

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

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ZBA 2004-60

Petition of Panagiotis Metaxas and Stella Kakavouli
8 Pine Ridge Road

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday, September 9, 2004 at 7:30 p.m. in the Great Hall at the Town Hall, 525 Washington Street, Wellesley, on the petition of PANAGIOTIS METAXAS AND STELLA KAKAVOULI, requesting a Special Permit/Finding pursuant to the provisions of Section XVII and Section XXV of the Zoning Bylaw that enclosure of the existing nonconforming 11 foot by 12 foot porch with less than required left side yard setback and construction of a 12 foot by 36.2 foot by 23.1 foot by 12 foot second story addition with less than required left side yard setback, and enclosure of the existing 5.7 foot by 5.7 foot nonconforming entry platform with less than required front yard setback, at their nonconforming dwelling with less than required left side, right side and front yard setbacks, at 8 PINE RIDGE ROAD, in a 10,000 square foot Single Residence District, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

On August 23, 2004, the petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing were Panagiotis Metaxas and Stella Kakavouli, who said that they wanted to create more space on the first floor for a family room and bathroom and extend the second floor to accommodate a bathroom and a second bedroom. They wanted to enclose the front entry platform as the front door leads directly into the living room. Mr. Metaxas said they had made a special effort to match the existing design of the house so that the changes look like they are symmetric, not an afterthought.

The Board asked for clarification of the location of the driveway. Mr. Metaxas said that the driveway runs along the right side property line.

The Board noted that the Planning Board had no objections to granting the request.

Statement of Facts

The subject property is located at 8 Pine Ridge Road, in a 10,000 square foot Single Residence District, and has a minimum left side yard setback of 8.3 feet, a minimum right side yard setback of 14 feet, and a front yard setback of 18.6 feet.

The petitioner is requesting a Special Permit/Finding that enclosure of the existing nonconforming 11 foot by 12 foot porch, with a minimum left side yard setback of 8.3 feet, and construction of a 12 foot by 36.2 foot by 23.1 foot by 12 foot second story addition, with a minimum left side yard setback of 8.3 feet, and

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enclosure of the existing 5.7 foot by 5.7 foot nonconforming entry platform, with a minimum front yard setback of 18.6 feet, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

A Plot Plan dated 2/17/04, stamped by James P. Troupes, Professional Land Surveyor, Existing and Proposed Floor Plans and Elevations Drawings, dated 8/11/04, prepared by Dizdarson Design and Build, and photographs were submitted.

On August 31, 2004, the Planning Board reviewed the petition and had no objection to the granting of the request.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing. The subject structure does not conform to the current Zoning Bylaw, as noted in the foregoing Statement of Facts.

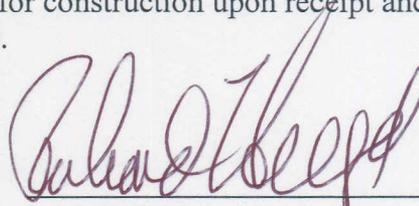
It is the finding of this Authority that enclosure of the existing nonconforming 11 foot by 12 foot porch, with a minimum left side yard setback of 8.3 feet, construction of a 12 foot by 36.2 foot by 23.1 foot by 12 foot second story addition, with a minimum left side yard setback of 8.3 feet, and enclosure of the existing 5.7 foot by 5.7 foot nonconforming entry platform, with a minimum front yard setback of 18.6 feet, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure, as the enclosures and addition shall neither intensify the existing nonconformance, nor shall they create a new nonconformity as the left side and front yard setbacks shall remain the same.

Therefore, a Special Permit is granted, as voted unanimously by this Authority, for enclosure of the porch, construction of a second story addition, and enclosure of the entry platform in accordance with the submitted plot plan and construction drawings.

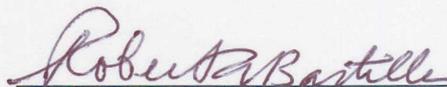
The Inspector of Buildings is hereby authorized to issue a permit for construction upon receipt and approval of a building application and detailed construction plans.

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN
THE OFFICE OF THE TOWN CLERK.

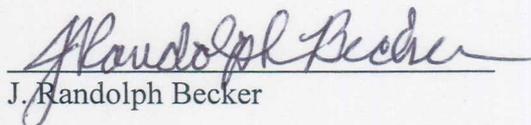
Cc: Planning Board
Inspector of Buildings
lrm



Richard L. Seegel, Chairman



Robert A. Bastille



J. Randolph Becker

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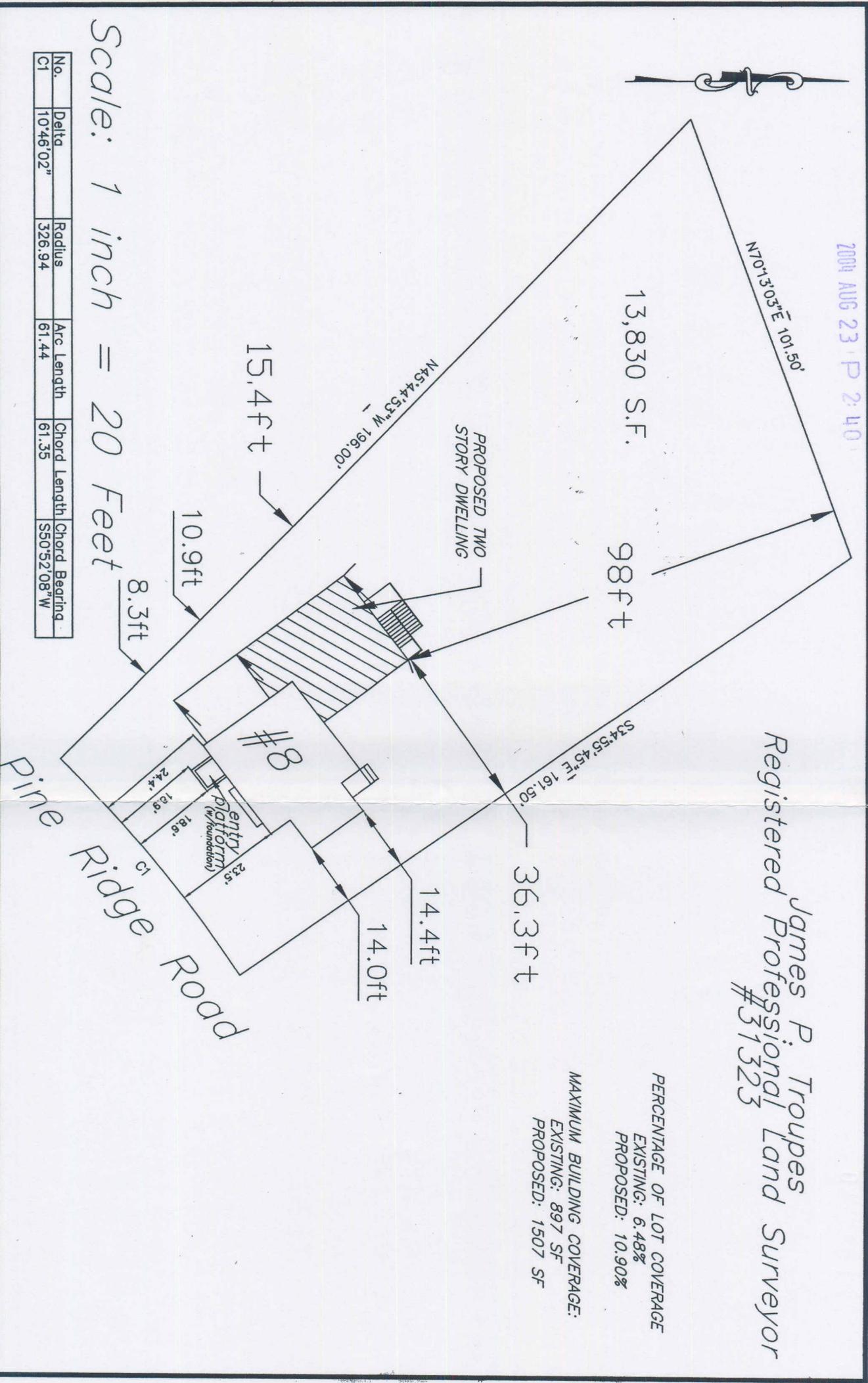
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James P. Troupes
 Registered Professional Land Surveyor
 #31323

PERCENTAGE OF LOT COVERAGE
 EXISTING: 6.48%
 PROPOSED: 10.90%

MAXIMUM BUILDING COVERAGE:
 EXISTING: 897 SF
 PROPOSED: 1507 SF



No.	Delta	Radius	Arc Length	Chord Length	Chord Bearing
C1	10°46'02"	326.94	61.44	61.35	S50°52'08"W