

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

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ZBA 2003-40
Petition of Pinnacle Residential Properties
555 Washington Street

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday, May 8, 2003 at 7:30 p.m. in the Great Hall at the Town Hall, 525 Washington Street, Wellesley, on the petition of PINNACLE RESIDENTIAL PROPERTIES requesting a Special Permit pursuant to the provisions of Section XXIIA and Section XXV of the Zoning Bylaw to install an externally illuminated 2 foot 8 inch by 27 foot 9 inch (74 square feet) wall sign at a height of 12 feet 6 inches identifying the premises at 555 WASHINGTON STREET, in a Business District, which will exceed the allowed area of 50 square feet.

On April 22, 2003, the petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing was Elaine Bannigan, owner of Pinnacle Residential Properties, who said the proposed sign will be have the same size, colors, and location as the previous sign, which identified the premises leased by a jeweler.

The Board noted that the design submitted had incorporated the suggestions made by the Design Review Board, and further noted that the Planning Board had no objections to granting the request.

The Board asked how long the temporary sign with Ms. Bannigan's name, which does not appear in the submitted drawing, would be in place.

Ms. Bannigan said the Design Review Board said she could have a temporary sign with her name on it until the Board of Appeals had granted the Special Permit for the new sign. By that time, the public would have connected her with the new real estate office.

The Board asked if the existing strip lighting would remain. Ms. Bannigan said that it would remain.

No other person present had any comment on the petition.

Statement of Facts

The subject property is located at 555 Washington Street in a block owned by East-West Enterprises, LTD., in a Business District.

Pinnacle Residential Properties leases a portion of the building and requests a Special Permit to install an

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externally illuminated 2 foot 8 inch by 27 foot 9 inch (74 square feet) wall sign at a height of 12 feet 6 inches, which will exceed the area of 50 square feet allowed in a Business District.

A plan of the sign designed by Richard Honan Sign Co.; a color swatch of the proposed gold and green colors of the sign; a letter of endorsement dated April 14, 2003 from Wight & Company, Inc. as agent for East-West Enterprises, Ltd.; and photographs were submitted.

On April 9, 2003, the Design Review Board reviewed the sign proposal, which included Ms. Bannigan's name. The Board was of the opinion that the applicant's name should not appear on the wall sign for fear of setting a precedent of superfluous text on signs. With the elimination of the applicant's name and relocation of the key logo to retain the balanced style of the sign, the Design Review Board voted to approve the proposed sign.

On April 29, 2003, the Planning Board reviewed the sign and had no objection to the granting of the request.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing.

The petitioner is requesting a Special Permit for a sign at 555 Washington Street to identify the new real estate office of Pinnacle Residential Properties. The proposed sign exceeds the area of 50 square feet allowed by right in a Business District.

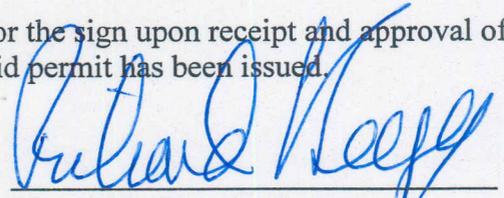
It is the opinion of this Authority that the proposed externally illuminated 74 square foot wall sign at a height of 12 feet 6 inches is in harmony with the general intent and purpose of Section XXIIA of the Zoning Bylaw.

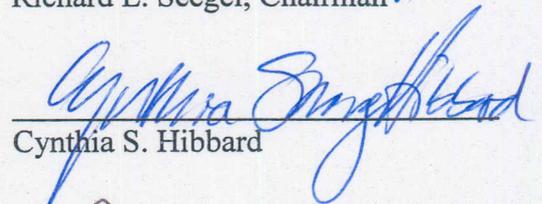
Therefore, a Special Permit is granted, as voted unanimously by this Authority at the Public Hearing, to install the proposed sign in accordance with the design submitted.

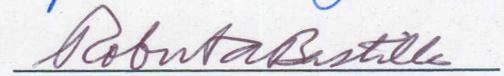
The Inspector of Buildings is hereby authorized to issue a permit for the sign upon receipt and approval of an application for a sign permit. No sign shall be installed until said permit has been issued.

APPEALS FROM THIS DECISION, IF ANY, SHALL BE MADE PURSUANT TO GENERAL LAWS, CHAPTER 40A, SECTION 17, AND SHALL BE FILED WITHIN 20 DAYS AFTER THE DATE OF FILING OF THIS DECISION IN THE OFFICE OF THE TOWN CLERK.

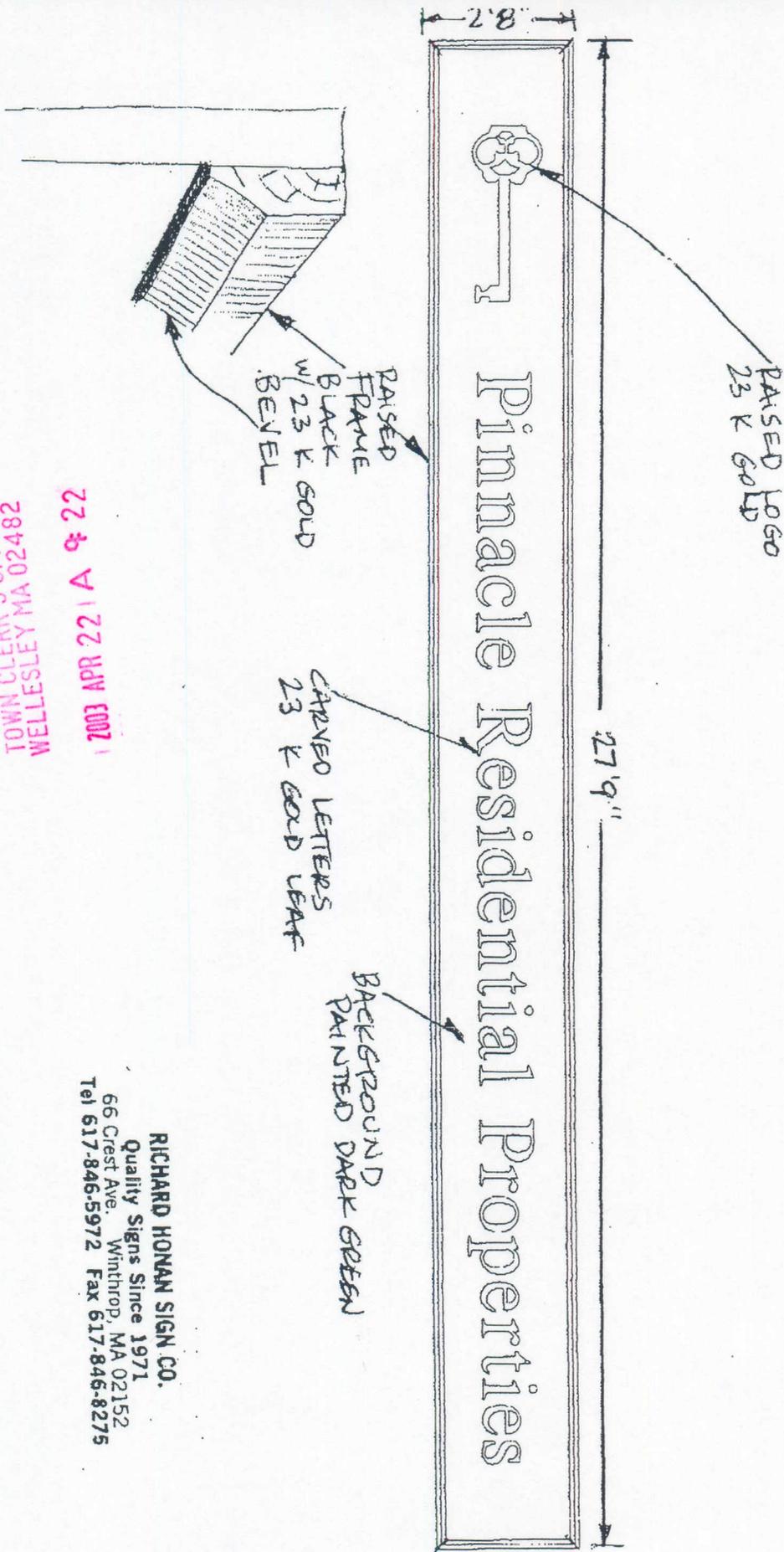
Cc: Planning Board
Design Review Board
Inspector of Buildings


Richard L. Seegel, Chairman


Cynthia S. Hibbard


Robert A. Bastille

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