



ZONING BOARD OF APPEALS
TOWN HALL WELLESLEY, MA 02181

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ZBA 95-26
Petition of Town of Wellesley/Permanent Building Committee
Police Station/485 Washington Street

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday, March 30, 1995 at 8 p.m. in the Selectmen's Meeting Room (Conference Room B) at the Town Hall, 525 Washington Street, Wellesley, on the petition of TOWN OF WELLESLEY/PERMANENT BUILDING COMMITTEE requesting a Special Permit for Site Plan Approval pursuant to the provisions of Section XVIA and Section XXV of the Zoning Bylaw to demolish the existing Police Station and construct a two-story Police Station with a height of 37.5 feet, a footprint of 7,970 square feet and a floor area of 21,200 square feet on a 36,577 square foot lot at 485 WASHINGTON STREET, in a Limited Residence District. A twenty space parking lot and associated landscaping will replace the existing 16 space parking lot.

A Special Permit pursuant to the provisions of Section VI A 1, Section II A 8 (i) and Section XXV of the Zoning Bylaw is requested for construction of a municipal building in a Limited Residence District, a use not allowed by right in said District.

On March 9, 1995, the petitioner filed a request for a hearing before this Authority, and thereafter due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing were Randy Becker, Chairman of the Permanent Building Committee, and Brett Donham, project architect. Mr. Becker was accompanied by Lois Sullivan, Mark Massey and Gardner Ertman, members of the Permanent Building Committee.

Mr. Becker stated that at the 1994 Town Meeting, the Permanent Building Committee was authorized to proceed with the design of the project based on the Selectmen's decision to utilize the existing site. The existing structure will be demolished and replaced with the new Police Station according to the submitted plans.

Using a graphic representation of the site plan, Mr. Donham showed the location of the new buildings, the driveway, and the additional parking. He explained that the site has an easement for the former Cochituate Aqueduct, which runs through it. The aqueduct is under the jurisdiction of the Municipal Light Company. The proposed building will encroach on the Aqueduct.

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The Board asked if a permit was required to build over the Aqueduct. Mr. Donham replied that a formal permit was not required, but that approval from the Municipal Light Board is necessary. The Board stated that written permission from the MLB would be a condition in the decision.

Mr. Donham presented elevations of all sides of the building. In order to continue the adjacent park across the front of the building, the driveway has been narrowed. The DPW has insisted that the hedge be removed; the alternative is a low stone wall.

Mr. Donham stated that the new building will have a usable floor area of 21,000 square feet while the existing building has a floor area of about 8,000 square feet. The submitted plan is about 1,000 square feet less than the original plan presented at the 1994 Town Meeting.

The Board questioned whether the proposed building would be adequate to service Town needs in the distant future. Mr. Donham responded that the building had been designed to coincide with the maximum build-out of the Town. It will service Town needs to an indefinite future as, according to information received from the Planning Board and the MAPC, the population of the town will remain relatively unchanged. The installation of Emergency 911 and its impact on dispatch have also been recognized in the design.

Mr. Donham said that the design has sufficient flexibility to provide future modifications to enable increased usage. Space has been sized to allow increased personnel, and unassigned space has been left in the basement for future expansion.

Mr. Donham explained that there is a net increase of 4 parking spaces. One of the peculiarities of the site is that the lot line between the Police Station property and the Housing Authority land runs through the site on a bias, so that the rear parking lot is shared between the Police Department and the Housing Authority. Four or five of the spaces will be labelled "Public". The Fire Chief has reviewed the plan, and determined that the turning radius is sufficient for any fire equipment.

The Board questioned where the high voltage unit would be located. Mr. Donham replied that the location has been moved from the rear to the front at the insistance of the Municipal Light Board. The Board noted that if the unit were to be located in the front, it would have to have a "Danger" sign of some type to protect the public.

The Board asked if any plans had been developed for erosion control. Mr. Donham said that the site is absolutely flat. There is a provision in the building specifications as to protection for existing property. Haybales could be placed around the drainage structures to ensure that there would be no siltation into the drainage system. Earth or debris from the excavation

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cannot be left in the parking lot, as the contractor has required that the access and the parking lot remain open and available to the tenants of Morton Circle.

Lynn Mix, 14 Atwood Street, asked where the Police Station would be relocated during construction. Mr. Becker said that negotiations are under way with the State to move the Police Department to the Mass. Highway Department building at Route 9 and 128.

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Statement of Facts

This Authority has made a careful study of the materials submitted and the information presented at the hearing. The subject property is located at 485 Washington Street, in a Limited Residence District, on a 36,577 square foot lot, which is owned by the Town of Wellesley. The Cochituate Aqueduct, under the jurisdiction of the Municipal Light Board, bisects the front portion of the property. The property to the left and rear is owned by the Wellesley Housing Authority. The property to the right is zoned Business District.

Pursuant to the provisions of Section XVIA-C, the proposed construction was deemed a Project of Significant Impact requiring a Special Permit to be issued by the Planning Board, as the floor area of the proposed building exceeded an aggregate total floor area of 10,000 square feet. On March 6, 1995, the Planning Board voted to issue the requested Special Permit, which was filed in the office of the Town Clerk on March 7, 1995.

The petitioner is requesting a Special Permit for Site Plan Approval to demolish the existing Police Station and to construct a new two-story Police Station which would have a height of 37.5 feet, a footprint of 7,970 square feet and a floor area of 21,200 square feet including a basement, first and second floor. A 20 space parking lot and associated landscaping will replace the existing 16 space lot. Additional parking is provided in an existing lot which is shared by the Police Station and the Wellesley Housing Authority.

The following plans were submitted: Survey with Borings/Test Pit Locations (SU-1) dated October 18, 1994, drawn by John W. DeLano, Registered Professional Land Surveyor; Site Plan Layout (L-2) dated February 14, 1995, drawn by Brett Donham, Registered Architect; Site Plan; Water, Storm & Sanitary (L-3) dated February 7, 1995, drawn by Peter Swanson, Professional Engineer; Grading Plan (L-4) dated February 14, 1995, drawn by Clara Batchelor, Registered Landscape Architect; Planting Plan (L-5) dated February 14, 1995, drawn by Clara Batchelor, Registered Landscape Architect; Site Details, Water, Storm & Sanitary (L-6) dated February 7, 1995, drawn by Peter Swanson, Professional Engineer; Site Details (L-7, L-8) dated February 14, 1995, drawn by Clara Batchelor, Registered Landscape Architect; Site Plan (E-1) dated February 14, 1995, drawn by John DeVeuve, Registered Professional Engineer; and Basement Floor Plan (A-1), First Floor Plan (A-2), Second Floor

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Plan (A-3), Front Elevations (A-6), and Rear Elevations (A-7). All the "A" plans are dated February 14, 1995 and were drawn by Brett Donham, Registered Architect.

An Official Development Prospectus, Storm Drainage Calculations prepared by Peter Swanson; Results of Test Borings prepared by Carr-Dee Corp., and Fire Flow Data prepared by Roger Wardwell of Total Mechanical Planning were also submitted.

The Design Review Board held preliminary reviews of the project on November 3, 1994 and February 9, 1995. At the February meeting, the Design Review Board voted to approve the design of the Police Station and to waive the Final Design Review.

Copies of all submitted materials and plans were also sent to the Planning Board, Wetlands Protection Committee, Town Engineer, Board of Health, and the Fire Chief as required by Section XVIA of the Zoning Bylaw. Written responses from each of the above were received and are on file at the office of the Board of Appeals.

The petitioner is also requesting a Special Permit pursuant to Section VI-A-1 and Section II A 8 (i) of the Zoning Bylaw to allow the construction of a building for municipal use in a Limited Residence District, a use not allowed by right in said district.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing. The proposed Police Station, with a footprint of 7,970 square feet and a floor area of 21,200 square feet constitutes a Major Construction Project pursuant to Section XVIA of the Zoning Bylaw because it includes the construction of 2,500 or more square feet of gross floor area.

It is the unanimous decision of this Authority that the submitted plans, as noted in the foregoing Statement of Facts, comply with the Zoning Bylaws of the Town, protect the safety, convenience and welfare of the public, minimize additional congestion in public and private ways, and insure adequate protection for water, sewerage and drainage. Furthermore, compliance with Section XVI, Section XXII and Section XXV of the Zoning Bylaw is ensured.

A Special Permit is hereby granted and Site Plan Approval is given by this Authority pursuant to Section XVIA and Section VI of the Zoning Bylaw, subject to the conditions attached hereto as Addendum A.

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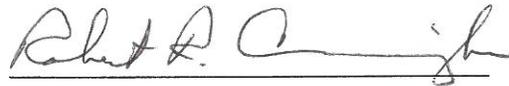
It is the unanimous decision of this Authority to grant the requested Special Permit for the construction of a building for municipal use in a Limited Residence District, as the project adheres to all of the Special Permit standards enumerated in Section XXV of the Zoning Bylaw and is in harmony with the intent and purpose of the Zoning Bylaw.

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN
THE OFFICE OF THE TOWN CLERK.

cc: Planning Board
Municipal Light Board
Town Engineer
Inspector of Buildings
edg



Kendall P. Bates
Kendall P. Bates, Acting Chairman



Robert R. Cunningham
Robert R. Cunningham



Sumner H. Babcock
Sumner H. Babcock

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ADDENDUM A

1. All work shall be performed in accordance with the plans submitted and on file with this Authority, with the following exceptions:
 - a. Sheet L-7, detail 5, for sloped granite curb shall be revised to Town of Wellesley, Department of Public Works, Sloped Granite Curbing Detail, Type SB.
 - b. The hedge shown on Sheet L-5 shall be replaced with a low stone wall as shown on Sheet L-7, detail 7.
2. Written approval from the Municipal Light Board allowing encroachment of the proposed Police Station on the Cochituate Aqueduct shall be submitted to the office of the Board of Appeals prior to the issuance of any Building Permit.
3. Haybales shall be placed around all drainage structures during the period of excavation and until the excavated material is removed from the site.
4. All design and construction must comply with all applicable state and local codes.
5. All requirements of the Town of Wellesley Fire Department shall be complied with.
6. All requirements of the Department of Public Works shall be met, including but not limited to the requirement that water, sewer, and electric connections, together with drainage connections be made, installed and maintained in accordance with DPW standards.
7. Upon completion of the project, a complete set of site utility plans shall be submitted to the Department of Public Works.
8. A copy of the Occupancy Permit issued by the Inspector of Buildings shall be submitted to this Authority at the time of issuance.

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