

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

RICHARD L. SEEGL, CHAIRMAN  
CYNTHIA S. HIBBARD, VICE CHAIRMAN  
DAVID G. SHEFFIELD

ELLEN D. GORDON  
EXECUTIVE SECRETARY  
TELEPHONE  
(781) 431-1019 EXT. 208

ROBERT A BASTILLE  
J. RANDOLPH BECKER  
ROBERT W. LEVY

ZBA 2003-38  
Petition of Michael and Deirdre McKemmey  
680 Washington Street

RECEIVED  
TOWN CLERK'S OFFICE  
WELLESLEY MA 02482  
2003 MAY 28 1 A 8 25

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday, May 8, 2003 at 7:30 p.m. in the Great Hall at the Town Hall, 525 Washington Street, Wellesley on the petition of MICHAEL AND DEIRDRE McKEMMEY requesting a Special Permit/Finding pursuant to the provisions of Section XVII and Section XXV of the Zoning Bylaw that the construction of a one-story 5.1 foot by 8.5 foot addition with less than the required rear yard setback, at their nonconforming dwelling with less than the required rear yard setback, at 680 WASHINGTON STREET, in a 10,000 square foot Single Residence District, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

On April 22, 2003, the petitioners filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing was Michael McKemmey, who said they would like to add a single story 5 foot by 8 foot extension to push the kitchen out a few feet. The existing house has less than the required rear yard setback. The addition would follow the same line as the existing house. The addition would not be visible from Upland Road or from Washington Street. They have talked to their neighbors, who have no objections.

The Board noted that the Planning Board had no objection to granting of the request.

No other person present had any comment on the petition.

Statement of Facts

The subject property is located at 680 Washington Street, in a 10,000 square foot Single Residence District, on a 14,423 square foot lot, and has a minimum rear yard setback of 12.8 feet. The property is bounded by Upland Road on the left, Washington Street on the front and Dover Road on the right.

The petitioners are requesting a Special Permit/Finding that the construction of a one-story 5.1 foot by 8.5 foot addition, with a minimum rear yard setback of 12.8 feet, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

A Plot Plan dated 4/15/03, stamped by Robert F. Drake, Registered Professional Land Surveyor; Floor Plans and Elevations prepared by Didi's Design Consultants; and photographs were submitted.

ZBA 2003-38  
Petition of Michael and Deirdre McKemmey  
680 Washington Street

On April 29, 2003, the Planning Board reviewed the petition and had no objection to the granting of the request.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing. The subject structure does not conform to the current Zoning Bylaw, as stated in the foregoing Statement of Facts.

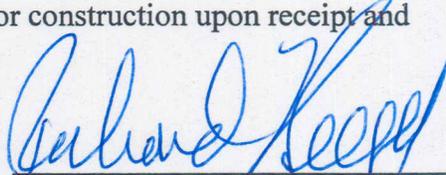
It is the finding of this Authority that the construction of the one-story 5.1 foot by 8.5 foot addition shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure as the addition shall neither intensify the existing nonconformance, nor shall it create new nonconformity.

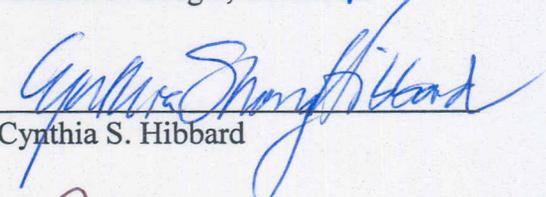
Therefore, a Special Permit is granted, as voted unanimously by this Authority at the Public Hearing, for construction of the one-story 5.1 foot by 8.5 foot addition in accordance with the submitted plot plan and construction drawings.

The Inspector of Buildings is hereby authorized to issue a permit for construction upon receipt and approval of a building application and detailed construction plans.

APPEALS FROM THIS DECISION,  
IF ANY, SHALL BE MADE PURSUANT  
TO GENERAL LAWS, CHAPTER 40A,  
SECTION 17, AND SHALL BE FILED  
WITHIN 20 DAYS AFTER THE DATE  
OF FILING OF THIS DECISION IN  
THE OFFICE OF THE TOWN CLERK.

Cc: Planning Board  
Inspector of Buildings  
edg

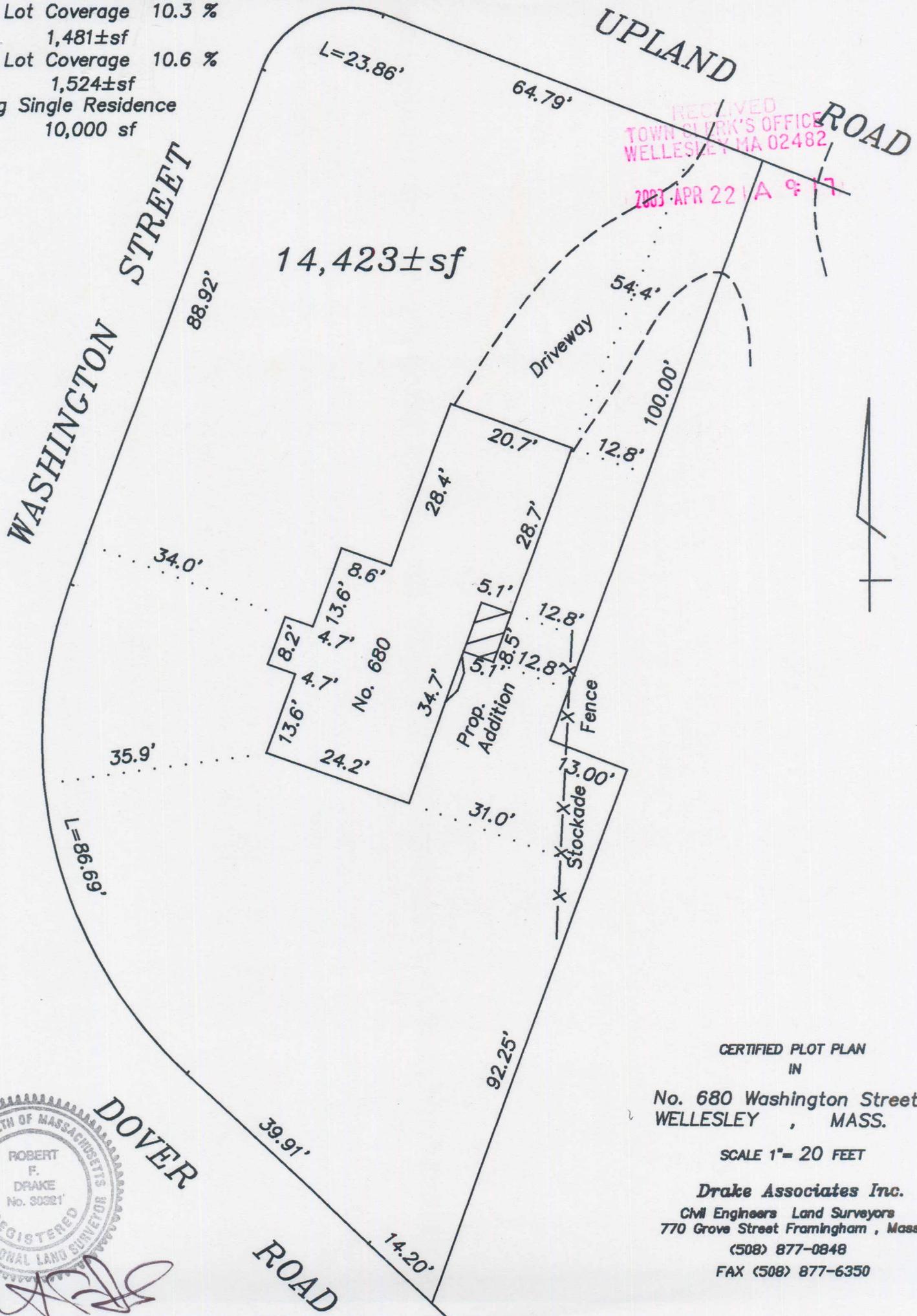
  
Richard L. Seegel, Chairman

  
Cynthia S. Hibbard

  
Robert A. Bastille

RECEIVED  
TOWN CLERK'S OFFICE  
WELLESLEY MA 02482  
2003 MAY 28 11 A 8:06

Exist. Lot Coverage 10.3 %  
 1,481±sf  
 Prop. Lot Coverage 10.6 %  
 1,524±sf  
 Zoning Single Residence  
 10,000 sf



RECEIVED  
 TOWN CLERK'S OFFICE  
 WELLESLEY MA 02482  
 2003 APR 22 10 9 17

DOVER  
 ROBERT F. DRAKE  
 No. 30321  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 4/15/03

CERTIFIED PLOT PLAN  
 IN  
 No. 680 Washington Street  
 WELLESLEY, MASS.  
 SCALE 1"= 20 FEET  
 Drake Associates Inc.  
 Civil Engineers Land Surveyors  
 770 Grove Street Framingham, Mass.  
 (508) 877-0848  
 FAX (508) 877-6350