



ZONING BOARD OF APPEALS  
TOWN HALL WELLESLEY, MA 02181

JUN 30 8 50 AM '93

JOHN A. DONOVAN, JR., Chairman  
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KENDALL P. BATES

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WILLIAM E. POLLETTA  
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SUMNER H. BABCOCK

ZBA 93-51  
Petition of Peter and Eileen May  
3 Marvin Road

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday, June 17, 1993, at 8 p.m. in the Selectmen's Meeting Room (Conference Room B) at the Town Hall, 525 Washington Street, Wellesley on the petition of PETER AND EILEEN MAY requesting a Finding pursuant to the provisions of Section XVII and Section XXV of the Zoning Bylaw that the demolition of an existing one-story garage and construction of a two-story addition approximately 36 feet by 21 feet with an attached one-story garage approximately 12 feet by 14 feet at their nonconforming dwelling with less than the required left side yard setback at 3 MARVIN ROAD, in a Single Residence District, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure. Said addition will have less than the required left side yard setback.

On June 1, 1993, the petitioners filed a request for a hearing before this Authority, and thereafter due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing were Peter and Eileen May, who were accompanied by their architect, Robert Zarelli. Mr. May said that they would like to expand their house as their family is expanding. The addition would involve additional bedrooms upstairs and a family room, mudroom and one-car garage on the ground level. The addition will be less nonconforming than the existing house.

Mr. Zarelli noted that the total ground coverage, including the addition, would be 22.47%.

No other person present had any comment on the petition.

#### Statement of Facts

The nonconforming dwelling is located at 3 Marvin Road, on the corner of Amherst Road, in a Single Residence District, on a 13,400 square foot lot, with a minimum left side yard clearance of 17.6 feet.

The petitioners are requesting a Finding that the demolition of an existing nonconforming garage with a minimum left side yard clearance of 17.6 feet, and construction of a two-story addition approximately 36 feet by 21 feet with an attached one-story garage approximately 12

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feet by 14 feet, with a minimum left side yard clearance of 18.7 feet from the left rear corner of the addition, would not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

A Plot Plan dated May 27, 1993, drawn by Peter J. Ogren, Professional Land Surveyor; Floor Plans and Elevations drawn by Robert Zarelli, Architect; and photographs were submitted.

On June 15, 1993, the Planning Board reviewed the petition and voted to offer no objection to the request, but noted that with a minor adjustment, the proposed addition could be built in a conforming manner.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing. The subject dwelling does not conform to the current Zoning Bylaw, as noted in the foregoing Statement of Facts.

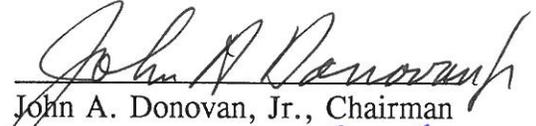
It is the opinion of this Authority that the proposed two-story addition and one-story garage will intensify the existing nonconformity, but will not create additional nonconformities as said addition will have a greater left side yard setback than the existing nonconforming structure.

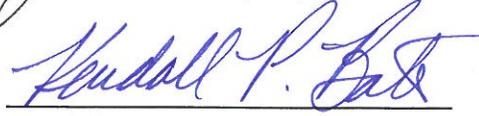
Therefore, this Authority finds that the proposed demolition of the existing garage and construction of the two-story addition and attached one-story garage shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure, subject to construction in accordance with the submitted Plot Plan and construction drawings.

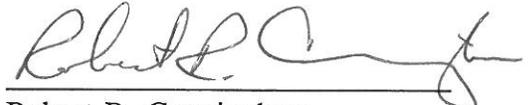
The Inspector of Buildings is hereby authorized to issue a permit for construction upon receipt and approval of a building application and detailed construction plans.

APPEALS FROM THIS DECISION,  
IF ANY, SHALL BE MADE PURSUANT  
TO GENERAL LAWS, CHAPTER 40A,  
SECTION 17, AND SHALL BE FILED  
WITHIN 20 DAYS AFTER THE DATE  
OF FILING OF THIS DECISION IN  
THE OFFICE OF THE TOWN CLERK.

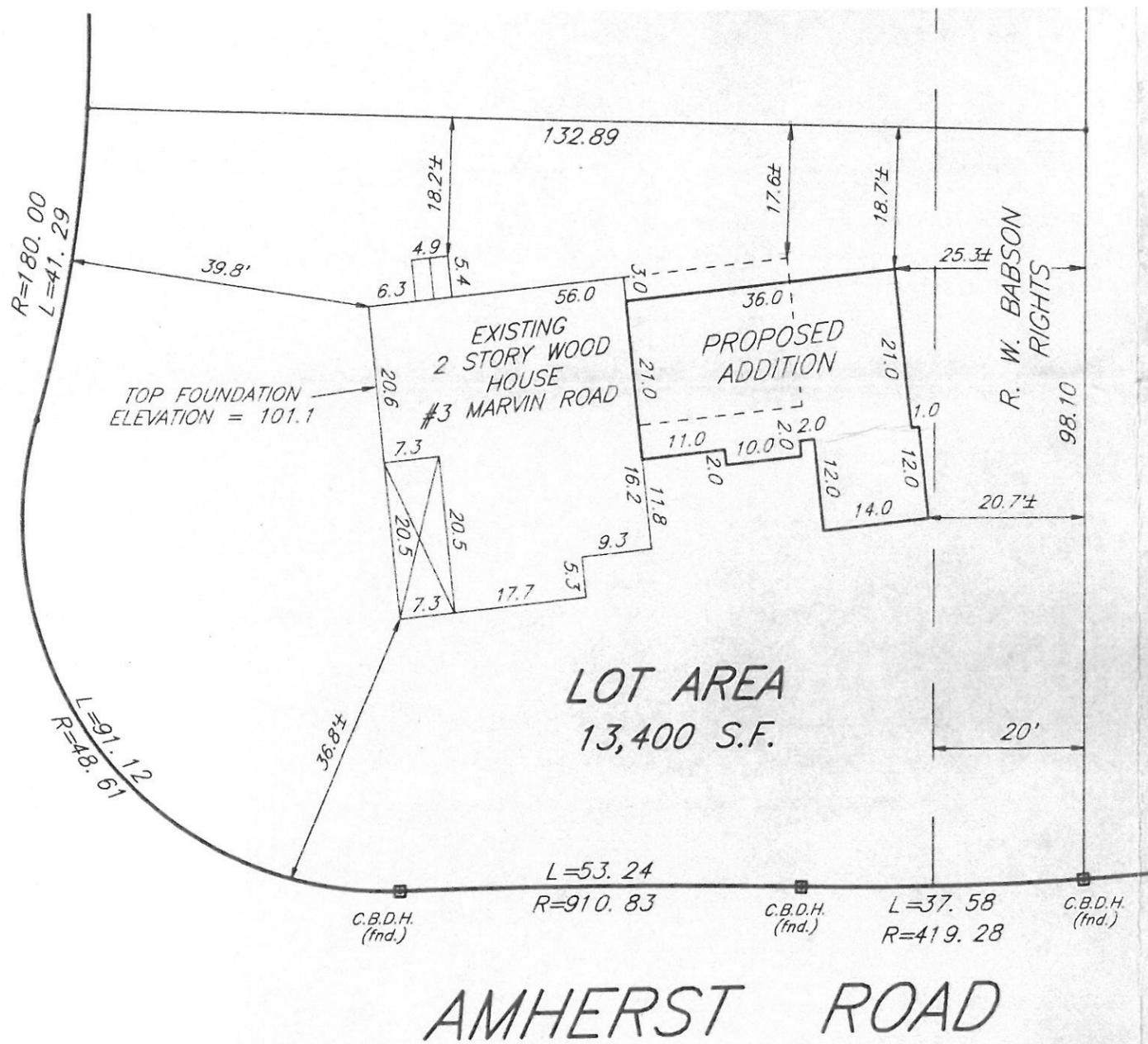
cc: Planning Board  
Inspector of Buildings  
edg

  
John A. Donovan, Jr., Chairman

  
Kendall P. Bates

  
Robert R. Cunningham

MARVIN ROAD



LOT AREA  
13,400 S.F.

AMHERST ROAD

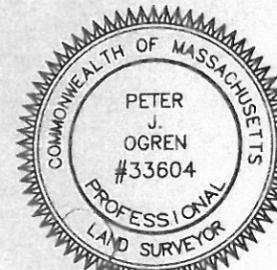
PLAN OF LAND  
IN  
WELLESLEY,

© ASSUMED RIM  
ELEV. = 100.00

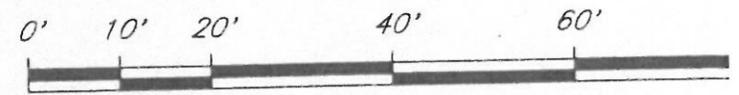
ZONE:

MINIMUM SETBACKS:

- FRONT = 30'
- SIDE = 20'
- REAR = 10'



SCALE: 1" = 20'



HAYES ENGINEERING, INC.  
CIVIL ENGINEERS &  
LAND SURVEYORS



SHOWING PROPOSED ADDITIC  
SEE BOARD OF APPEALS CAS.