



ZONING BOARD OF APPEALS
TOWN HALL WELLESLEY, MA 02181

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84-55

Petition of Frank L. Tarantino
14 Ingraham Road

Pursuant to due notice, the Permit Granting Authority held a Public Hearing in the Upper Town Hall Main Hearing Room on Thursday, October 4, 1984 at 8 p.m. on the petition of FRANK L. TARANTINO requesting a variance from the terms of Section XIX of the Zoning Bylaw which will allow an addition to his dwelling at 14 INGRAHAM ROAD including an enclosed porch approximately 8 feet by 9 feet at the rear of the dwelling, leaving less than the required left side yard. Said dwelling is a legal non-conforming dwelling. Said request is pursuant to Section XXIV-D of the Zoning Bylaw.

On September 14, 1984, the petitioner requested a hearing before this Board and thereafter due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing was Frank Tarantino, who stated that the proposed addition would not come closer to the side line than the existing house.

No others were present at the hearing favoring or opposing the petition.

Statement of Facts

The property in question is located at 14 Ingraham Road, containing 10,562 square feet of land. The existing house is non-conforming, coming to 18.75 feet from the left side line in the front corner and 16.45 feet at the rear left corner.

The petitioner proposes to add a 8 foot by 9 foot mudroom at the rear of the dwelling, leaving a left side yard of 16.34 feet. The addition would follow the existing lines of the house. His claimed hardship is the location of the existing house on the lot.

A Plot Plan was submitted, drawn by John J. Regan, Registered Land Surveyor, of Apex Associates, dated September 11, 1984. Construction drawings were also submitted, as were photos of the existing house.

The Planning Board, at its regular meeting of September 25, 1984, voted to offer no objection to the requested variance provided the addition does not encroach any further into the required sideyard than the existing house (16.45').

A letter of support was received from Finley H. Perry on behalf of Harold J. Hoge, Anne C. Booth and himself as Trustees for the Wellesley Monthly Meeting of Friends, owner of the abutting property at 26 Benvenue Street.

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PLANNING BOARD
OCT 11 1984

Petition of Frank L. Tarantino
14 Ingraham Road

Decision

This Authority has made a careful study of the evidence submitted. The particular house in question in its location on the lot does not conform to the present Zoning Bylaws. The dwelling comes to 16.45 feet from the left side lot line.

It is the opinion of this Authority that the proposed one-story addition conforms to the present lines of the house and does not alter the relationship of the house to the left side lot line. It is the further opinion of this Authority that desirable relief may be granted without substantially derogating from the intent or purpose of the Zoning Bylaw.

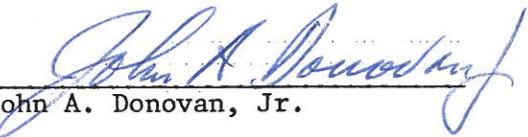
Therefore, a variance is granted to construct a one-story addition approximately 8 feet by 9 feet coming no closer than 16.34 feet from the left side lot line, as shown in Plot Plan drawn by John J. Regan, Registered Land Surveyor, dated 9/11/84.

The Inspector of Buildings is hereby authorized to issue a permit for the construction upon his receipt and approval of a building application and construction plans.

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN
THE OFFICE OF THE TOWN CLERK.

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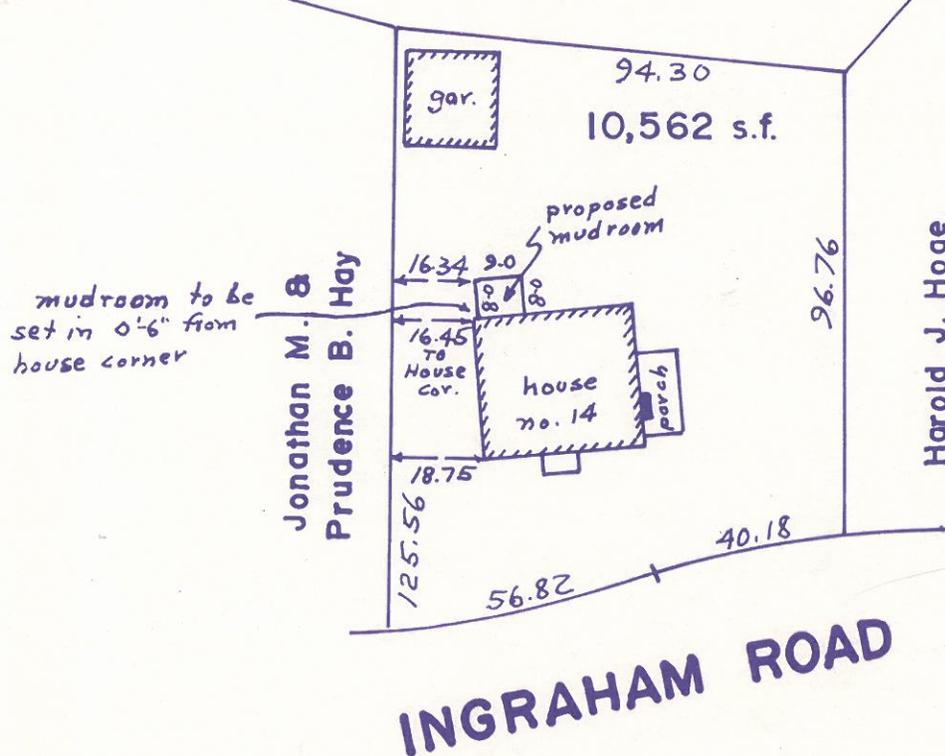

Stephen S. Porter, Chairman


John A. Donovan, Jr.


William E. Polletta

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WILMINGTON, MASS.
OCT 31 9 23 AM '84

New England Conservatory
of Music



Harold J. Hoge
Ann C. Booth
Finley H. Perry
Trustees Society of Friends

SEP 14 9 31 AM '84

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CLERK'S OFFICE
WELLESLEY MASS.



John J. Regan

**PLAN OF LAND
IN
WELLESLEY MASS.**

TO ACCOMPANY THE PETITION OF
FRANK L. & SUSAN T. TARANTINO
14 INGRAHAM ROAD
WELLESLEY

SCALE 1 IN = 40 FT
APEX ASSOCIATES
NEWTON HIGHLANDS

SEPT. 11, 1984
LAND SURVEYORS
MASS.