



ZONING BOARD OF APPEALS

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

RICHARD L. SEEGEL, CHAIRMAN  
J. RANDOLPH BECKER, VICE CHAIRMAN  
DAVID G. SHEFFIELD

LENORE R. MAHONEY  
Executive Secretary  
Telephone  
(781) 431-1019 Ext. 2208

ROBERT W. LEVY  
WALTER B. ADAMS  
DEREK B. REDGATE

Date: July 1, 2016

ZBA: 2016-76

Petition for:	Residential Fee	Commercial & Municipal Fee
Variance	_____ \$200	_____
Special Permit	_____ \$200	_____ \$500
Special Permit/Findings	_____ \$200	_____
Special Permit Renewals	_____ \$150	_____
Signs	_____	_____ \$300
Site Plan Approval without PSI	_____	_____ \$2,000 & Fire Department Consulting Fee
Site Plan Approval with PSI	_____	_____ \$3,500
Appeals	_____ \$200	_____ \$300
Comprehensive Permit	_____	_____ \$750
Publication & Mailing Fees/All Petitions	_____ \$25	_____ \$25
Petitioner assumes all costs for Peer Review		

RECEIVED  
TOWN CLERK'S OFFICE  
WELLESLEY MA 02482  
1 2016 SEP 21 P 12:11

Property Location: 11 Washburn Ave Zoning District: se 15

Property located in a: Historic District  Yes  No  
Wetlands Protection Area    
Water Supply Protection District

Prior Zoning Decisions: Special Permit/Finding: \_\_\_\_\_ Variance: \_\_\_\_\_

Applicable Section(s) of the Zoning Bylaw: \_\_\_\_\_

Explanation of Request: See attached.

Requested Relief:  
\_\_\_\_\_ Lot Area \_\_\_\_\_ Front Yard Depth (Street Setback)  
\_\_\_\_\_ Lot Coverage  Side Yard Width (Side Line Setback)  
\_\_\_\_\_ Frontage \_\_\_\_\_ Rear Yard Depth (Rear Line Setback)  
\_\_\_\_\_ Front Yard Width \_\_\_\_\_ Other \_\_\_\_\_

OWNER OF PROPERTY/PETITIONER: Florence Pagano

MAILING ADDRESS: 11 Washburn Ave Wellesley MA 02481

PHONE: WORK: 617-748-9376 HOME: 781-237-4812

SIGNATURE OF OWNER: Flo Pagano Ch. Pagano

AGENT FOR HOMEOWNER (PLEASE PRINT): \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_

PHONE: WORK: \_\_\_\_\_ HOME: \_\_\_\_\_

**Pagano, 11 Washburn Ave.**

**Special Permit Application - Explanation of Request, July 1, 2016**

In accordance with the Zoning Act (Ch. 40A M.G.L. § 6) and Sections XVII and XXV of the Town of Wellesley Bylaws (Bylaws), we request a special permit for the construction of a front porch that does not conform to the requirements of the present zoning bylaws. See Bylaws, § XVII B.1. For the reasons explained below, the proposed front porch "will not be substantially more detrimental than the existing non-conforming structure [] to the neighborhood." Id.

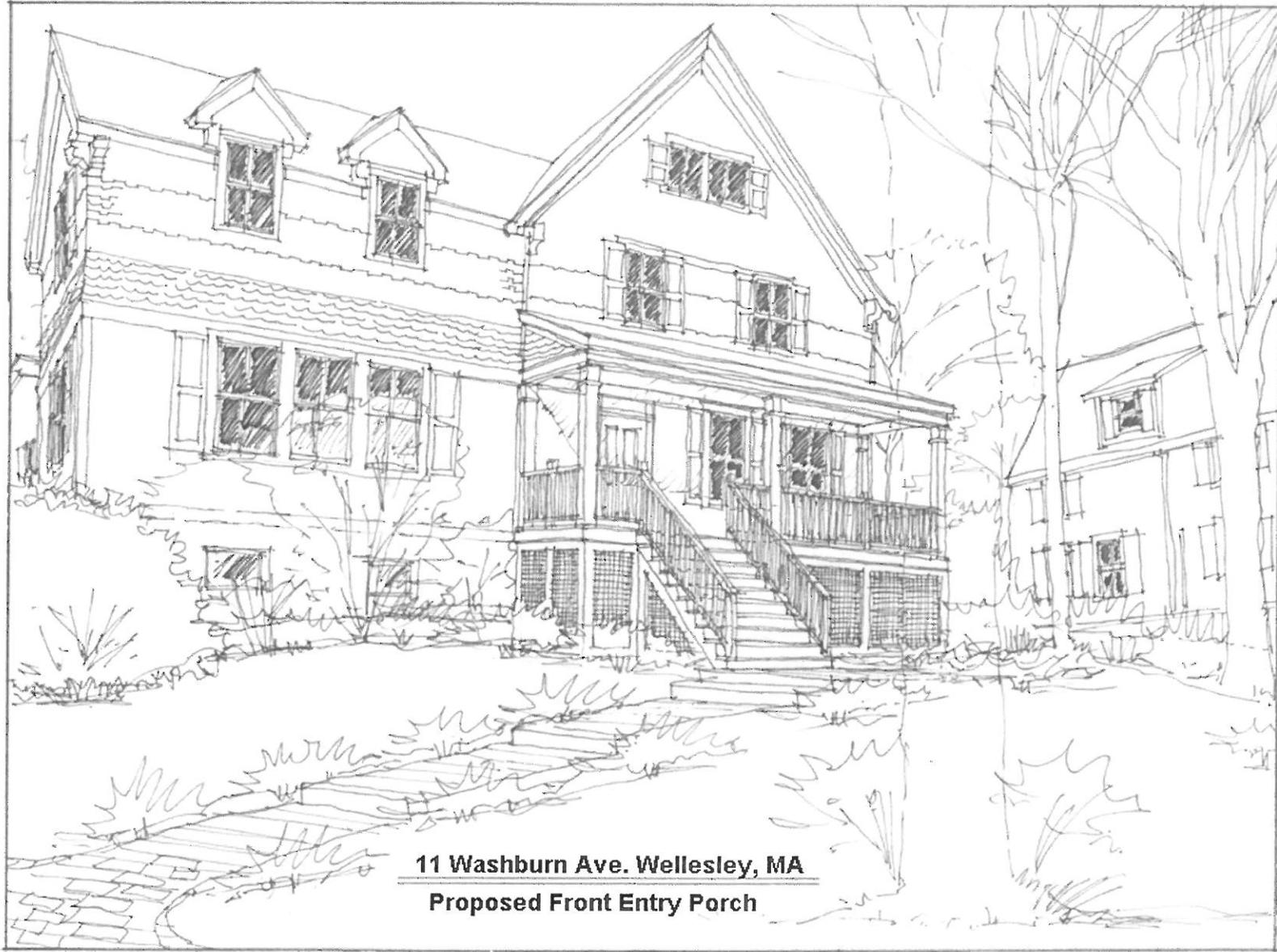
We purchased the house in 1993 and have constructed two additions - second floor bedroom over the one story addition that was constructed by previous owners in the 1940s (on left of house as you look from the street) and a one story, approximately 20x 20 family room behind aforementioned addition. The original construction dates back to 1884 and the structure and footprint of the house is essentially the same as 9 Washburn, also built in 1884 (the houses were virtually identical when originally built by Cyrus Washburn), as apparent on the included photos. With both remodeling projects, we successfully preserved the historic structure and feel of the house, as well as conformity with 9 Washburn, currently owned by Joe and Peg Creonte.

As indicated in the enclosed plot plan, the front of the house is currently 13 feet from the property line on the North/right side of the lot. As this side-yard width is below the 20 feet prescribed in the Yard Regulations, see Bylaws, § XIX, it is a non-conforming structure. The current front porch, which measures approximately 6 feet wide by 5 feet deep, has not been altered since we purchased the house in 1993. Despite multiple paintings, it is now dilapidated and structurally unsound, with the roof in particularly bad shape. The stairs leading up to it are similarly worn-out and need to be replaced.

We request permission to reconstruct the porch to be 22 feet by 7 feet, as pictured in the enclosed design drawings, construction plans and plot plan. While this would extend the non-conformity along the right side of the structure by the depth of the porch (7 feet), it would improve both the function of the porch and, more importantly, the appearance of the house and conformity with adjacent structures. As indicated in the photos, the front porch is currently very small and different from those on both adjacent homes (9 Washburn and 13 Washburn). Extending the length of the porch, as drawn, would enhance conformity with both homes, especially 9 Washburn which, as noted, is essentially the same structure. A shorter porch would both fail to match the adjacent structures and, because of the peak of our house, would look odd and off center. Further, the proposed porch will be just over 42 feet from the road, which is both the same as 9 Washburn and in conformity with the minimum frontage requirement.

Finally, we note that we have the full support of the Creontes (9 Washburn) who have submitted a letter on our behalf, and of the Nigros who reside in 13 Washburn. We have also talked to the other abutters, whose homes are on Longfellow, and they have voiced no objection. We have no homes on our street directly across from us. Accordingly, although the proposed front porch will extend the non-conformity along the side yard by 7 feet, to do so will enhance the appearance of the structure and its consistency with 9 Washburn, and thus "will not be substantially more detrimental than the existing non-conforming structure [] to the neighborhood."

Ipe wood

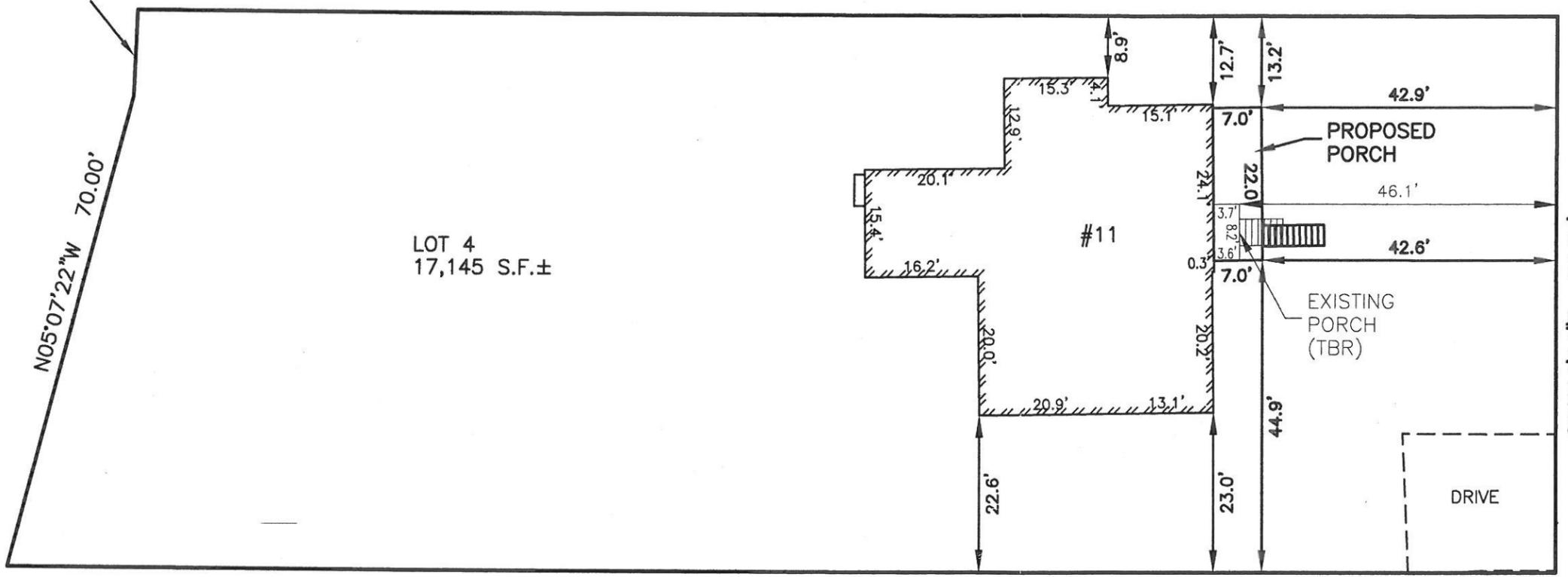


**11 Washburn Ave. Wellesley, MA**  
**Proposed Front Entry Porch**



12.45'  
N17°54'15"W

N70°15'46"E 206.60'



LOT 4  
17,145 S.F.±

#11

PROPOSED PORCH

EXISTING PORCH (TBR)

DRIVE

WASHBURN AVENUE

S70°13'02"W 224.66'

S19°44'14"E 80.00'

ESTABLISHED 1916



EVERETT M. BROOKS CO.

SURVEYORS & ENGINEERS

49 LEXINGTON STREET  
WEST NEWTON, MA 02465

(617) 527-8750  
info@everettbrooks.com

EXISTING  
STRUCTURES 1,829 S.F.  
LOT COVERAGE 10.7%

PROPOSED  
STRUCTURES 1,947 S.F.  
LOT COVERAGE 11.4%

DEED REFERENCE:  
BOOK 24787 PAGE 583

### PLAN OF LAND IN WELLESLEY, MA

11 WASHBURN AVENUE  
PROPOSED ADDITIONS

SCALE: 1 IN. = 20 FT.
DATE: JUNE 27, 2016
DRAWN: MF
CHECK: BB

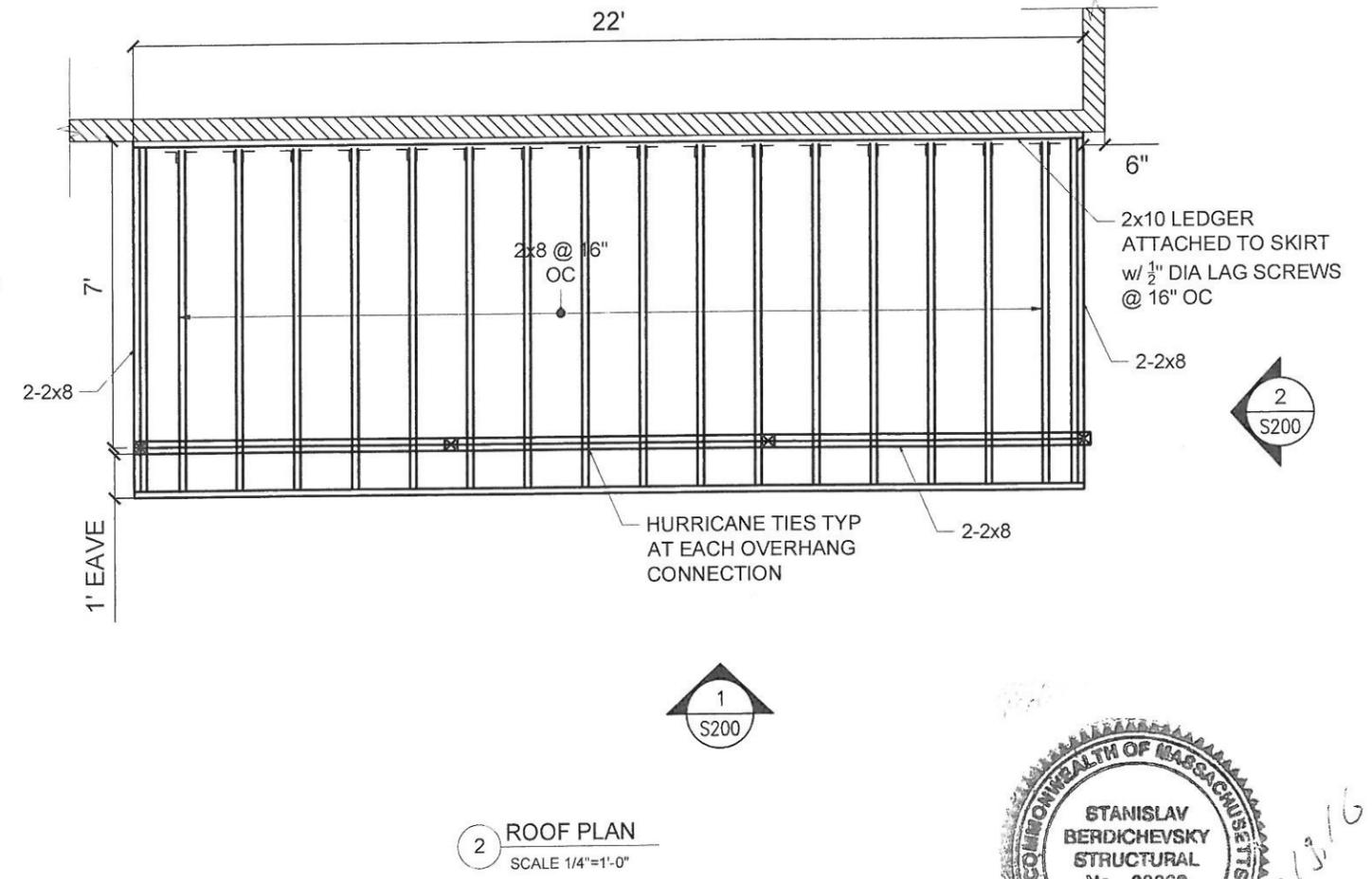
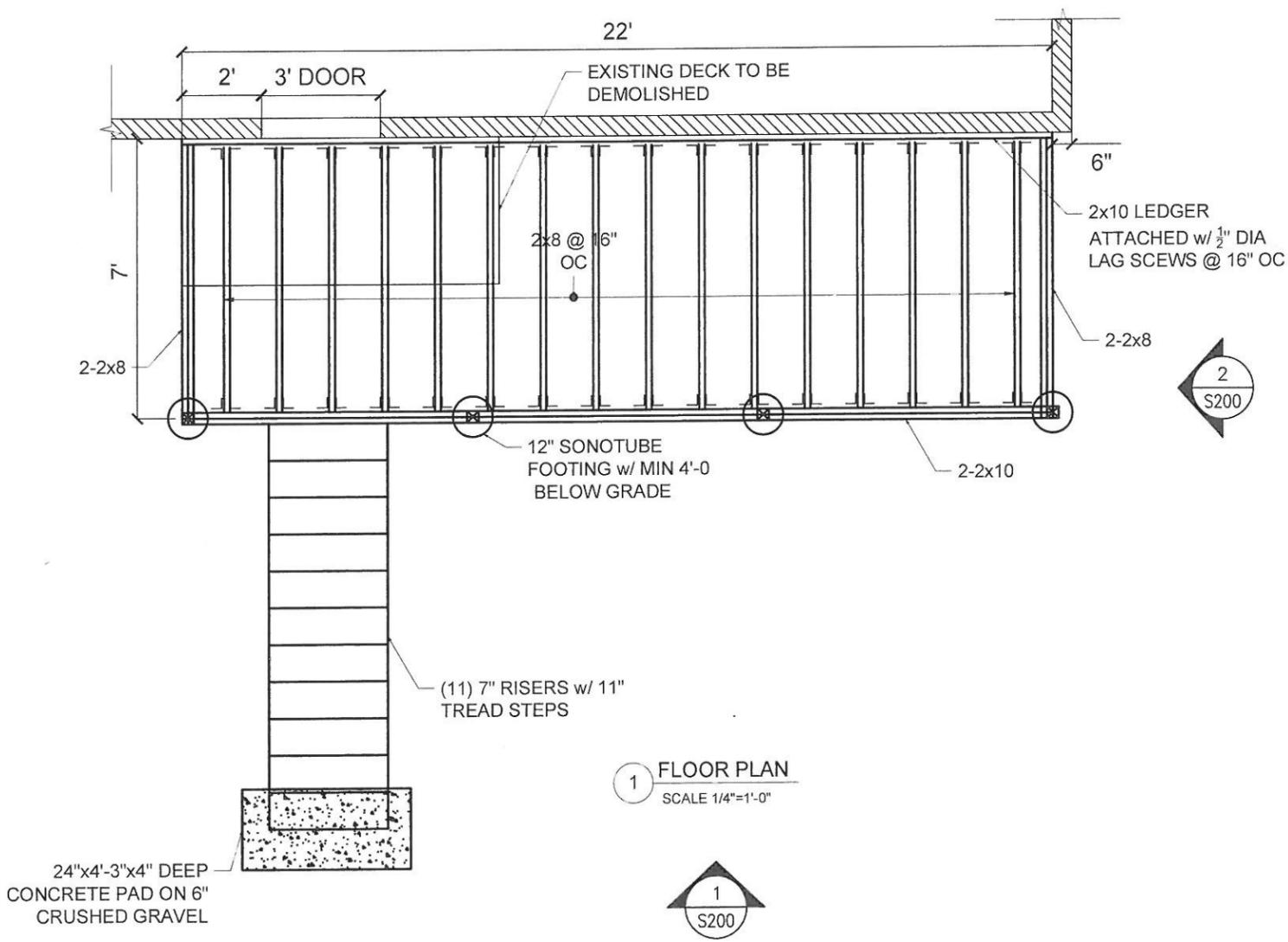
REVISIONS:




PROJECT NO. 24967

- STRUCTURAL NOTES:
1. Contractor shall verify all dimensions
  2. All loads and loading conditions are per IBC 2009 (8th edition of the Massachusetts building code)
  3. Concrete  $F_c = 3000$ psi
  4. All wood shall be construction grade or better.
  5. All exposed wood shall be pressure treated and connections shall be galvanized.

Nailing: Each deck board shall be attached to joists with 2 fasteners at each location



**BERDI Consulting**  
25 Wayland Hills Rd.  
Wayland, MA 01778  
Tel: (508) 308-9012

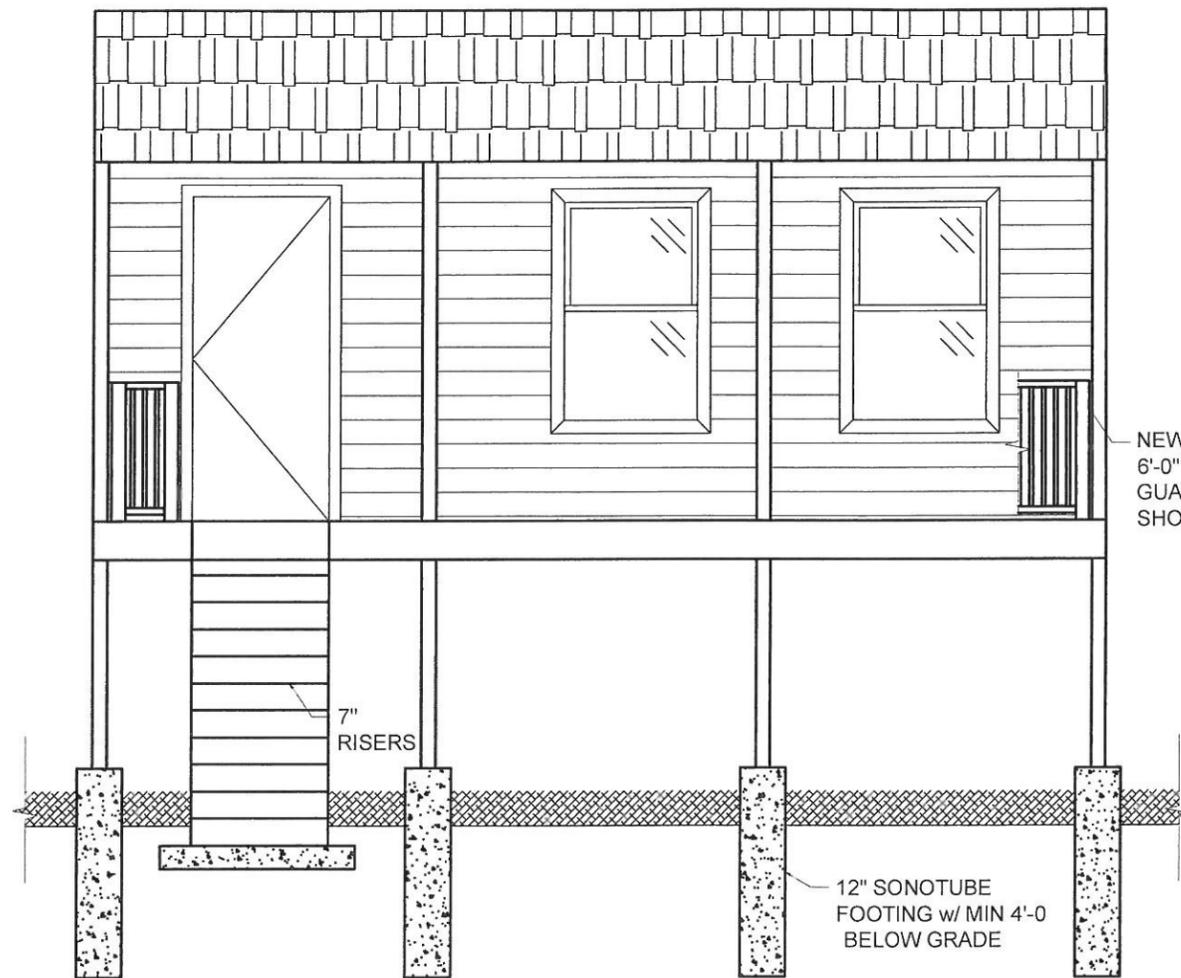
**OWNER:**  
11 Washburn Ave  
Wellesley, MA

**Plan**

Scale: 1/4" = 1'-0"

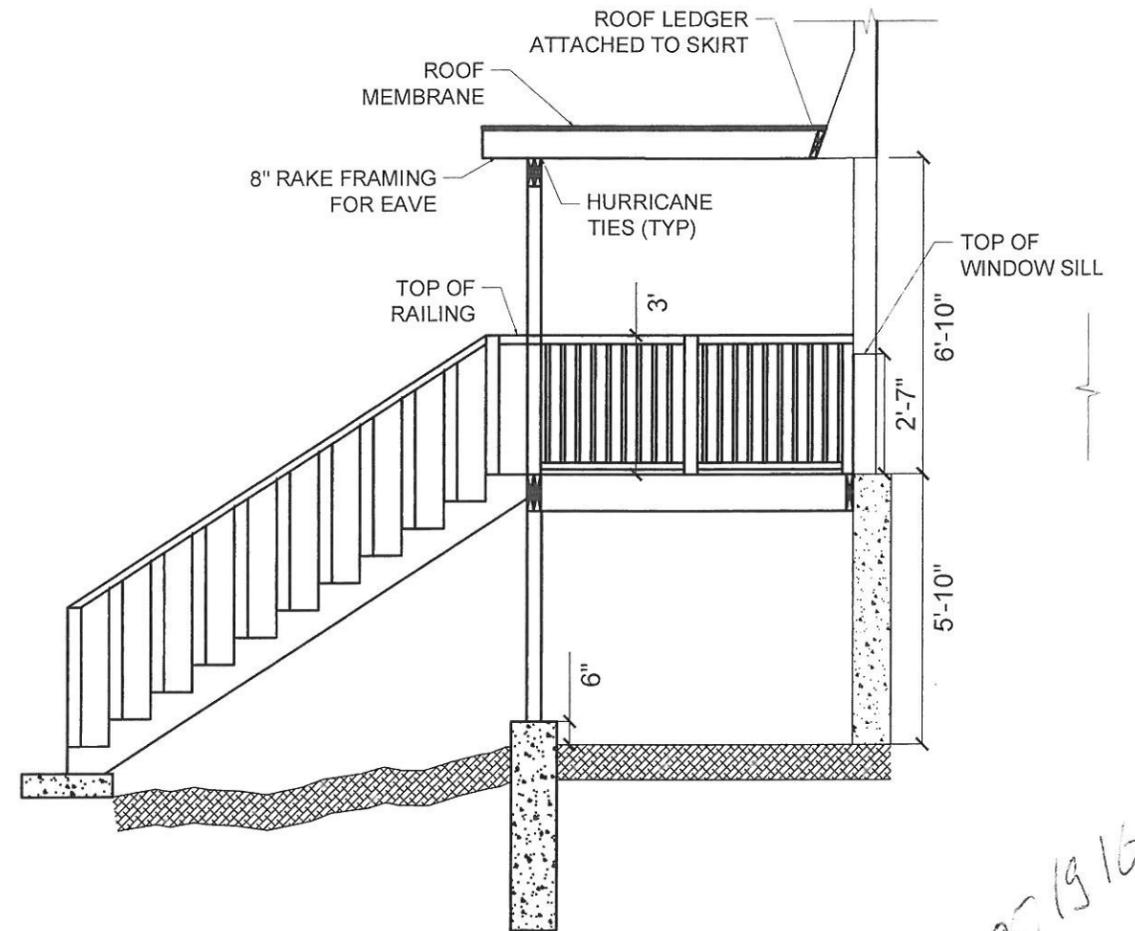
Sheet: 1 of 2

**S101**

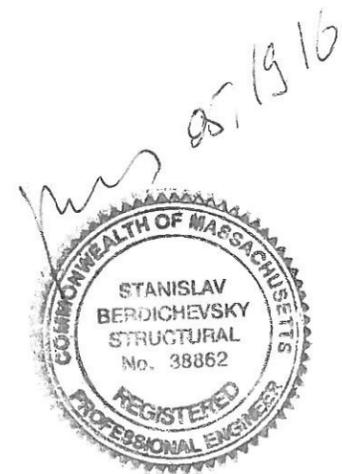


1 FRONT ELEVATION  
SCALE 1/4"=1'-0"

NEWEL POSTS AT MAX  
6'-0" OC (REMAINING  
GUARDRAIL NOT  
SHOWN FOR CLARITY)



2 SIDE ELEVATION  
SCALE 1/4"=1'-0"



### BERDI Consulting

25 Wayland Hills Rd.  
Wayland, MA 01778  
Tel: (508) 308-9012

OWNER:  
11 Washburn Ave  
Wellesley, MA

### Sections

Scale: 1/4" = 1'-0"

Sheet: 2 of 2

S200

