

TOWN OF WELLESLEY



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ZONING BOARD OF APPEALS

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

2000 MAR -1 P 12:16

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ZBA 2000-17
Petition of Wellesley Gateway, LLC.
93 Worcester Street

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday, February 17, 2000 at 8 p.m. in the Selectmen's Meeting Room (Conference Room B) at the Town Hall, 525 Washington Street, Wellesley, on the petition of WELLESELY GATEWAY, LLC. requesting the following Special Permits pursuant to the provisions of Section XXIIA and Section XXV of the Zoning Bylaw to identify the tenant for its property at 93 WORCESTER STREET, in an Administrative and Professional District:

1. To allow construction of an externally illuminated double-sided standing sign, set back 10 feet from the property line, with a total area of 100 square feet (50 square feet/panel), to exceed the allowed area of 50 square feet and to have less than the required setback of 20 feet. Said sign will read "Harvard Pilgrim Health Care/93 Worcester Street/Managed by The Drucker Company, Ltd., Boston, MA."
2. To allow installation of a 1 foot 10 inch by 23 foot 9 inch canopy sign composed of individual letters 15 inches in height and a corporate logo, to exceed the allowed letter height of 8 inches and to include the corporate logo.
3. To allow installation of three signs: a conforming wall sign, a standing sign and a canopy sign, which will exceed the allowed number of two signs.

On January 31, 2000, the petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing was Stephen Armington of Elkus/Manfredi Architects, who was accompanied by Jim Connolly of Harvard Pilgrim Health Care. Mr. Armington said that several weeks ago they had appeared before the Design Review Board and received permission to install two conforming signs: a shield on the tower at the building entrance and a small standing sign, which is currently in place. They would like to replace the conforming standing sign with a larger, permanent standing sign, and add a sign to the canopy over the main entrance.

Using a photographic enlargement of the standing sign, Mr. Armington said that the sign will be perpendicular to Worcester Street, and double-sided so that it can be read approaching from both directions. It will be located in about the same place as the existing sign. The new sign will be 8 feet wide and a little over 6 feet high – a 50 square foot face on each side, which totals 100 square feet, the

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maximum area allowed by Special Permit. It will be illuminated by lights shining up from the ground. The sign will be composed of white aluminum letters installed on a brick wall.

Mr. Armington said that the second sign is composed of a series of letters on the canopy over the main entrance. The canopy will not be lit. The sign will be in silhouette with the light from the lobby entrance shining through it.

The Board asked if the shield sign would be illuminated. Mr. Connolly replied that Harvard Pilgrim has decided not to pursue the shield sign. They are asking for only the standing and canopy signs. The shield has not been installed and will not be installed in the future. They have a permit to install the shield, but will not act on it. The decision to eliminate the shield sign was made during the week, which is why the special permit request for three signs was not deleted from the application.

The Board asked if the standing sign would be illuminated throughout the night. Mr. Armington said that all exterior lighting on the building is required to be extinguished at 10 p.m. He would be willing to agree that the sign lighting be extinguished at the same time.

Scott Hughes, 20 Duxbury Road, asked if the setback from the right of way of the existing standing sign would be the same for the new standing sign. Mr. Armington said that the existing sign is 15 feet from the property line. The new sign will be 10 feet from the property line.

Anne Rodriguez-Frame, 21 Duxbury Road, asked why a special permit was needed for the area of the sign. The Board explained that 100 square feet was allowed by special permit, and that a smaller sign would not be visible to traffic on Route 9.

The Board stated that the decision would include conditions that the illumination of the standing sign be extinguished no later than 10 p.m.; that all recommendations of the Design Review Board would be incorporated into the decision; that the shield sign shall never be installed without the petitioner returning to the Board for an additional special permit for a third sign; and that the existing standing sign shall be removed prior to installation of the new standing sign.

Statement of Facts

The subject premises is located at 93 Worcester Street, on a 633,653 square foot lot, in an Administrative and Professional District. The property is owned by the Massachusetts Highway Department, and leased to Wellesley Gateway, LLC. on a long term basis. The building to be identified is owned by Wellesley Gateway, LLC., a subdivision of the Druker Company, and leased to Harvard Pilgrim Health Care, the sole tenant.

The petitioner is requesting the following Special Permits for signage to identify its tenant: 1. A double-sided standing sign with a total area of 100 square feet (50 feet/panel) with a setback of 10 feet from the property line, which will exceed the allowed area of 50 square feet and be set back less than the allowed 15 feet from the property line; and 2. A 1 foot 10 inch by 23 foot 9 inch canopy sign composed of individual letters 15 inches in height and a corporate logo, which will exceed the allowed letter height of 8 inches and contain the corporate logo.

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The third Special Permit for the installation of three signs, which is one more than the allowed number of two signs, is no longer requested, as the representative from Harvard Pilgrim Health Care stated at the Public Hearing that a decision has been made not to install the third sign, which is a shield wall sign.

Elevation-Wellesley Gateway Permanent Sign (SKA73) dated 10/26/99, revised 1/3/99; Plan View-Wellesley Gateway Permanent Sign (SKA73.1), dated 1/3/99; Layout for Permanent Sign; Location Elevation (B3.2) dated 10/26/99, revised 11/29/99; Elevation-Canopy Letters (B3.1) dated 10/26/99, revised 11/29/99; and photographs were submitted. All sign plans were drawn by Advanced Signing, Inc.

On January 13, 2000, the Design Review Board reviewed the Harvard Pilgrim Health Care two-phased signage proposal, and approved the signage for the "By-right Proposal" and the Special Permit Application, as the proposed sign size and number are consistent with the scale of the Druker development on the site.

On February 15, 2000, the Planning Board reviewed the petition and had no objection to granting this request in accordance with and subject to the recommendations of the Design Review Board.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing. The petitioner is requesting special permits for an externally illuminated standing sign which will exceed the allowed area and have less than the required setback; and for an externally illuminated canopy sign which will have letters exceeding the allowed height and inclusion of a corporate logo which is not allowed by right. The proposed signage will identify Harvard Pilgrim Health Care, the sole tenant of the premises, which is managed by the Druker Company.

This Authority is of the opinion that both the proposed standing sign and canopy sign are in harmony with the general intent and purpose of Section XXIIA of the Zoning Bylaw, and in harmony with the size and scale of the office building.

Therefore, the requested Special Permits are granted, as voted unanimously at the Public Hearing, for the proposed signage in accordance with the submitted drawings, and further subject to the following conditions:

1. The existing standing sign shall be removed prior to the installation of the new standing sign granted by this decision.
2. External illumination of the standing sign and canopy sign shall be extinguished not later than 10 p.m.
3. All recommendations of the Design Review Board are hereby incorporated into this decision.
4. The shield wall sign, for which there is an outstanding sign permit, shall not be installed. If, in the future, Harvard Pilgrim Health Care decides that the shield wall sign is necessary, it shall submit a petition for a Special Permit to exceed the allowed number of signs for one property.

93 Worcester Street

The Inspector of Buildings is hereby authorized to issue permits for the two signs upon his receipt and approval of the sign applications.

APPEALS FROM THIS DECISION, IF ANY, SHALL BE MADE PURSUANT TO GENERAL LAWS, CHAPTER 40A, SECTION 17, AND SHALL BE FILED WITHIN 20 DAYS AFTER THE DATE OF FILING OF THIS DECISION IN THE OFFICE OF THE TOWN CLERK.

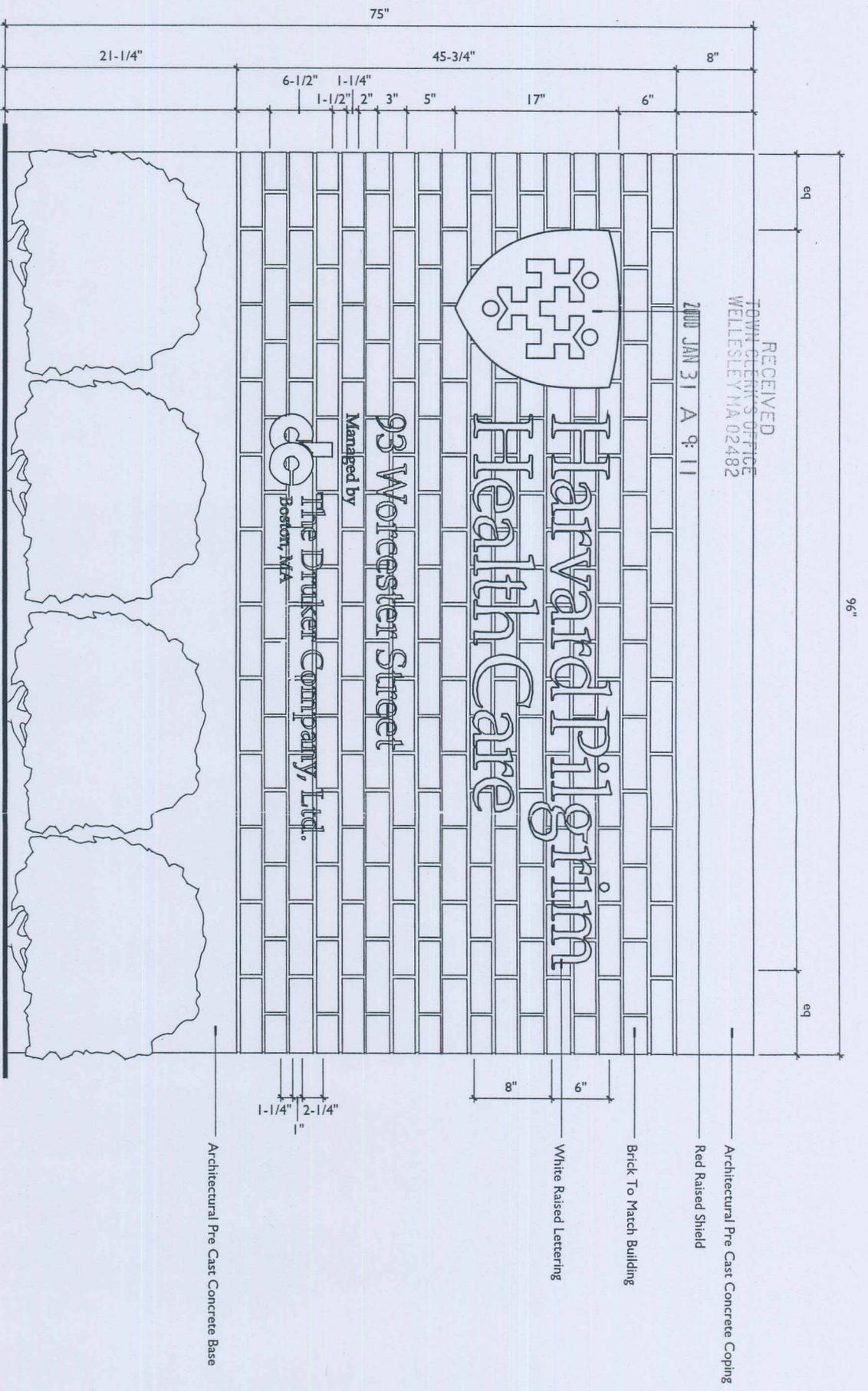
Cc: Design Review Board
Planning Board
Inspector of Buildings
edg

Kendall P. Bates, Chairman

William E. Polletta

Robert W. Levy

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1 Elevation - Wellesley Gateway Permanent Sign
Scale: 1" = 1'-0"

Description
1/4" th. cut aluminum graphics mounted to double-faced brick wall by others.

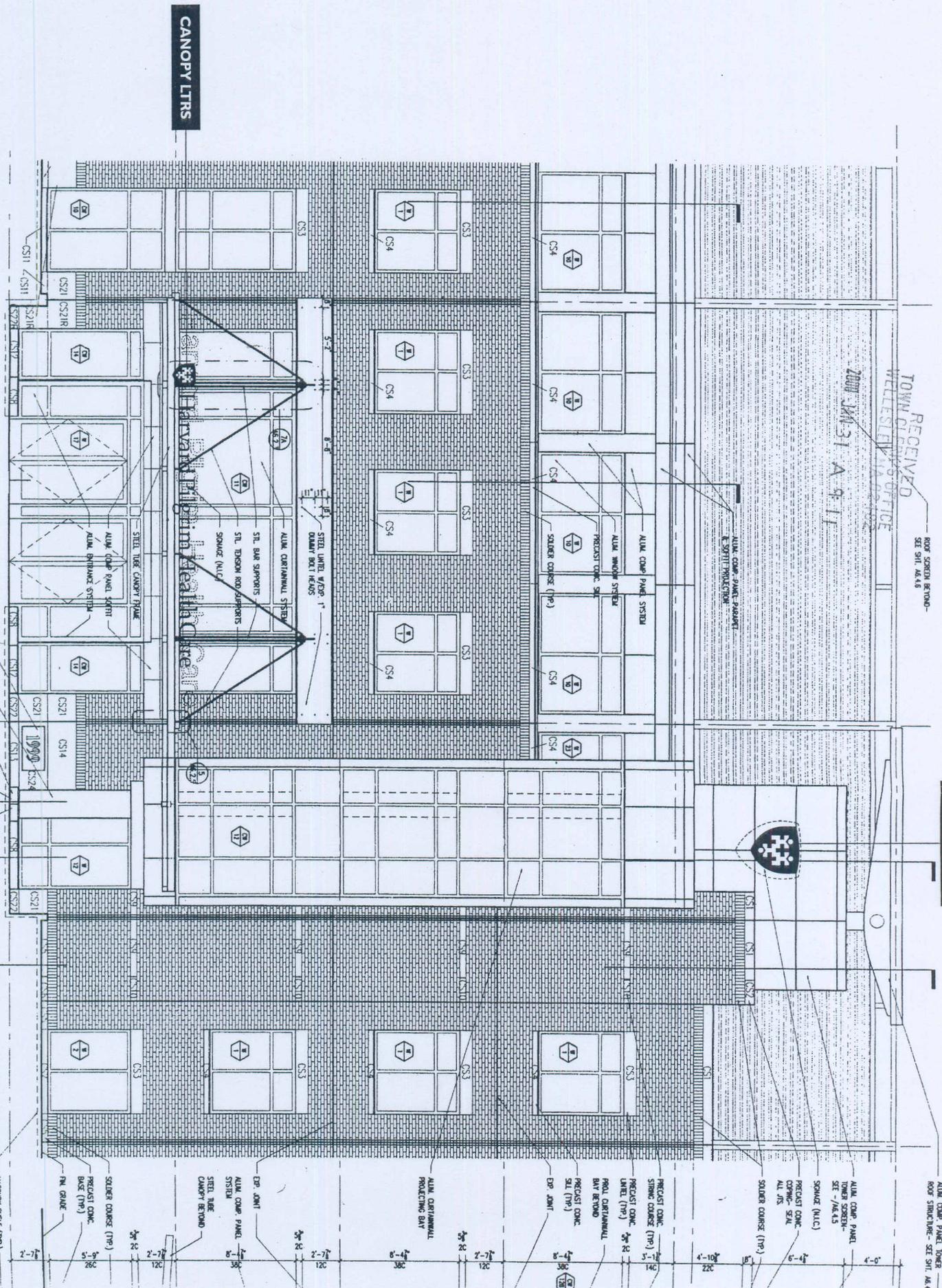
Material Finish
Shield: PMS 186 Red with White figures
Letters: White

Typeface
Logo/logoype
Palatino Regular

Installation
Stud and silicone

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SHIELD



CANOPY LTRRS

1 Location Elevation
Scale: 1/8" = 1'-0"

Advanced Signage
Signing

Advanced Signage, Inc.
4 Industrial Park Road
Medway, MA 02053

Druker Company
93 Worcester Street
Wellesley, MA

DATE
10.26.99
REVISIONS
11.29.99
DRAWN BY
JSS
WORK ORDER
4978A

DRAWING
B3.2

SIGN TYPE
B3
Location Elevation