-TIE HOLDOWN SYSTEM: 55TB24 ANCHORS, HTT5 TENSION TIES, ALL THREAD ROD, ROOF PLATE BEARING PLATE. INSTALL AT 10'-0" OC OR AS RECOMMENDED BY MANUFACTURER. DOUBLE STUDS AT ALL ANCHORS (TYP FOR ADMINISTRATION WING)

EAVE SYSTEM: 1X8" AZEK SOFFIT W/ CONTINUOUS VENT STRIP, 1X8" AZEK FACIA, SEAMLESS GUTTER, 5/4X10" WALL TRIM

WALL SYSTEM: CEDAR CLAPBOARDS, 1/2" ZIP WALL SHEATHING, 2X6 @ 16" OC STUDS, R19 FIBERGLASS BATT INSULATION (WITH VAPOR BARRIER.) BATT INSULATION NOT SHOWN, 5/8" GYPSUM DRYWALL

2" RIGID INSUL. DRAINAGE BOARD OVER TROWEL ON WATER PROOFING ON WALL AND FOOTING

#5 BARS AT 12" O.C. VERT. & HORIZ.

#7 DOWELS AT 12" O.C. @ 16"

#5 BARS AT 12" O.C. EACH WAY

6"Ø SDR 35 PERFORATED PVC PERIMETER DRAINAGE WRAPPED IN 6" LAYER OF PROCESSED STONE AND FILTER FABRIC. CONNECT TO DRAINAGE SYSTEM.

1/2" ASPHALT IMPREGNATED FIBER BOARD [TYPICAL THROUGHOUT U.N.O.]

10 MIL. POLY V.B. SLAB SUBGRADE (SEE NOTES)  
COMPACTED STRUCTURAL FILL OR SUITABLE SUBGRADE [TYPICAL THROUGHOUT U.N.O.]

THICKENED SLAB AT BEARING PARTITIONS (TYP)

CONCRETE SLAB ON GRADE - SEE PLAN FOR DESCRIPTION

ASPHALT PAVING  
GRAVEL UNDER PAVING. SEE SITE PLAN FOR SPECS.  
THICKENED SLAB AT OH DOORS

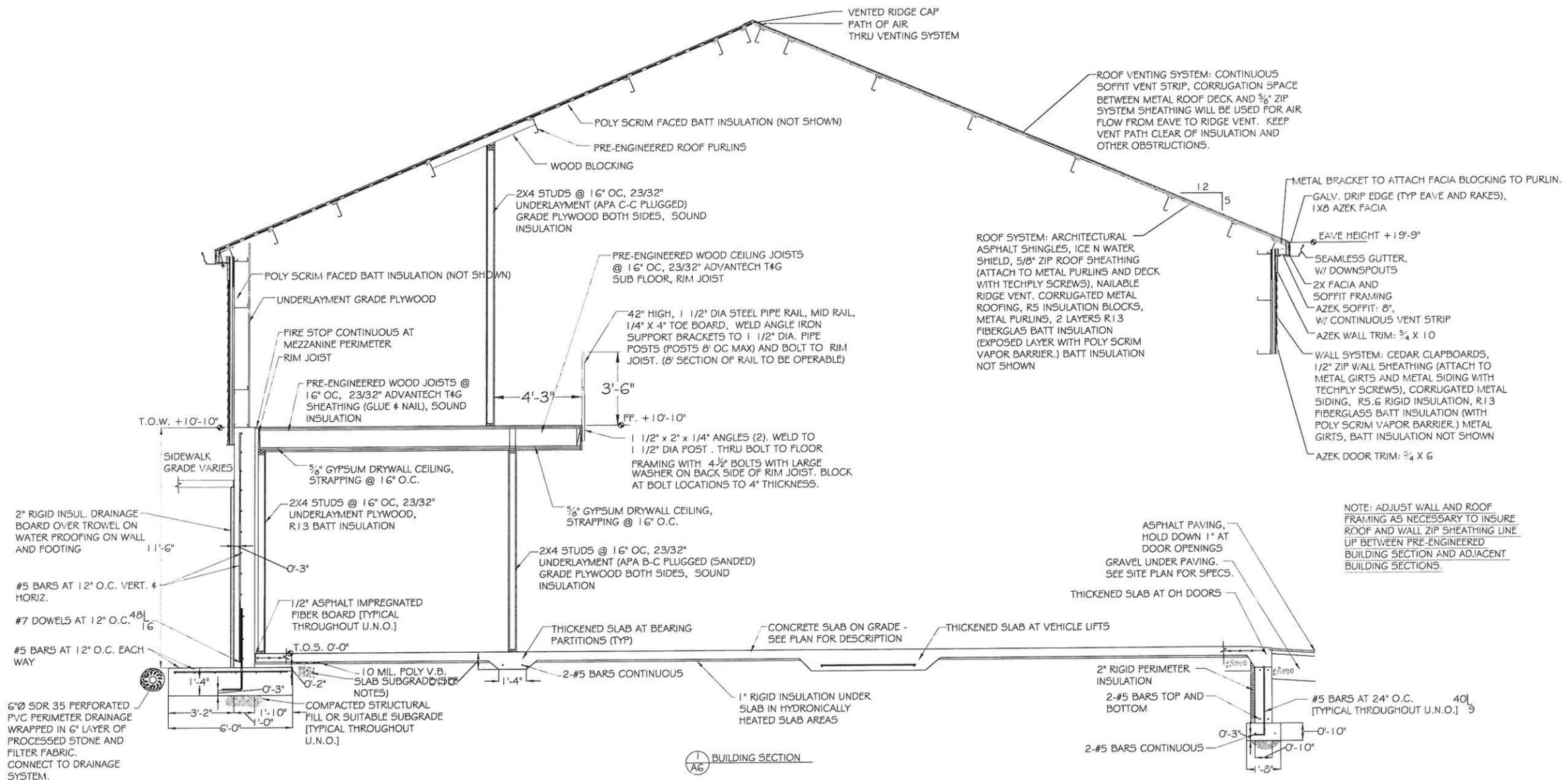
2" RIGID PERIMETER INSULATION  
2-#5 BARS TOP AND BOTTOM

#5 BARS AT 24" O.C. [TYPICAL THROUGHOUT U.N.O.]

1 BUILDING SECTION  
A5

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					CLIENT: WELLESLEY COUNTRY CLUB			
					LOCATION: WELLESLEY, MA			
					TITLE: ELEVATIONS			
				SCALE: 3/8" = 1'-0"	DATE: 8.25.2012	DRAWN BY: RWM	A5	



NOTE: ADJUST WALL AND ROOF FRAMING AS NECESSARY TO INSURE ROOF AND WALL ZIP SHEATHING LINE UP BETWEEN PRE-ENGINEERED BUILDING SECTION AND ADJACENT BUILDING SECTIONS.

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REV.#	DATE	REVISION

TURF CARE MAINTENANCE FACILITY	
CLIENT: WELLESLEY COUNTRY CLUB	
LOCATION: WELLESLEY, MA	
TITLE: ELEVATIONS	
SCALE: 3/8" = 1'-0"	DATE: 8.25.2012 DRAWN BY: RWM

1 6ga ROOF EDGE METAL TRIM,  
2X8 FT BLOCKING,  
1/2" X 8" ANCHOR BOLT @ 6' OC  
(7" WIDE ALUMINUM THRESHOLD (PEMCO #1877 OR  
EQUAL) CONTINUOUS AT ROOF PERIMETER IN AREAS  
WITH DECK PANELS, SHIM THRESHOLD SO TOP OF  
THRESHOLD IS AT SAME ELEVATION AS DECK PANELS),  
SET THRESHOLD IN BED OF MASTIC, CAULK PERIMETER)

CRUSHED STONE  
APRON  
T.O.W. +10'-8"  
BEARING PAD  
2" RIGID INSUL. DRAINAGE  
BOARD OVER TROWEL ON  
WATER PROOFING ON WALL 1'-4"  
AND FOOTING  
#5 BARS AT 12" O.C. VERT. #  
HORIZ.  
#7 DOWELS AT 12" O.C. 40L  
#5 BARS AT 12"  
O.C. EACH WAY  
6"Ø SDR 35 PERFORATED  
PVC PERIMETER DRAINAGE  
WRAPPED IN 6" LAYER OF  
PROCESSED STONE AND  
FILTER FABRIC.  
CONNECT TO DRAINAGE  
SYSTEM.

RAMP

BEARING PAD

1/2" ASPHALT IMPREGNATED FIBER  
BOARD [TYPICAL THROUGHOUT U.N.O.]  
T.O.S. 131'-0" (0'-0")  
10 MIL. POLY V.B.  
SLAB SUBGRADE (SEE NOTES)  
COMPACTED STRUCTURAL FILL OR  
SUITABLE SUBGRADE [TYPICAL  
THROUGHOUT U.N.O.]

8" HOLLOW CORE PRECAST  
CONCRETE PLANK, NO TOPPING,  
3.5" ISO-CYANURATE INSULATION,  
1/2" DENSDECK PROTECTION BOARD,  
FULLY ADHERED MEMBRANE ROOFING

PLATFORM TENNIS  
COURTS

TAPERED INSULATION  
PITCHED TO ROOF DRAINS

ROOF DRAIN,  
TIE INTO  
UNDERGROUND  
DRAINAGE SYSTEM

CONCRETE SLAB ON GRADE - SEE  
PLAN FOR DESCRIPTION

TYPICAL ISOLATION  
JOINT

STEEL COLUMN AND  
BASEPLATE  
SLAB ON GRADE - SEE PLAN FOR  
DESCRIPTION

TYPICAL SLAB SUBGRADE  
(5) #5 BARS EACH WAY  
TYPICAL FOOTING  
SUBGRADE

COMPOSITE WOOD TILE  
DECK (RESDECK OR EQUAL),  
INSTALL RUBBER SLIP SHEET UNDER TILES

BEARING PAD

ASPHALT PAVING  
GRAVEL UNDER PAVING.  
SEE SITE PLAN FOR SPECS.  
THICKENED SLAB AT  
OH DOORS

2-#5 BARS TOP AND BOTTOM  
#5 BARS AT 24" O.C.  
[TYPICAL THROUGHOUT U.N.O.]  
2-#5 BARS  
CONTINUOUS

TO WALL +14'-8"

TO PRECAST  
+10'-8"

17 BUILDING SECTION

NOT FOR CONSTRUCTION

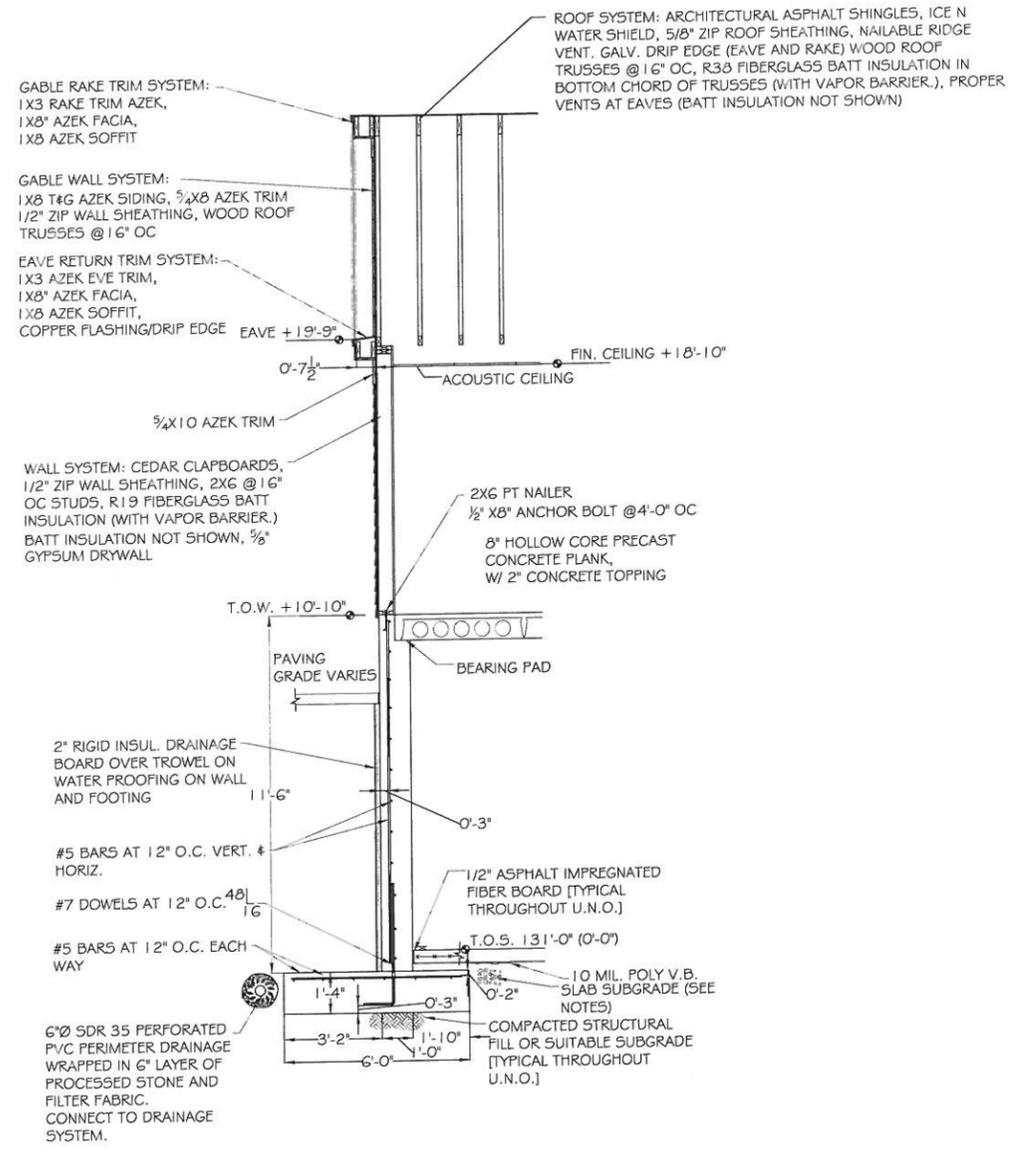
**G**OLF  
**S**TRUCTURE  
**A**LTERNATIVES

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REV.#	DATE	REVISION

TURF CARE MAINTENANCE FACILITY  
CLIENT: WELLESLEY COUNTRY CLUB  
LOCATION: WELLESLEY, MA  
TITLE: BUILDING SECTIONS  
SCALE: 1/4" = 1'-0"    DATE: 8.25.2012    DRAWN BY: RWM

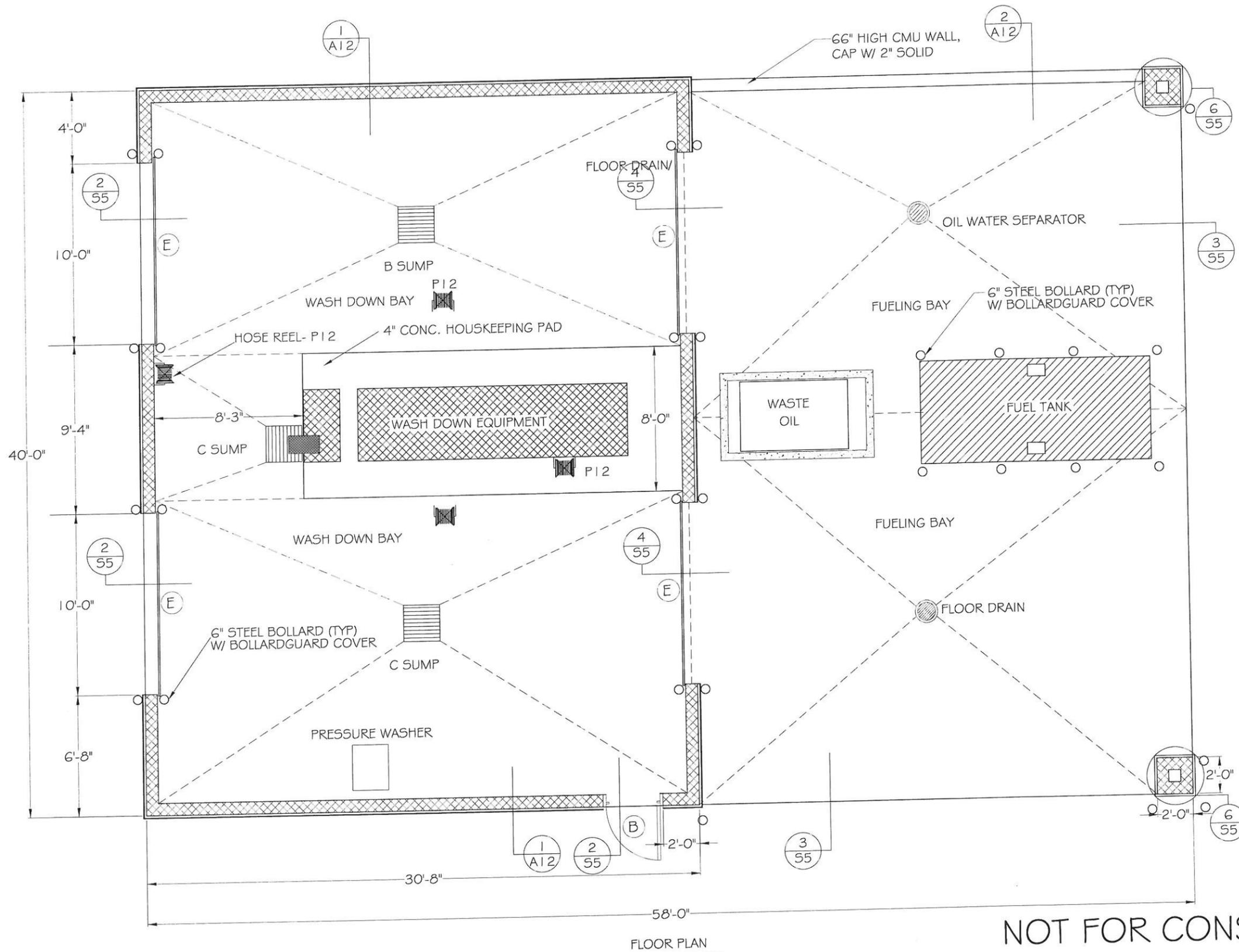
A7



1 BUILDING SECTION  
A8

NOT FOR CONSTRUCTION

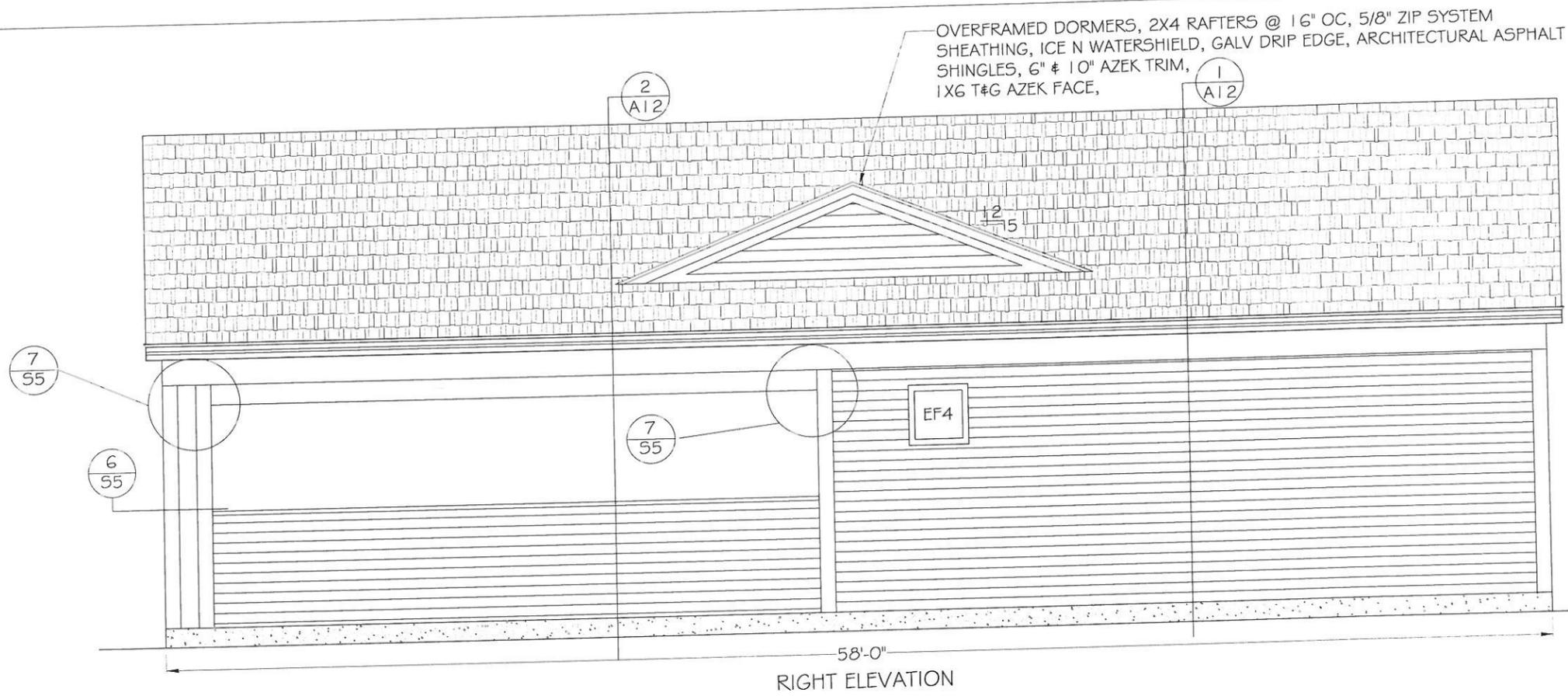
REV.#	DATE	REVISION	TURF CARE MAINTENANCE FACILITY		
			CLIENT: WELLESLEY COUNTRY CLUB		
			LOCATION: WELLESLEY, MA		
			TITLE: WALL SECTIONS		
			SCALE: 3/8" = 1'-0"	DATE: 8.25.2012	DRAWN BY: RWM



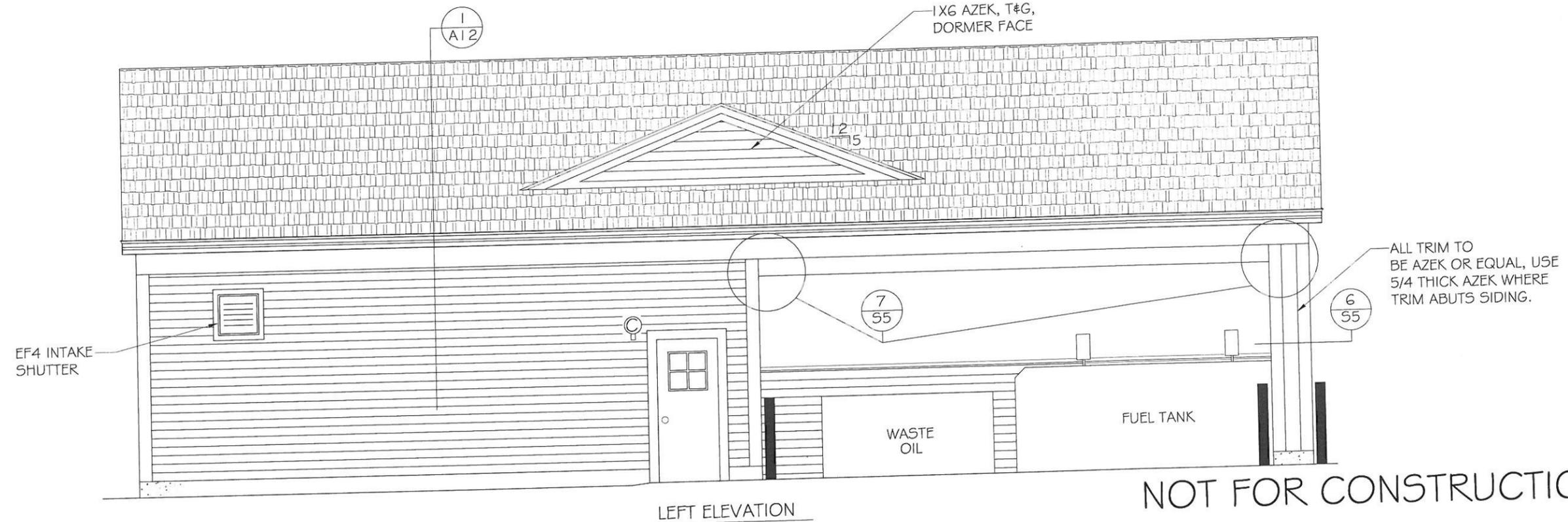
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FLOOR PLAN

REV.#	DATE	REVISION	FUEL & WASH CENTER	
			CLIENT: WELLESLEY COUNTRY CLUB	
			LOCATION: WELLESLEY, MA	
			TITLE: FLOOR PLAN	
			SCALE: 3/8" = 1'-0"	DATE: 8.25.2012
				DRAWN BY: RWM

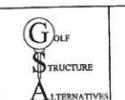


58'-0"  
RIGHT ELEVATION



LEFT ELEVATION

NOT FOR CONSTRUCTION

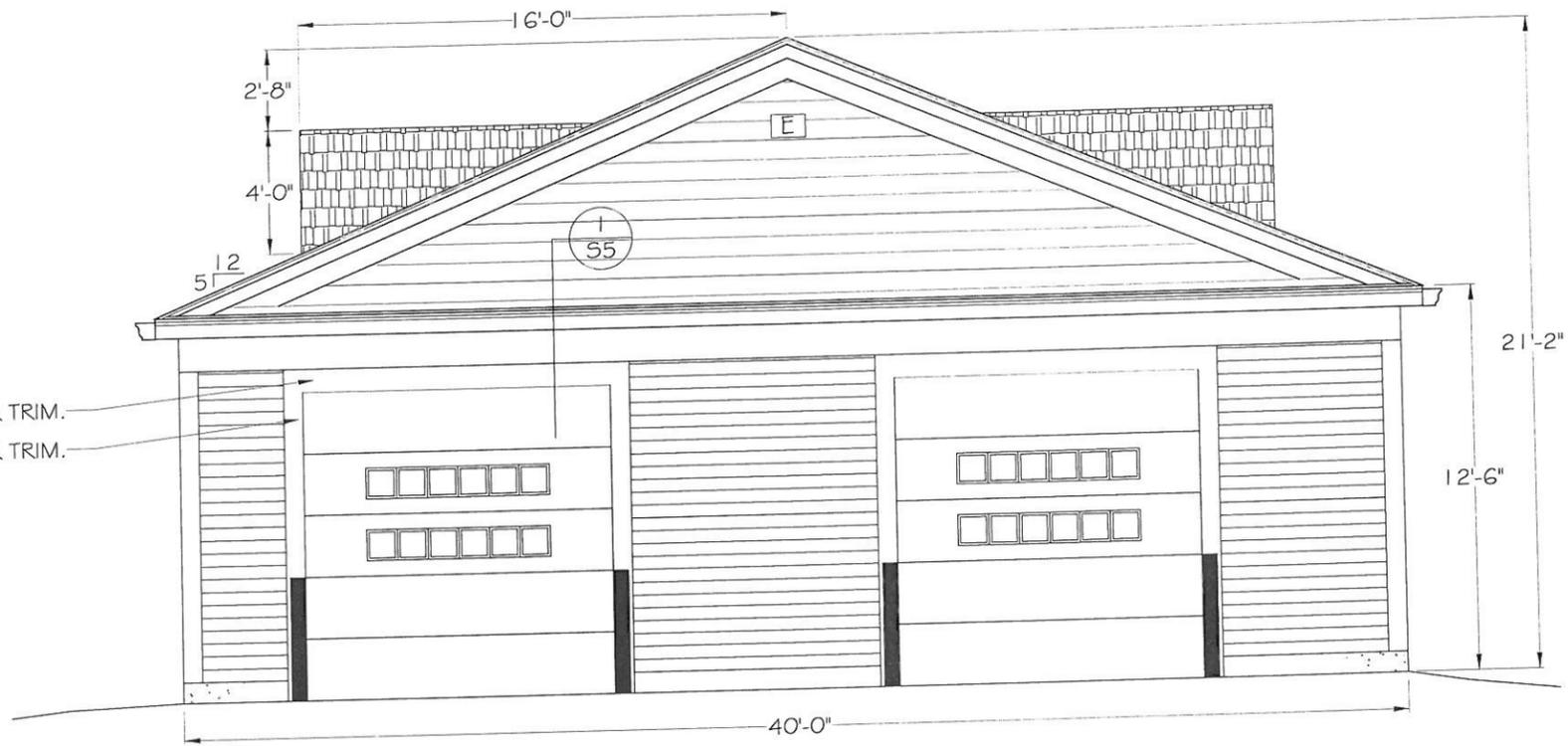


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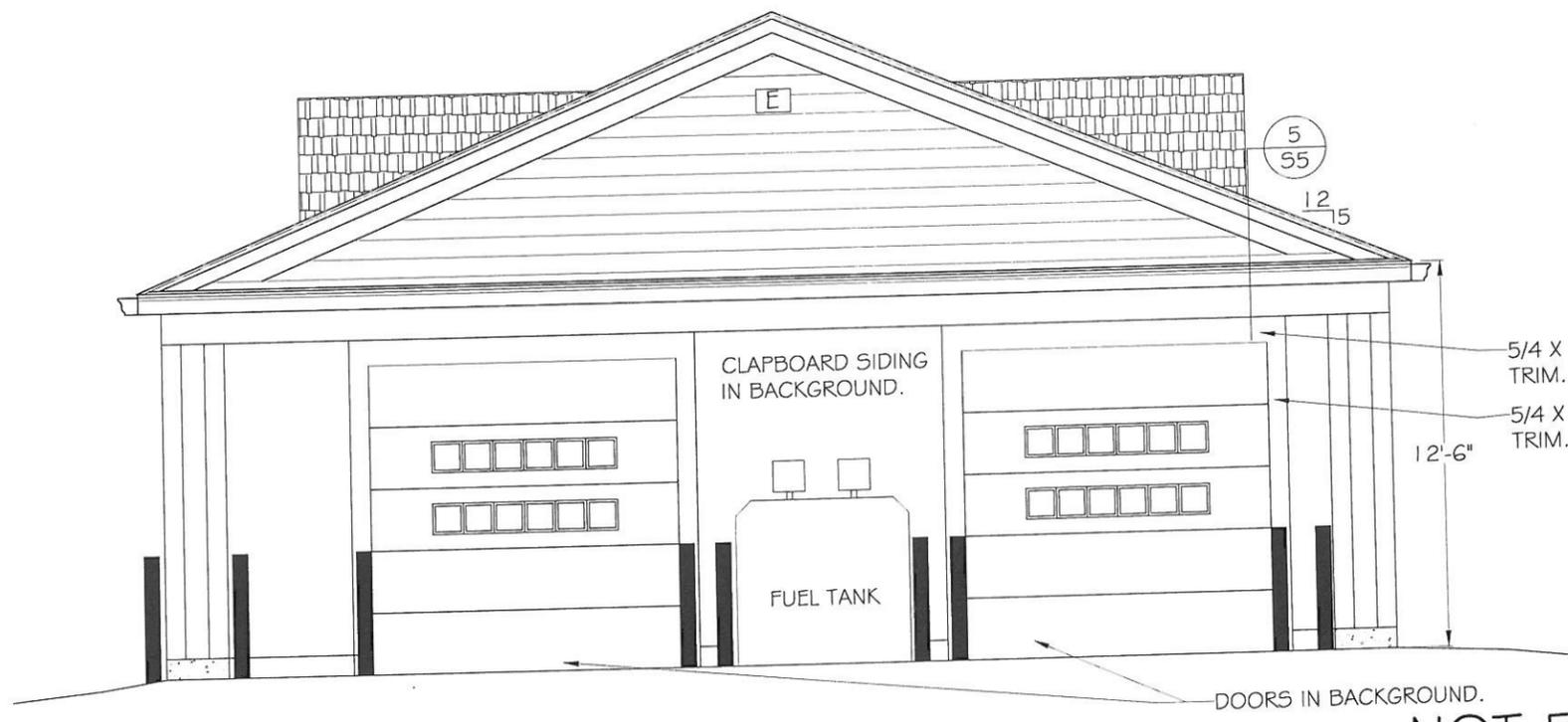
FUEL & WASH CENTER  
 CLIENT: WELLESLEY COUNTRY CLUB  
 LOCATION: WELLESLEY, MA  
 TITLE: ELEVATIONS  
 SCALE: 3/8" = 1'-0"  
 DATE: 8.25.2012 | DRAWN BY: RWM

A10



5/4 X 10 AZEK DOOR TRIM.  
5/4 X 8 AZEK DOOR TRIM.

REAR ELEVATION



5/4 X 10 AZEK DOOR HEAD TRIM.  
5/4 X 8 AZEK DOOR JAMB TRIM.

FRONT ELEVATION

DOORS IN BACKGROUND.

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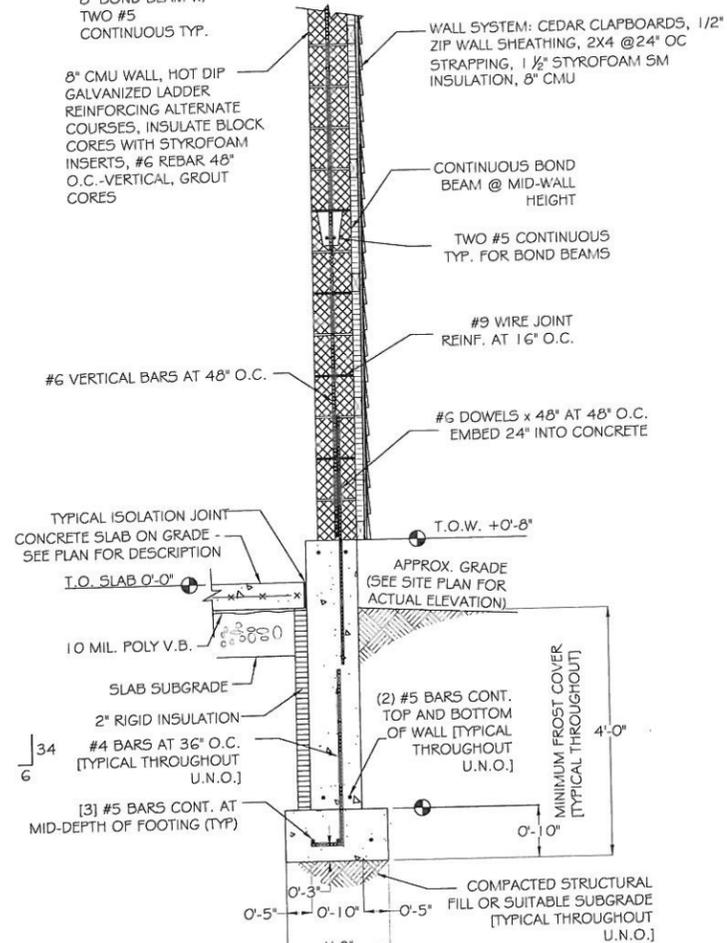
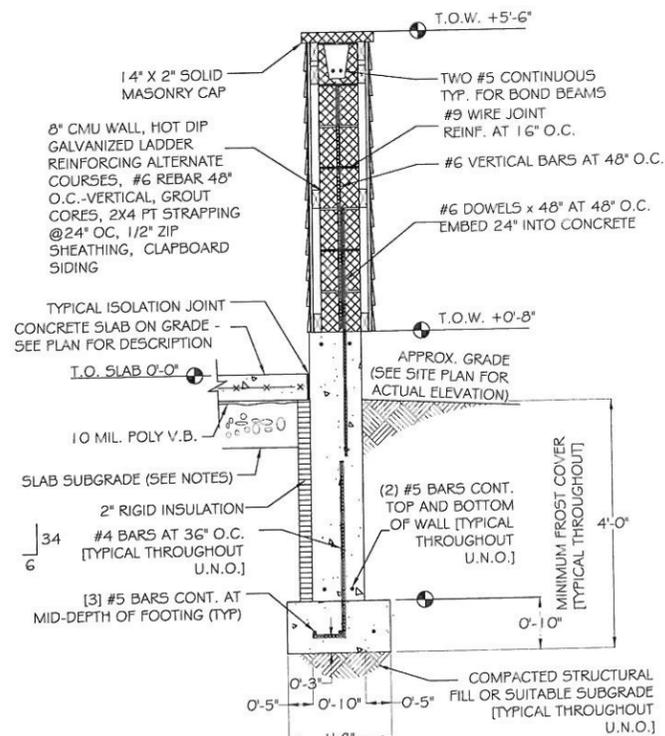
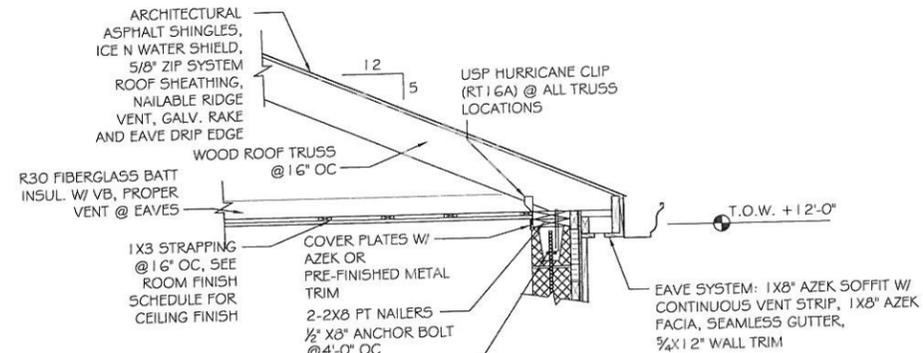
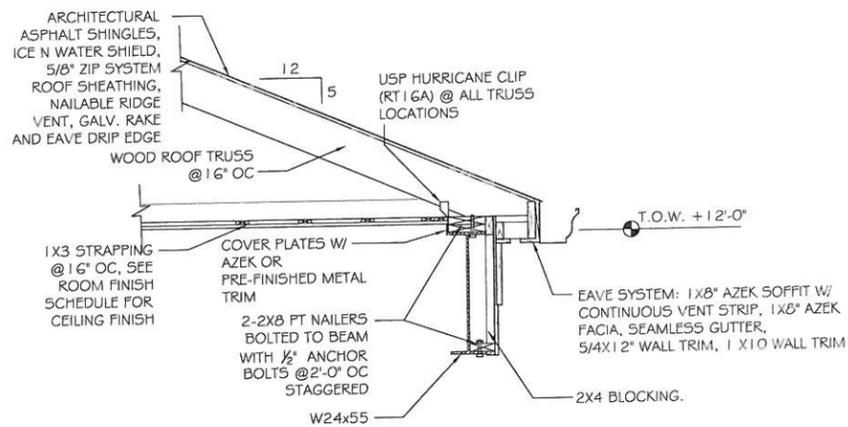


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FUEL & WASH CENTER  
CLIENT: WELLESLEY COUNTRY CLUB  
LOCATION: WELLESLEY, MA  
TITLE: ELEVATIONS  
SCALE: 3/8" = 1'-0"  
DATE: 8.25.2012  
DRAWN BY: RWM

ALL



2 EXTERIOR WALL SECTION  
A12 Scale: 3/4" = 1'-0"

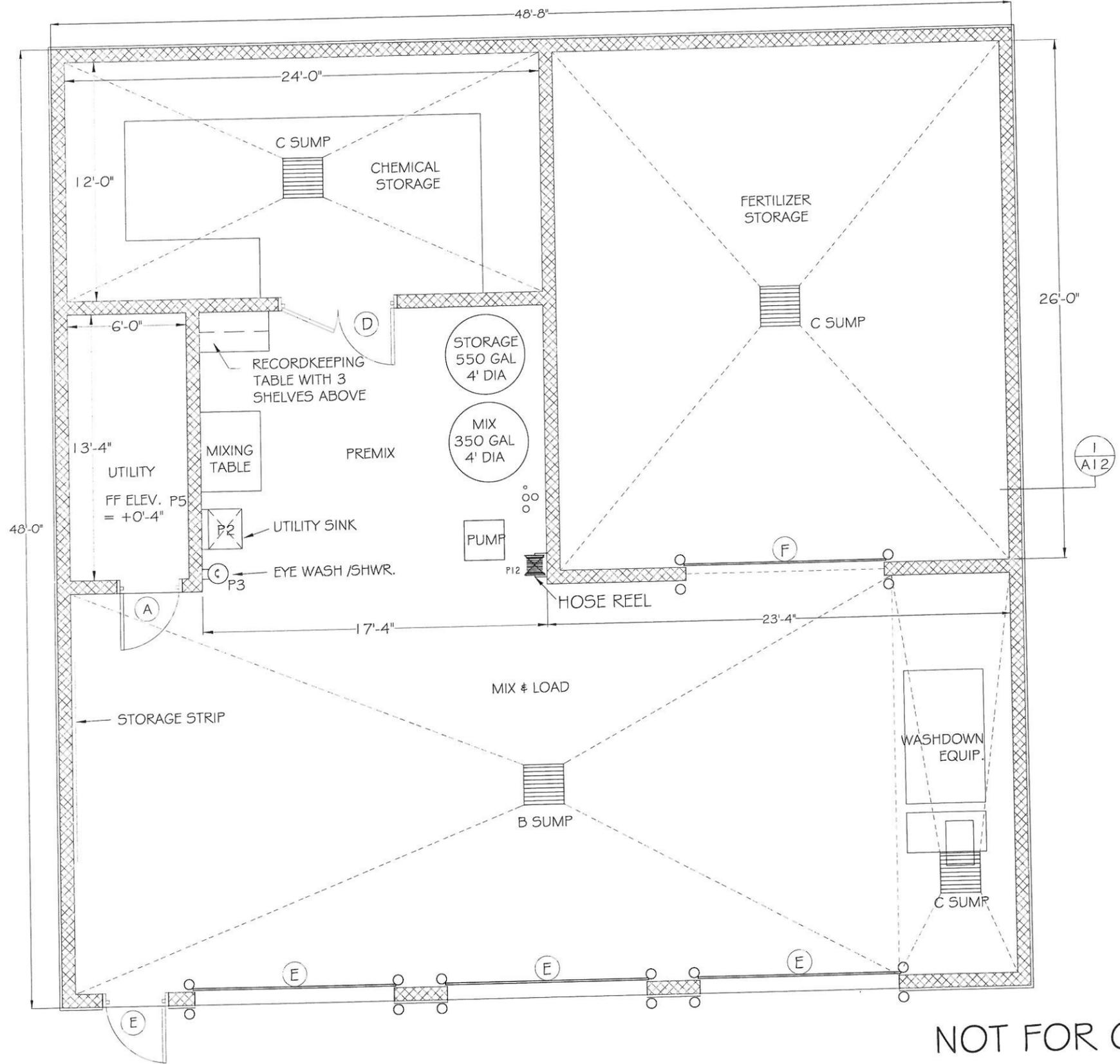
1 EXTERIOR WALL SECTION  
A12 Scale: 3/4" = 1'-0"

NOT FOR CONSTRUCTION

REV.#	DATE	REVISION	FUEL & WASH CENTER	
			CLIENT: WELLESLEY COUNTRY CLUB	A12
			LOCATION: WELLESLEY, MA	
			TITLE: WALL SECTIONS	
			SCALE: 3/4" = 1'-0"	DATE: 8.25.2012
				DRAWN BY: RWM



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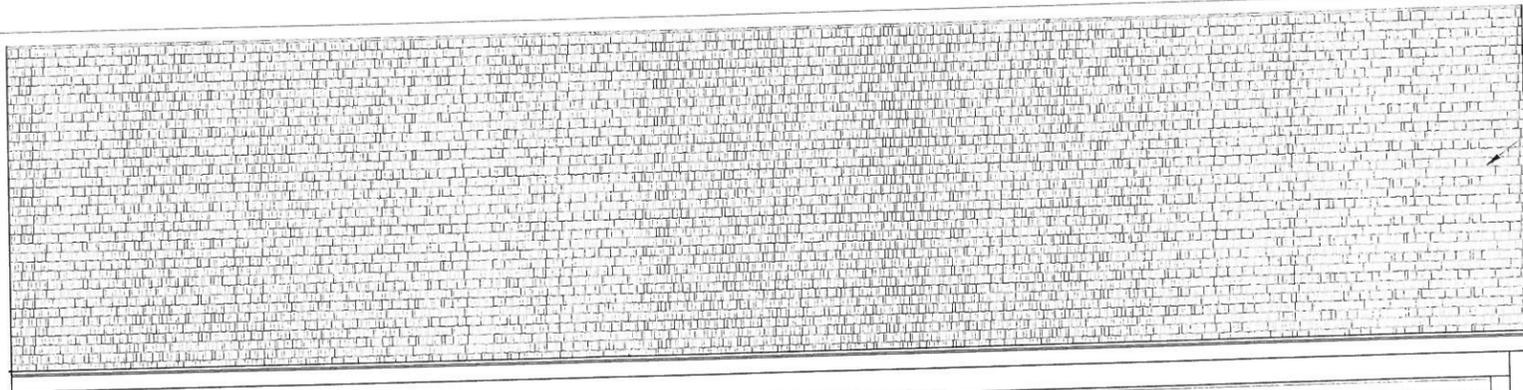


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REV.#	DATE	REVISION	ENVIRONMENTAL MANAGEMENT CENTER	
			CLIENT: WELLESLEY COUNTRY CLUB	
			LOCATION: WELLESLEY, MA	
			TITLE: FLOOR PLAN	
			SCALE: 3/8" = 1'-0"	DATE: 8.25.2012   DRAWN BY: RWM

A13

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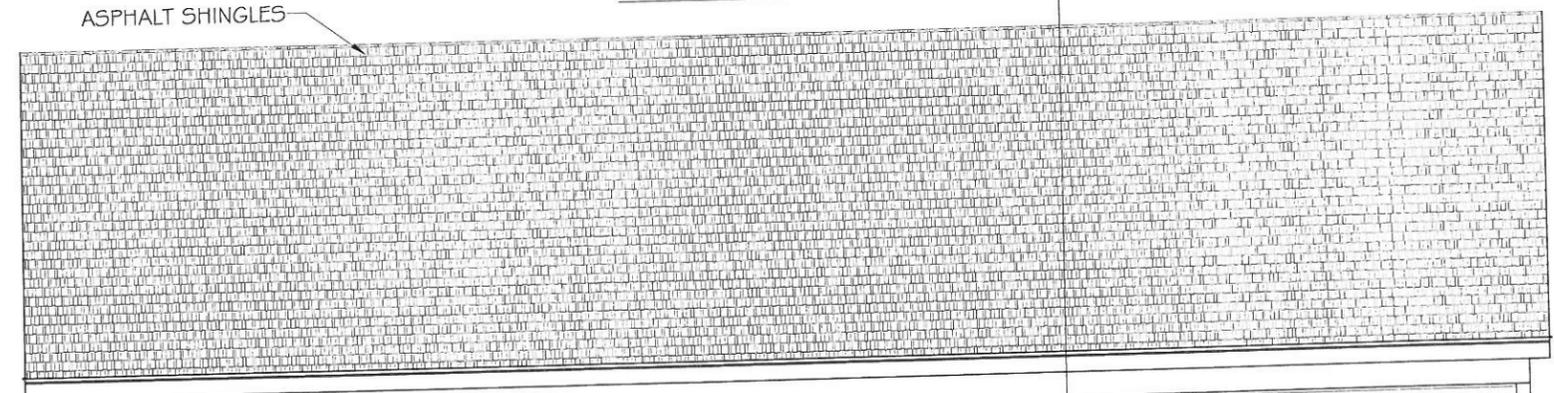


ASPHALT SHINGLES

CLAPBOARD SIDING  
ALL TRIM TO  
BE AZEK OR EQUAL,  
USE 5/4 THICK AZEK  
WHERE TRIM ABUTS SIDING.

RIGHT SIDE ELEVATION

1  
A12



ASPHALT SHINGLES

CLAPBOARD SIDING  
ALL TRIM TO  
BE AZEK OR EQUAL,  
USE 5/4 THICK AZEK  
WHERE TRIM ABUTS SIDING.

48'-0"  
LEFT ELEVATION

NOT FOR CONSTRUCTION

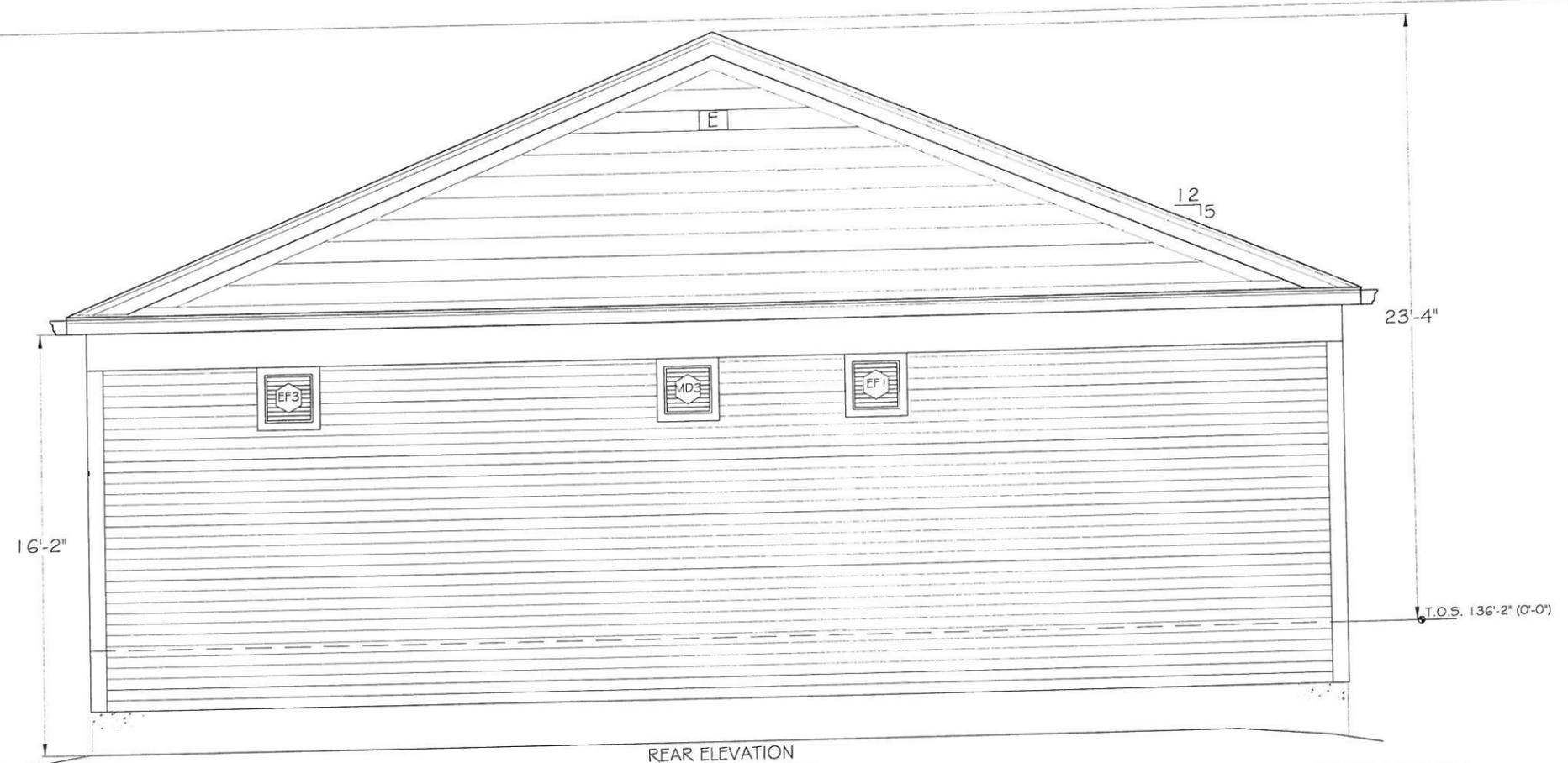
REV.#	DATE	REVISION

ENVIRONMENTAL MANAGEMENT CENTER  
CLIENT: WELLESLEY COUNTRY CLUB  
LOCATION: WELLESLEY, MA  
TITLE: ELEVATIONS  
SCALE: 3/8" = 1'-0"  
DATE: 8.25.2012 | DRAWN BY: RWM

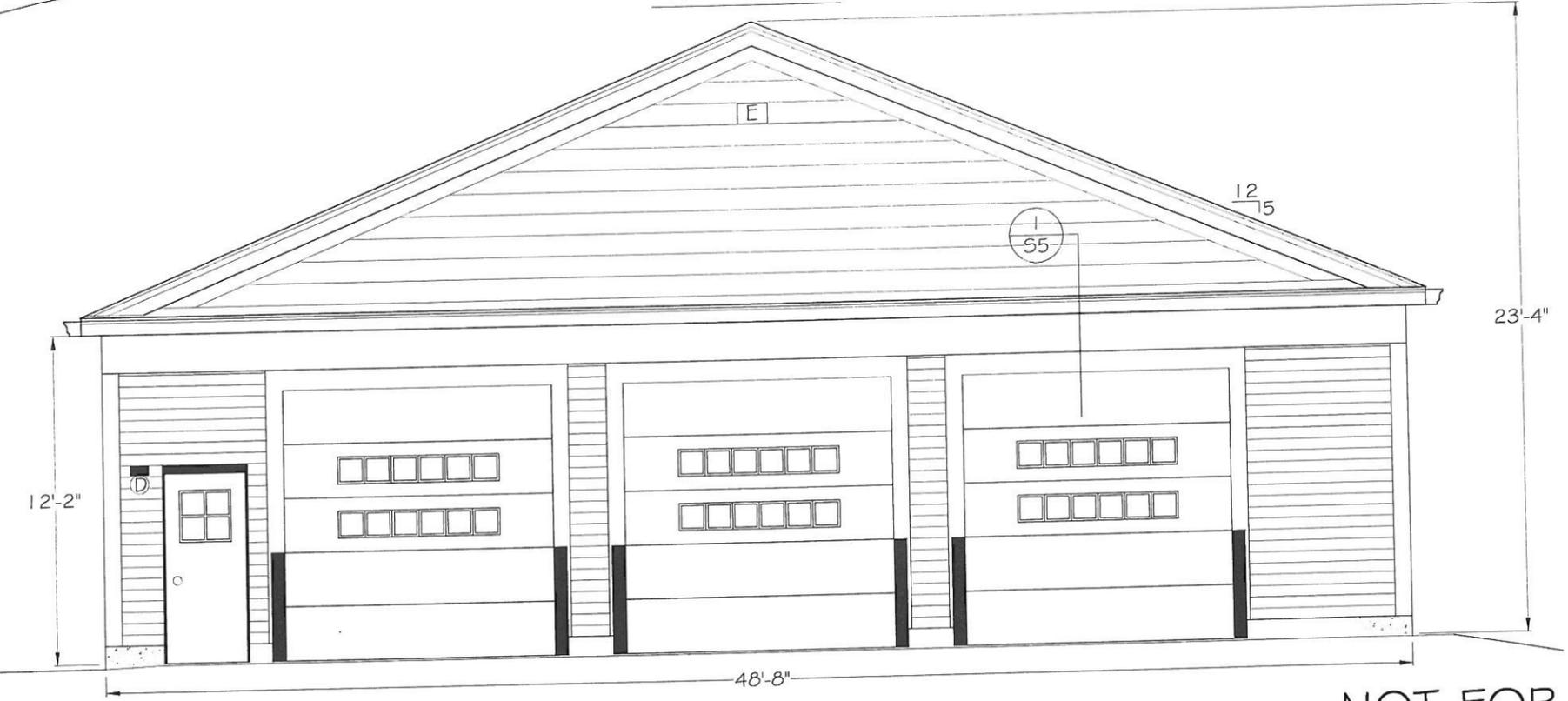
A14



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REAR ELEVATION



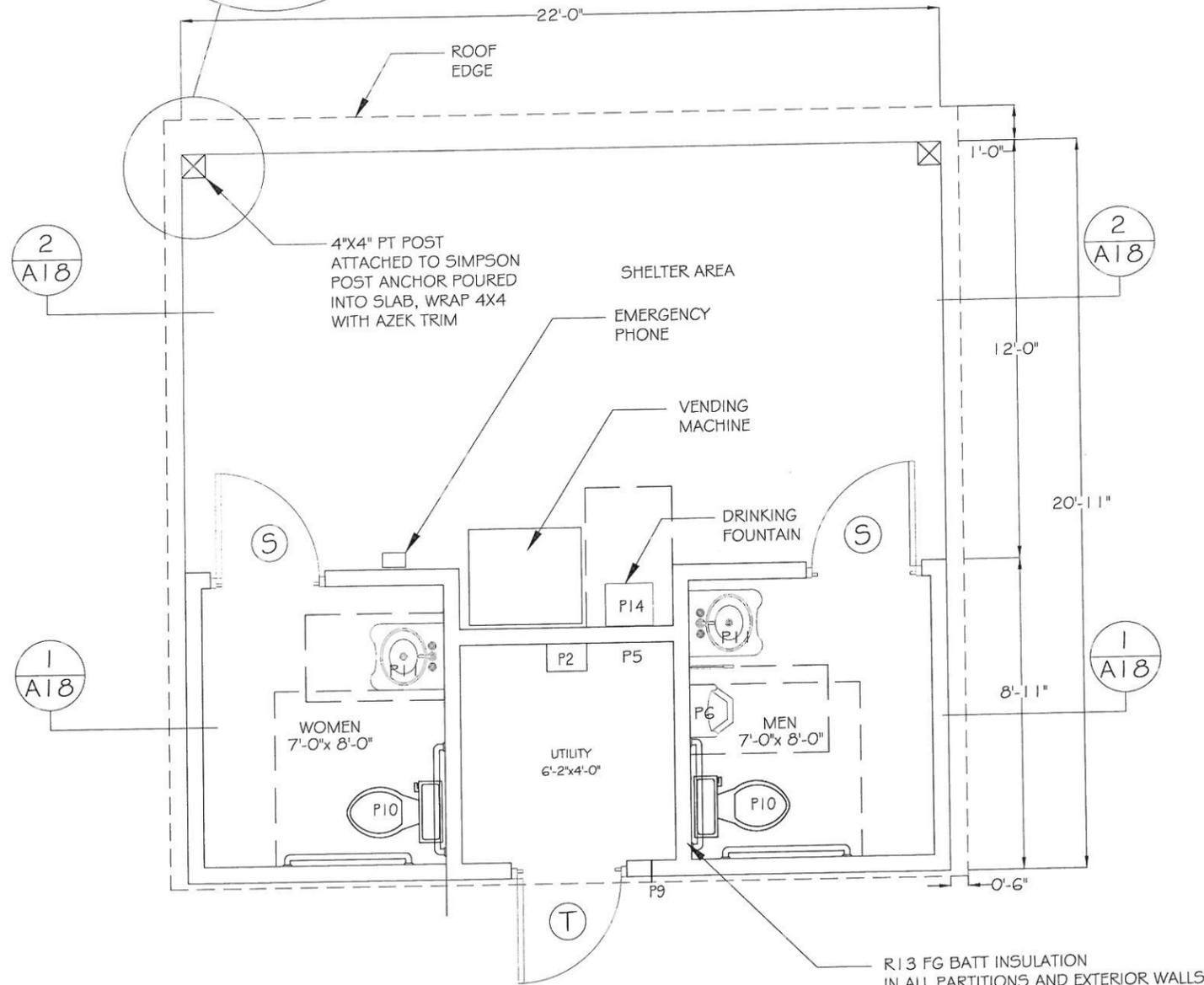
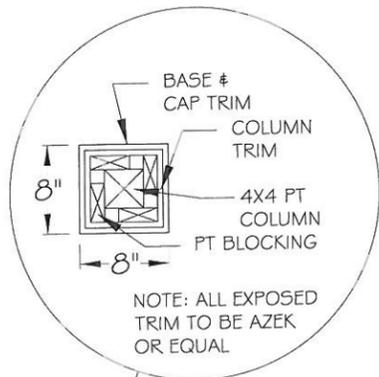
FRONT ELEVATION

NOT FOR CONSTRUCTION

REV.#	DATE	REVISION

ENVIRONMENTAL MANAGEMENT CENTER  
 CLIENT: WELLESLEY COUNTRY CLUB  
 LOCATION: WELLESLEY, MA  
 TITLE: ELEVATIONS  
 SCALE: 3/8" = 1'-0"      DATE: 8.25.2012      DRAWN BY: RWM

A15



FLOOR PLAN  
SCALE: 1/2" = 1'-0"

NOT FOR CONSTRUCTION



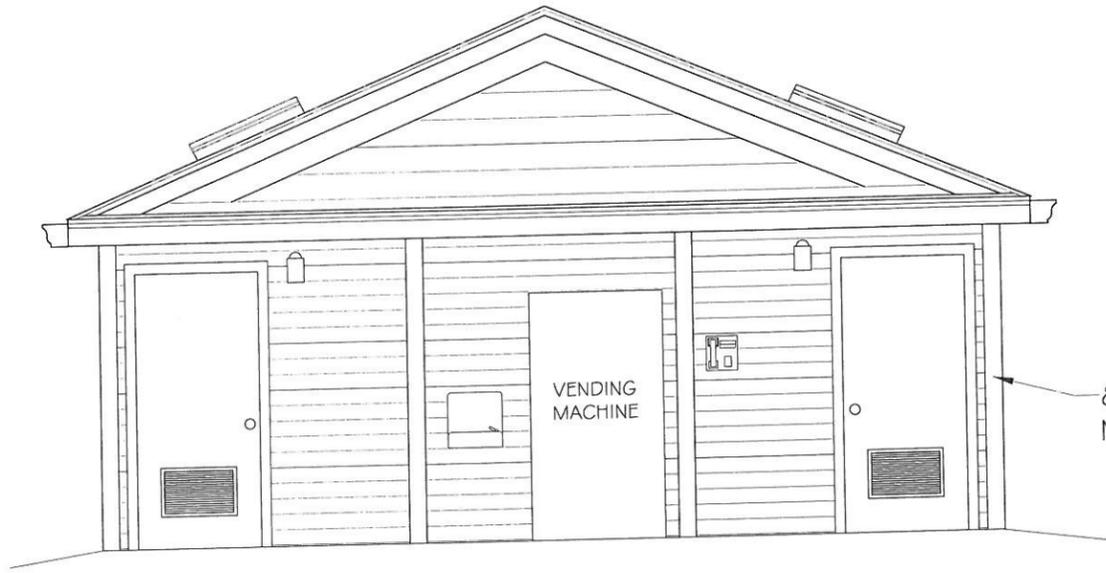
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REV.#	DATE	REVISION

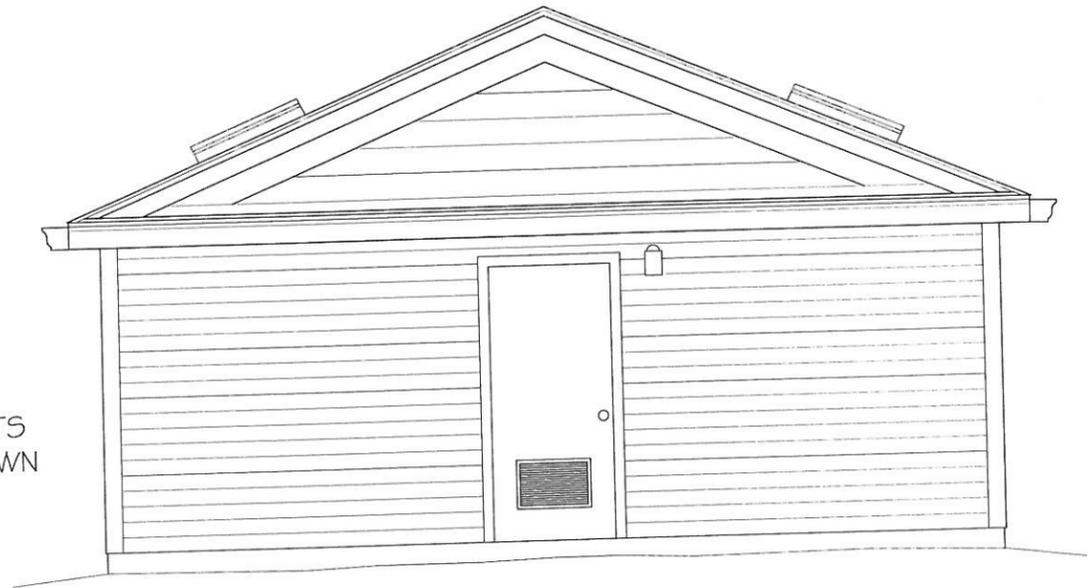
COMFORT STATION  
CLIENT: WELLESLEY COUNTRY CLUB  
LOCATION: WELLESLEY, MA  
TITLE: FLOOR PLAN  
SCALE: 1/2" = 1'-0"

DATE: 8.25.2012 | DRAWN BY: RWM

A16

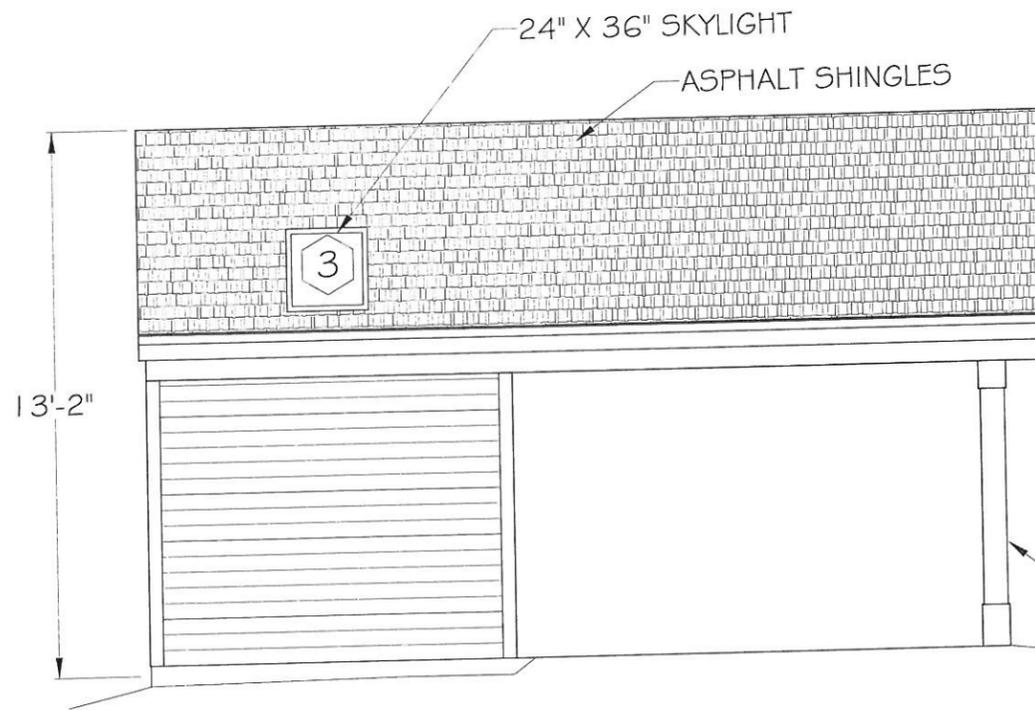


FRONT ELEVATION

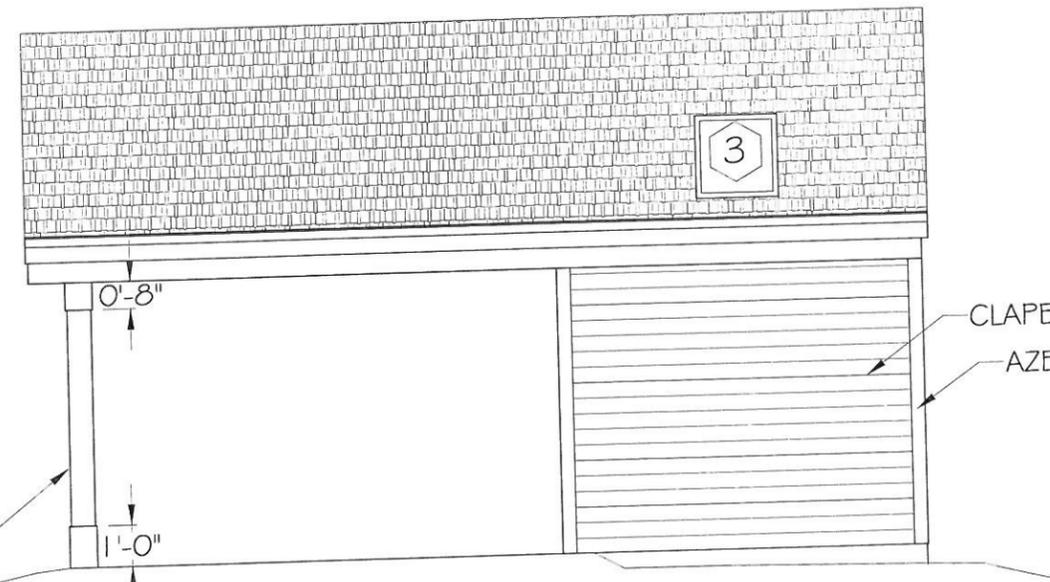


REAR ELEVATION

8X8 POSTS  
NOT SHOWN



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

4"X4" POST W/ AZEK TRIM,  
ATTACHED TO SIMPSON  
POST ANCHOR  
POURED INTO SLAB

CLAPBOARD SIDING  
AZEK TRIM

NOT FOR CONSTRUCTION

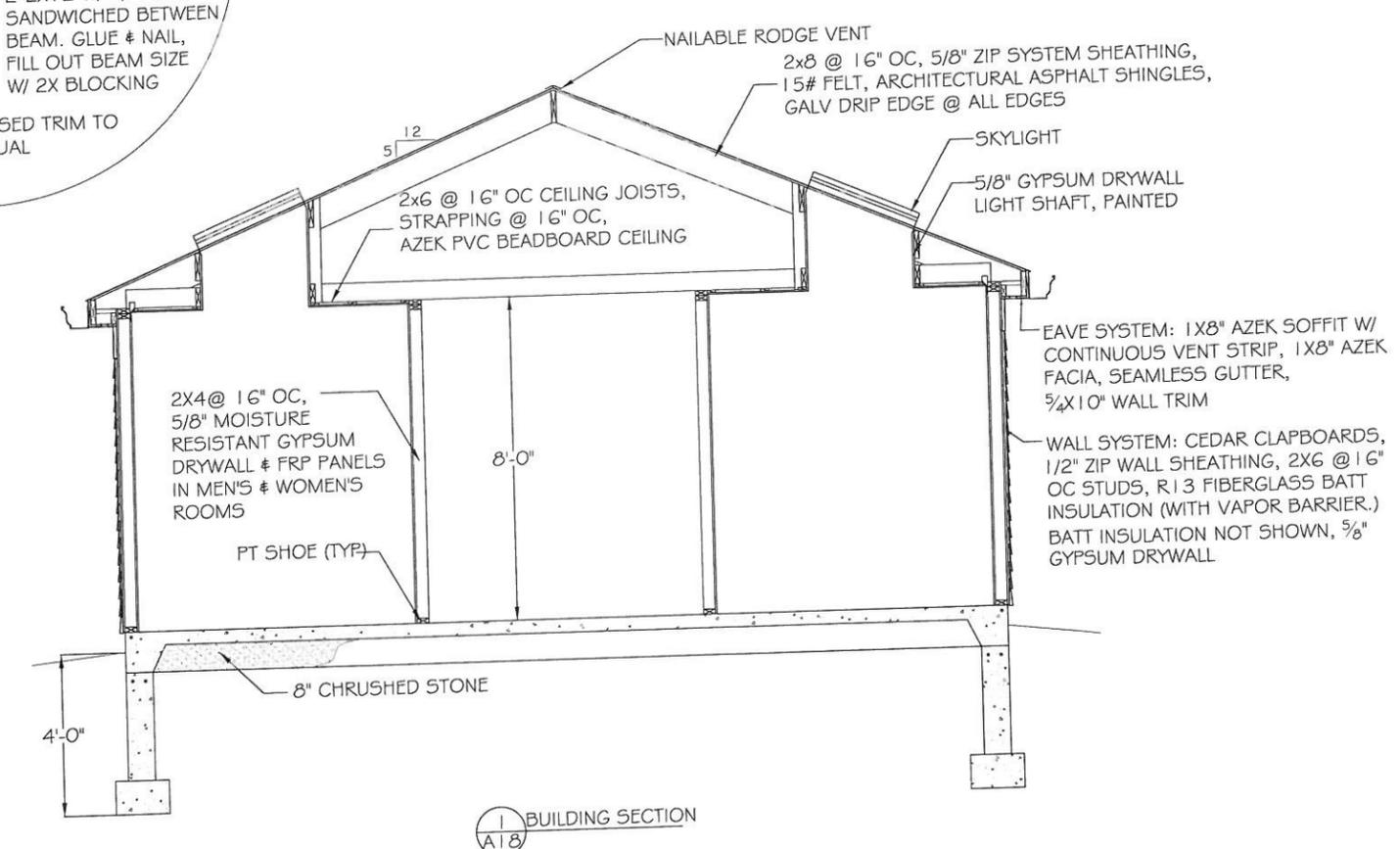
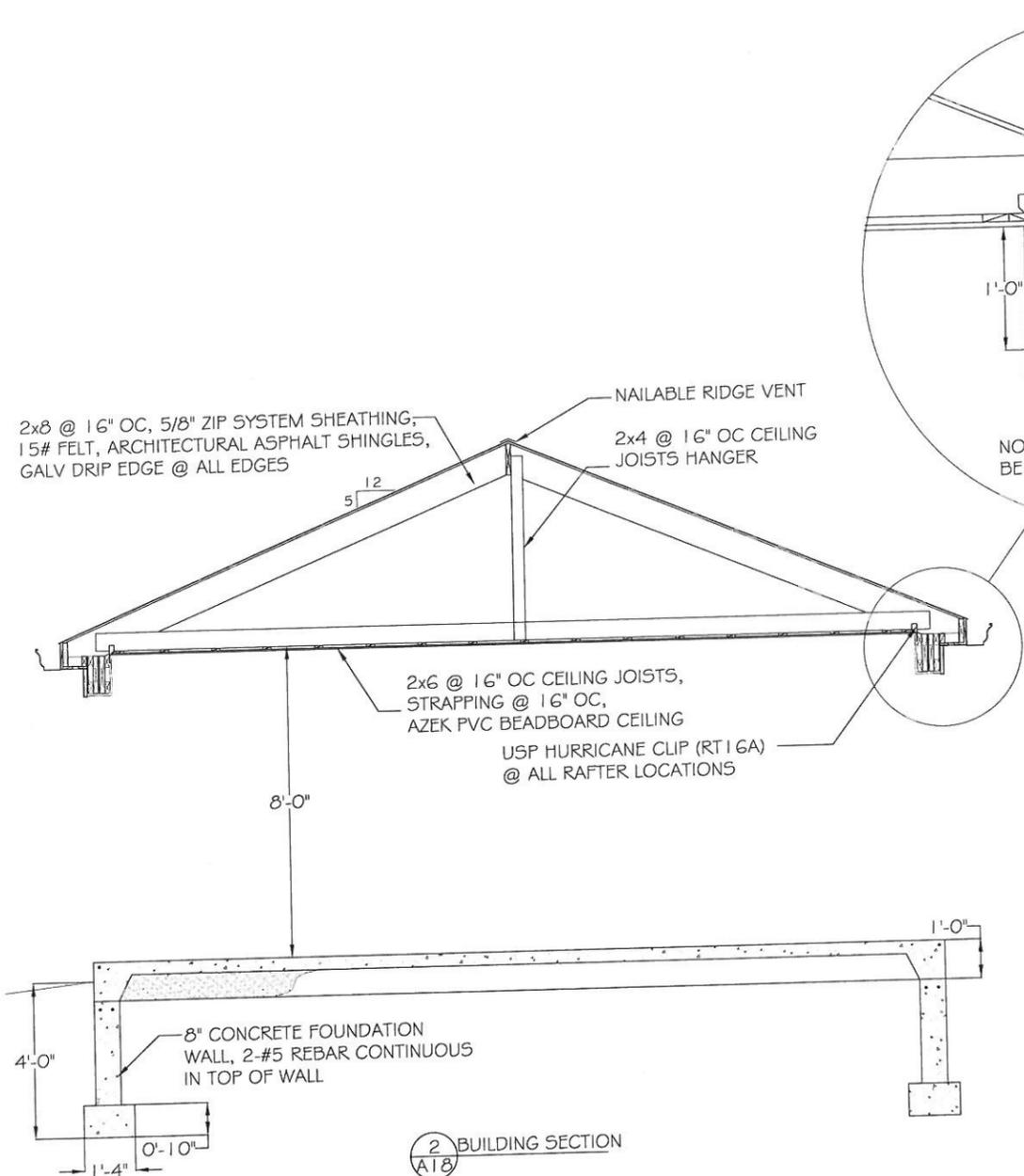


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REV.#	DATE	REVISION

COMFORT STATION  
 CLIENT: WELLESLEY COUNTRY CLUB  
 LOCATION: WELLESLEY, MA  
 TITLE: ELEVATIONS  
 SCALE: 1/2" = 1'-0"  
 DATE: 8.25.2012 | DRAWN BY: RWM

A17

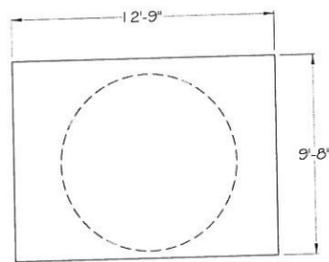


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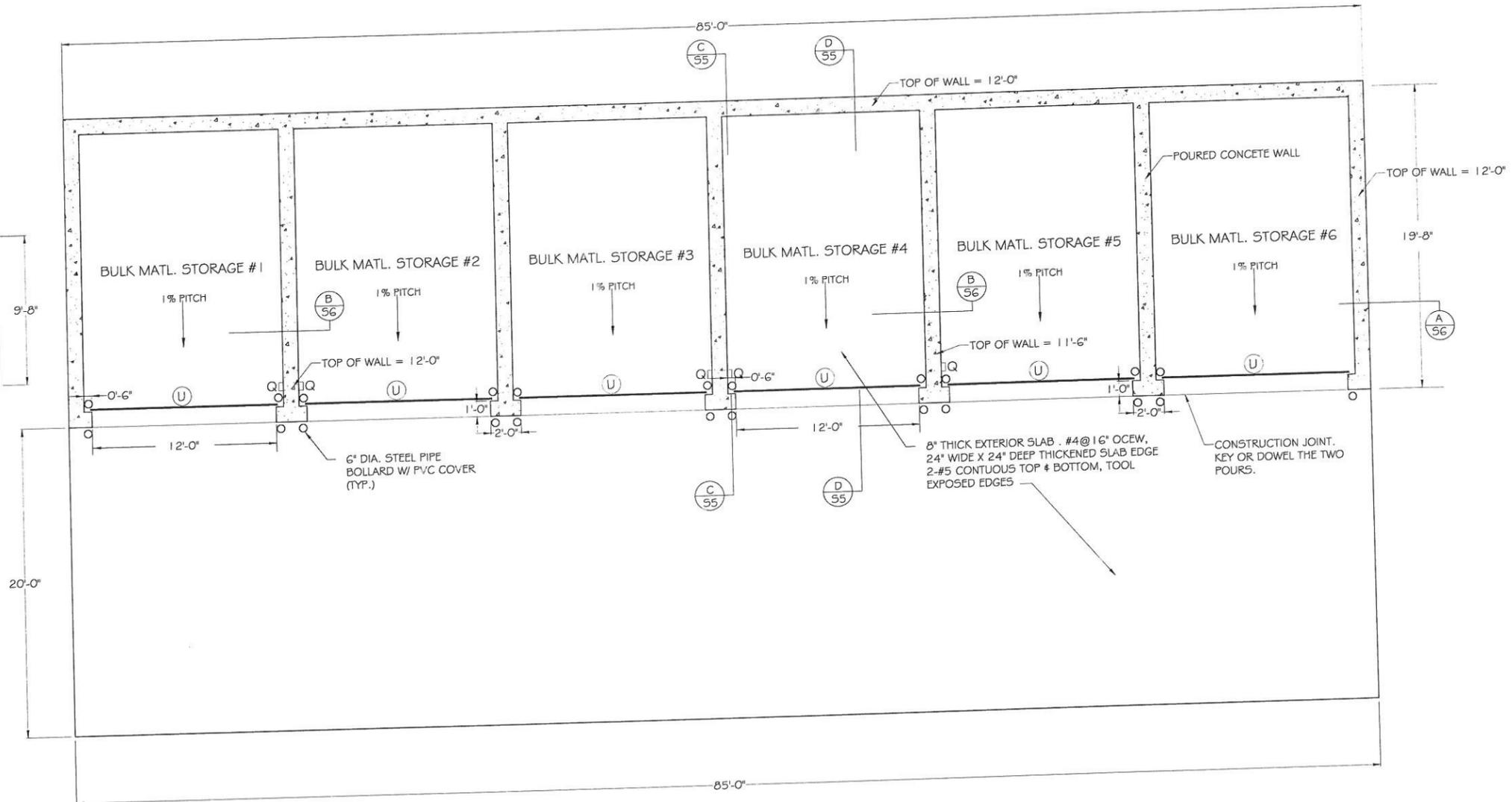
REV.#	DATE	REVISION

COMFORT STATION	
CLIENT: WELLESLEY COUNTRY CLUB	
LOCATION: WELLESLEY, MA	
TITLE: BUILDING SECTIONS	
SCALE: 1/2" = 1'-0"	
DATE: 8.25.2012	DRAWN BY: RWM

A18



CONCRETE SAND SILO PAD  
SCALE: 1/4" = 1'-0"



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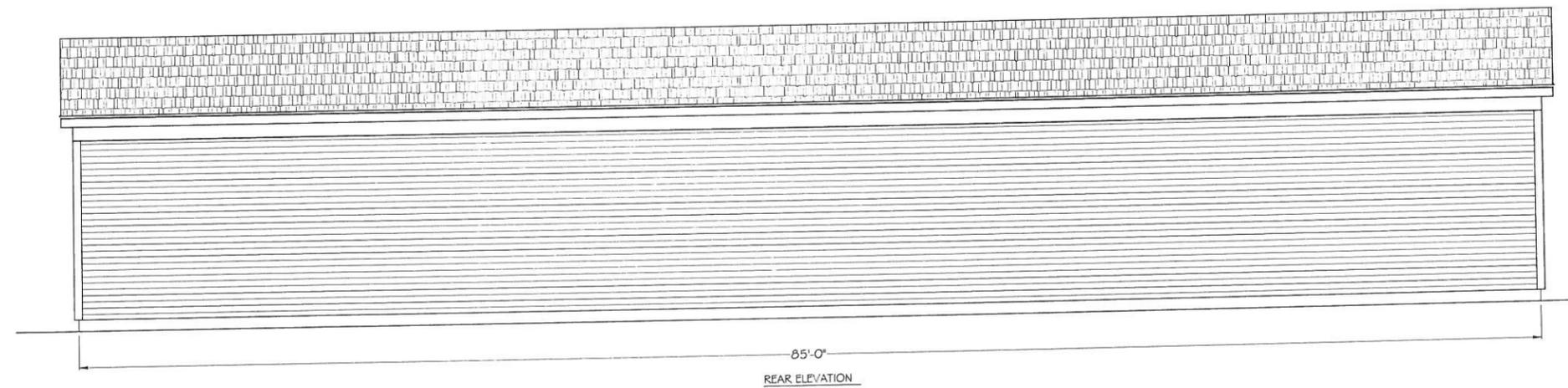
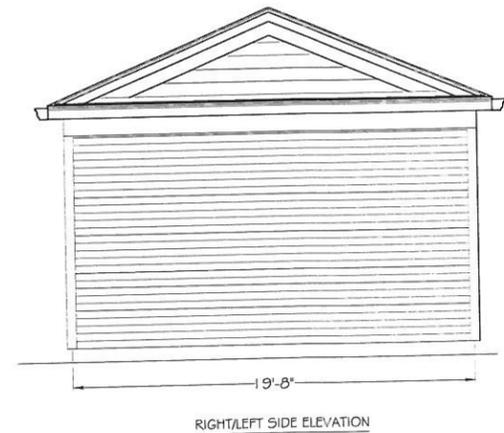
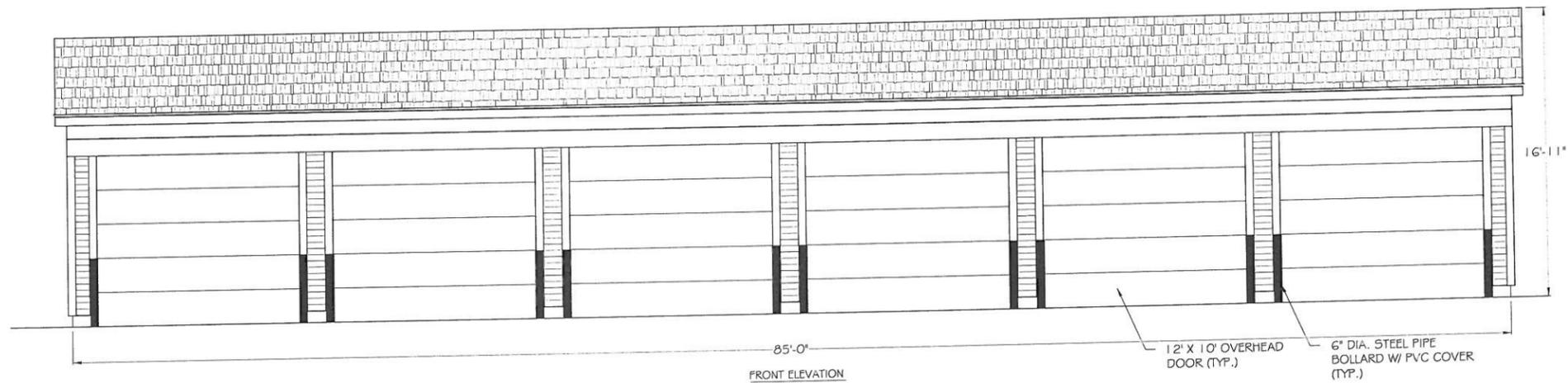
REV.#	DATE	REVISION

BULK MATERIAL STORAGE		
CLIENT: WELLESLEY COUNTRY CLUB		
LOCATION: WELLESLEY, MA		
TITLE: PLAN		
SCALE: 1/4" = 1'-0"	DATE: 8.25.2012	DRAWN BY: RWM

A19



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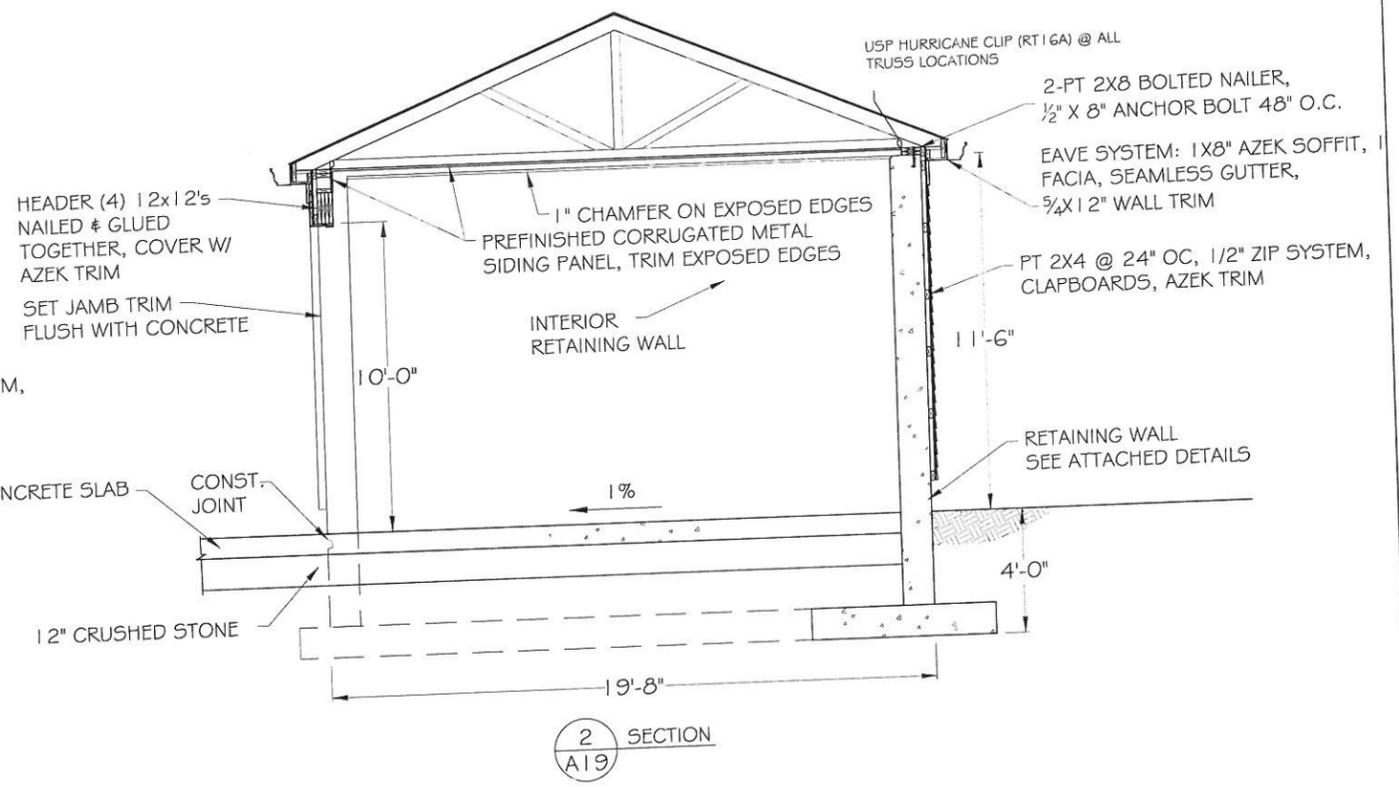
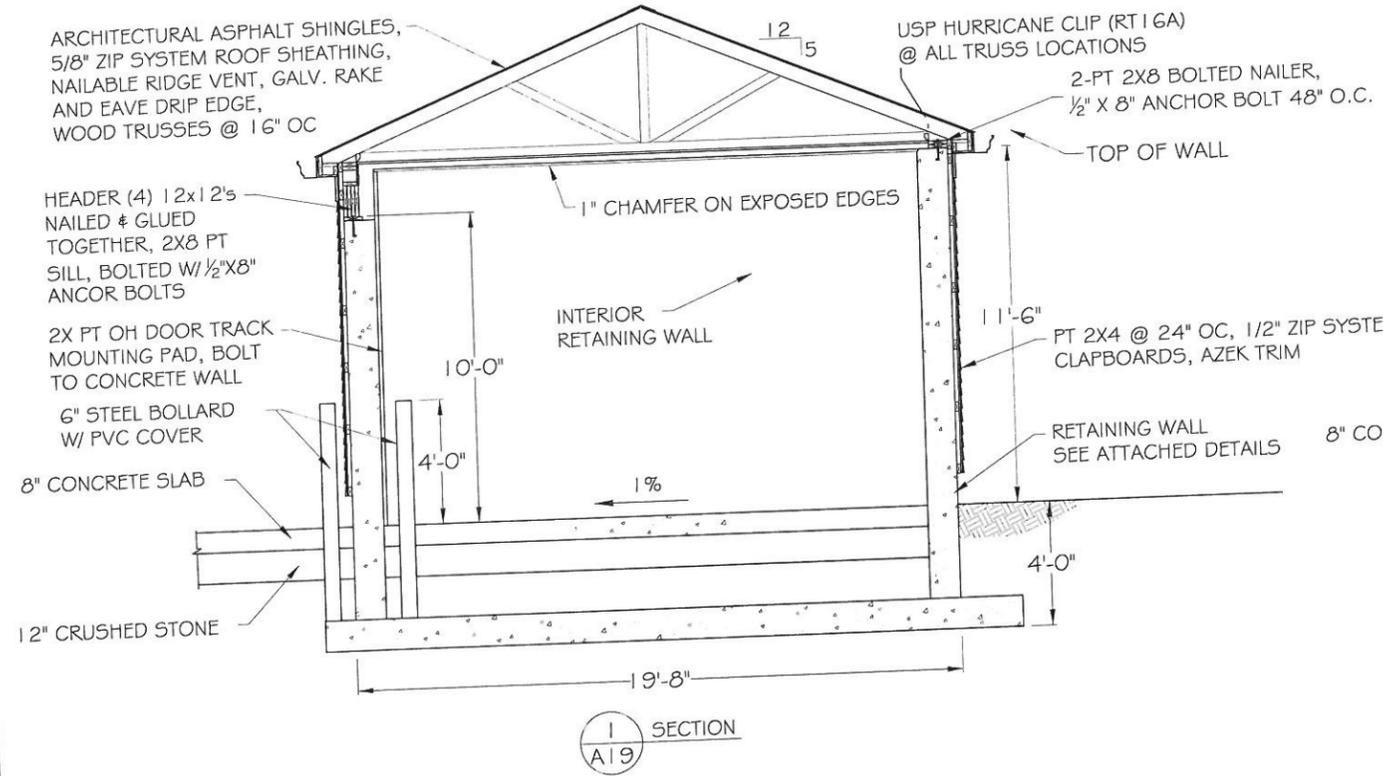
NOT FOR CONSTRUCTION

REV.#	DATE	REVISION	BULK MATERIAL STORAGE		
			CLIENT: WELLESLEY COUNTRY CLUB		
			LOCATION: WELLESLEY, MA		
			TITLE: ELEVATIONS		
			SCALE: 1/4" = 1'-0"	DATE: 8.25.2012	DRAWN BY: RWM

A20



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A21

**GSA**  
STRUCTURE  
ALTERNATIVES

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REV.#	DATE	REVISION

BULK MATERIAL STORAGE

CLIENT: WELLESLEY COUNTRY CLUB  
 LOCATION: WELLESLEY, MA  
 TITLE: BUILDING SECTIONS  
 SCALE: 1/4" = 1'-0"      DATE: 8.25.2012      DRAWN BY: RWM

**SPECIFICATIONS:**

**GENERAL:**

- ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, UTILITY LOCATIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCY TO THE OWNER BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK.
- IT IS NOT THE INTENTION OF THESE DOCUMENTS TO SHOW ALL DETAILS. THE CONTRACTOR SHALL USE ACCEPTED CONSTRUCTION PRACTICES TO PROVIDE A COMPLETE AND WORKING SYSTEM. IF THERE ARE ANY QUESTIONS REGARDING THE SCOPE OF THE WORK, THE DESIGNER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR BIDDING THE PROJECT. EXTRAS DUE TO THE CONTRACTORS FAILURE TO NOTIFY THE DESIGNER WILL NOT BE CONSIDERED. DESIGNER: GSA (603) 379-1000.
- AIA DOCUMENTS WILL BE USED FOR CONTRACTS, REQUISITIONS, ETC. AIA GENERAL CONDITIONS A201 WILL APPLY TO THIS PROJECT.
- ALL WORK SHALL BE PERFORMED AS REQUIRED BY THE US DEPARTMENT OF LABOR-OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, (OSHA).
- CONTRACTOR TO PROVIDE TEMPORARY UTILITIES INCLUDING TEMPORARY SANITARY FACILITIES. TEMPORARY WATER PROVIDED BY OWNER.
- THE CONTRACTOR SHALL PAY ALL UTILITY FEES. BUILDING PERMIT WILL BE OBTAINED BY OWNER AND ASSIGNED TO CONTRACTOR. BUILDING PERMIT FEE PAID BY OWNER. SUB TRADE PERMITS PAID BY CONTRACTOR.
- CONTRACTOR TO PROVIDE OWNER WITH ONE (1) SET OF AS-BUILT DRAWINGS AT COMPLETION OF WORK.
- OWNER TO PROVIDE SURVEYING SERVICES FOR INITIAL LAYOUT. DESTROYED STAKES, LOST POINTS AND ANY ADDITIONAL SURVEYING REQUIRED IS BY THE CONTRACTOR.

**ALTERNATES:**

- NOT USED

**EARTHWORK:**

- REMOVE STUMPS AND UNSUITABLE MATERIAL OFF SITE BY CONTRACTOR. TREES SELECTED FOR REMOVAL WILL BE IDENTIFIED BY OWNER, CUT AND REMOVED BY CONTRACTOR. PROTECT REMAINING TREES FROM DAMAGE DURING CONSTRUCTION.
- LOAM FURNISHED AND SPREAD BY CONTRACTOR. FINE GRADE AND SEED BY CONTRACTOR.
- EXCAVATE, BACKFILL AND COMPACT FOR FOUNDATIONS, DRAINAGE SWALES, UNDERGROUND ELECTRICAL, SEWER, DRAINS, GAS, TELEPHONE, WATER AND SPARE CONDUITS. COMPACTION UNDER SLABS AND PAVED AREAS TO BE 95%. PROVIDE SAND BEDDING AND COVER AROUND ALL CONDUIT AND PIPING. INSTALL A MINIMUM OF 6" CRUSHED STONE BELOW ALL FOOTINGS ON ROCK AND BENEATH CONTROLLED FILLS. CRUSHED STONE SHALL BE COMPACTED BY 5 PASSES OF A 1+ TON VIBRATORY COMPACTOR.
- INSTALL ALL UNDERGROUND UTILITIES INCLUDING: ELECTRICAL, TELEPHONE, CONDUIT, CATV, SEWER, DRAINS, GAS AND WATER.
- PLACE CLEAN GRANULAR FILL OR CRUSHED STONE FILL UNDER CONCRETE SLAB ON GROUND. COMPACT TO 95%. CONTRACTOR SHALL PROVIDE COMPACTION TESTS FOR FILL UNDER SLABS AND PAVING. TESTING TO BE PERFORMED BY AN INDEPENDENT TESTING AGENCY.
- PROTECT WORK AREAS FROM ENTRY BY UNAUTHORIZED PERSONNEL. MINIMUM REQUIREMENT IS CONSTRUCTION BARRICADE FENCING.
- DEMOLISH, REMOVE OFF SITE AND PROPERLY DISPOSE OF EXISTING FUELING PAD. RELOCATE FUEL TANK AND POWER TO IRRIGATION PUMP AND KEEP OPERATIONAL DURING CONSTRUCTION.
- DEMOLISH EXISTING MAINTENANCE BUILDING, INCLUDING FOUNDATIONS, TO PREPARE FOR NEW PARKING LOT. CAP UTILITIES. AN ASBESTOS PRE-DEMOLITION SURVEY IF REQUIRED WILL BE CONDUCTED BY THE OWNER. ABATEMENT WILL BE PERFORMED AS A CHANGE ORDER TO THE CONTRACT.
- SEE SITE PLANS FOR FENCING, LANDSCAPING AND PAVING REQUIREMENTS.
- SEE SITE PLANS FOR ADDITIONAL REQUIREMENTS.

**CONCRETE:**

- CONCRETE FOR FOUNDATION SHALL BE 3,000 PSI @ 28 DAYS. CONCRETE FOR FLOOR SLAB SHALL BE 4,000 PSI @ 28 DAYS. CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301 & ACI 318. CONTRACTOR SHALL PROVIDE CONCRETE TESTING. TESTING WILL BE CONDUCTED BY AN INDEPENDENT TESTING AGENCY.
- EXTERIOR CONCRETE SLABS SHALL BE AIR ENTRAINED.
- REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATION A615 GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A182 & A185, YIELD STRESS 70,000 PSI MIN.
- ISOLATE PIPES AT SLAB PENETRATIONS TO ALLOW FOR MOVEMENT OF CONCRETE SLAB. CAULK PENETRATIONS IN ENVIRONMENTAL MANAGEMENT CENTER, EQUIPMENT FUEL / WASHDOWN AREAS.
- INSTALL 10 MIL POLYETHYLENE FILM VAPOR BARRIER UNDER CONCRETE SLABS.
- STEEL TROWEL FINISH ON ALL INTERIOR SLABS. LIGHT BROOM FINISH ON EQUIPMENT FUELING AND EXTERIOR SLABS. MAINTAIN A SURFACE FLATNESS OF MAXIMUM 1/4" IN 10'. PITCH FLOORS TO SUMPS. INSTALL KURE-N-SEAL (OR EQUAL) AS PER MANUFACTURERS INSTRUCTIONS. INSURE CURING COMPOUND USED IS COMPATIBLE WITH FLOOR FINISH PRODUCTS.
- SAW CUT CONTROL JOINTS UNDER INTERIOR PARTITIONS AND BOTH WAYS AT SUMPS IN ENVIRONMENTAL MANAGEMENT CENTER (EMC) & EQUIPMENT FUELING / WASHDOWN AREAS. CAULK CONTROL JOINTS IN EMC, EQUIPMENT FUELING / WASHDOWN AREAS. SAW CUT CONTROL JOINTS AT COLUMN LINES AND AT MID-POINTS BETWEEN COLUMN LINES IN TURF CARE MAINTENANCE FACILITY. CUT CONTROL JOINTS AT 1/2 POINTS IN ADMINISTRATION WING SLAB.
- CONCRETE SLAB REINFORCING TO BE WOVEN WIRE FABRIC OR REINFORCING STEEL.
- INSTALL FOAM EXPANSION JOINT AT SLAB PERIMETERS. REMOVE TOP OF FOAM AND CAULK JOINT IN ENVIRONMENTAL MANAGEMENT CENTER AND EQUIPMENT FUELING/WASHDOWN AREA.
- PRECAST HOLLOW CORE PLANK SYSTEM: 8" HOLLOW CORE PLANK, WELD PLATES, CONCRETE TOPPING, GOUTED CORES AND JOINTS, BEARING PADS, STEEL BEAMS AND COLUMNS, ETC. AS NECESSARY TO INSTALL A COMPLETE SYSTEM.

**MASONRY:**

- USE TYPE "M" MORTAR AS PER ASTM C270.
- GROUT MIX FOR BOND BEAM, GROUTED CORES & LINTELS: 3,000 PSI @ 28 DAYS, 7"-8" SLUMP. IN ACCORDANCE WITH ASTM C94. GROUT CORES AT EACH SIDE OF ALL DOORS.
- CONCRETE MASONRY UNITS (CMU) SHALL BE GRADE "N", TYPE 1, MOISTURE CONTROLLED, NORMAL WEIGHT. IN ACCORDANCE WITH ASTM C90.
- LADDER TYPE, HOT DIPPED GALVANIZED COLD DRAWN STEEL, JOINT REINFORCING. INSTALL IN ALTERNATE COURSES.
- REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATION GRADE 60.
- INSTALL LINTEL BLOCK OR PRECAST CONCRETE LINTELS ABOVE ALL OVERHEAD DOOR OPENINGS.
- CONSTRUCT INTERIOR CMU PARTITIONS TO 12'-0" HIGH.
- INSTALL CONTROL JOINTS IN CMU WALLS WHERE REQUIRED TO CONTROL CRACKING.
- CMU VOIDS IN ALL EXTERIOR WALLS SHALL BE FILLED WITH STYROFOAM INSERTS. VOIDS IN INTERIOR PARTITIONS OF ENVIRONMENTAL MANAGEMENT CENTER AND FUELING/WASHDOWN CENTER SHALL BE FILLED WITH STYROFOAM INSERTS.

**METALS:**

- CONCRETE FILLED STEEL PIPE BOLLARDS: SET IN AND FILLED WITH CONCRETE.
- STEEL SECTIONS: A36.
- BOLTS, NUT AND WASHERS: ASTM A325, GALVANIZED.
- SHOP PRIME SURFACES IN ACCORDANCE WITH SSPC SP2.
- WELDED PIPE RAIL, SCH 40, FACTORY PRIMED, FINISH PAINTED IN FIELD.
- CEILING LINER PANELS: "PANEL-RIB" ROOFING PANELS: 36" WIDE, PREFINISHED, 26 GAUGE GALVALUME STEEL CORRUGATED PANELS. COLOR SELECTED BY OWNER. TRIM EXPOSED EDGES. PANELS ARE PART OF A STANDARD PRE-ENGINEERED METAL BUILDING ROOFING SYSTEM BY VARCO-PRUDEN BUILDING OR EQUAL. USE COLOR CODED FASTENERS AND INSTALL AS PER MANUFACTURERS INSTRUCTIONS. SEE ROOM FINISH SCHEDULE FOR LOCATIONS.

**CARPENTRY:**

- FRAMING LUMBER SHALL BE SPF SPECIES, #2 OR BETTER, 19% MAXIMUM MOISTURE CONTENT. PRESSURE TREATED, WHERE IN CONTACT WITH CONCRETE OR MASONRY. BLOCK BEHIND ALL WALL MOUNTED ITEMS.
- SHEATHING: 1/2" WALL AND 3/8" ROOF ZIP SYSTEM SHEATHING. TAPE SEAMS AND INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
- WALL LINER PANELS: 3/4" APA (B-C PLUGGED, SANDED) UNDERLAYMENT GRADE PLYWOOD. INSTALL 3/4" PLYWOOD PANELS PAINTED BLACK BEHIND ALL WALL MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT.
- FASTENERS SHALL BE GALVANIZED OR STAINLESS STEEL.
- ROOF TRUSSES AND FLOOR FRAMING SYSTEM SHALL BE DESIGNED BY THE TRUSS SUPPLIER AND DRAWINGS WILL BE STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS. INSTALL IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- INSTALL USP RT 1 GA OR EQUAL HURRICANE ANCHORS WHERE EACH ROOF TRUSS MEETS A BEARING POINT. INSTALL IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- INSTALL SIMPSON STRONG-TIE OR EQUAL HOLDOWN SYSTEM TO TIE THE SECOND FLOOR FRAMING TO THE FOUNDATION AND THE SECOND FLOOR WALL FRAMING TO THE ROOF. INSTALL AT MAX 10' OC OR AS RECOMMENDED BY HOLD DOWN MANUFACTURER.
- CASEWORK: CABINETS SHALL BE PLASTIC LAMINATE, W/ WIRE PULLS. COUNTERS TO HAVE INTEGRAL BACKSPASH. INSTALL BASE (DRAWER/DOOR UNITS) AND WALL CABINETS IN BREAK/TRAINING ROOM KITCHEN AREA. COUNTER TOP SUPPORTED BY WALL BRACKETS AT ENVIRONMENTAL MANAGEMENT CENTER RECORDS AND MIXING TABLES. SLOPING PLAN TABLE TOP IN SUPT. AND ASST. SUPT. VANITY COUNTER IN MENS AND WOMENS BATH ROOMS. COLORS SELECTED BY OWNER.
- SHOP WORK BENCHES - BY OWNER
- WALL MOUNTED STORAGE STRIPS (IN MIX & LOAD). STRIP TO BE 2X8X10' W/ HARDWOOD PEGS, PAINTED.
- STORAGE SHELVES: 12" WIDE SHELF, EDGE BANDED, 3/4" AC PLYWOOD, PAINTED. INSTALL 3 SHELVES OVER RECORDS TABLE IN ENVIRONMENTAL MANAGEMENT CENTER. 5 SHELVES IN TURF CARE MAINTENANCE FACILITY WOMENS AND MENS BATH CLOSET.
- WINDOW TRIM: 3/4" MDO SILL WITH HARDWOOD EDGE BAND & 1X4 SKIRT AND TRIM. PAINTED.
- CLOSET SHELVES: CLOSET MAID (OR EQUAL) WIRE SHELF AND POLE IN SUPT. AND ASST. SUPT. OFFICES. 5-SHELVES IN ASST. SUPERINTENDENTS OFFICE CLOSET AND IN JANITOR STORAGE (8' LONG).
- FAN/LOUVER TRIM IN CMU WALLS: INSTALL PT WOOD NAILERS. INSTALL AZEK TRIM TO COVER EXTERIOR JOINT BETWEEN FAN/LOUVER AND CMU. INSTALL MDO TRIM TO COVER INTERIOR JOINT BETWEEN FAN/DAMPER AND CMU. PAINT EXTERIOR TRIM TO MATCH WINDOWS.
- FIBERGLASS REINFORCED PANELS (FRP): STIPPLED FINISH, TRIM EXPOSED EDGES, FULLY ADHERED, NO EXPOSED MECHANICAL FASTENERS, COLOR BY OWNER., FLOOR TO CEILING.

**INSULATION:**

- INSTALL FIBERGLASS BATT INSULATION ABOVE ALL CEILINGS (R30 W/ VAPOR BARRIER), IN FLOOR JOIST CAVITY (R19, UNFACED), INTERIOR PARTITIONS (R13, UNFACED) AND IN EXTERIOR STUD WALLS (R19, W/ VB) OF TURF CARE MAINTENANCE FACILITY. ALL INTERIOR PARTITIONS TO BE INSULATED.
- FILL CMU VOIDS IN EXTERIOR WALLS OF WITH STYROFOAM INSERTS. INSULATE ALL PARTITIONS IN ENVIRONMENTAL MANAGEMENT CENTER AND FUELING/WASHDOWN CENTER.
- INSTALL 2" EXTRUDED STYROFOAM INSULATION ON INSIDE OF FOUNDATION IN TURF CARE MAINTENANCE FACILITY, ENVIRONMENTAL MANAGEMENT CENTER AND EQUIPMENT WASHDOWN CENTER. TOP OF INSULATION TO STOP JUST BELOW SLAB OR GRADE. INSTALL IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- SEE PRE-ENGINEERED METAL BUILDING SECTION FOR BUILDING INSULATION SPECS.

**DAMP/ROOFING /JOINT SEALANTS:**

- CAULK CONTROL JOINTS, JOINTS BETWEEN DOORS, EXHAUST FANS, DAMPERS, WINDOW FRAMES AND MASONRY, JOINTS BETWEEN DISSIMILAR MATERIALS WITH SINGLE COMPONENT ACRYLIC EMULSION LATEX, NON STAINING, NON BLEEDING, NON SAGGING.
- JOINT BACKING: CLOSED CELL POLYETHYLENE FOAM ROD.
- FOUNDATION DAMPROOFING: BITUMINOUS COATING, TROWEL GRADE, 2" DRAINAGE/PROTECTION BOARD. INSTALL AS PER MANF. RECOMMENDATIONS. INSTALL BELOW GRADE ON EXTERIOR OF ALL FOUNDATION WALLS OCCUPIED SPACE. INSTALL BRUSH GRADE BITUMINOUS DAMPROOFING ON THE EXTERIOR OF FOUNDATION WALLS BELOW GRADE IN ALL OTHER AREAS..

**ROOFING, SIDING AND TRIM:**

- CORRUGATED ROOFING PANELS: PREFINISHED, 26 GAUGE GALVALUME STEEL PANELS. PANELS ARE PART OF STANDARD PRE-ENGINEERED METAL BUILDING ROOFING SYSTEM BY VARCO-PRUDEN BUILDING OR EQUAL. USE EXPOSED FASTENERS AND INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
- METAL SIDING: PRIMED CORRUGATED METAL SIDING. USE PRE-ENGINEERED METAL BUILDING MANUFACTURERS STANDARD SIDING. EXPOSED FASTENERS.
- WOOD SIDING/TRIM: SIDING - RED CEDAR CLAPBOARDS. AZEK (OR EQUAL) TRIM. FASTENERS - STAINLESS STEEL.
- ASPHALT SHINGLES: IKO CAMBRIDGE 30 DUAL BLACK (120 MPH WIND RATING), NAILABLE RIDGE VENT, GALV DRIP EDGE, ALUMINUM STEP FLASHING, ICE-N-WATERSHIELD.
- INSTALL METAL GUTTERS AT ALL EAVES WITH DOWN SPOUTS (LOCATE DOWNSPOUTS AT MAX 20' ON CENTER) AND CONNECT DOWNSPOUTS TO UNDERGROUND DRAINAGE PIPING. PAINT TO MATCH TRIM.
- MEMBRANE ROOF: .090 EPDM, 6" SEAMS, ISOCYANURATE INSULATION, FULLY ADHERED, EDGE METAL, FLASHING AND METAL PIER CAPS, 1/2" DENSGLAS PROTECTION BOARD, MANUFACTURERS STANDARD WARRANTEE.

WINDOWS: (ALL EXTERIOR WINDOWS TO BE MARVIN WITH STANDARD FINISH).  
 1. WINDOW #1: MARVIN, CLAD ULTIMATE AWNING, STORM PLUS, IMPACT ZONE 3, PINE INTERIOR, .050 EXTRUDED ALUMINUM EXTERIOR, CONTINUOUS WEATHER-STRIPPING, ALUMINUM SCREENS, 3/4" LOE-272-ARGON GLAZING, U=0.31. IN EMC AND FUEL/WASHDOWN CENTERS, INSTALL PT WOOD NAILERS. ROUGH OPENING TO MATCH OVERALL UNIT SIZE OF WINDOW AND EXTERIOR TRIM. INSTALL MDO TRIM TO COVER INTERIOR JOINT BETWEEN FRAME AND CMU OR CONCRETE.  
 2. WINDOW #2: MARVIN, CLAD ULTIMATE DOUBLE HUNG, STORM PLUS, IMPACT ZONE 3, PINE INTERIOR, .050 EXTRUDED ALUMINUM EXTERIOR, 3/8" INTERIOR/EXTERIOR SIMULATED DIVIDED LITE WITH INTERIOR BAR, CONTINUOUS WEATHER-STRIPPING, ALUMINUM SCREENS, 1/2" LOE-272-ARGON GLAZING, U=0.33.

**DOORS AND FRAMES:**

- HOLLOW METAL FRAMES: 16 GAUGE MATERIAL THICKNESS, WELDED CONSTRUCTION, 4" HEADS (IN CMU). FIRE RATED FRAMES AND DOORS - NFPA 80. REINFORCE FRAMES WIDER THAN 48". COAT INTERIOR OF EXTERIOR FRAMES WITH BITUMINOUS PAINT.
- HOLLOW METAL DOORS: SD 1-100, GRADE II. CLOSE TOP EDGE OF DOORS WITH INVERTED STEEL CHANNEL CLOSURE. SEAL JOINTS TIGHT. EXTERIOR DOORS HAVE HALF LITE VISION PANEL WITH GRILLE. LOUVERS IN COMFORT STATION DOORS.
- WOOD DOORS: 1 3/4" THICK, SOLID CORE CONSTRUCTION, BIRCH VENEER, TRANSPARENT FINISH, PREFINISHED.

**OVERHEAD DOORS:**

- STEEL, PREFINISHED, INSULATED SMOOTH PANEL, 1 5/8" THICK OVERHEAD DOORS. 2" WIDE STEEL TRACK MOUNTED ON PRESSURE TREATED NAILERS, BOLTED TO CMU WALL OR STEEL BUILDING FRAME. HIGH LIFT TRACK TO FOLLOW SLOPE OF ROOF IN EQUIPMENT MAINTENANCE. FULL RESILIENT WEATHERSTRIPPING INCLUDING HOLLOW NEOPRENE DOOR BOTTOM. INSTALL LOCKS AS PER DOOR SCHEDULE. POWER OPERATORS ON 12' WIDE DOORS. FACTORY FINISH.

**FINISH HARDWARE:**

- LOCKSETS: TO BE COMMERCIAL GRADE, ADA APPROVED.
- CLOSERS: CAST IRON WITH FULL COVER, FULL RACK AND PINION TYPE CONSTRUCTION WITH ADJUSTABLE BACK CHECK, HOLD OPEN FEATURE. CLOSERS ON EXTERIOR DOORS SHALL BE PROVIDED WITH CUSH-N-STOP ARMS.
- HINGES: STAINLESS STEEL, BALL BEARING, 1 1/2 PAIR PER LEAF.
- WEATHERSTRIP ALL EXTERIOR DOORS
- PROVIDE MASTER AND SUB-MASTER KEYING SYSTEM AS DIRECTED BY OWNER.

**GYP/SPUM BOARD SYSTEMS:**

- GYP/SPUM BOARD: 5/8" FIRE RATED. JOINTS TO BE FINISHED WITH REINFORCING TAPE, JOINT COMPOUND (3 COAT SYSTEM) AND SANDED SMOOTH.
- APPLY 2 LAYERS OF 5/8" FIRE RATED TO FERTILIZER STORAGE, CHEMICAL STORAGE AND MIX & LOAD CEILINGS. FIRST LAYER TO BE FIRE TAPED.
- USE MOISTURE RESISTANT GYP/SPUM BOARD IN HIGH MOISTURE AREAS AND BATHROOMS.

**PAINTING:**

- ALL EXPOSED SURFACES (INTERIOR AND EXTERIOR) SHALL BE PAINTED (UNLESS PREFINISHED), EXCEPT CONCRETE FOUNDATIONS (UNLESS NOTED IN ROOM FINISH SCHEDULE). STEEL BOLLARDS, ARE TO HAVE PVC COVERS. EXPOSED CONDUIT AND SPRINKLER PIPING SHALL BE PAINTED. COPPER AND PVC PIPING SHALL NOT BE PAINTED.

**PAINTING SCHEDULE:**

- INTERIOR MASONRY: REMOVE FOREIGN MATERIAL, ONE COAT BLOCK FILLER, TWO COATS LATEX, SEMI-GLOSS.
- EXTERIOR CMU: 2 COATS SILICONE WATERPROOFING (OR EQUAL), CLEAN CMU PRIOR TO APPLICATION OF SILICONE.
- GYP/SPUM BOARD: ONE COAT LATEX PRIMER SEALER, TWO COATS LATEX EGG SHELL. FLAT ON CEILINGS.
- INTERIOR WOOD: PRIMER, TWO COAT LATEX, SEMI-GLOSS.
- EXTERIOR WOOD/AZEK: ONE COAT PRIMER SEALER, ONE COAT LATEX ENAMEL, SEMI-GLOSS. BACK PRIME ALL EXTERIOR WOOD TRIM.
- INTERIOR STEEL: TOUCH UP ORIGINAL PRIMER, TWO COATS ENAMEL, GLOSS. TOUCH UP PRIMER ON METAL BUILDING FRAME.
- EXTERIOR STEEL: TOUCH UP WITH ZINC CHROMATE PRIMER, TWO COATS ENAMEL, GLOSS.
- EPOXY: PRIMER/SEALER, 2 COATS - 2 PART EPOXY. NON SLIP FINISH ON FLOORS.

**FLOORING:**

- CARPET: WOVEN CARPET, 22 OZ/SY WEIGHT, 1/4" PILE HEIGHT, ANTRON NYLON FACE YARN OR EQUAL., DIRECT GLUE.
- VINYL COMPOSITION TILE: 12" X 12" X 1/8", MARBELIZED DESIGN.
- VINYL BASE: 4" X 1/8", TOP SET COVE AT VCT, STRAIGHT BASE AT CARPET.
- UNDERLAYMENT: INSTALL AS REQUIRED BY FLOORING MANUFACTURERS.

**ACOUSTIC CEILING:**

- GRID: EXPOSED "T" COLOR - WHITE
- TILE: 24"X24", NON-DIRECTIONAL FISSED, FIRE RATED. COLOR - WHITE. INSTALL TILE AS PER MANUFACTURERS RECOMMENDATIONS.

**SPECIALTIES:**

- FIRE EXTINGUISHERS: 10A, 60 BC WITH WALL BRACKET, SEE PLANS FOR LOCATIONS. 10A, 60 BC IN SEMI RECESSED WALL CABINET REQUIRED IN TURF CARE MAINTENANCE FACILITY ADMINISTRATION AREA. PROVIDE FOUR (4) ADDITIONAL EXTINGUISHERS AND BRACKETS TO BE INSTALLED AS DIRECTED BY THE FIRE DEPARTMENT.
- EMERGENCY EYE WASH/SHOWER: SPEAKMAN #98265 AS SOLD BY LAB SAFETY (1-800-356-0783) OR EQUAL.
- CHEMICAL AND PARTS ROOMS STORAGE SHELVING: BY OWNER.
- FERTILIZER STORAGE Pallet RACKS: BY OWNER.
- TOILET PARTITION: HEAD RAIL BRACED, FLOOR MOUNTED, PHENOLIC. PROVIDE ROBE HOOK. STANDARD CHROME HARDWARE. COLOR SELECTED BY OWNER.
- URINAL SCREEN: WALL MOUNTED, PHENOLIC. COLOR SELECTED BY OWNER.
- TOILET ACCESSORIES: FURNISH AND INSTALL THE FOLLOWING TOILET ACCESSORIES. ALL ACCESSORIES TO BE STAINLESS STEEL #4 SATIN LUSTER FINISH. ACCESSORIES TO BE BOBRICK OR EQUAL. 1 EA. PER LAVATORY: PAPER TOWEL DISPENSER, LIQUID SOAP DISPENSER, METAL FRAMED MIRROR (42" HIGH X FULL LENGTH UNFRAMED MIRROR OVER MENS BATH VANITY) 1 EA. PER WATER CLOSET: TOILET PAPER DISPENSER (DOUBLE ROLL). 2-42" STAINLESS STEEL GRAB BARS AT HC WATERCLOSSETS. HC SHOWER/DRESSING AREA: 1 PC-ROBE HOOK, WOODEN BENCH, SHOWER CURTAIN & ROD.
- LOCKERS: SINGLE TIER LOCKERS, 15" X 18" X 72" HIGH. RECESSED HANDLE WITH PROVISION FOR PADLOCK. STANDARD COAT HOOKS AND HARDWARE, 4" HIGH Z-TYPE LOCKER BASE, BAKED ENAMEL FINISH, COLOR BY OWNER. STANDARD PEDISTAL MOUNTED HARDWOOD LOCKER BENCHES.
- BULLETIN BOARD: CORK WITH ALUMINUM FRAME, 96" WIDE X 48" HIGH.
- WHITE BOARD: MARK 'N WIPE MELAMINE WITH ALUMINUM FRAME, 96" WIDE X 48" HIGH.
- APPLIANCES FURNISHED BY OWNER. INSTALLED BY CONTRACTOR.
- SIGNAGE BY OWNER.
- WINDOW TREATMENT BY OWNER.
- KNOX BOX: SERIES 1300. COORDINATE LOCATION WITH FIRE DEPARTMENT.

NOT FOR CONSTRUCTION

REV.#	DATE	REVISION	TURF CARE CENTER	
			CLIENT: WELLESLEY COUNTRY CLUB	SPI
			LOCATION: WELLESLEY, MASSACHUSETTS	
			TITLE: SPECIFICATIONS	
			DATE: 8.25.2012	DRAWN BY: RWM

**PRE-ENGINEERED METAL BUILDING:**

- DESIGN, FURNISH, AND INSTALL A COMPLETE PRE-ENGINEERED STRUCTURE. INCLUDE STRUCTURAL STEEL, METAL SIDING, TRIM, TRANSLUCENT PANELS, METAL ROOFING AND FLASHING, ROOF INSULATION, WALL INSULATION, AND FRAMES FOR DOOR, WINDOW AND WALL OPENINGS.
- PROVIDE ALL EQUIPMENT AND MATERIALS NECESSARY TO COMPLETE THE WORK (IE. CRANE AND STAGING).
- INSTALL PREFINISHED FLASHING AT ALL THRU ROOF AND WALL PENETRATIONS (IE. WINDOWS, DOORS, EXHAUST FANS, LOUVERS, VENT PIPES AND HEATER VENTS) TO INSURE A COMPLETE, WATERTIGHT STRUCTURE UPON COMPLETION.
- COMPLETE SHOP DRAWINGS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF MASSACHUSETTS.
- HEATERS, LIGHTING, AIR PIPING AND HEATER DUCTWORK WILL BE SUSPENDED FROM THE ROOF STRUCTURE.
- INSTALL GUTTERS (CONTINUOUS AT EAVES), DOWNSPOUTS (AT EACH BUILDING COLUMN. TIE INTO UNDERGROUND DRAINAGE SYSTEM.), INSTALL TRANSITION ADAPTER BETWEEN DOWNSPOUT AND UNDERGROUND DRAINAGE RISER PIPE. SNOW JACKS OR GUARDS ON ROOF OVER ALL EXTERIOR DOORS.
- FINAL DESIGN OF THE FOUNDATION OF TURF CARE MAINTENANCE FACILITY TO BE DETERMINED BY PRE-ENGINEERED BUILDING MANUFACTURER. INCLUDE A REVISION OF THE FOUNDATION PLAN AS NECESSARY. FINAL FOUNDATION PLAN SHALL BE STAMPED BY A REGISTERED ENGINEER LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS. FOUNDATION CHANGES SHALL BE INCLUDED IN THE CONTRACTORS BID.
- ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND STANDARDS.
- STRUCTURAL STEEL, PURLINS & GIRTS: PRIME PAINT TO BE MANUFACTURERS STANDARD COLOR. TOUCH UP PRIMER AFTER ERECTION.
- METAL SIDING: MANUFACTURERS STANDARD. SIDING ALSO USED FOR CEILING PANELS IN FUELING/ EQUIPMENT WASHDOWN BAYS, COLOR - WHITE.. TRIM ALL EXPOSED EDGES WITH METAL J TRIM.
- METAL ROOFING: MANUFACTURERS STANDARD CORRUGATED ROOFING.
- ROOF AND WALL INSULATION: PRE-ENGINEERED METAL BUILDING INSULATION: FIBERGLASS BLANKET FACED WITH WHITE POLY SCRIM VAPOR BARRIER. ALL JOINTS SHALL BE LAPPED, FOLDED AND STAPLED IN ACCORDANCE WITH BUILDING MANUFACTURERS STANDARDS. THE INSULATION AND FACING SHALL CARRY A FLAME SPREAD UL RATING OF 25 OR LESS. INSULATION SHALL MEET 2009 IECC.
- ROOF: ONE (1) LAYER R13 FACED BATT INSULATION DRAPED OVER PURLINS, ONE (1) LAYER R13 UNFACED BATT INSULATION RUN PARALLEL TO PURLINS, MINIMUM R5 THERMAL SPACER BETWEEN PURLINS AND ROOF DECK. WALLS: ONE (1) LAYER R13 FACED BATT INSULATION INSTALLED PERPENDICULAR TO GIRTS, ONE (1) LAYER R5.6 RIGID INSULATION RUN BETWEEN METAL SIDING AND GIRTS OR ON THE INTERIOR OF THE GIRTS.

**PLUMBING:**

- FIXTURES: SEE PLUMBING FIXTURE SCHEDULE. FIXTURES TO BE KOHLER OR EQUAL.
- ALL PLUMBING TO BE INSTALLED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES.
- THE DRAWINGS ARE SCHEMATIC AND NOT INTENDED TO SHOW ALL FITTINGS, TRAPS, ETC.. PIPING, FIXTURES, CONTROLS, FITTINGS, SUPPORTERS, ETC., REQUIRED FOR A COMPLETE INSTALLATION, ARE TO BE SIZED, FURNISHED & INSTALLED BY THE CONTRACTOR. ADDITIONAL DRAWINGS, SPECIFICATIONS AND ENGINEERS STAMPED DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR.
- HOT & COLD WATER PIPING SHALL BE TYPE "L" COPPER. INSULATE ALL WATER PIPING.
- UNDER-SLAB PROCESS PIPING FURNISHED AND INSTALLED BY CONTRACTOR.
- PLUMBING TO INCLUDE BUT NOT LIMITED TO: SINK DRAIN SYSTEM, FLOOR DRAINS, HOT & COLD WATER PIPING, OVERHEAD MIX / LOAD FILL PIPING AND VALVES, METERS, BACKFLOW PREVENTERS, ETC., PLUMBING FIXTURES, HYDRONIC HEAT SYSTEM, PROCESS WATER PIPING, AIR PIPING, SANITARY AND GAS PIPING.
- DOMESTIC WATER SERVICE LINE WILL TRANSITION FROM HDPE TO COPPER AT 5' OUTSIDE THE BUILDING FOUNDATION WALL. INSTALL WATTS SERIES 009 REDUCED PRESSURE ZONE ASSEMBLY AT WATER LINE ENTRANCE IN MECHANICAL ROOM. COORDINATE INSTALLATION AND INSPECTIONS WITH WATER COMPANY.
- OWNER WILL PROVIDE DETAILED DRAWINGS OF:  
SUMPS, WASHDOWN AND CHEMICAL MIX EQUIPMENT, HOSE REELS

**PLUMBING FIXTURE SCHEDULE**

FIXTURE NUMBER:	DESCRIPTION:
P1	LAVATORY WITH HANDS FREE FAUCET
P2	FIBERGLASS UTILITY SINK W/ FAUCETS.
P3	EMERGENCY EYE WASH/SHOWER. (SEE SPECIALTIES)
P4	WATER CLOSET: FLOOR MOUNTED, ELONGATED BOWL, HANDS FREE FLUSHOMETER.
P5	INSTANTANEOUS ELECTRIC HOT WATER HEATER: POWERSTREAM (OR EQUAL), 120V. MOUNT UNDER LAVATORY AND AT EACH FIXTURE REQUIRING HOT WATER.
P6	URINAL: SLOAN #WES-4000 WATER FREE (OR EQUAL), WALL MOUNTED. PROVIDE 1 SPARE REPLACEMENT CARTRIDGE PER URINAL.
P7	FIBERGLASS HANDICAP SHOWER, 60" X 36", W/ FAUCET, SHOWER HEAD, GRAB BAR, BENCH, SHOWER CURTAIN & ROD.
P8	KITCHEN SINK: DOUBLE BOWL, SS, GOOSENECK FAUCET.
P9	FROST FREE SILLCOCK.
P10	HANDICAP WATER CLOSET: FLOOR MOUNTED, HANDS FREE FLUSHOMETER.
P11	HANDICAP LAVATORY: WALL MOUNTED, HANDS FREE FAUCET.
P12	HOSE REEL AND HOSE: SUPPLIED BY OWNER INSTALLED BY CONTRACTOR.
P13	MOP SINK: 24" X 24", FIBERGLASS, FAUCETS WITH BUCKET HOOK
P14	HANDICAP DRINKING FOUNTAIN: HALSEY TAYLOR # HAC8FS-QADA (OR EQUAL).
P15	WASHER / DRYER

**HEATING AND VENTILATING:**

- THE DRAWINGS ARE SCHEMATIC AND NOT INTENDED TO SHOW ALL DETAILS. EQUIPMENT, GAS PIPING, CONTROL WIRING, VENTING, FITTINGS, SUPPORTS, ETC., REQUIRED FOR A COMPLETE INSTALLATION, ARE TO BE SIZED, FURNISHED & INSTALLED BY THE CONTRACTOR. ADDITIONAL DRAWINGS, SPECIFICATIONS AND ENGINEERS STAMPED DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. ALL WORK TO BE INSTALLED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES AND SHALL SECURE ALL REQUIRED PERMITS OR APPROVALS. AS-BUILT DRAWINGS WILL BE SUBMITTED UPON COMPLETION OF WORK SHOWING DUCT AND CONCEALED PIPING LOCATIONS AND OTHER CHANGES TO THE PLANS NOT READILY VISIBLE.
- PREPARE SHOP DRAWINGS OF PROPOSED SYSTEMS FOR OWNERS REVIEW PRIOR TO ORDERING MATERIALS AND INSTALLATION. SHOP DRAWING SUBMISSION SHALL INCLUDE AT A MINIMUM: EQUIPMENT CUTS, DUCT AND REGISTER SIZING AND LAYOUT, PIPING LAYOUT AND SIZING, DUCT AND PIPE INSULATION SPECS..
- AIR AND WATER SYSTEMS SHALL BE BALANCED. A BALANCING REPORT WILL BE SUBMITTED TO THE OWNER.
- EQUIPMENT: (CONTRACTOR TO CALCULATE BTU REQUIREMENTS FOR HEATING/COOLING EQUIPMENT). HVAC SYSTEM SHALL MEET MASSACHUSETTS STRETCH ENERGY CODE.

H1 - GAS FIRED HIGH EFFICIENCY CONDENSING TYPE BOILER. LOCATE IN MECHANICAL ROOM. TRIANGLE TUBE PRESTIGE MODEL 399, OR EQUAL. PROVIDE VENTING AND COMBUSTION AIR IN-TAKE THRU EXTERIOR WALL. INSTALL IN ACCORDANCE WITH MANUFACTURERS PUBLISHED INSTALLATION INSTRUCTIONS.

H2 - HYDRO AIR AIR HANDLER WITH HEATING AND COOLING COILS, AC CONDENSER AND PAD, INSULATED SUPPLY AND RETURN DUCWORK, FIRE DAMPERS, DIFFUSERS, GRILLES, PROGRAMMABLE THERMOSTATS. CONTRACTOR TO DETERMINE IF SINGLE OR MULTIPLE H2 UNITS ARE MOST EFFICIENT TO HEAT AND COOL THE SECOND FLOOR ADMINISTRATION AREAS. COOLING ALSO REQUIRED IN MECHANICS OFFICE.

HYDRONIC RADIANT FLOOR HEATING IN EQUIPMENT MAINTENANCE AREA (INCLUDES: EQUIPMENT MAINTENANCE, GRINDING, PARTS, MECHANIC OFFICE). SYSTEM TO INCLUDE: WIRSBO 5/8" DIA. PEX TUBING, OR EQUAL, SPACED NOT MORE THAN 12" ON CENTER THROUGHOUT THE ENTIRE FLOOR AREA OF EQUIPMENT MAINTENANCE, GRINDING, MECHANICS OFFICE AND PARTS. 1" RIGID INSULATION BETWEEN SLAB AND SOIL. PROVIDE ONE CONTROL ZONE FOR EQUIPMENT MAINTENANCE WITH REMAINING ROOMS ON A SEPARATE ZONE. PROVIDE CIRCULATOR VALVES AND CONTROLS AS REQUIRED.

(UNIT HEATER INFORMATION IS FOR PRELIMINARY BUDGET PRICING ONLY)

UNIT HEATER - #H3: DAYTON (OR EQUAL), LOW PROFILE UNIT HEATER, CEILING MOUNTED, 4" FLUE, DOUBLE WALL VENT THRU GABLE END WALL, GAS, 120/1/60 SUPPLY VOLTAGE, 1/2" GAS LINE, 24V PROGRAMABLE THERMOSTAT.

UNIT HEATER - #H4: QMARK (OR EQUAL), HAZARDOUS LOCATION ELECTRIC UNIT HEATER, 480/1/60 SUPPLY VOLTAGE, CEILING MOUNTED, 24V PROGRAMABLE THERMOSTAT. SIZE TO MAINTAIN SPACES AT 50 DEGREES FARENHEIGHT.

ELECTRIC BASEBOARD HEATER IN ENVIRONMENTAL MANAGEMENT CENTER UTILITY ROOM. 3' LONG MINIMUM 750W WITH INTEGRAL THERMOSTAT.

INSTALL CODE REQUIRED VENTILATION EXHAUST FANS (NOT SHOWN ON PLANS) AND RELATED DUCT WORK AND CONTROLS AS FOLLOWS:

- JANITORS CLOSET - 50 CFM
- WOMENS BATHROOM - 50 CFM
- HC BATHROOM - 50 CFM
- MENS BATHROOM - 300 CFM
- MENS LOCKER ROOM - 300 CFM

DESIGNATED EXHAUST FANS: (FAN INFORMATION IS FOR PRELIMINARY BUDGET PRICING ONLY)

EXHAUST FAN - #EF1: DAYTON (OR EQUAL) HAZARDOUS LOCATION PANEL FAN, MODEL #3XK51, 12" DIA., 1217 CFM, 115/1/60 SUPPLY VOLTAGE, SUPPLY INTAKE GUARD AND ALUMINUM WALL SHUTTER. MD1 - MOTORIZED DAMPER MAKEUP AIR. OPERATE FROM CIRCUIT BREAKER.

EXHAUST FAN - #EF2: DAYTON (OR EQUAL) HAZARDOUS LOCATION PANEL FAN, MODEL #3XK47, 16" DIA., 2547 CFM, 115/1/60 SUPPLY VOLTAGE, INTAKE GUARD AND ALUMINUM WALL SHUTTER. MD-2 - MOTORIZED DAMPER FOR MAKEUP AIR. OPERATE FROM WALL SWITCH.

EXHAUST FAN - #EF3: HAZARDOUS LOCATION CENTRIFUGAL IN-LINE DUCT FAN, 10" DIA., 563 CFM, DUCTWORK, INTAKE GRILLE AND ALUMINUM WALL SHUTTER. MD-3 - MOTORIZED DAMPER FOR MAKEUP AIR. OPERATE FROM CIRCUIT BREAKER.

EXHAUST FAN - #EF4: DAYTON (OR EQUAL) SHUTTER MOUNTED EXHAUST FAN, MODEL #2C708, 18" DIA., 1860 CFM, INTAKE GUARD AND ALUMINUM WALL SHUTTER. . OPERATE FROM WALL MOUNTED SPEED CONTROLLER.

EXHAUST FAN - #EF5: DAYTON (OR EQUAL) SHUTTER MOUNTED FAN, MODEL #1HLA2, VARIABLE SPEED, 12" DIA., 800 CFM, 115/1/60 SUPPLY VOLTAGE, SUPPLY INTAKE GUARD AND ALUMINUM WALL SHUTTER. OPERATE FROM SPEED CONTROL W/ PILOT LIGHT.

5. ELECTRICAL DEVICES (LIGHTS, EMERGENCY LIGHTS, EXIT LIGHTS, UNIT HEATERS, FANS, MOTORS, DAMPERS, SWITCHES, DISCONNECTS, CONDUIT AND RECEPTACLES) IN FUELING, CHEMICAL STORAGE, FERTILIZER STORAGE AND MIX & LOAD SHALL BE DESIGNED FOR HAZARDOUS LOCATION, CLASS I, DIVISION 1.

6. ELECTRICAL DEVICES IN EQUIPMENT WASHDOWN AND MIX& LOAD SHALL BE DESIGNED FOR A HIGH MOISTURE AND WET CONDITIONS.

**SPRINKLER:**

- SPRINKLER SYSTEM IS DESIGN-BUILD. IT SHALL MEET ALL REQUIREMENTS OF FEDERAL, STATE AND LOCAL AGENCIES. DESIGN SHALL BE APPROVED BY OWNER'S INSURANCE CARRIER PRIOR TO COMMENCEMENT OF INSTALLATION. ALL DRAWINGS SHALL BEAR THE STAMP OF A REGISTERED ENGINEER LICENSED TO DO WORK IN THE COMMONWEALTH OF MASSACHUSETTS.
- PROVIDE A COMPLETE SYSTEM, INCLUDING BUT NOT LIMITED TO: BACKFLOW PREVENTER, VALVES, GAUGES AND CONTROLS, ZONING OF SYSTEM, TEST DRAINS, FLOW SWITCHES, ALARM VALVE, TESTING, SPARE HEADS, ANTI FREEZE, TIE TO FIRE ALARM SYSTEM. ACTUAL PIPE SIZE WILL BE DETERMINED BY DESIGN BUILDER AND SHALL BE INCLUDED IN THE CONTRACTORS BID.
- CONCEAL PIPING WHERE POSSIBLE.
- USE SEMI-RECESSED HEADS IN ROOMS WITH CEILINGS. CENTER HEADS IN ACT WHERE POSSIBLE.
- THE FOLLOWING AREAS ARE UNHEATED: FUELING BAY.

**SPECIAL CONSTRUCTION:**

- PLATFORM TENNIS COURTS: REMOVE AND REPLACE EXISTING PLATFORM TENNIS COURTS AND WARMING HUT, ADD FOURTH COURT TO THE THREE EXISTING. INSTALL RESDECK PAVER TILES AND ALUMINUM EDGE TRIM AS SHOWN ON THE ROOF PLAN. REPLACE EXISTING T-111 SKIRTING WITH 1" RIGID INSULATION, 3/8" ZIP SYSTEM SHEATHING, WOOD CLAPBOARDS AND AZEK TRIM TO MATCH TURF CARE MAINTENANCE FACILITY FINISH. INSTALL NEW HOT AIR HEATING SYSTEM FOR COURT DE-ICING, RECONNECT WARMING HUT UTILITIES TO NEW TURF CARE MAINTENANCE FACILITY.

**ELECTRICAL:**

- FIXTURES AND EQUIPMENT: SEE ELECTRICAL FIXTURE & EQUIPMENT SCHEDULE.
- ALL ELECTRICAL TO BE INSTALLED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES.
- THE DRAWINGS ARE SCHEMATIC AND NOT INTENDED TO SHOW ALL FITTINGS, ETC.. ELECTRICAL SERVICE, PIPING, WIRING, DISCONNECTS, PANELS, FIXTURES, CONTROLS, FITTINGS, SUPPORTS, ETC., REQUIRED FOR A COMPLETE INSTALLATION, ARE TO BE SIZED, FURNISHED & INSTALLED BY THE CONTRACTOR. ADDITIONAL DRAWINGS, SPECIFICATIONS AND ENGINEERS STAMPED DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR.
- ELECTRICAL DEVICES (LIGHTS, EMERGENCY LIGHTS, EXIT LIGHTS, UNIT HEATERS, FANS, MOTORS, DAMPERS, SWITCHES, DISCONNECTS, CONDUIT AND RECEPTACLES) IN FUELING, CHEMICAL STORAGE, FERTILIZER STORAGE AND MIX & LOAD BAYS SHALL BE DESIGNED FOR HAZARDOUS LOCATION, CLASS I, DIVISION 1.
- ELECTRICAL DEVICES IN MIX & LOAD, BULK MATERIAL STORAGE AND WASH DOWN BAYS SHALL BE DESIGNED FOR HIGH MOISTURE AND WET CONDITIONS.
- PROVIDE EXIT AND EMERGENCY LIGHTING DESIGN BY CONTRACTOR TO MEET CODE AND /OR LOCAL AUTHORITIES APPROVAL. OUTSIDE EMERGENCY EGRESS DOOR LIGHTS NOT SHOWN ON PLANS. LIGHTS AND EXIT SIGNS SHOWN MAY NOT REFLECT ACCURATE QUANTITY OR LOCATIONS.
- FIRE ALARM AS REQUIRED BY CODE AND /OR LOCAL AUTHORITIES.
- SECURITY: BY OWNER.
- INSTALL NEW 400 AMP, THREE PHASE ELECTRICAL SERVICE FOR THE TURF CARE MAINTENANCE FACILITY. RE-FEED TO SUB-PANEL IN THE ENVIRONMENTAL MANAGEMENT CENTER, PLATFORM TENNIS WARMING HUT AND BULK MATERIAL STORAGE. 100 AMP SINGLE PHASE SERVICE TO COMFORT STATION. PROVIDE 20% SPARE CIRCUITS IN PANELS. CONTRACTOR TO VERIFY SERVICE SIZES. REFEED AND KEEP IN SERVICE IRRIGATION PUMP AND FUEL PUMPS CURRENT FED FROM EXISTING MAINTENANCE BUILDING.
- TELEPHONE AND DATA SYSTEM BY OWNER. WIRING AND JACKS BY CONTRACTOR.
- RUN WIRING CONCEALED WHERE POSSIBLE. EXPOSED WIRING TOP BE INSTALLED IN EMT.
- INSTALL EMERGENCY SHUT DOWN SYSTEM AT FUEL STORAGE AND DISPENSING AREA.
- LIGHTING FIXTURES:(LIGHT FIXTURE INFORMATION IS FOR PRELIMINARY BUDGET PRICING ONLY)

- FIXTURE #A: COOPER METALUX (OR EQUAL), 2X2 PARABOLIC RECESSED FLOURESCENT TROFFER, WHITE TRIM, 9 CELLS, 2-T8 LAMPS, ELECTRONIC BALLAST.
- FIXTURE #B: BATHROOM FAN/LIGHT COMBINATION FIXTURE, DUCT TO EXTERIOR, TERMINATE WITH WEATHER HOOD. MOTION SENSOR TO TURN ON, TIMER TO TURN OFF.
- FIXTURE #C: 2-T8 LAMPS, 48" FLOURESCENT FIXTURE, WRAPAROUND ACRYLIC PRISMATIC DIFFUSER.
- FIXTURE #D: WALL MOUNTED WEATHER PROOF INCANDESCENT FIXTURE, 25W COMPACT FLOURESCENT, ELECTRONIC BALLAST, DIE CAST ALUMINUM.
- FIXTURE #E: LITHONIA LIGHTING, DIE CAST ALUMINUM WALL PACK, #WST 2/42TRT MD MVOLT PE LPI, 2-42W COMPACT FLOURESCENT, FULL CUTOFF. ENERGIZE WITH PHOTO CELL. TURN ON/OFF WITH MOTION SENSOR.
- FIXTURE #F: LUMARK # PLV5-C-GG-2G-UNV (OR EQUAL), SMALL VAPORTIGHT, CEILING MOUNTED, 42W COMPACT FLOURESCENT.
- FIXTURE #G: APPLETON #AP1575 (OR EQUAL), 300 WATT, EXPLOSION PROOF INCANDESCENT FIXTURE, PENDANT MOUNT.
- FIXTURE #H: DAYTON (OR EQUAL), 56", 3 SPEED CEILING FAN, PENDANT MOUNTED, WALL MOUNTED SWITCH.
- FIXTURE #I: GENERAL PURPOSE 96" INDUSTRIAL FLOURESCENT FIXTURE, 4-96" T8 LAMPS, NON-APERTURED REFLECTOR, ELECTRONIC BALLAST.
- FIXTURE #J: COOPER METALUX (OR EQUAL), WET LOCATION FLOURESCENT, 96", HIGH IMPACT ACRYLIC LENS, 2-96" T8 LAMPS, ELECTRONIC BALLAST.

**LIGHTNING PROTECTION SYSTEM:**

- THE LIGHTNING PROTECTION CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES TO PROVIDE A COMPLETE LIGHTNING PROTECTION SYSTEM FOR THE TURF CARE MAINTENANCE FACILITY, FUELING/EQUIPMENT WASHDOWN CENTER AND ENVIRONMENTAL MANAGEMENT CENTER .

THE SYSTEM SHALL INCLUDE AIR TERMINALS, DOWNLEADS, GROUNDING SYSTEM WITH CONNECTION TO ALL OTHER BUILDING GROUNDED SYSTEMS, AND SURGE SUPPRESSION AT SERVICE ENTRANCES. THE SYSTEM SHALL COMPLY WITH ALL PERTINENT INDUSTRY STANDARDS:

- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARD #780
- LIGHTNING PROTECTION INSTITUTE (LPI) STANDARD #175
- UNDERWRITERS LABORATORIES, INC. (UL) STANDARD #96A

THE MANUFACTURER OF THE SYSTEM COMPONENTS SHALL BE A MANUFACTURER MEMBER OF THE LIGHTNING PROTECTION INSTITUTE, AND ALL MATERIALS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH THE REQUIREMENTS OF UL STANDARD #96.

THE SYSTEM INSTALLATION SHALL BE PERFORMED BY A UL LISTED LIGHTNING PROTECTION INSTALLER UNDER THE SUPERVISION OF AN LPI CERTIFIED MASTER INSTALLER.

UPON COMPLETION THE SYSTEM SHALL BE INSPECTED BY UL, UNDER THEIR MASTER LABEL PROGRAM, WITH A CERTIFICATE STATING COMPLIANCE WITH UL STANDARD #96A DELIVERED TO THE BUILDING OWNER.

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REV.#	DATE	REVISION	TURF CARE CENTER		
			CLIENT: WELLESLEY COUNTRY CLUB		
			LOCATION: WELLESLEY, MASSACHUSETTS		
			TITLE: SPECIFICATIONS		
			SCALE:	DATE: 8.25.2012	DRAWN BY:RWM

SP2

EQUIPMENT SCHEDULE: (NOTE: 1. CONTRACTOR TO PROVIDE POWER AND PIPING TO ALL EQUIPMENT.  
2. SHIM AND SECURE EQUIPMENT ON SLOPED FLOORS TO INSURE A LEVEL INSTALLATION.)

EQUIPMENT	FURNISHED BY	INSTALLED BY:	COMMENTS:
VEHICLE LIFT	OWNER	CONTRACTOR	120V/11/60, 20 AMP5
AIR COMPRESSORS	OWNER	CONTRACTOR	230V/11/60, 20 AMP5
WELDER (LOCATE IN FIELD)	OWNER	CONTRACTOR	230V/11/60, 50 AMP5
REEL GRINDER	OWNER	OWNER	120V/11/60, 20 AMP5
DRILL PRESS(LOCATE IN FIELD)	OWNER	OWNER	120V/11/60, 20 AMP5
BEDKNIFE GRINDER	OWNER	OWNER	120V/11/60, 20 AMP5
HOSE REELS	OWNER	CONTRACTOR	CONTRACTOR TO FURNISH FRAME TO MOUNT REEL TO BUILDING FRAMING
PARTS WASHER(LOCATE IN FIELD)	OWNER	OWNER	120V/11/60, 20 AMP5
PRESSURE WASHER	OWNER	OWNER	120V/11/60, 20 AMP5
WASHDOWN EQUIPMENT, A SUMP, MOTORIZED B SUMP, OIL WATER SEPARATOR/FLOOR DRAIN	CONTRACTOR	CONTRACTOR	CONTRACTOR TO COORDINATE WORK WITH SUPPLIER: ESD, JOHN GLOVER, (716) 316-7684
POLY. MIX # STORAGE TANKS, TRANSFER PUMP, C SUMPS	CONTRACTOR	CONTRACTOR	CONTRACTOR TO COORDINATE WORK WITH SUPPLIER: CARBTROL CORP. AUSTIN SHEPHERD 203.337.4340 A.SHEPARD@CARBTROL.COM
SUMP PIPING	CONTRACTOR	CONTRACTOR	PIPING (USE SANITARY FITTINGS)
WASHDOWN WATER PROCESS PIPING, AIR PIPING # HOSE REELS	CONTRACTOR	CONTRACTOR	HOSE REELS FURNISHED BY OWNER.
WASTE OIL TANK	OWNER	CONTRACTOR	
GASOLINE # DIESEL TANK (RELOCATE EXISTING) APPLIANCES	OWNER	CONTRACTOR	VENT AS PER FIRE DEPT.

DOOR SCHEDULE:

DR #	SIZE	DOOR	FRAME	THRESHOLD	WEATHER STRIP	CLOSER W/ HOLD OPEN	BUTTS	DOOR STOP	NOTES
A	3'-0"X7'-0"	METAL B-LABEL	METAL B-LABEL	NO	NO	YES	YES	YES	5"X20" VISION LITE EXIT DEVICE
B	3'-0"X7'-0"	INSUL.HM	HM	YES	YES	YES	YES	YES	EXIT DEVICE, HALF LITE W/ GRILLE
C	3'-0"X7'-0"	WD B-LABEL	HM B-LABEL	YES	YES	YES	YES	YES	EXIT DEVICE 5"X20" VISION LITE
D	2'-3"-0"X7'-0"	INSUL. HM	HM	YES	YES	YES	YES	NO	LOCKSET, T#B DEADBOLT
E	1'-0"-0"X1'-0"-0"	INSUL METAL	MTD ON WD PADS	--	YES	--	--	--	MANUAL OPERATION DEAD BOLT LOCK
F	1'-0"-0"X1'-0"-0"	METAL B-LABEL	MTD ON WD PADS	--	--	--	--	--	FIRE SHUTTER
G	1'-2"-0"X1'-4"-0"	INSUL METAL	MTD ON WD PADS	--	YES	--	--	--	POWER OPERATOR HIGH LIFT TRACK FOLLOW ROOF SLOPE
H	1'-4"-0"X1'-4"-0"	INSUL METAL	MTD ON WD PADS	--	YES	--	--	--	POWER OPERATOR HIGH LIFT TRACK FOLLOW ROOF SLOPE
I	1'-2"-0"X8'-0"	INSUL METAL	MTD ON WD PADS	--	YES	--	--	--	POWER OPERATOR
J	3'-0"X7'-0"	WD	HM	NO	NO	YES	YES	YES	PUSH/PULL, SS STEEL KICK,
K	3'-0"X7'-0"	WD	HM	NO	NO	NO	YES	NO	LOCK SET
L	2'-2"-6"X7'-0"	WD	HM	NO	NO	NO	YES	YES	LOCK SET
M	3'-0"X7'-0"	WD	HM	NO	NO	NO	YES	YES	LOCK SET
N	2'-0"X7'-0"	WD	HM	NO	NO	NO	YES	YES	LOCK SET
O	3'-0"X7'-0"	WD	HM	NO	NO	NO	YES	NO	PRIVACY SET
P	2'-3"-0"X7'-8"	HM	HM	NO	NO	NO	YES	NO	TOP # BOTTOM DEAD BOLTS LOCK SET
Q	3'-0"X7'-0"	HM	HM	NO	NO	NO	YES	YES	LOCK SET
R	2'-3"-0"X7'-0"	HM	HM	NO	NO	NO	YES	YES	LOCK SET
S	3'-0"X7'-0"	HM	HM	NO	NO	YES	YES	YES	DB,PASSAGE SET LOUVER
T	3'-0"X7'-0"	HM	HM	YES	YES	YES	YES	YES	LOCK SET LOUVER
U	1'-2"-0"X1'-0"-0"	INSUL METAL	MTD ON WD PADS	--	YES	--	--	--	POWER OPERATOR EXTERIOR KEY PAD

ROOM FINISH SCHEDULE:

ROOM	FLOOR MATL./FIN	BASE	WALLS MATL./FIN	CEILING MATL./FIN	NOTES
<b>ENVIRONMENTAL MANAGEMENT CENTER:</b>					
CHEMICAL STORAGE	CONC/EPX (NON SLIP)	CONC/EPX	CONC/CMU/EPX	GYP/EPX	2-LAYERS 3/8" GYP ON CEILING
MIX # LOAD/PREMIX	CONC/EPX (NON SLIP)	CONC/EPX	CONC/CMU/EPX	GYP/EPX	2-LAYERS 3/8" GYP ON CEILING
FERTILIZER STORAGE	CONC/EPX (NON SLIP)	CONC/EPX	CONC/CMU/EPX	GYP/EPX	2-LAYERS 3/8" GYP ON CEILING
UTILITY	CONC/EPX	CMU/PTD	CMU/PTD	GYP/PTD	
<b>TURF CARE MAINTENANCE FACILITY:</b>					
SEED ROOM	CONC/SEALED	NONE	CMU/CONC/PTD	CONC/PTD	
UTILITY	CONC/SEALED	NONE	CMU/CONC/PTD	CONC/PTD	
STAIRS	RUBBER TREADS	WD/PTD	CMU/GYP/CONC/PTD	ACT	
EQUIP. HIGH BAY	CONC/SEALED	NONE	PLY/CMU/PTD	EXPOSED	PLY. TO MIN. 8' ON ALL WALLS
EQUIP. MAINT.	CONC/EPX	NONE	PLY/CMU/PTD	EXPOSED	PLY. TO MIN. 8' ON ALL WALLS
PARTS	CONC/SEALED	NONE	PLY/CONC/PTD	GYP/PTD	
OFFICE	VCT	VINYL	GYP/PTD	GYP/PTD	
SHOP EQUIP.	CONC/SEALED	NONE	PLY/PTD	GYP/PTD	
GRINDING	CONC/EPX	NONE	PLY/PTD	GYP/PTD	
SM. TOOL STOR.	CONC/SEALED	NONE	PLY/PTD	GYP/PTD	
EQUIP. STORAGE	CONC/SEALED	NONE	CMU/CONC/PTD	CONC/PTD	
LOFT	PLY/PTD	NONE	PLY/PTD	EXPOSED	
CARPENTRY	PLY/PTD	NONE	PLY/PTD	ACT	
STORAGE	PLY/PTD	NONE	PLY/PTD	ACT	
CORRIDOR	VCT	VINYL	GYP/PTD	ACT	
WOMENS BATH	VCT	VINYL	GYP/PTD	ACT	
HC BATH	VCT	VINYL	GYP/PTD	ACT	
JANITOR	VCT	VINYL	GYP/PTD	ACT	
BREAK/TRAINING	VCT	VINYL	GYP/PTD	ACT	
MENS BATH	VCT	VINYL	FRP	ACT	
MENS LOCKER	VCT	VINYL	GYP/PTD	ACT	
SUPERINTENDENT	CPT	VINYL	GYP/PTD	ACT	
ASST. SUPT.	CPT	VINYL	GYP/PTD	ACT	
<b>FUELING/EQUIPMENT WASHDOWN CENTER:</b>					
EQUIPMENT FUELING	CONC/SEALED	NONE	CONCRETE/UNPAINTED	MTL/PREF.	
EQUIPMENT WASHDOWN	CONC/EPX	CONC/EPX	CONC/CMU/EPX	MTL/PREF.	
<b>ENVIRONMENTAL MANAGEMENT CENTER:</b>					
MIX/LOAD/PREMIX	CONC/EPX	CONC/EPX	CMU/EPX	GYP/PTD	2-LAYERS GYP
CHEM. STORAGE	CONC/EPX	CONC/EPX	CMU/EPX	GYP/PTD	2-LAYERS GYP
FERT. STORAGE	CONC/EPX	CONC/EPX	CMU/EPX	GYP/PTD	2-LAYERS GYP
UTILITY	CONC/SEALED	NONE	CMU/PTD	GYP/PTD	
<b>COMFORT STATION:</b>					
MENS	CONC/EPX	VINYL	FRP	GYP/PTD	
WOMENS	CONC/EPX	VINYL	FRP	GYP/PTD	
SHELTER	CONC/SEALED	NONE	WD/PTD	WD/PTD	
UTILITY	CONC/SEALED	VINYL	GYP/PTD	GYP/PTD	
<b>BULK MATERIAL STORAGE:</b>					
BAYS	CONC/SEALED	NONE	NONE	MTL/PREF	

LEGEND:

CMU - CONCRETE MASONRY UNITS  
 CONC - CONCRETE  
 VCT - VINYL COMPOSITION TILE  
 ACT - ACOUSTIC CEILING TILE  
 WD - WOOD  
 PTD - PAINTED  
 EPX - EPOXY  
 CPT - CARPET  
 GYP - GYPSUM DRYWALL  
 PLY - 2 3/8" UNDERLAYMENT GRADE PLYWOOD  
 MTL - CORRUGATED METAL PANEL  
 PREF - PREFINISHED

NOT FOR CONSTRUCTION

REV.#	DATE	REVISION

TURF CARE CENTER  
 CLIENT: WELLESLEY COUNTRY CLUB  
 LOCATION: WELLESLEY, MASSACHUSETTS  
 TITLE: SPECIFICATIONS  
 DATE: 8.25.2012 | DRAWN BY: RWM



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