

# ISSUED FOR SITE PLAN REVIEW AND PROJECT OF SIGNIFICANT IMPACT WELLESLEY COUNTRY CLUB WELLESLEY, MA

### LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	SUBMITTED	REVISED THROUGH
EXISTING CONDITIONS PLAN, SHEET 1	EC-01	10/29/2012	—
EXISTING CONDITIONS PLAN, SHEET 2	EC-02	10/29/2012	—
EXISTING CONDITIONS PLAN, SHEET 3	EC-03	10/29/2012	—
EXISTING CONDITIONS PLAN, SHEET 4	EC-04	10/29/2012	—
PROPOSED OVERALL LAYOUT PLAN	C-1.0	10/29/2012	—
PROPOSED LAYOUT AND MATERIALS PLAN, SHEET 1	C-1.1	10/29/2012	12/28/2012
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PROPOSED GRADING AND DRAINAGE PLAN, SHEET 1	C-2.1	10/29/2012	12/28/2012
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PROPOSED UTILITIES PLAN, SHEET 1	C-3.1	10/29/2012	12/28/2012
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PROPOSED PLANTING PLAN, SHEET 3	C-4.3	10/29/2012	12/28/2012
PROPOSED SITE DETAILS, SHEET 1	C-5.1	10/29/2012	12/28/2012
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PROPOSED SITE DETAILS, SHEET 3	C-5.3	10/29/2012	12/28/2012
PROPOSED PHOTOMETRICS PLAN, SHEET 1	C-6.1	10/29/2012	12/28/2012
EXISTING WATERSHEDS PLAN	WS-1	10/29/2012	12/28/2012
PROPOSED WATERSHEDS PLAN	WS-2	10/29/2012	12/28/2012

**APPLICANT/OWNER:**  
WELLESLEY COUNTRY CLUB  
294 WELLESLEY AVE.  
WELLESLEY, MA 02481

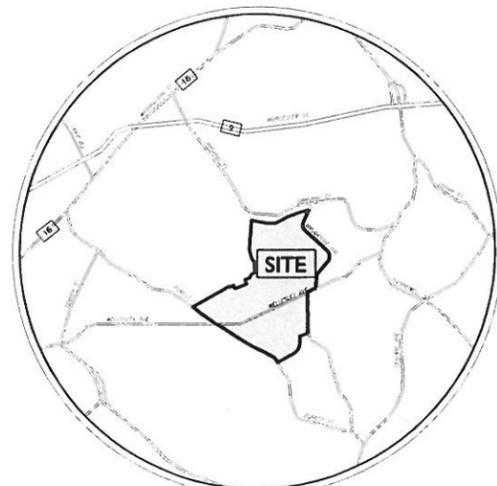
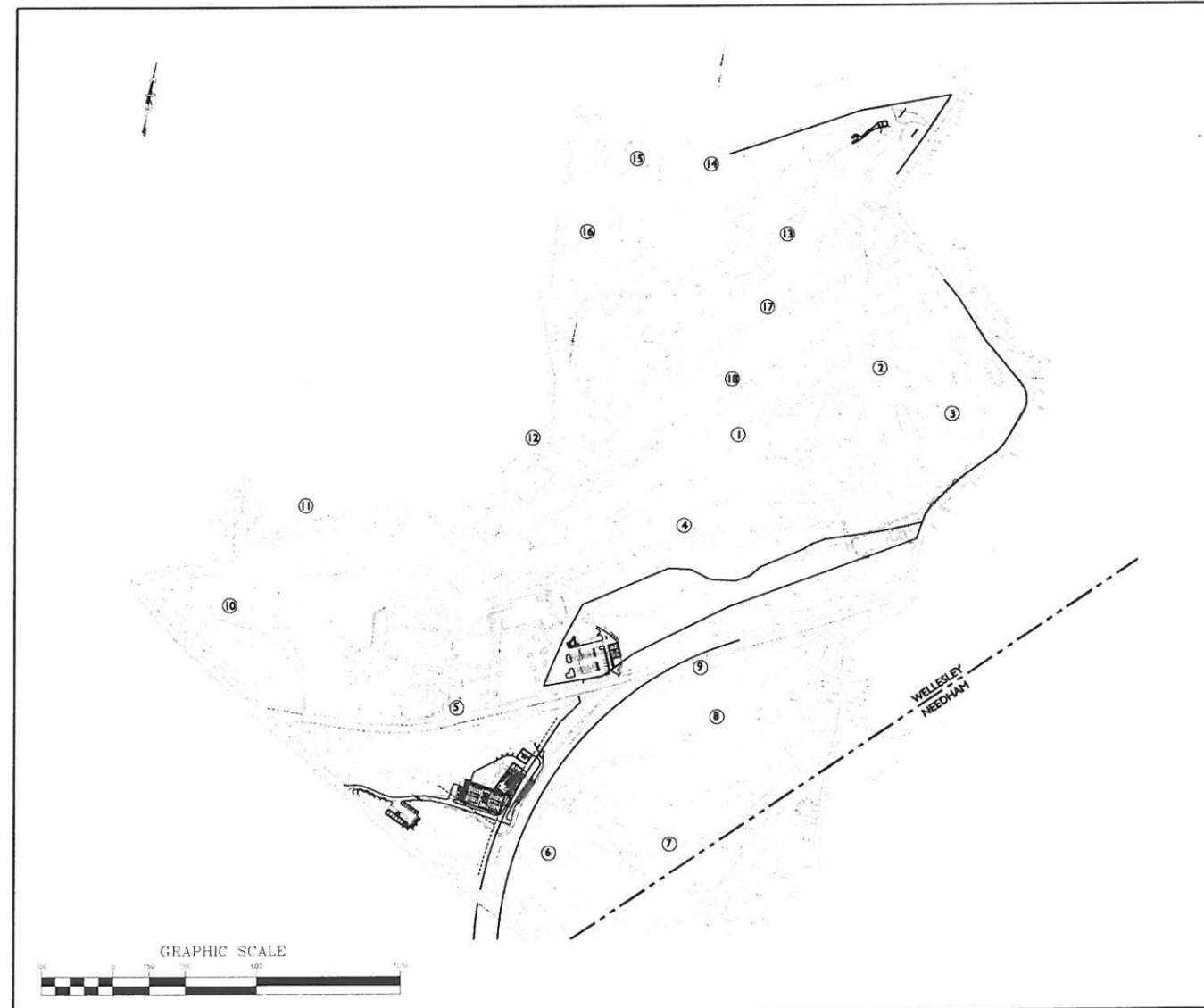
**CONTRACTOR:**  
NEW ENGLAND CONSTRUCTION  
239 BOURNE AVE.  
RUMFORD, RI 02916

**SITE ENGINEERS:**  
ALLEN & MAJOR ASSOCIATES, INC.  
10 MAIN STREET  
LAKEVILLE, MA 02346

**ARCHITECT:**  
GOLF STRUCTURE ALTERNATIVES  
PO BOX 779  
RYE, NH 03870

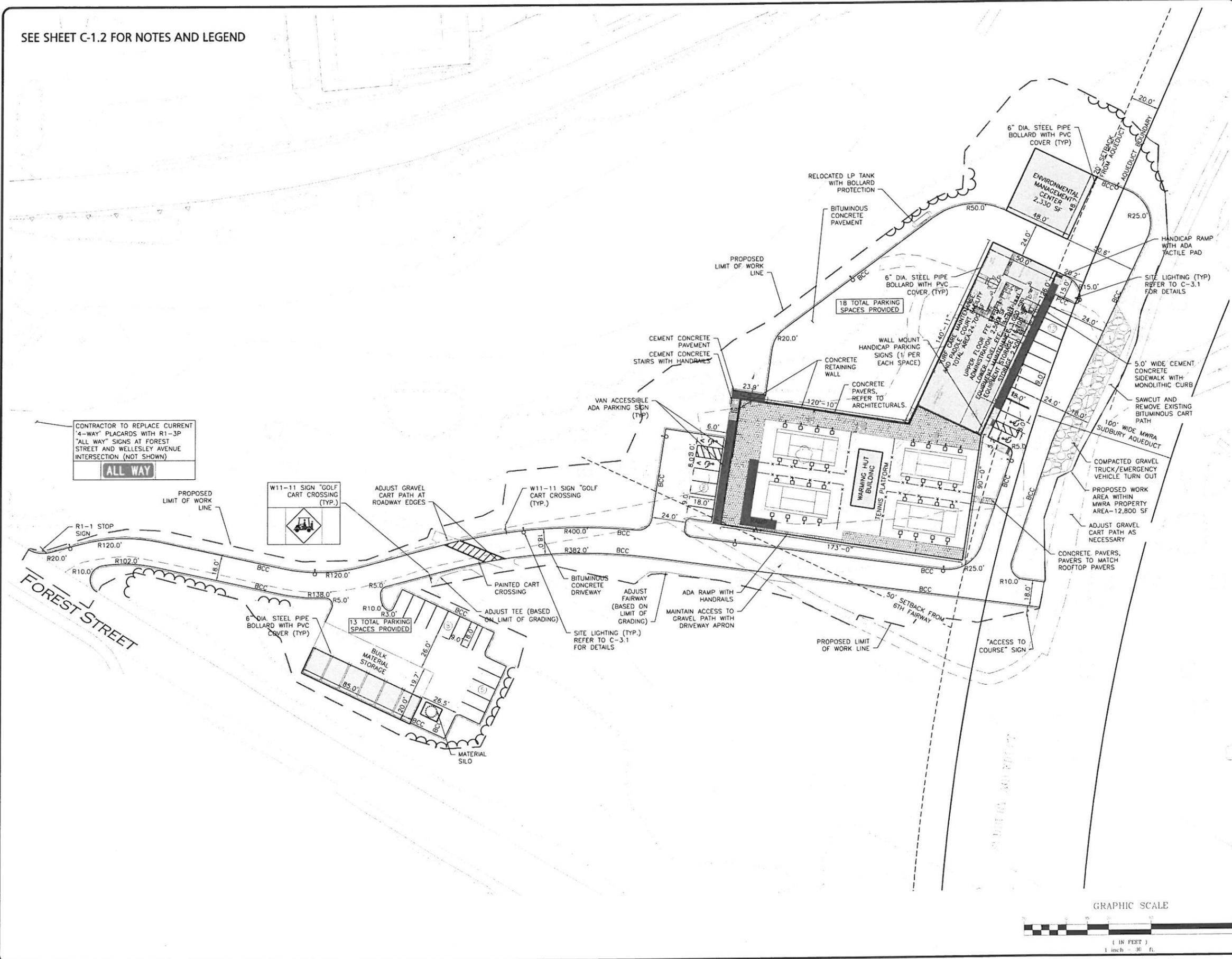
**SURVEYORS:**  
ANDREWS SURVEY AND ENGINEERING INC.  
PO BOX 312, 104 MENDON ST.  
UXBRIDGE, MA 01569

**REVISION 1  
DECEMBER 28, 2012**



**LOCUS MAP**  
N.T.S

SEE SHEET C-1.2 FOR NOTES AND LEGEND



CONTRACTOR TO REPLACE CURRENT '4-WAY' PLACARDS WITH R1-3P 'ALL WAY' SIGNS AT FOREST STREET AND WELLESLEY AVENUE INTERSECTION (NOT SHOWN)

W11-11 SIGN "GOLF CART CROSSING (TYP.)"

R1-1 STOP SIGN

13 TOTAL PARKING SPACES PROVIDED

W11-11 SIGN "GOLF CART CROSSING (TYP.)"

50' SETBACK FROM 6TH FAIRWAY

"ACCESS TO COURSE" SIGN



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

1	12-28-2012	PER REVIEW COMMENTS
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 294 WELLESLEY AVE.  
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PROJECT:  
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 WELLESLEY, MA

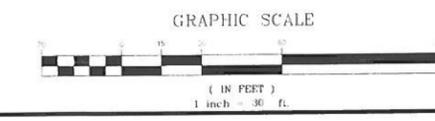
PROJECT NO.	1828-02	DATE	SEPTEMBER 17, 2012
SCALE:	1" = 30'	DWG. NAME:	C1828-02-LM
DESIGNED BY:	PLC / ES	CHECKED BY:	PLC

**ALLEN & MAJOR ASSOCIATES, INC.**  
 civil & structural engineering • land surveying  
 environmental consulting • landscape architecture  
 www.allenmajor.com

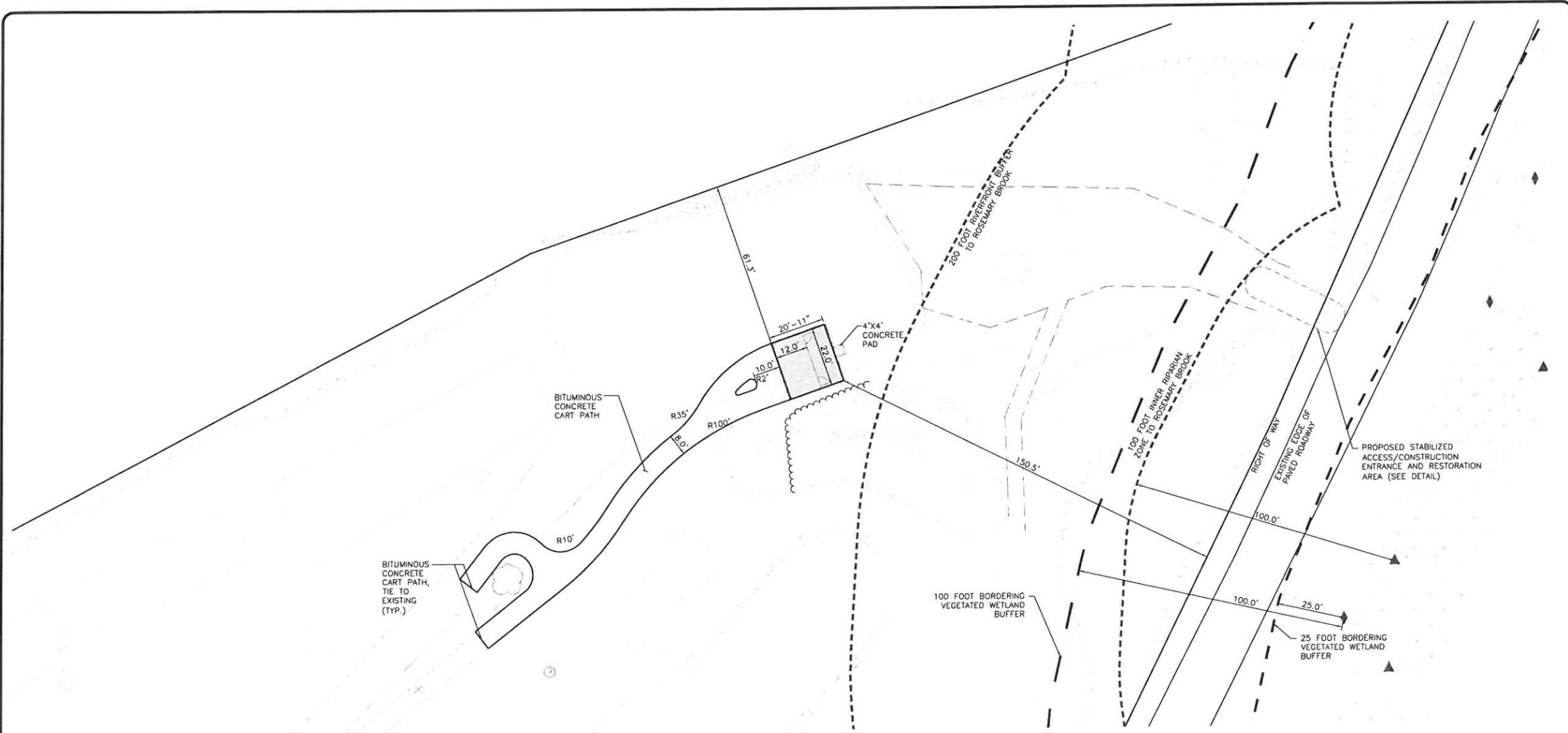
10 MAIN STREET  
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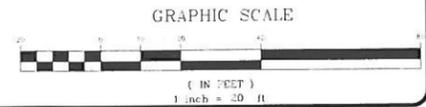
DRAWING TITLE:	SHEET No.
<b>PROPOSED LAYOUT PLAN</b>	<b>C-1.1</b>



**GENERAL NOTES**

1. APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF WELLESLEY REGULATIONS AND ORDINANCES, AND O.S.H.A. STANDARDS. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS OF THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND TOWN REGULATIONS AND/OR SPECIFICATIONS.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "CALL BEFORE YOU DIG" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES, AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES DESIGNATED ON THESE DRAWINGS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
6. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
9. ALL ISLANDS WITH CURB SHALL BE LANDSCAPED. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
10. ALL DIMENSIONS AND RADI ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL CURBING MATERIAL SHALL BE AS NOTED WITH A 6" REVEAL UNLESS OTHERWISE NOTED.
11. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BASE BID.
12. EXISTING CONDITIONS ARE BASED ON THE SURVEY PREPARED BY FIELD RESOURCES INC. OF NEEDHAM, MA DATED AUGUST 12, 2010, REVISED SEPTEMBER 14, 2010 AND SUPPLEMENTED WITH DIGITIZED AERIAL PHOTOGRAPH INFORMATION OBTAINED BY ALLEN & MAJOR ASSOCIATES.
13. HANDICAP ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE ARCHITECTURAL ACCESS BOARD OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC SAFETY, THE AMERICANS WITH DISABILITIES ACT OR ANY AGENCY SUPERSEDING SUCH AGENCY.
14. ACCESSIBLE PARKING SPACES DESIGNATED WITH A "V" SHALL BE SIGNED AS "VAN ACCESSIBLE" PER A.D.A. 4.1.2.5b. BARRIER FREE RAMP SHALL BE CONSTRUCTED AT ALL STREET INTERSECTIONS AND DRIVEWAY APPROACHES.
15. ALL HANDICAP RAMPS SHALL BE POURED CEMENT CONCRETE. ALL HANDICAP RAMPS WHICH LEAD FROM A "SAFE" AREA TO A TRAVELED WAY SHALL HAVE AN INTEGRAL TRUNCATED DOME DETECTABLE WARNING SURFACE INSTALLED, PER ADA STANDARDS.
16. PLOWED SNOW SHALL BE STACKED IN UNUSED PARKING SPACES AND NOT VISUALLY IMPAIR SAFE TRAVEL OF VEHICULAR OR PEDESTRIAN MOVEMENTS. HIGHER EVENT SNOW FALLS, OR IF DESIGNATED AREAS ARE AT CAPACITY, SHALL REQUIRE THE SNOW TO BE REMOVED FROM THE SITE.

LEGEND:	
EXISTING PROPERTY LINE	---
PROPOSED PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Outline]
BUILDING ARCHITECTURE	[Hatched]
BUILDING INTERIOR WALLS	[Dashed]
CURB	====
HAYRALES	-----
PARKING STRIPING	[Striped]
PARKING COUNT	U
TRANSFORMER	T
WETLAND BUFFER 25'	-----
WETLAND BUFFER 100'	-----
RIVERFRONT BUFFER 100'	-----
RIVERFRONT BUFFER 200'	-----



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

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WELLESLEY COUNTRY CLUB  
294 WELLESLEY AVE.  
WELLESLEY, MA 02481

PROJECT:  
WELLESLEY COUNTRY CLUB  
WELLESLEY, MA

PROJECT NO.	1828-02	DATE:	SEPTEMBER 17, 2012
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PREPARED BY:  
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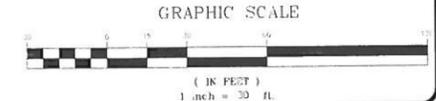
10 MAIN STREET  
LAKEVILLE, MA 02471-1674  
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FAX: (508) 925-6309

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DRAWING TITLE: PROPOSED LAYOUT PLAN	SHEET No. C-1.2
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SEE SHEET C-1.2 FOR NOTES AND LEGEND



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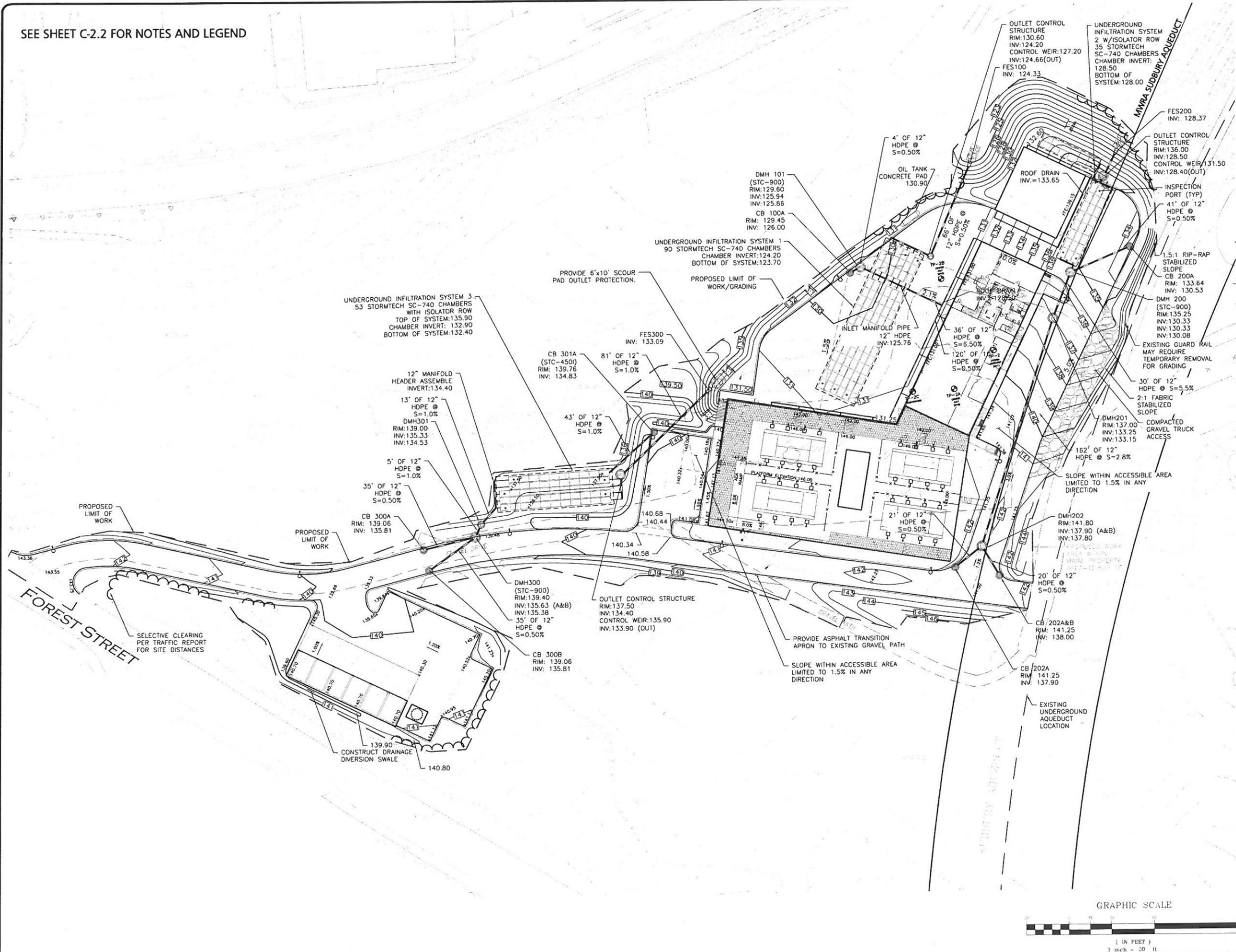
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DRAWING TITLE: <b>PROPOSED LAYOUT PLAN</b>	SHEET No. <b>C-1.3</b>
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SEE SHEET C-2.2 FOR NOTES AND LEGEND



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ALLEN & MAJOR ASSOCIATES, INC.

REV.	DATE	DESCRIPTION
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**WELLESLEY COUNTRY CLUB**  
294 WELLESLEY AVE.  
WELLESLEY, MA 02481

PROJECT:  
**WELLESLEY COUNTRY CLUB**  
WELLESLEY, MA

PROJECT NO.	1828-02	DATE:	SEPTEMBER 17, 2012
SCALE:	1" = 20'	DWG NAME:	C1828-02-G
DESIGNED BY:	PLC / ES	CHECKED BY:	PLC

PREPARED BY:

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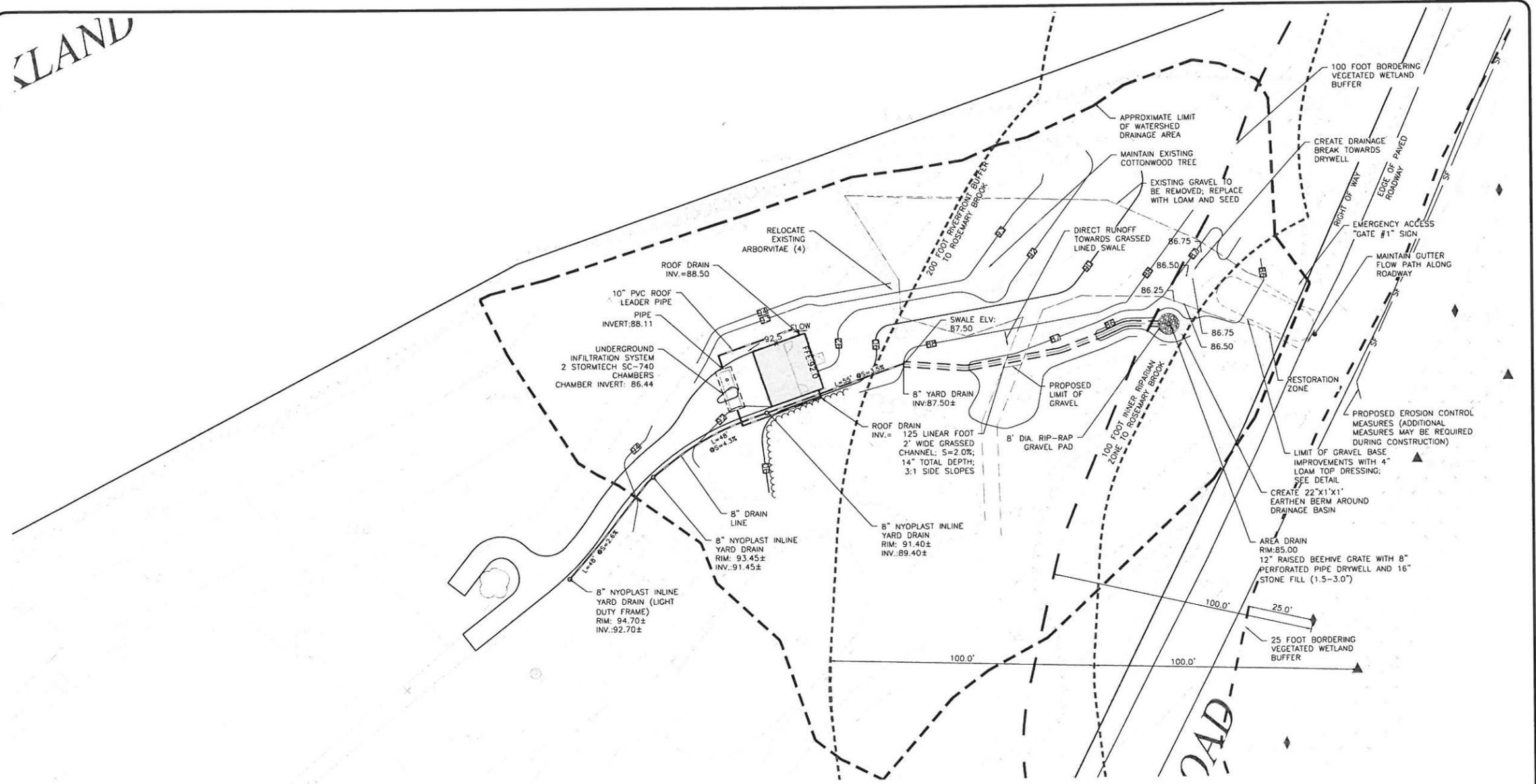
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DRAWING TITLE: <b>GRADING AND DRAINAGE PLAN</b>	SHEET No. <b>C-2.1</b>
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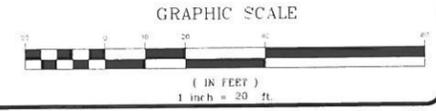
**GRADING AND DRAINAGE NOTES**

- EXISTING CONDITIONS ARE BASED ON THE SURVEY PREPARED BY ANDREWS SURVEY AND ENGINEERING INC. OF UXBIDGE, MA.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- STORM PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CLASS III UNLESS OTHERWISE NOTED ON THE PLANS. INSTALLED WITH A MINIMUM DEPTH OF COVER OF 24\".
- PROPOSED GRADE CONTOUR SHOWN AT 2 FOOT INTERVALS.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CORRECTION AT STRUCTURE IS WATERIGHT.
- ALL STORM DRAIN MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6\" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "DRAIN".
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTIGUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNGRADED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4\" RICHES OF TOP-SOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH TOWN SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AND APPROVED BY OWNER'S REPRESENTATIVE.
- ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO LOCAL DRAINAGE REQUIREMENTS.
- DURING CONSTRUCTION CATCH BASIN INLETS SHALL BE PROTECTED FROM THE TRANSPORT OF SEDIMENT INTO THE CLOSED DRAINAGE SYSTEM BY THE USE OF HAYBALES AT CATCH BASINS OR INSTALLED DIRT SACKS. ALTERNATIVE METHODS MAY BE USED SUBJECT TO OWNER OR ENGINEER APPROVAL.
- A MINIMUM OF 18\" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN

- CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENGAGEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BASE SURVEY AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND-BREAK.
- CONTRACTOR TO NOTIFY CLIENT IN WRITING IF ANY DISCREPANCIES ARE FOUND BEFORE ACTING ON ANY RESOLUTION.
- APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF WELLESLEY REGULATIONS AND ORDINANCES AND O.S.H.A. STANDARDS. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS OF THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES BETWEEN TOWN REGULATIONS AND PLANS.
- ALL NEW ROOF DRAINAGE PIPES SHALL BE PVC, SIZED AS NOTED ON THE PLANS, TURNED UP ABOVE GRADE AND BE TERMINATED WITH A FITTING SPECIFICALLY DESIGNED TO RECEIVE A RECTANGULAR DOWNSPOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL DRAINAGE STRUCTURES ON SITE PRIOR TO COMPLETION OF PROJECT. THIS INCLUDES FLUSHING ALL DRAIN PIPES AND CLEANING ALL MANHOLES AND CATCH BASIN SUMPS OF ALL SEDIMENT AND DEBRIS.
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONCRETE STRUCTURES FOR BUOYANCY PRIOR TO FABRICATION. THE CONTRACTOR SHALL TAKE MEASURES TO GUARANTEE STRUCTURES DO NOT FLOAT WHEN FULLY SUBMERGED DUE TO GROUNDWATER OR OTHER INUNDATION.
- ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- WHERE THE SITE GRADING ABUTS THE ROADWAY, THE OUTER LINE IS TO BE MAINTAINED ON THE MAIN ROADWAY.
- ACCESSIBLE PARKING AREA MUST NOT EXCEED 2.0% IN ANY DIRECTION TO INSURE COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. ADA ACCESSIBLE PATHS CAN NOT EXCEED 5.0% RUNNING SLOPE WITH A 2% CROSS SLOPE.
- THE EROSION MEASURES SHOWN HEREON REPRESENT THE MINIMAL NECESSARY TO BE IMPLEMENTED DURING CONSTRUCTION. ADDITIONAL MEASURES MAY BE REQUIRED BASED ON FIELD CONDITIONS OR AS SPECIFIED IN THE ORDER OF CONDITIONS. IT IS THE DESIGN INTENT TO UTILIZE A DIRT SOCK EROSION BARRIER OR APPROVED EQUAL.

**LEGEND:**

- CATCH BASIN
- DRAIN LINE
- RIPRAP OUTFALL
- 10' CONTOUR
- 2' CONTOUR
- SPOT GRADE
- WETLAND BUFFER 25'
- WETLAND BUFFER 100'
- RIVERFRONT BUFFER 100'
- RIVERFRONT BUFFER 200'
- UNDERGROUND INFILTRATION SYSTEM
- EROSION BARRIER



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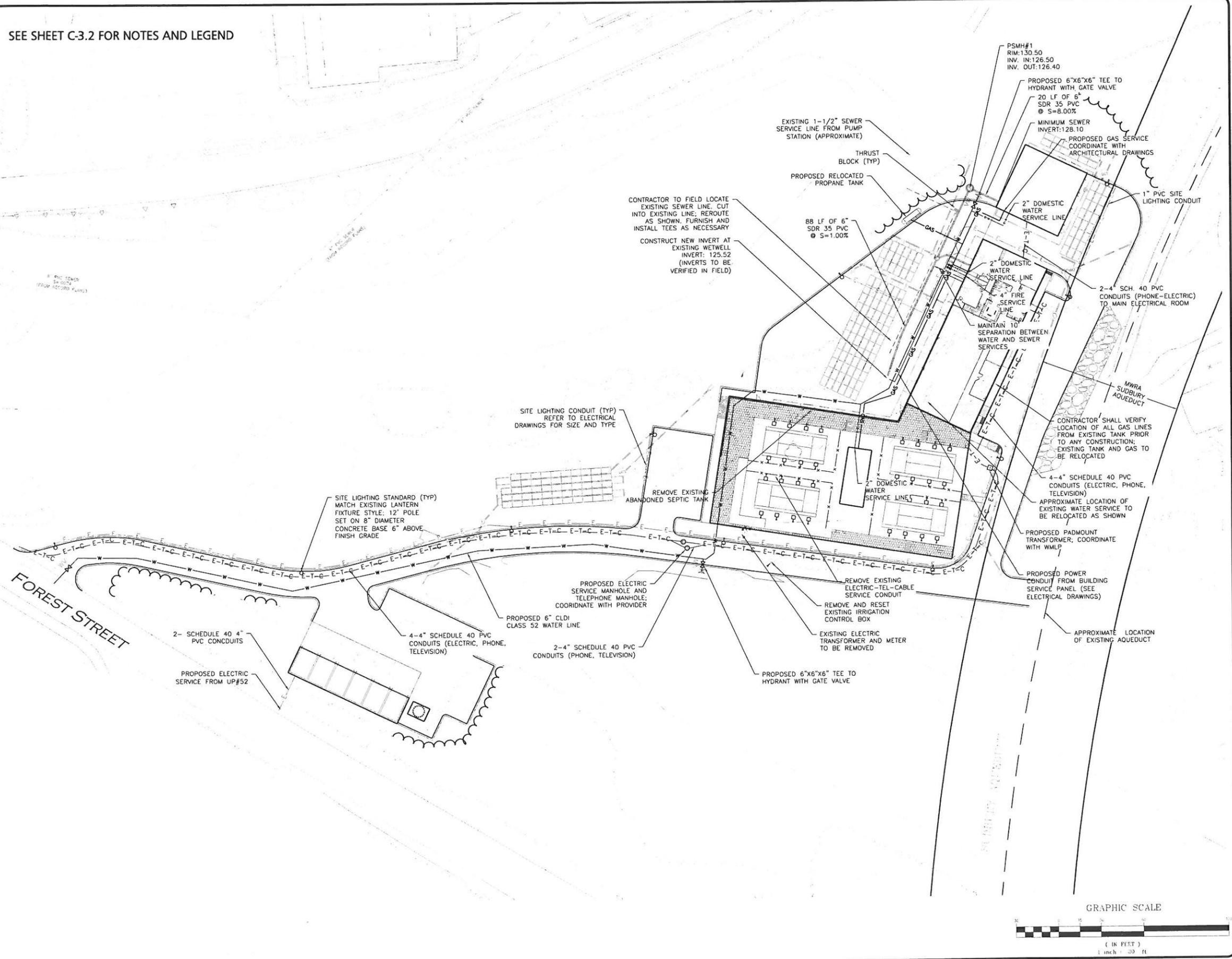
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DRAWING TITLE: **GRADING AND DRAINAGE PLAN**    SHEET No. **C-2.2**



SEE SHEET C-3.2 FOR NOTES AND LEGEND



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DRAWING TITLE: UTILITIES PLAN SHEET No. C-3.1



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

1	12/28/2012	PER REVIEW COMMENTS
REV.	DATE	DESCRIPTION

APPLICANT/OWNER:  
**WELLESLEY COUNTRY CLUB**  
294 WELLESLEY AVE.  
WELLESLEY, MA 02481

PROJECT:  
**WELLESLEY COUNTRY CLUB**  
WELLESLEY, MA

PROJECT NO. 1828-02 DATE: SEPTEMBER 17, 2012

SCALE: 1" = 20' DWG NAME: C1828-02-U

DESIGNED BY: PLC / ES CHECKED BY: PLC

PLC/ES/PLC BY:



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civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com

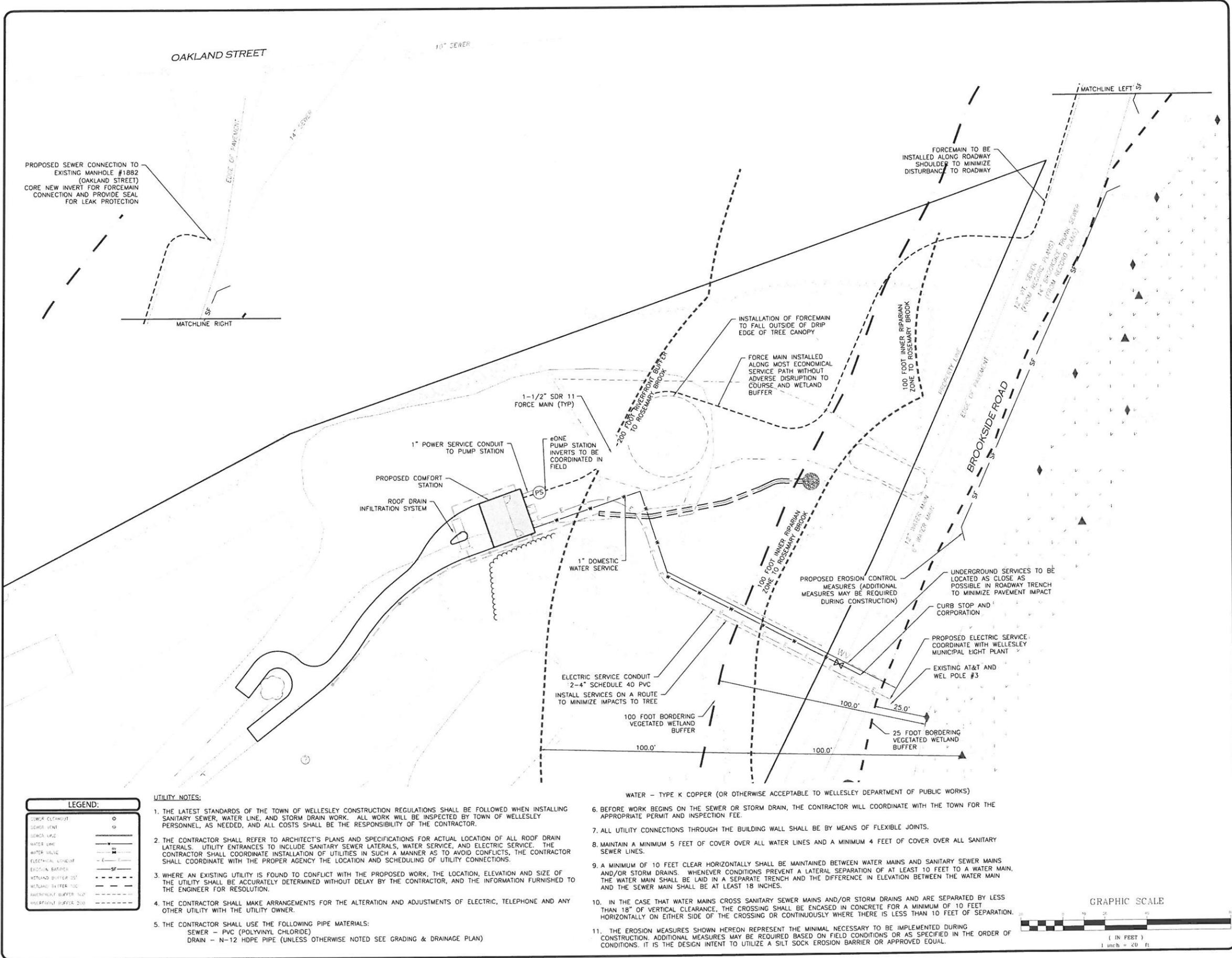
10 MAIN STREET  
LAKEVILLE, MA 02347-1074  
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DRAWING TITLE: **UTILITIES PLAN** SHEET No. **C-3.2**

DATE: 12/28/2012



PROPOSED SEWER CONNECTION TO EXISTING MANHOLE #1882 (OAKLAND STREET) CORE NEW INVERT FOR FORCEMAIN CONNECTION AND PROVIDE SEAL FOR LEAK PROTECTION

OAKLAND STREET

10" SEWER

MATCHLINE RIGHT

MATCHLINE LEFT

FORCEMAIN TO BE INSTALLED ALONG ROADWAY SHOULDER TO MINIMIZE DISTURBANCE TO ROADWAY

INSTALLATION OF FORCEMAIN TO FALL OUTSIDE OF DRIP EDGE OF TREE CANOPY

FORCE MAIN INSTALLED ALONG MOST ECONOMICAL SERVICE PATH WITHOUT ADVERSE DISRUPTION TO COURSE AND WETLAND BUFFER

100 FOOT INNER RIPARIAN ZONE TO ROSEMARY BROOK

12" DI. SEWER (FROM RECORD PLANS) 74" (FROM RECORD PLANS) 74" (FROM RECORD PLANS)

1-1/2" SDR 11 FORCE MAIN (TYP)

1" POWER SERVICE CONDUIT TO PUMP STATION

#ONE PUMP STATION INVERTS TO BE COORDINATED IN FIELD

PROPOSED COMFORT STATION

ROOF DRAIN INFILTRATION SYSTEM

1" DOMESTIC WATER SERVICE

PROPOSED EROSION CONTROL MEASURES (ADDITIONAL MEASURES MAY BE REQUIRED DURING CONSTRUCTION)

UNDERGROUND SERVICES TO BE LOCATED AS CLOSE AS POSSIBLE IN ROADWAY TRENCH TO MINIMIZE PAVEMENT IMPACT

CURB STOP AND CORPORATION

PROPOSED ELECTRIC SERVICE COORDINATE WITH WELLESLEY MUNICIPAL EIGHT PLANT

EXISTING AT&T AND WEL POLE #3

ELECTRIC SERVICE CONDUIT 2-4" SCHEDULE 40 PVC INSTALL SERVICES ON A ROUTE TO MINIMIZE IMPACTS TO TREE

100 FOOT BORDERING VEGETATED WETLAND BUFFER

25 FOOT BORDERING VEGETATED WETLAND BUFFER

WATER - TYPE K COPPER (OR OTHERWISE ACCEPTABLE TO WELLESLEY DEPARTMENT OF PUBLIC WORKS)

**UTILITY NOTES:**

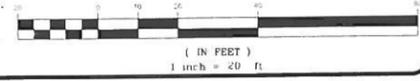
1. THE LATEST STANDARDS OF THE TOWN OF WELLESLEY CONSTRUCTION REGULATIONS SHALL BE FOLLOWED WHEN INSTALLING SANITARY SEWER, WATER LINE, AND STORM DRAIN WORK. ALL WORK WILL BE INSPECTED BY TOWN OF WELLESLEY PERSONNEL, AS NEEDED, AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS, UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, WATER SERVICE, AND ELECTRIC SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF UTILITY CONNECTIONS.
3. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
4. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF ELECTRIC, TELEPHONE AND ANY OTHER UTILITY WITH THE UTILITY OWNER.
5. THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:  
SEWER - PVC (POLYVINYL CHLORIDE)  
DRAIN - N-12 HDPE PIPE (UNLESS OTHERWISE NOTED SEE GRADING & DRAINAGE PLAN)

6. BEFORE WORK BEGINS ON THE SEWER OR STORM DRAIN, THE CONTRACTOR WILL COORDINATE WITH THE TOWN FOR THE APPROPRIATE PERMIT AND INSPECTION FEE.
7. ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
8. MAINTAIN A MINIMUM 5 FEET OF COVER OVER ALL WATER LINES AND A MINIMUM 4 FEET OF COVER OVER ALL SANITARY SEWER LINES.
9. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF AT LEAST 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
10. IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND/OR STORM DRAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE CROSSING SHALL BE ENCASED IN CONCRETE FOR A MINIMUM OF 10 FEET HORIZONTALLY ON EITHER SIDE OF THE CROSSING OR CONTINUOUSLY WHERE THERE IS LESS THAN 10 FEET OF SEPARATION.
11. THE EROSION MEASURES SHOWN HEREON REPRESENT THE MINIMAL NECESSARY TO BE IMPLEMENTED DURING CONSTRUCTION. ADDITIONAL MEASURES MAY BE REQUIRED BASED ON FIELD CONDITIONS OR AS SPECIFIED IN THE ORDER OF CONDITIONS. IT IS THE DESIGN INTENT TO UTILIZE A SILT SOCK EROSION BARRIER OR APPROVED EQUAL.

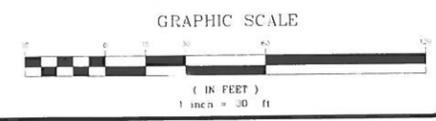
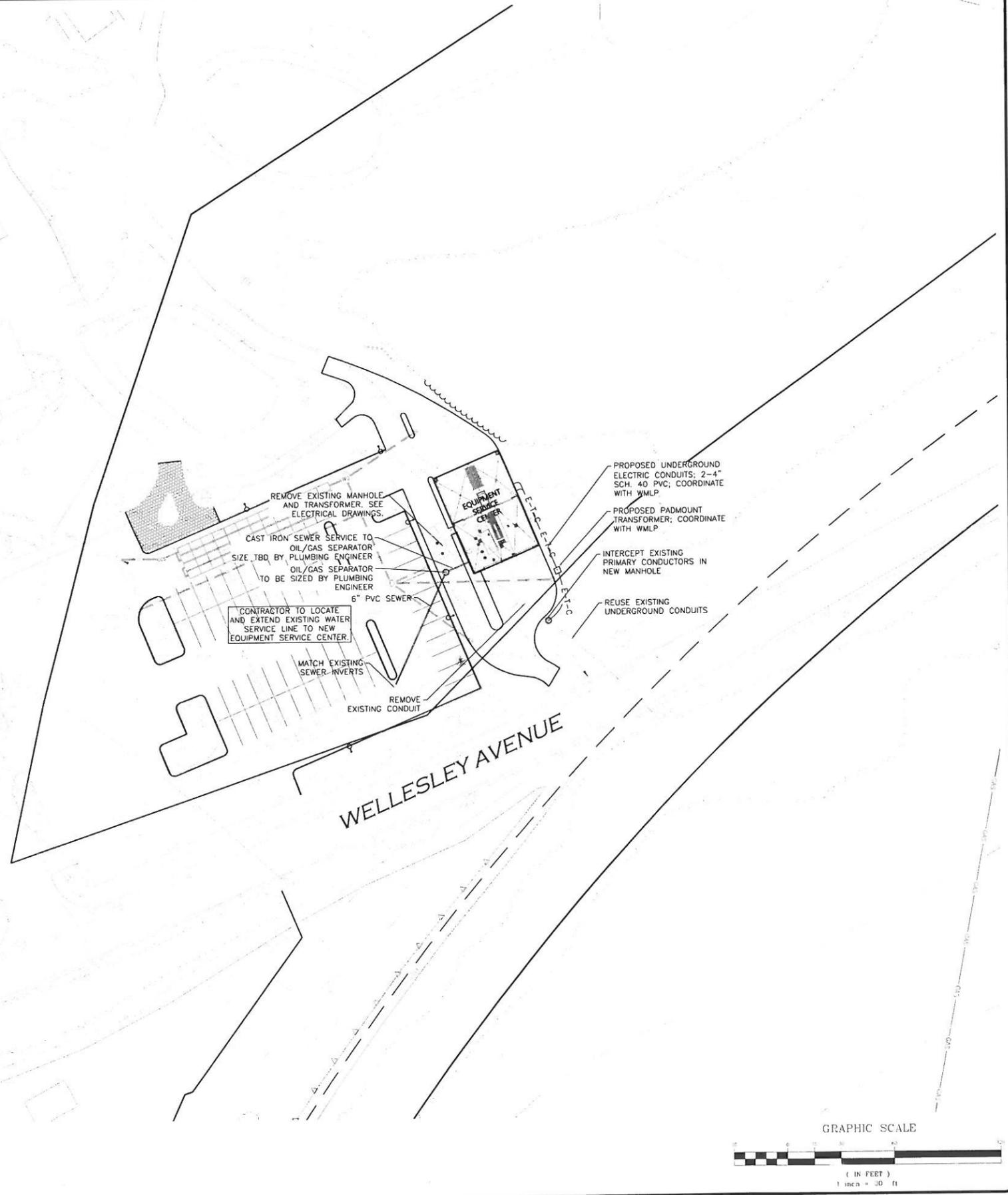
**LEGEND:**

SEWER CLEANOUT	⊙
SEWER VENT	⊕
SEWER LINE	—
WATER LINE	—
WATER VALVE	⊕
ELECTRIC CONDUIT	—
EROSION BARRIER	—
WETLAND BUFFER 25'	—
WETLAND BUFFER 100'	—
WETLAND BUFFER 150'	—
WETLAND BUFFER 200'	—

GRAPHIC SCALE



SEE SHEET C-3.2 FOR NOTES AND LEGEND



PROFESSIONAL ENGINEER FOR  
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294 WELLESLEY AVE.  
WELLESLEY, MA 02481

PROJECT:  
WELLESLEY COUNTRY CLUB  
WELLESLEY, MA

PROJECT NO: 1828-02 DATE: SEPTEMBER 17, 2012  
SCALE: 1" = 30' DWG. NAME: C1828-02-U  
DESIGNED BY: PLC/ES CHECKED BY: PLC

Allen & Major Associates, Inc. logo

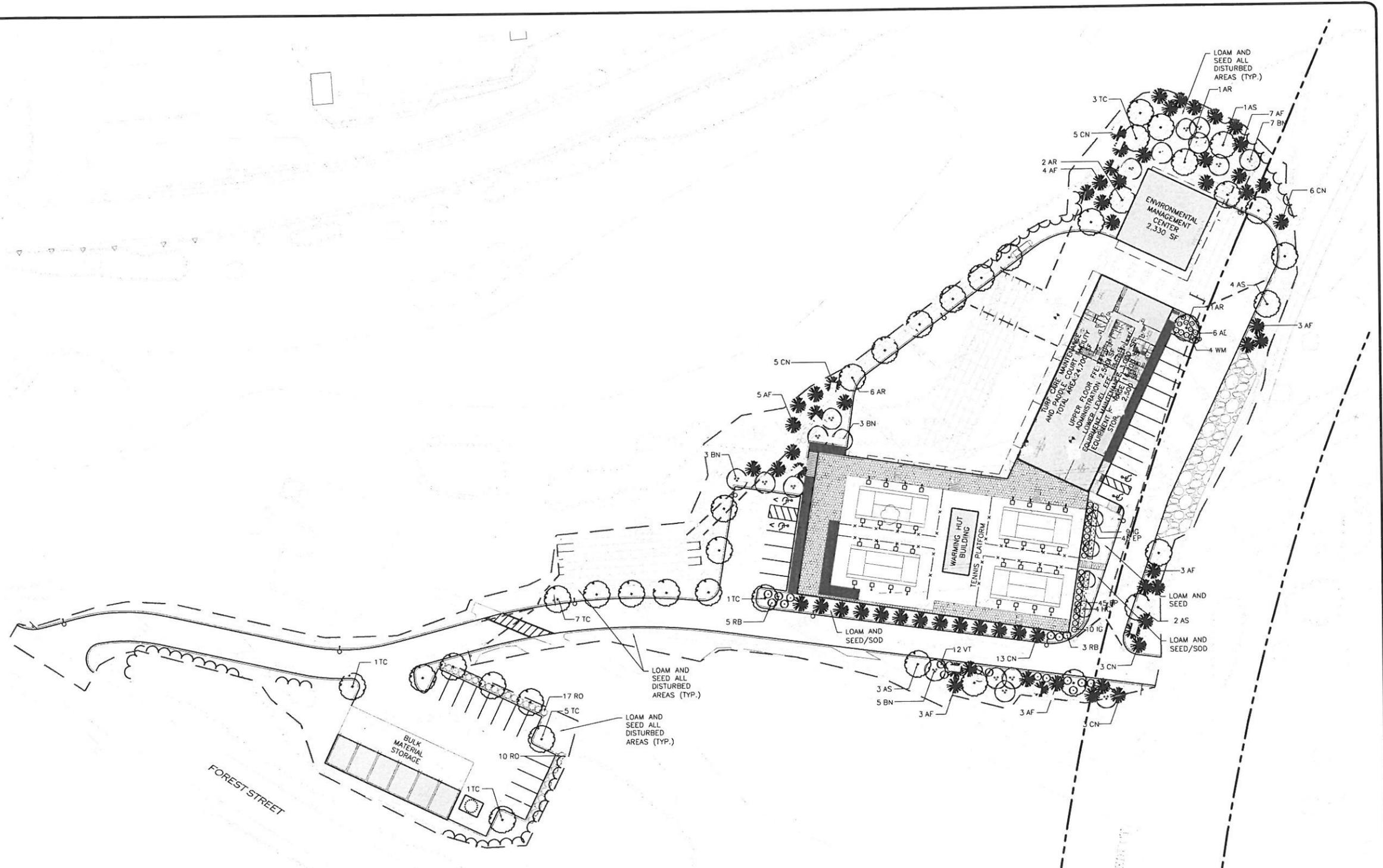
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DRAWING TITLE: UTILITIES PLAN SHEET No. C-3.3



PROFESSIONAL ENGINEER FOR  
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APPLICANT/OWNER:  
WELLESLEY COUNTRY CLUB  
294 WELLESLEY AVE.  
WELLESLEY, MA 02481

PROJECT:  
WELLESLEY COUNTRY CLUB  
WELLESLEY, MA

PROJECT NO.	1828-02	DATE:	SEPTEMBER 17, 2012
SCALE:	1" = 30'	DWG. NAME:	C1828-02-P
DESIGNED BY:	PLC / ES	CHECKED BY:	PLC

PREPARED BY:

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DRAWING TITLE: **PROPOSED PLANTING PLAN** SHEET NO. **C-4.1**

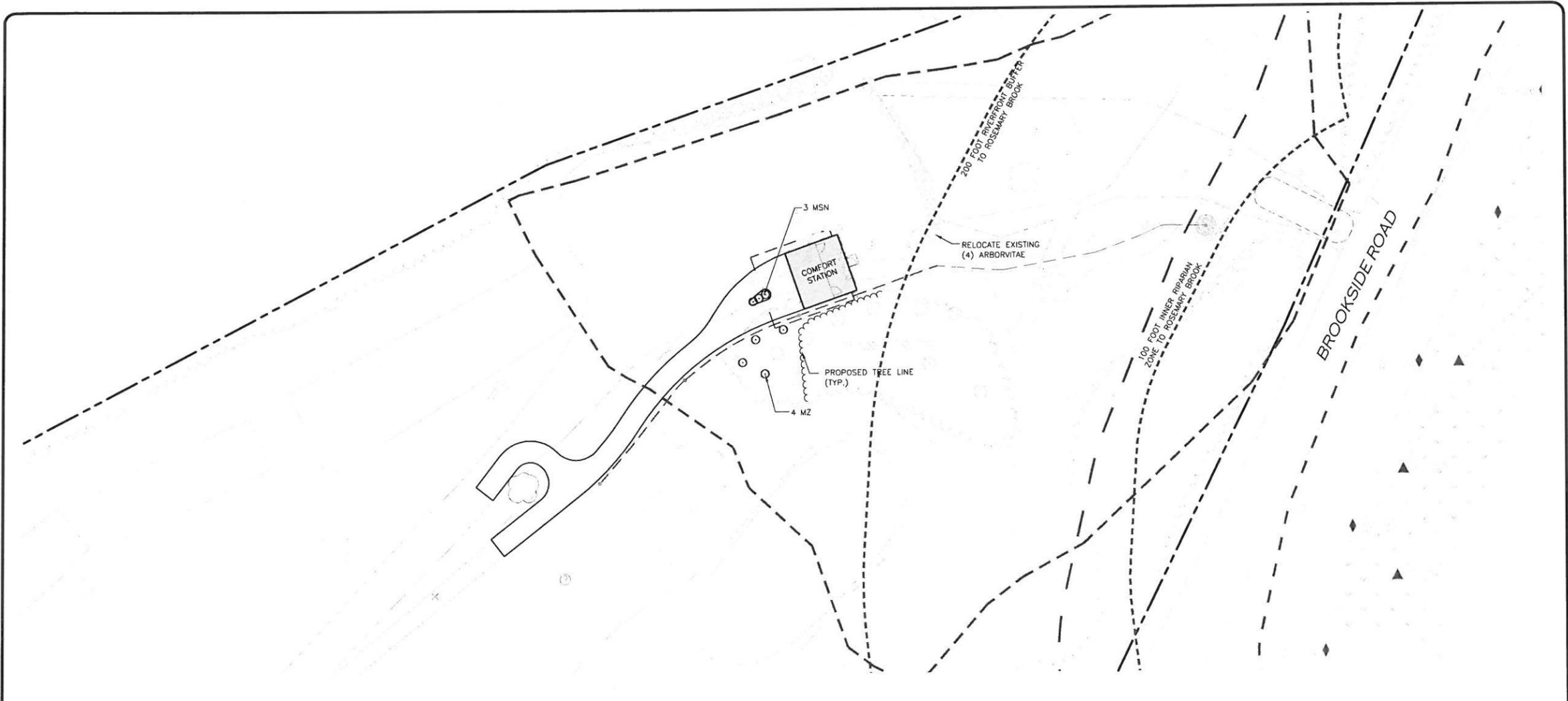
PLANTING SCHEDULE				
KEY	QNTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>DECIDUOUS TREES</b>				
AR	10	ACER RUBRUM 'RED SUNSET'	RED MAPLE	2 1/2"-3" CAL.
TC	18	TILIA CORDATA	LITTLE LEAF LINDEN	2 1/2"-3" CAL.
<b>FLOWERING TREES</b>				
BN	18	BETULA NIGRA 'HERITAGE CULLY'	HERITAGE RIVER BIRCH	7'-8' HT.
HC	4	HALESIA CAROLINA	SILVERBELL	5'-6' HT.
<b>EVERGREEN TREES</b>				
AF	28	ABIES FRASERII	FRASER FIR	7'-8' HT.
CN	35	CHAMAECYPARIS NOOTKATENSIS 'GLAUCA'	BLUE ALASKA CEDAR	7'-8' HT.

KEY	QNTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>SHRUBS</b>				
AB	6	AZALEA BLAAUW'S PINK	BLAAUW'S PINK AZALEA	2'-2 1/2' HT.
IG	19	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	#7 POT
WM	4	WEIGELA FLORIDA MY MONET	MENET WEIGELA	#3 POT
RB	8	RHODODENDRON 'BOULE DE NEIGE'	BOULE DE NEIGE RHODODENDRON	2.5'-3' HT.
RO	27	RHODODENDRON OLGA	OLGA RHODODENDRON	2'-2.5' HT.
VT	12	VIBURNUM TOMENTOSUM 'SHASTA'	SHASTA VIBURNUM	4'-5' HT.
<b>PERENNIALS</b>				
EP	90	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#3 POT

**GENERAL NOTES**

- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED BOTH INSIDE AND OUTSIDE THE CONTRACT LIMIT LINE.
- THE SUBCONTRACTOR SHALL PROTECT ALL EXISTING TREES AND VEGETATION TO REMAIN.
- ALL UNSURFACED AREAS SHALL RECEIVE 6" OF TOPSOIL, GRASS SEED, MULCH AND BE WATERED AND MAINTAINED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AND MOWED TWICE.
- ALL SHRUBS SHALL BE SURROUNDED BY PINE BARK MATERIAL.
- REFER TO LANDSCAPE/MECHANICAL PLANS FOR IRRIGATION DETAIL.
- ALL EXISTING PLANTED AREAS OUTSIDE THE LIMIT OF WORK SHALL REMAIN UNDISTURBED.
- ALL RIP-RAP IS TO BE COVERED WITH SUFFICIENT LOAM TO ALLOW THE HEALTHY, FULL DEVELOPMENT OF GRASS.



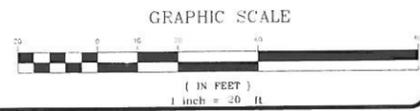


**PLANTING SCHEDULE**

KEY	QNTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>ORNAMENTAL GRASSES</b>				
MSN	3	MISCANTHUS SINENSIS 'NIPPON'	JAPANESE SILVER GRASS	#3 POT
MZ	4	MISCANTHUS SINENSIS 'ZEBRINUS'	ZEBRA MAIDEN GRASS	#3 POT

**GENERAL NOTES**

1. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED BOTH INSIDE AND OUTSIDE THE CONTRACT LIMIT LINE.
2. THE SUBCONTRACTOR SHALL PROTECT ALL EXISTING TREES AND VEGETATION TO REMAIN.
3. ALL UNSURFACED AREAS SHALL RECEIVE 6" OF TOPSOIL, GRASS SEED, MULCH AND BE WATERED AND MAINTAINED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AND MOWED TWICE.
4. ALL SHRUBS SHALL BE SURROUNDED BY PINE BARK MATERIAL.
5. REFER TO LANDSCAPE/MECHANICAL PLANS FOR IRRIGATION DETAIL.
6. ALL EXISTING PLANTED AREAS OUTSIDE THE LIMIT OF WORK SHALL REMAIN UNDISTURBED.
7. ALL RIP-RAP IS TO BE COVERED WITH SUFFICIENT LOAM TO ALLOW THE HEALTHY, FULL DEVELOPMENT OF GRASS.



PROFESSIONAL ENGINEER FOR  
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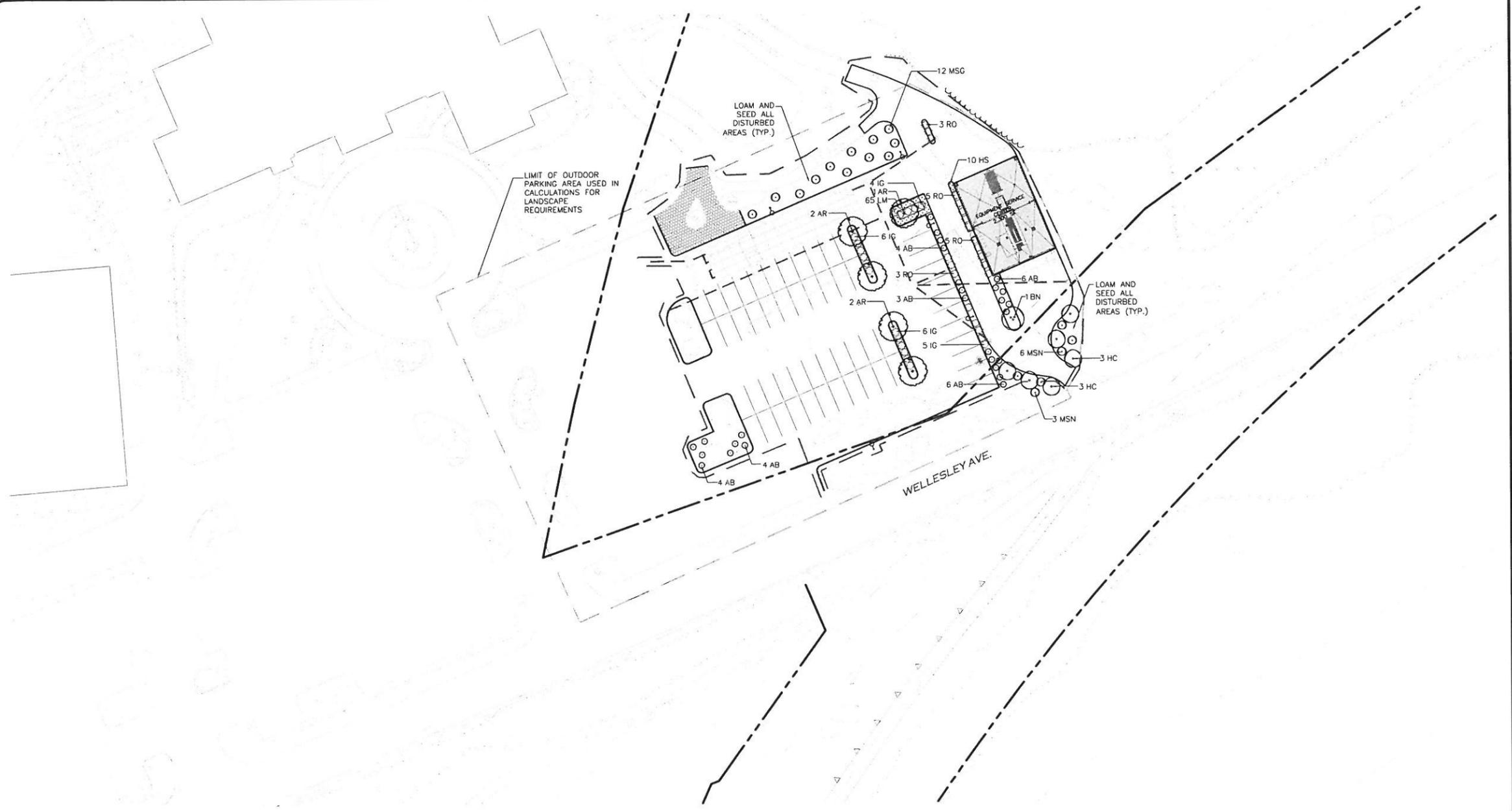
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DRAWING TITLE: PROPOSED PLANTING PLAN SHEET No. C-4.2



**TOWN OF WELLESLEY, ZONING SUMMARY:**

**SECTION XXI - OFF-STREET PARKING  
SUBPART 3 - DEVELOPMENT STANDARDS  
LANDSCAPING**

**ITEM A REQUIRED:** OUTDOOR PARKING AREAS CONTAINING TWENTY (20) OR MORE PARKING SPACES, THERE SHALL BE PLANTED AT LEAST ONE TREE FOR EVERY TEN (10) PARKING SPACES ON ANY SIDE OF THE PERIMETER OF SUCH PARKING AREA THAT ABUTS THE SIDE LINE OF A PRIVATE OR PUBLIC WAY, OR ABUTS THE LOT LINE IN RESIDENTIAL DISTRICTS OR LAND USED FOR RESIDENTIAL PURPOSES.

**EQUIPMENT SERVICE CENTER:**  
59 PROPOSED PARKING STALLS = 6 TREES REQUIRED

**TURF CARE MAINTENANCE FACILITY:**  
36 PROPOSED PARKING STALLS=4 TREES REQUIRED

**PROPOSED:** **EQUIPMENT SERVICE CENTER:**  
9 TREES PROVIDED

**TURF CARE MAINTENANCE FACILITY:**  
11 TREES PROVIDED

**ITEM B REQUIRED:** IN ANY OUTDOOR PARKING AREA A LANDSCAPED OPEN SPACE HAVING AN AREA OF NOT LESS THAN 10% OF THE OUTDOOR PARKING AREA ON THE LOT SHALL BE PROVIDED. A MINIMUM OF 1/2 OF THE REQUIRED LANDSCAPED OPEN SPACE SHALL BE LOCATED IN THE INTERIOR OF THE PARKING AREA.

**PROPOSED:** **EQUIPMENT SERVICE CENTER:**  
PAVED AREA=40,845 SF  
10% REQUIREMENT=4,085 SF

INTERIOR LANDSCAPING=1/2 OF 4,085=2,043 SF REQUIRED  
INTERIOR LANDSCAPING PROVIDED=4,537 SF

**TURF CARE MAINTENANCE FACILITY:**  
PAVED AREA=12,159 SF  
10% REQUIREMENT=1,216 SF

INTERIOR LANDSCAPING=1/2 OF 1,216=608 SF REQUIRED  
INTERIOR LANDSCAPING PROVIDED=1,017 SF

**SECTION XXI - OFF-STREET PARKING  
SUBPART 3 - DEVELOPMENT STANDARDS  
SCREENING**

**REQUIRED:** ANY PARKING, STORAGE, OR SERVICE AREA WHICH ABUTS RESIDENTIAL DISTRICTS OR USES AND ANY PARKING AREA SHALL BE SCREENED FROM A PUBLIC OR PRIVATE WAY IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

**PROPOSED:** **EQUIPMENT SERVICE CENTER:**  
EXISTING SCREENING ALONG WELLESLEY AVE. IS NOT GOING TO BE DISTURBED

**TURF CARE MAINTENANCE FACILITY:**  
EXISTING SCREENING ALONG FOREST STREET IS NOT GOING TO BE DISTURBED

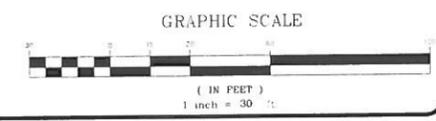
**COMFORT STATION:**  
EXISTING SCREENING ALONG BROOKSIDE ROAD IS NOT GOING TO BE DISTURBED

**GENERAL NOTES**

1. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED BOTH INSIDE AND OUTSIDE THE CONTRACT LIMIT LINE.
2. THE SUBCONTRACTOR SHALL PROTECT ALL EXISTING TREES AND VEGETATION TO REMAIN.
3. ALL UNPAVED AREAS SHALL RECEIVE 4" OF TOPSOIL, GRASS SEED, MULCH AND BE WATERED AND MAINTAINED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AND MOWED TWICE.
4. ALL SHRUBS SHALL BE SURROUNDED BY PINE BARK MATERIAL.
5. REFER TO LANDSCAPE/MECHANICAL PLANS FOR IRRIGATION DETAIL.
6. ALL EXISTING PLANTED AREAS OUTSIDE THE LIMIT OF WORK SHALL REMAIN UNDISTURBED.
7. ALL RIP-RAP IS TO BE COVERED WITH SUFFICIENT LOAM TO ALLOW THE HEALTHY, FULL DEVELOPMENT OF GRASS.

**PLANTING SCHEDULE**

KEY	QNTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>DECIDUOUS TREES</b>				
AR	5	ACER RUBRUM 'RED SUNSET'	RED MAPLE	2 1/2"-3" CAL.
<b>FLOWERING TREES</b>				
BN	1	BETULA NIGRA 'HERITAGE CULLY'	HERITAGE RIVER BIRCH	7'-8' HT.
HC	6	HALESIA CAROLINA	SILVERBELL	5'-6' HT.
<b>SHRUBS</b>				
AB	27	AZALEA BLAAUW'S PINK	BLAAUW'S PINK AZALEA	2'-2 1/2' HT.
RO	16	RHODODENDRON OLGA	OLGA RHODODENDRON	2'-2 1/2' HT.
IG	21	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	#5 POT
<b>ORNAMENTAL GRASSES AND PERENNIALS</b>				
MSG	12	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	#3 POT
MSN	9	MISCANTHUS SINENSIS 'NIPPON'	JAPANESE SILVER GRASS	#3 POT
HS	10	HEMEROCALLIS 'STELLA D'ORO'	DAYLILY	#3 POT
LM	65	LIRIOPE MUSCARI 'BIG BLUE'	LILYTURF	#3 POT





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PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

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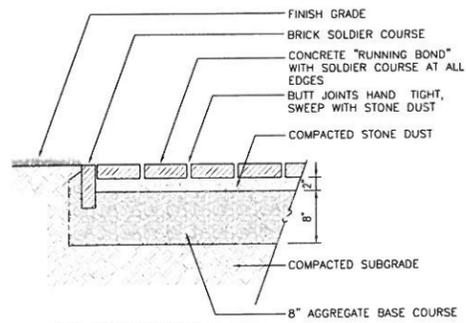
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DRAWING TITLE: <b>PROPOSED PLANTING PLAN</b>	SHEET No. <b>C-4.3</b>
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NOTE: CONCRETE PAVERS TO MATCH THE PAVERS ON ROOF TOP. REFER TO ARCHITECTURALS.

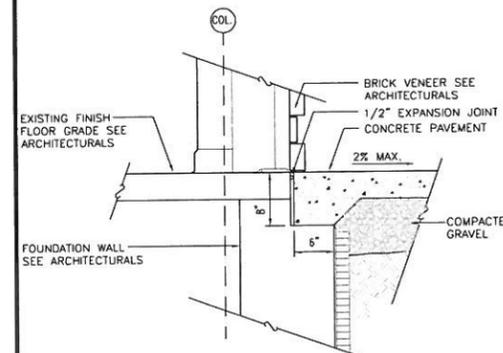
**CONCRETE PAVERS ON STONE DUST**  
NOT TO SCALE



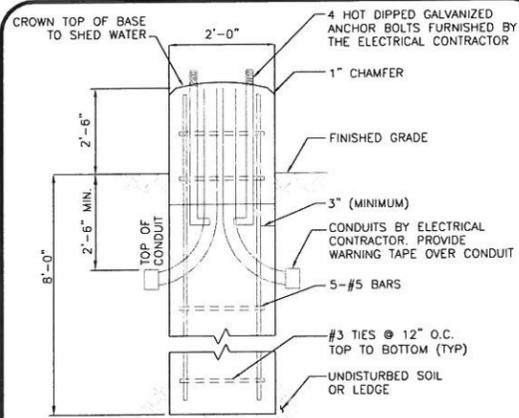
NOTE: R7-8 SIGN - THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFIRM WITH LOCAL REGULATIONS.

TO BE PLACED ONLY AT PARKING SPOTS DENOTED WITH THE LETTER V.

**HANDICAP PARKING SIGN DETAIL**  
NOT TO SCALE

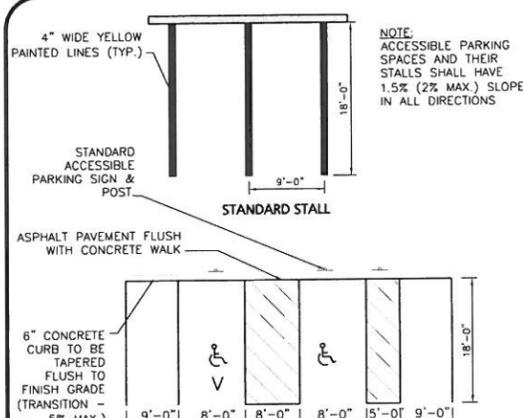


**CONCRETE PAVEMENT AT THRESHOLD**  
NOT TO SCALE



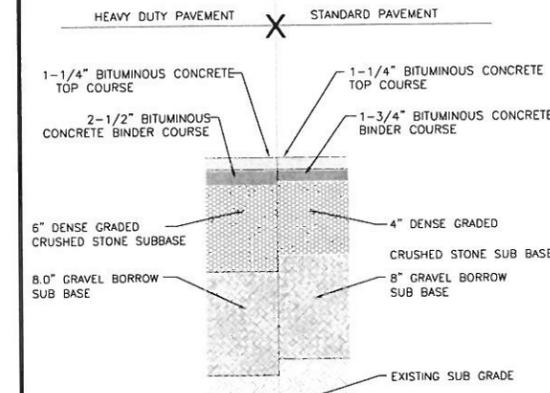
ANCHOR BOLTS TO BE SET IN BOLT CIRCLE EXACT SIZE AND LOCATION OF BOLTS MUST BE VERIFIED WITH ELECTRIC CONTRACTOR BEFORE SETTING. POLE LOCATION BY OTHERS. GROUNDING PER LIGHTING PLANS.

**LIGHT POLE BASE**  
NOT TO SCALE



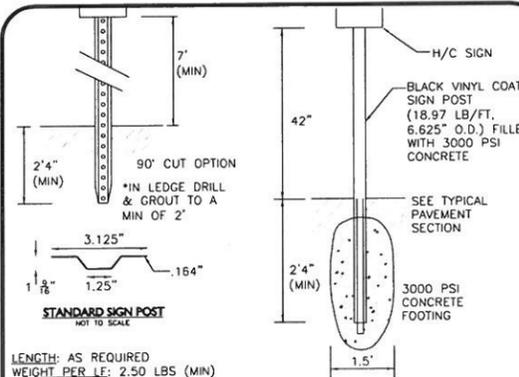
NOTES:  
1. ADA STALL STRIPING TO COMPLY WITH STATE OF MASSACHUSETTS ADA STANDARDS  
2. "V" DENOTES HANDICAPPED ACCESSIBLE PARKING SPACE.  
3. STALLS SHOWN ARE TYPICAL. REFER TO SITE PLAN FOR ACTUAL LAYOUT.

**ACCESSIBLE PARKING-SIZE AND MARKINGS DETAIL**  
NOT TO SCALE



BASE AND SUBBASE MATERIAL TO CONFORM TO MASSHIGHWAY STATE STANDARD SPECIFICATIONS SECTIONS M.3.11.03

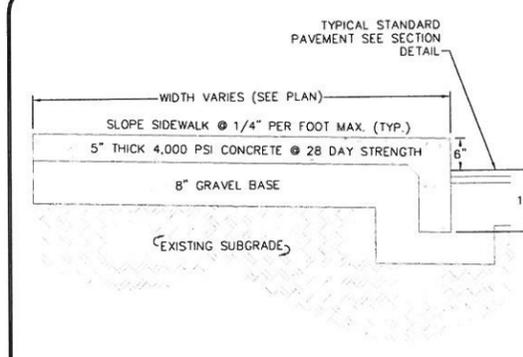
**BITUMINOUS CONCRETE PAVEMENT**  
NOT TO SCALE



LENGTH: AS REQUIRED  
WEIGHT PER LE: 2.50 LBS (MIN)  
HOLES: 3/8\"/>

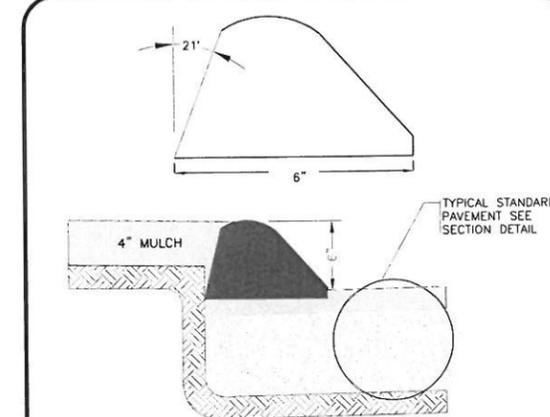
NOTE:  
1. STEEL PIPE BOLLARD & CONCRETE FOOTING TO BE USED ON ALL H/C SIGNS. STANDARD SIGN POST SHALL BE USED ON ALL OTHER SIGNS.

**SIGN POSTS**  
NOT TO SCALE



NOTES:  
1. SIDEWALK TO HAVE TOLLED JOINTS IN A 5' X 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER.  
2. TOLLED JOINT 6\"/>

**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



NOTE: BITUMINOUS CURB TO BE PLACED ON TOP OF BINDER PRIOR TO WEARING COURSE

**BITUMINOUS CONCRETE CURB**  
NOT TO SCALE

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV.	DATE	DESCRIPTION
1	12-28-2012	PER REVIEW COMMENTS

APPLICANT/OWNER:  
WELLESLEY COUNTRY CLUB  
294 WELLESLEY AVE.  
WELLESLEY, MA 02481

PROJECT:  
WELLESLEY COUNTRY CLUB  
WELLESLEY, MA

PROJECT NO.	1828-02	DATE:	SEPTEMBER 17, 2012
SCALE:	N.T.S.	DWG NAME:	C1828-02-D
DESIGNED BY:	PLC/ES	CHECKED BY:	PLC

PREPARED BY:

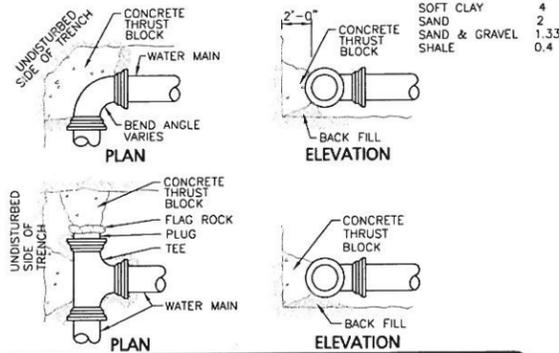
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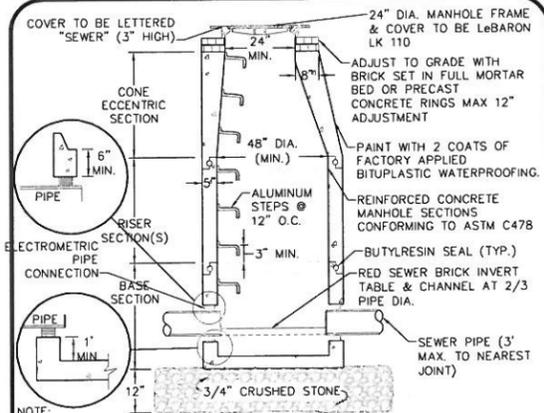
DRAWING TITLE: **SITE DETAILS 1**  
SHEET No. **C-5.1**



PIPE DIAMETER	MINIMUM THRUST BLOCK BEARING AREAS			
	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)	TEES, PLUGS, CAPS & HYDRANTS (SQ. FT.)
6"	5	3	3	4
8"	9	6	3	9
10"	13	7	4	12
12"	20	10	5	16

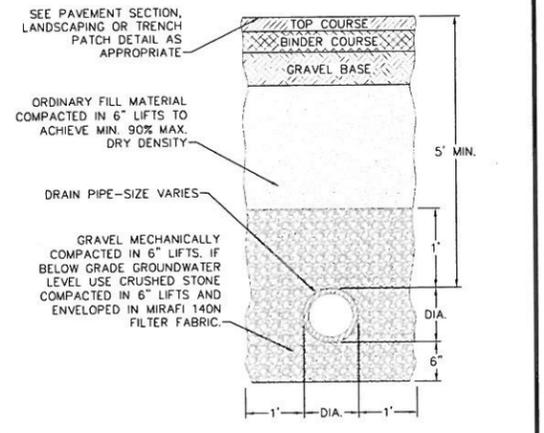
THRUST BLOCK DETAILS  
NOT TO SCALE

NOTES:  
1. ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.  
2. ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.  
3. SIZE OF CONCRETE THRUST BLOCKS SHALL BE AS NOTED BELOW.  
4. MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.  
5. KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.  
6. THE BELOW PRECATED ON A WATER PRESSURE OF 225 PSI AND A SOIL RESISTANCE OF 2000 PSF (TILL). FOR OTHER SOILS THE VALUES IN THE ABOVE TABLE SHALL BE MULTIPLIED BY:

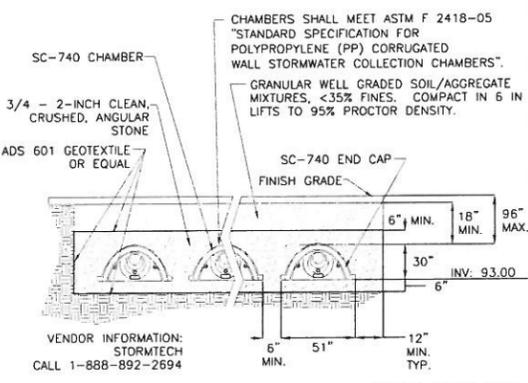


SEWER MANHOLE  
NOT TO SCALE

NOTE:  
THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAK PROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENT AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND (H-20 LOADING) OR WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE.

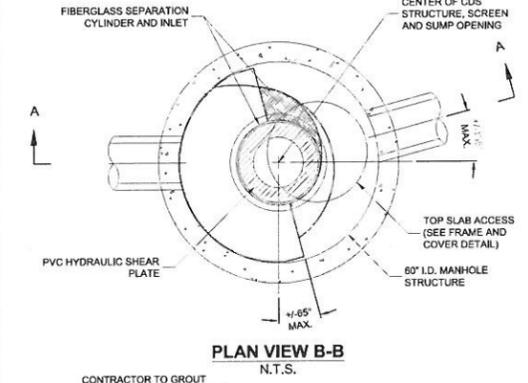


TYPICAL DRAIN TRENCH DETAIL  
NOT TO SCALE



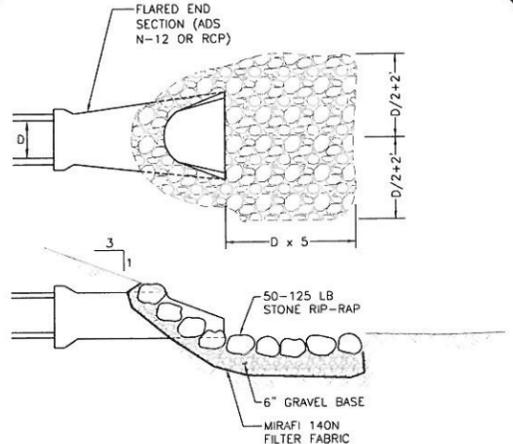
TYPICAL STORMTECH SC-740 CHAMBER\* CROSS SECTION  
\*OR APPROVED EQUAL NOT TO SCALE

NOTE:  
SOIL TESTS IN THE AREA DID NOT ENCOUNTER ANY GROUNDWATER OR REDOXIMORPHIC FEATURES. GROUNDWATER IS ASSUMED BASED ON NEARBY WETLAND ELEVATIONS



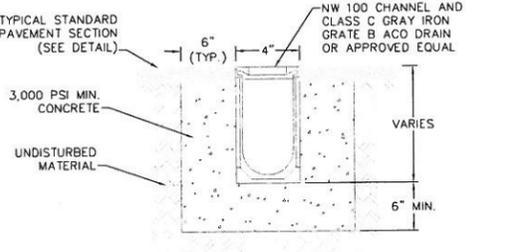
CONTECH CDS 2020 WATER QUALITY STRUCTURE\*  
\*OR APPROVED EQUAL NOT TO SCALE

NOTES:  
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FROM CONTECH FOR WATER QUALITY STRUCTURE.  
2. STRUCTURE SHALL BE RATED FOR HS-20 LOADING.

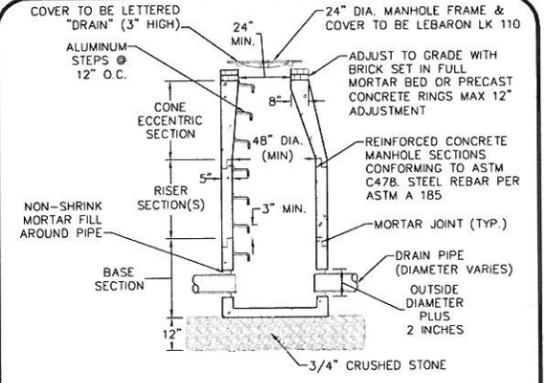


FLARED END SECTION WITH RIP RAP  
NOT TO SCALE

NOTES:  
1. PROVIDE PRE-SLOPED TRENCH SECTION DEPTH AS REQUIRED TO FACILITATE FLOW TO OUTLET.  
2. TRENCH DRAIN SLOPED 16" PER FOOT (MIN.) TOWARDS OUTLET.  
TRENCH DRAIN SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS AND RECOMMENDATIONS.

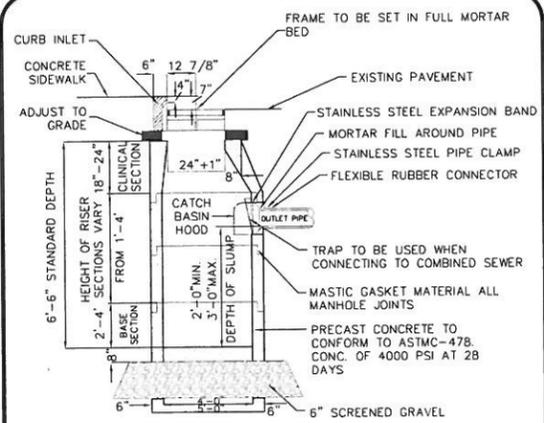


TYPICAL TRENCH DETAIL  
NOT TO SCALE



PRECAST CONCRETE DRAIN MANHOLE  
NOT TO SCALE

NOTE:  
THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE AND STRENGTH QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENT AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND (H-20 LOADING) WITHOUT FAILURE.



PRECAST CONCRETE CATCH BASIN  
NOT TO SCALE

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

1	12-28-2012	PER REVIEW COMMENTS
REV.	DATE	DESCRIPTION

APPLICANT/OWNER:  
WELLESLEY COUNTRY CLUB  
294 WELLESLEY AVE.  
WELLESLEY, MA 02481

PROJECT:  
WELLESLEY COUNTRY CLUB  
WELLESLEY, MA

PROJECT NO.	1828-02	DATE:	SEPTEMBER 17, 2012
SCALE:	N.T.S.	DWG NAME:	C1828-02-D
DESIGNED BY:	PLC/ES	CHECKED BY:	PLC

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
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DRAWING TITLE: SHEET NO.  
SITE DETAILS 2 C-5.2



**Designer Flood**  
DF12 - 12" Diameter

Page 3 of 3  
DIMENSIONS AND MOUNTING

1811 Clark Barber Road, San Marcos, TX 78666  
(800) 237-0748 (512) 783-8888 FAX: (512) 783-2953  
12015 Cantrell Ridge, Houston, TX 77036  
Public Goods require the right to design, modify or create the design of its product without limitation as set forth in the customer's purchase order or engineering program.  
761-546-0112

**PHILIPS**  
**GARDCO**

**STERNBERG**  
6130C HERITAGE FIXTURES / FITTERS / ARMS PM / WB

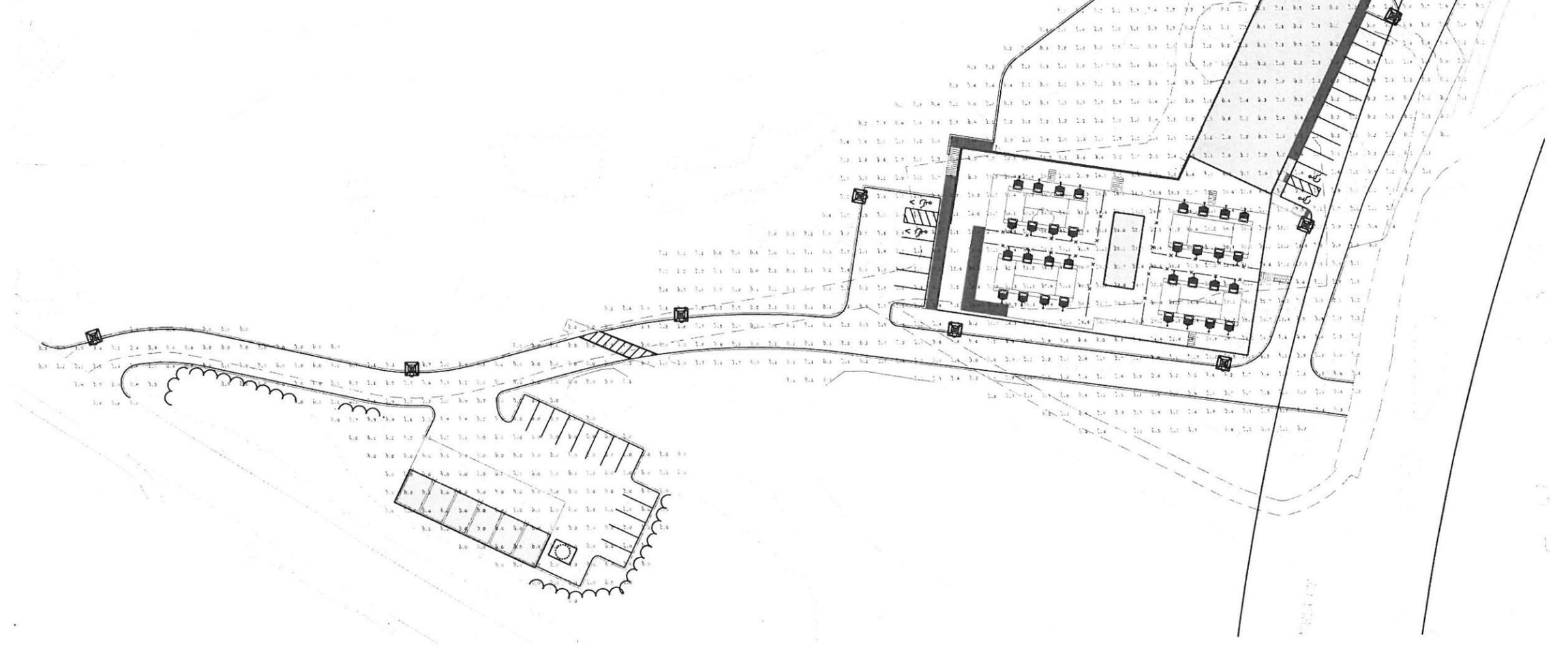
**FIXTURES / OPTICAL SYSTEMS**

**LENSES**

**ARMS - POST MOUNT (PM) or WALL BRACKETS (WB)**

**HANGING TYPES**

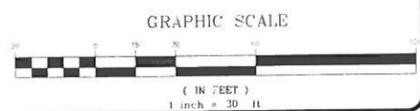
- NOTES:**
- ALL PADDLE COURT LIGHTING FIXTURES SHALL BE MANUFACTURED BY PHILIPS GARDCO DF12 OR APPROVED EQUAL, AND ALL THE SITE LIGHTING SHALL BE MANUFACTURED BY STERNBERG, HERITAGE 6130C OR APPROVED EQUAL.
  - CONTACT INFORMATION:  
OMNI-LITE, INC.  
263 WINN STREET  
BURLINGTON, MA 01803  
PHONE: 781-272-2300  
FAX: 781-272-0759  
www.omnilight.com
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - CONTROLS FOR ALL EXTERIOR LIGHTING BY BUILDING CONTRACTOR.
  - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



Symbol	Qty	Label	Arrangement	I
	32	DF12-HFL-400P	SINGLE	4
	10	6130-RO3-175MH	SINGLE	1

Calculation Summary

Label	CalcType



12-28-2012 PER REVIEW COMMENTS

REV.	DATE	DESCRIPTION

APPLICANT/OWNER:  
WELLESLEY COUNTRY CLUB  
294 WELLESLEY AVE.  
WELLESLEY, MA 02481

PROJECT:  
WELLESLEY COUNTRY CLUB  
WELLESLEY, MA

PROJECT NO. 1828-02 DATE: SEPTEMBER 17, 2012  
SCALE: 1" = 30' DWG. NAME: PHOTOMETRICS  
DESIGNED BY: PLC/ES CHECKED BY: PLC  
PREPARED BY:

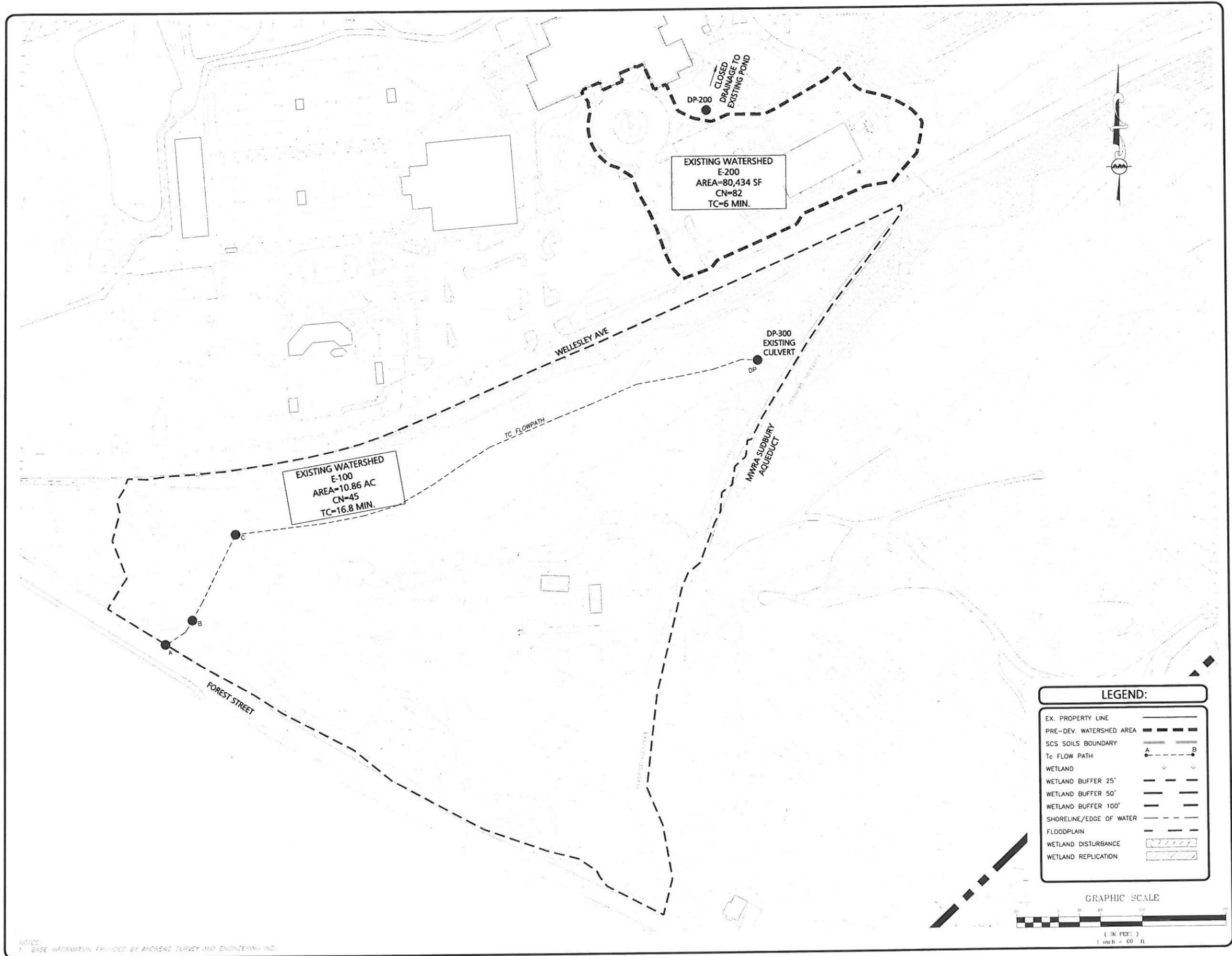
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DRAWING TITLE: PROPOSED PHOTOMETRICS PLAN SHEET No. C-6.1



NOTES:  
 1. BASE INFORMATION PROVIDED BY ANDREWS SURVEY AND ENGINEERING, INC.

REV.	DATE	DESCRIPTION
1	12-28-2012	PER REVIEW COMMENTS

APPLICANT/OWNER:  
 WELLESLEY COUNTRY CLUB  
 294 WELLESLEY AVE.  
 WELLESLEY, MA 02481

PROJECT:  
 WELLESLEY COUNTRY CLUB  
 WELLESLEY, MA

PROJECT NO.	1828-02	DATE:	10-29-12
SCALE:	1" = 60'	DWG. NAME:	EXIST-WATERSHEDS
DESIGNED BY:	PLC/TJP	CHECKED BY:	PLC

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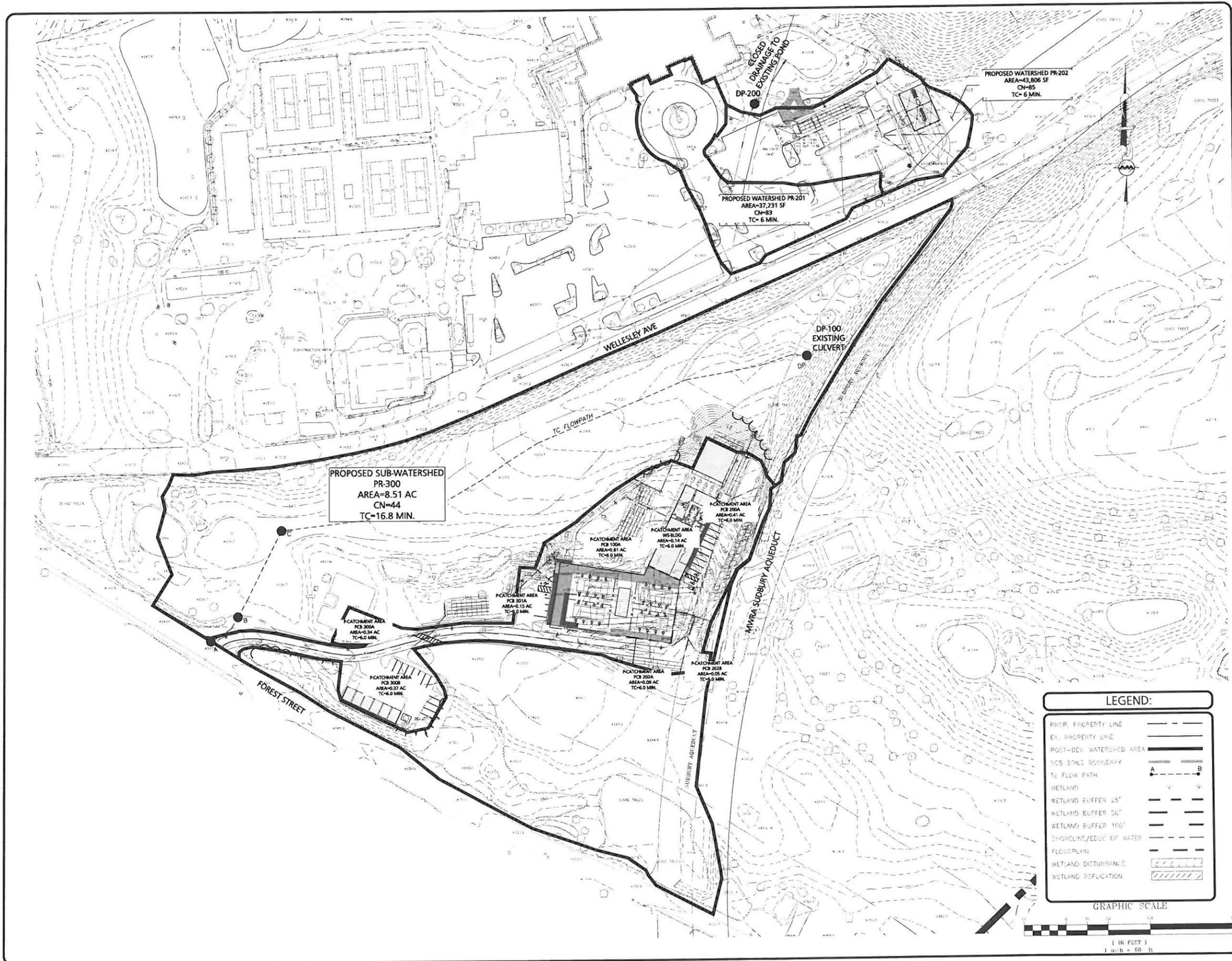
10 MAIN STREET  
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DRAWING TITLE:	SHEET No.
EXISTING WATERSHEDS PLAN	WS-1

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 294 WELLESLEY AVE.  
 WELLESLEY, MA 02481

PROJECT:  
**WELLESLEY COUNTRY CLUB**  
 WELLESLEY, MA

PROJECT NO.	1828-02	DATE:	03-26-12
SCALE:	1" = 60'	DWG. NAME:	...PROP-WATERSHEDS
DESIGNED BY:	WM/TJP	CHECKED BY:	PC

PREPARED BY:

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DRAWING TITLE:	SHEET No.
<b>PROPOSED WATERSHEDS PLAN</b>	<b>WS-2</b>

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