

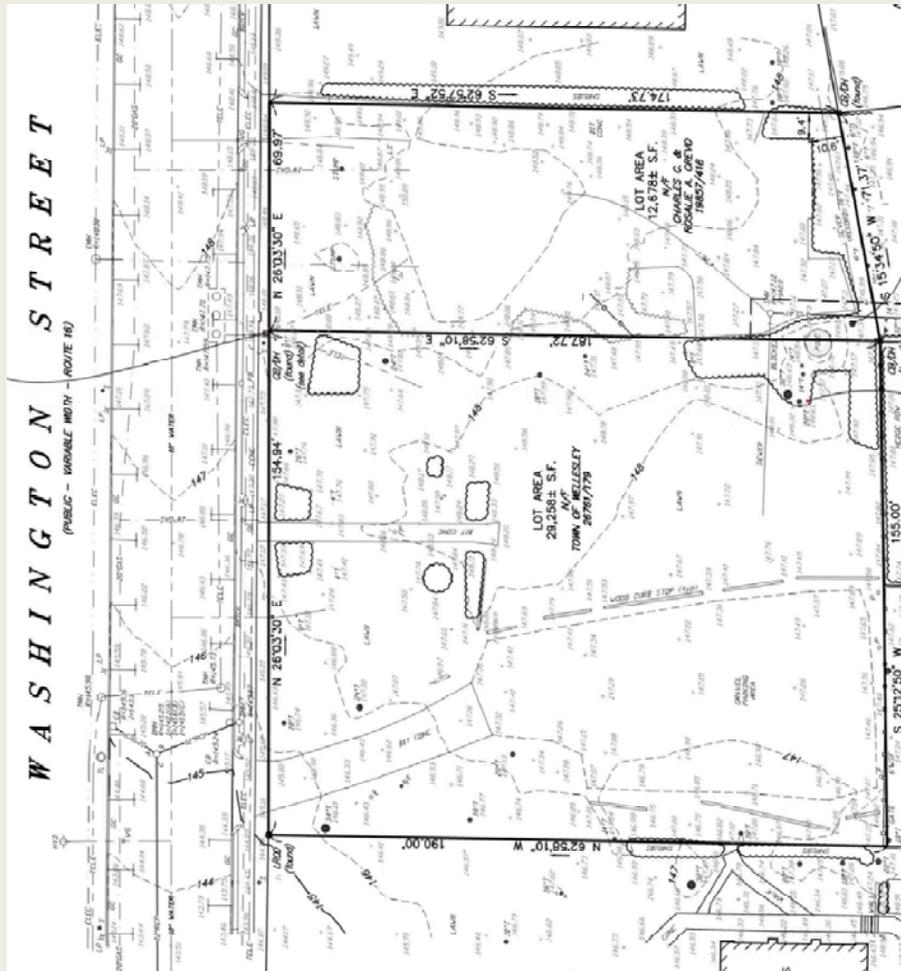


Tolles Parsons Center

# Tolles Parsons Center

- 42,000 SF site at 494/496 Washington Street
- 13,000 SF, 2-Story Building
- Site improvements with 58 parking spaces
- Program space for activities
- Office space for Council on Aging
- Commercial kitchen

# Existing Site Conditions



- 41,963 SF lot
  - Will be combined into single lot prior to construction
- General Residence District
- Level site
- Existing storm drainage by surface runoff
- Previously occupied by multi-family residence and American Legion hall

# Permits & Approvals

## Project of Significant Impact

- Determine impact on Town's existing capital infrastructure
  - Water
  - Sewer
  - Electric
  - Building Occupant Life Safety
  - Refuse Disposal and Recycling
  - Storm Drainage
  - Traffic: Intersections, Sidewalks, Footways & Bicycles
- No significant impacts were found
- Approved by Planning Board on August 24, 2015

## Site Plan Approval

- Conform with Zoning By-law
- Incorporate Design Review Board comments
- Approve construction mitigation plan
- Approve Municipal Use in General Residence zoning district
- Approved by Zoning Board of Appeals on December 22, 2015

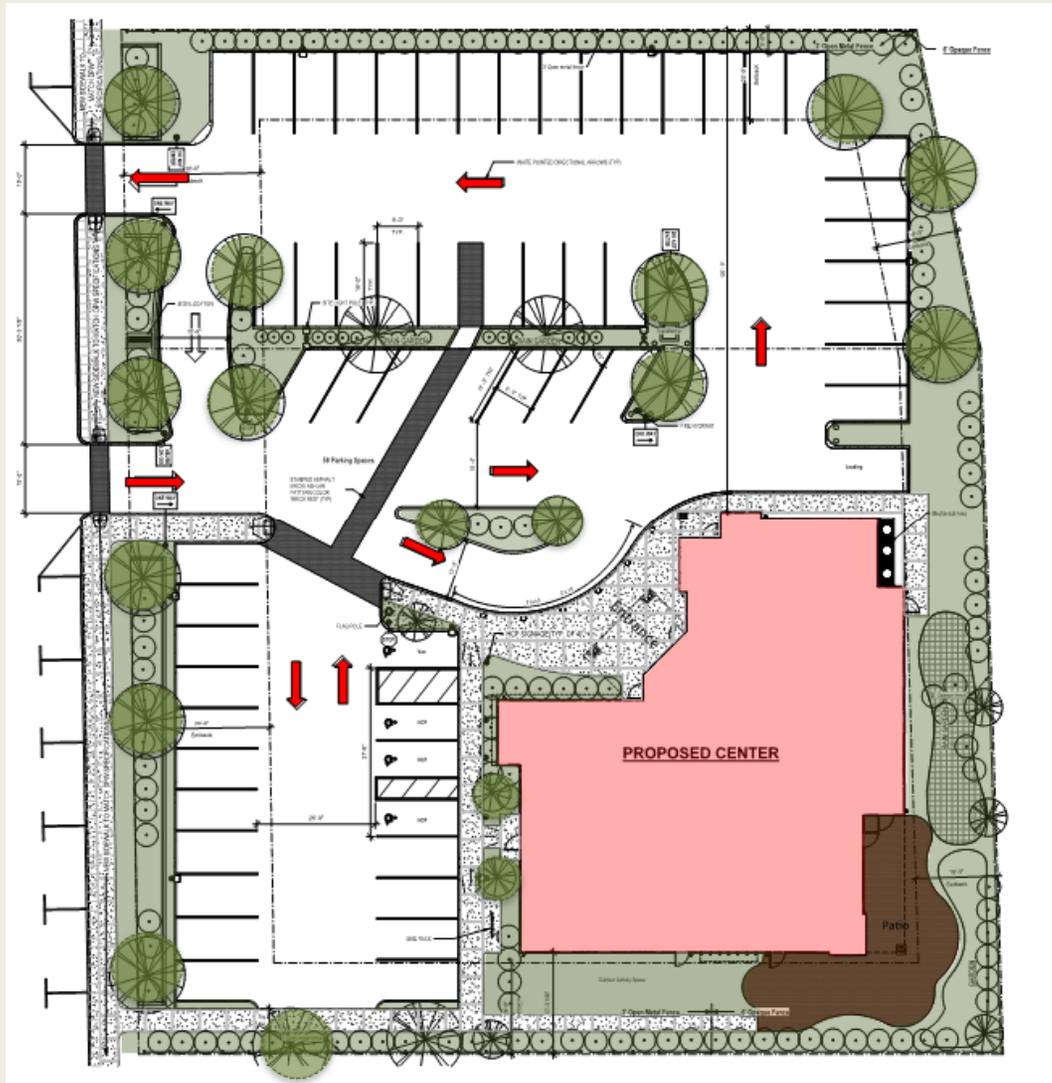
# Bird's-eye View



# Tree-top View



# Site plan



- 58 parking spaces
- Storm water infiltration
- Rain gardens
- Landscape approved by ZBA/DRB
- LED site lighting
- Perimeter fencing to screen neighboring properties

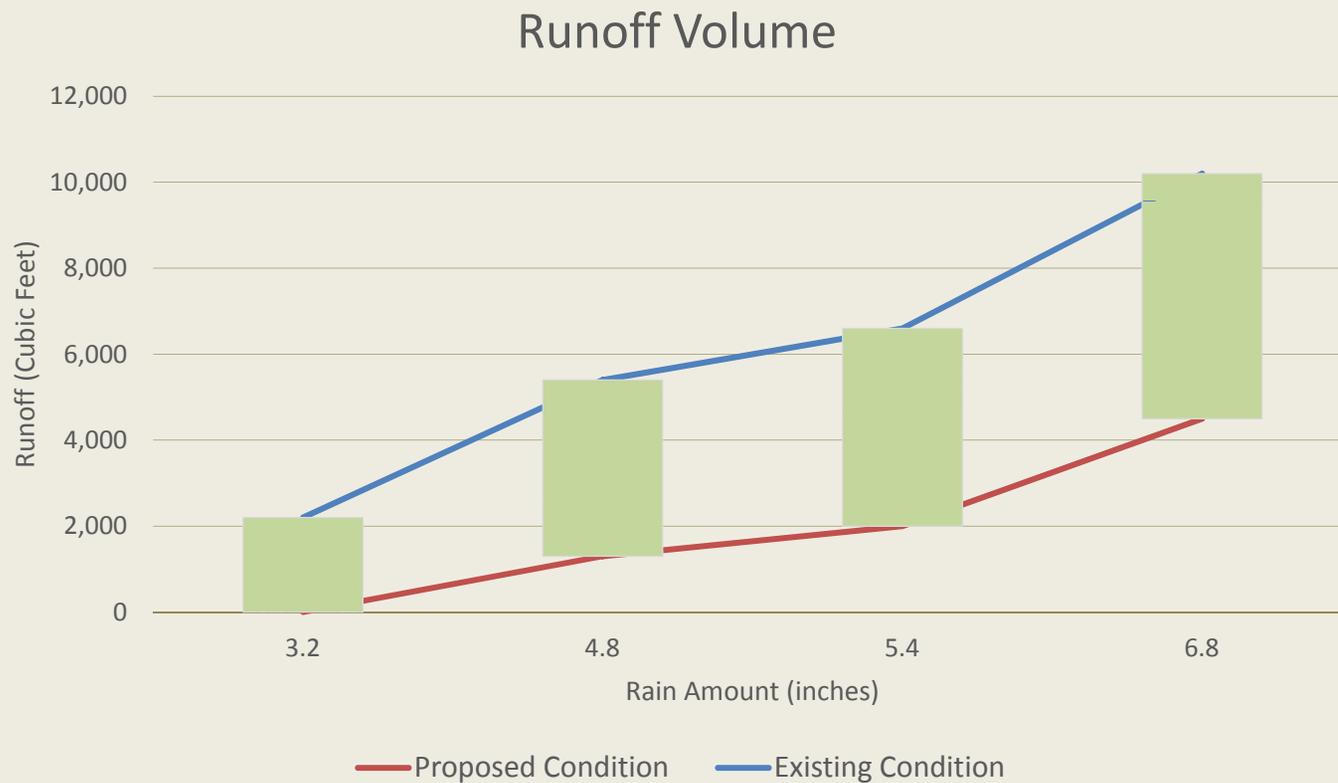
# Protective Screening for Neighbors



# Protective Screening for Neighbors



# Storm Water Runoff Reduced in All Storm Events



# Rendering of Front Facade



- Heavy duty extruded aluminum gutters
- Ice & water shield
- R-50 roof insulation
- R-42 wall insulation
- Triple glazed windows

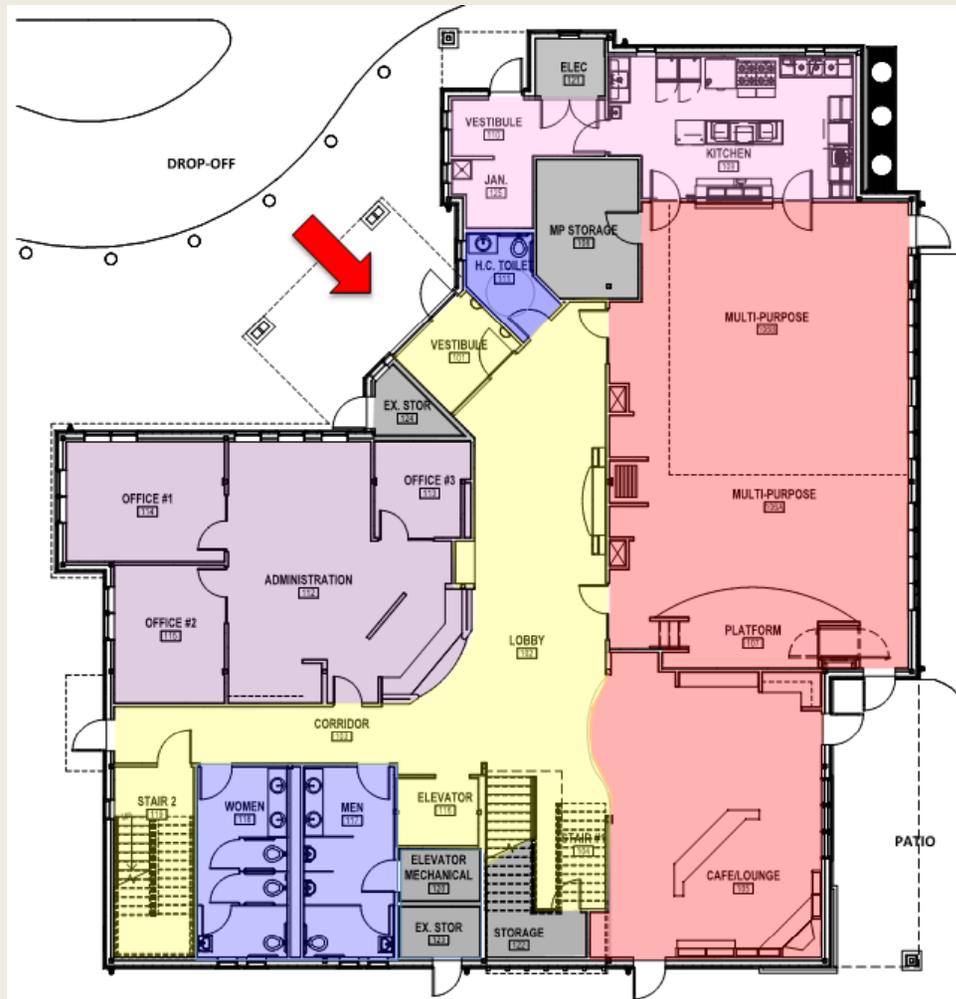
# Rendering of Rear Garden



# Exterior Material

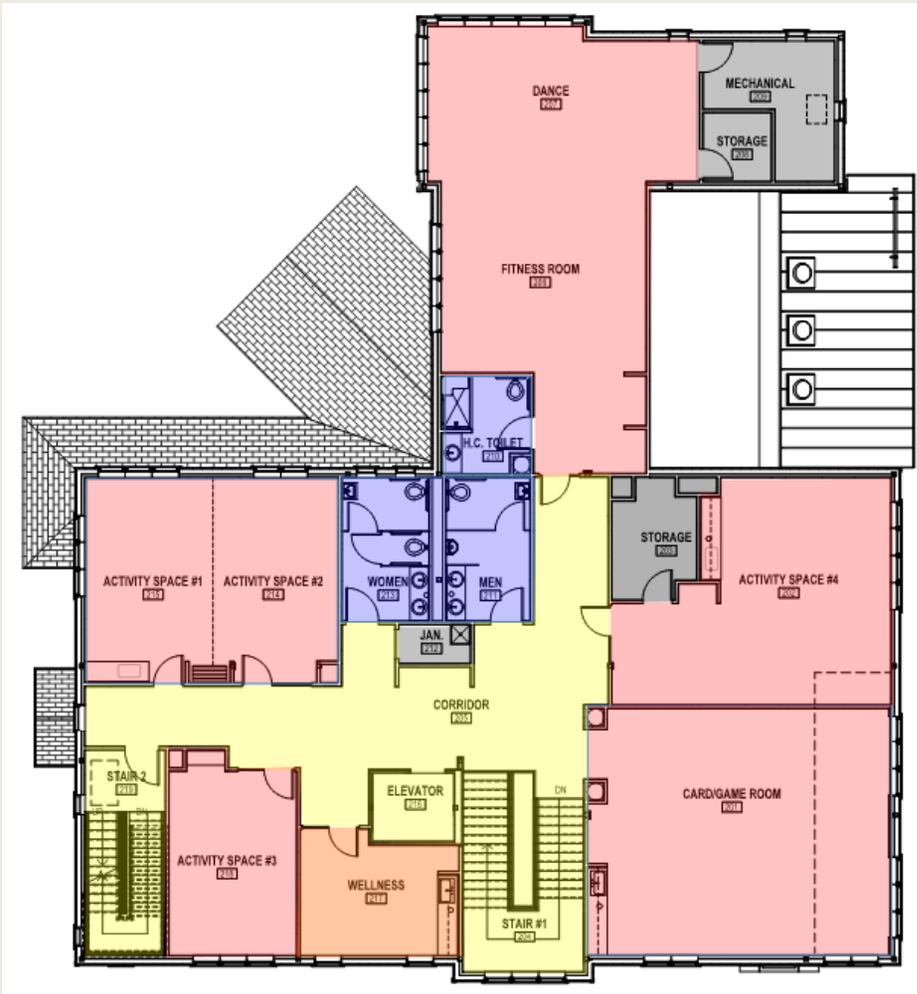
- Craftsman Style Building Design
  - Gabled roof
  - Front porch
  - Tapered square columns
  - 6-over-1 windows
- Siding
  - Factory finished cementitious clapboards and shingles
  - Cellular PVC painted trim
- Roofing
  - Glass fiber reinforced asphalt shingles (40 year warranty)
  - PVC roof with standing seams
- Windows
  - Operable single-hung windows in occupied spaces
  - Fixed windows in non-occupied spaces
  - High energy efficiency insulated glass
- Highly insulated exterior envelope to reduce energy costs
- Enclosure independently peer reviewed during design
  - Gales Associates – enclosure design
  - WSP – MEP/FP design

# First floor plan



- CoA offices
- Multi-purpose room
- Café/lounge
- Outdoor patio
- Commercial kitchen
  - Required to serve food per MA health regulations
  - Designed to minimize maintenance
- All spaces fully accessible

# Second floor plan



- Fitness room
- Card/game room
- Activity & program spaces
- Flexible office space
- All spaces fully accessible

# Interior Materials

- Flooring
  - Carpet tiles
  - Linoleum
- Walls
  - Painted gypsum wallboard
- Ceilings
  - Acoustic ceiling tiles & gypsum wallboard
- Lighting
  - LED fixtures
  - Solar tubes

# Building Systems

- Variable Refrigerant Flow heat pumps
  - Excellent control of building comfort
  - Very energy efficient
- Low-flow plumbing fixtures to minimize water consumption
- High efficiency light fixtures
- Addressable fire alarm system
- Full sprinkler protection
- Building Automation System tied to FMD
- Systems independently peer reviewed during design
  - Exterior enclosure design review by Gale Associates
  - MEP/FP design review by WSP Associates

# Energy Conservation

- R-42 Exterior wall insulation
- R-50 Roof insulation
- Triple-glazed windows
- VRF mechanical system
- Low-flow plumbing fixtures
- LED light fixtures
- Enhanced natural lighting
- Over-sized stormwater retention system
- Rain gardens
- Sustainable native plantings

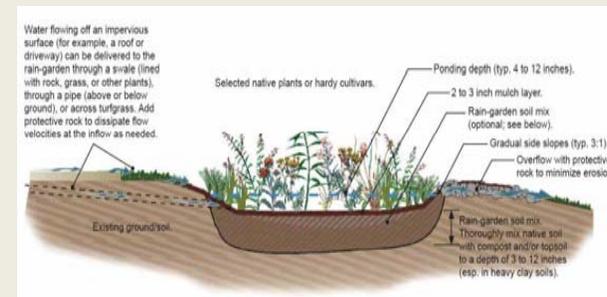
# Sustainable Design Emphasis



- LEED Silver Certifiable
- Rain Gardens
- Electric Consumption
- Mechanical/Electrical/  
Plumbing Commissioning



- Storm Water Management
- Water Consumption
- Building Envelope Insulation
- Enclosure Commissioning



# Construction Bidding

## Filed Sub-bids

- 13 categories of work
- \$2,236,903 cumulative value
- 81 sub-bids received on March 11, 2016

## General Bids

- Nine (9) bids received on March 24, 2016
- Range from high of \$6,960,000 to low of \$5,697,000
- Low sub-bids included in general bids
- Three (3) lowest bids within \$20,000
- Low bidder is \$281,000 below pre-bid budget (4.7%)
- Appropriation request adjusted accordingly

# Construction Budget

## ***Construction***

General Contractor	\$5,697,000
Off site Mitigation	40,000
<b><i>Total Construction</i></b>	<b>\$5,737,000</b>

## ***Architectural & Engineering***

Construction Administration	\$173,000
Architect's Reimbursables	9,000
<b><i>Total Architectural &amp; Engineering</i></b>	<b>\$182,000</b>

# Construction Budget

## ***Other Professional Services***

Owner's Project Manager	\$125,000
Clerk of Works	\$120,000
Material Testing - concrete, soil, asphalt	\$10,000
Roof Inspection Services	\$5,000
DPW - Connection Backcharges	\$5,000
MLP - Electric Backcharges	\$35,000
Utility (Gas) backcharges	\$10,000
Fiber Optic Town Network	\$15,000
Fire Prevention Review	\$1,500
M/ E / P Commissioning	\$20,000
Enclosure Commissioning	\$20,000
Other Services - CATV Service	\$6,000
Other Services - Telephone Service - Veri	\$6,000
<b><i>Total Other Professional Services</i></b>	<b>\$378,500</b>

# Construction Budget

## ***Furnishings, Fixtures & Equipment***

Fixtures / Furniture & Equipment	\$197,000
Moving / Relocation	\$12,500
Interior Consultant	\$39,000
Wellesley Media Broadcast Equipment	\$90,000
<b><i>Total Furnishings, Fixtures &amp; Equipment</i></b>	<b>\$338,500</b>

## ***Other Project related Expenses***

PBC Expenses - including clerk's	\$5,000
Building, Electrical & Plumbing Permits	\$0
Builder's Risk Insurance	\$25,000
Legal Expense Allowance	\$10,000
<b><i>Total Other Project Related Expenses</i></b>	<b>\$40,000</b>

## ***Contingency***

Hard Cost Contingency	\$574,000
Soft Cost Contingency	\$47,000
<b><i>Total Contingency</i></b>	<b>\$621,000</b>
<b><i>Total Appropriation</i></b>	<b>\$7,297,000</b>

# Construction Budget

<b><i>Construction</i></b>	<b>\$5,737,000</b>
<b><i>Architectural &amp; Engineering</i></b>	<b>\$182,000</b>
<b><i>Other Professional Services</i></b>	<b>\$378,500</b>
<b><i>Furnishings, Fixtures &amp; Equipment</i></b>	<b>\$338,500</b>
<b><i>Other Project related Expenses</i></b>	<b>\$40,000</b>
<b><i>Contingency</i></b>	<b>\$621,000</b>
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