

Town of Wellesley

Department of Public Works
Engineering Division



George J. Saraceno, Senior Civil Engineer

TO: Meghan Jop, Planning Director

**RE: Project of Significant Impact PSI-012-1
Wellesley Country Club 300 Wellesley Avenue
Maintenance Facility and Comfort Station**

DATE: December 7, 2012

The Project of Significant Impact submission by Allen and Major Associates, Inc. for the Wellesley Country Club, located at 300 Wellesley Avenue, has been received and reviewed by the Department of Public Works (DPW). The project involves demolition of the existing 7,200 s.f. maintenance building and construction of five (5) buildings on three (3) separate sites at the Wellesley Country Club. The five (5) proposed buildings consist of a 2,300 s.f. Equipment Service Center Facility, 200 s.f. Bathroom Building, 1,700 s.f. Material Storage Building, 2,330 s.f. Environmental Management Center and 24,700 s.f. Multi-Use Building. See attached GIS maps of the proposed building sites. The project also includes site regrading, onsite stormwater drainage systems, utilities, landscaping and paving. The project is located in a 30,000 s.f. single residence zoning district and Water Supply Protection District and DEP Zone II overlay.

Listed below are the comments regarding the proposed project.

PSI REVIEW COMMENTS

GENERAL

- 1.) Brookside Road is an ancient way and scenic road. The existing curb opening for the proposed Comfort Station will be modified. There are no proposed curb cuts for the project.
- 2.) The "graphic scale" on the plans is incorrect and should be re-inserted into the plans at the correct scale.
- 3.) The Applicant should provide a copy of the Order of Conditions for the proposed Comfort Station.
- 4.) The stormwater drainage system shown on the plans adequately provides for onsite infiltration with pretreatment units, sub-surface infiltration and overflow to low-lying areas on the site. The soil report provided, which was obtained from the Natural Resources Conservation Service shows mostly loamy sandy soils, which typically drain well. However, for Zoning Board of Appeals (ZBA) Site Plan Review, the plans should show the location of the test pits and any groundwater encountered.
- 5.) Work within the limits of the Sudbury Aqueduct requires a permit from the MWRA. There

are proposed site regrading, drainage, landscaping and paving work that encroaches onto the Sudbury Aqueduct. Please provide the DPW with a copy of the permit.

TRAFFIC

- 1.) The project is providing 20 additional parking spaces at the existing maintenance building and redirecting vehicle trips for staff and materials to Forest Street, which should improve the flow of traffic through the Club House parking lot.
- 2.) As suggested in the Traffic Impact and Access Study, the brush and trees on the site of the Forest Street driveway should be cleared to improve site distance on Forest Street. See page 11 of the Traffic Impact and Access Study. Brush and tree removed should be coordinated with the Town of Wellesley Park Division.
- 3.) According the Traffic Impact and Access Study submitted by Ron Miller Associates, as a result of the redirecting of 10 vehicle trips, the Wellesley Avenue and Forest Street intersection increases traffic-volume at the peak hour by 0.3-0.4 percent, well within the daily fluctuations of traffic. The project does not negatively impact existing traffic conditions on Wellesley Avenue, Forest Street and Brookside Road.

STORMWATER

- 1.) Provide in the Storm Drainage Impact Analysis a table that shows the amount of impervious surface added to the site.
- 2.) Provide complete watershed maps including the design points for all three (3) sites.
- 3.) The Storm Drainage Impact Analysis and plans should clarify that the stormwater drainage system at the Club House Building parking lot drains to the ponds on the golf course or to the Town's stormwater drainage system. The stormwater runoff model shows a reduction in the rate of runoff for the proposed development for the 2, 10, 25 and 100-year storm event.
- 4.) The DPW has had to make repairs to the outfall pipe on Wellesley Avenue, which is connected to street drainage and drainage from the Club House parking lot. The stormwater drainage area is outside the project limits of the Maintenance Facility and Comfort Station projects; however, there may be an opportunity to redirect stormwater runoff away from Wellesley Avenue.

WATER

- 1.) The Water System Impact Analysis should provide a more current hydrant flow test for the project.
- 2.) Provide the existing water demand for the project sites and show in the water analysis table.
- 3.) See attached memo dated December 7, 2012 from the Superintendent of the Water & Sewer

Division.

SEWER

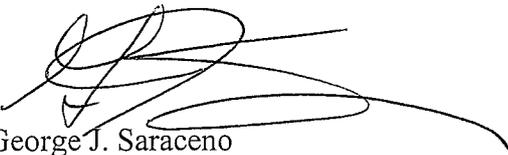
- 1.) The Sewer System Analysis should include the specifications for the proposed eOne sewer pump system and detail how the eOne grinder pump will be winterized.
- 2.) The applicant should provide the existing sanitary sewer generation from the sites and any other pertinent information that will identify flow reductions.
- 3.) See attached memo dated December 7, 2012 from the Superintendent of the Water & Sewer Division.

REFUSE DISPOSAL SYSTEM

- 1.) The refuse generated from the site will continue to be removed by private haulers and will not impact the Town of Wellesley refuse disposal program.
- 2.) A recycling program should be provided for the proposed project.

If I may be of any further assistance in this matter, feel free to contact me.

Sincerely,



George J. Saraceno
Senior Civil Engineer

Enclosures: Memo, Superintendent of the Water and Sewer Division, 12/07/12
GIS Map, Existing Maintenance Building
GIS Map, Proposed Comfort Station
GIS Map, Existing Paddle Courts

cc: Michael Pakstis
William Shaughnessy
David Hickey
Douglas Stewart
Andy Street
Michael Grant



TOWN OF WELLESLEY, MASSACHUSETTS
DEPARTMENT OF PUBLIC WORKS
WATER & SEWER DIVISION
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WILLIAM J. SHAUGHNESSY, P.E.
SUPERINTENDENT

BLAKE D. LUKIS
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DECEMBER 7, 2012

To: George Saraceno

I have reviewed a set of plans for the Wellesley Country Club stamped by Philip Cordeiro, P.E. The title page is undated however the list of drawings has a submitted date of 10/29/12. I have commented on the plans for the PSI submission. I also have comments on the engineering aspects of the plans which I will hold till the site plan review. The following are my comments:

Comfort Station on Sheet C-3.2

The sewer connection to the municipal system should be clarified by showing the municipal sewer on the plan and if needed extending the main out to Oakland Street.

The connection manhole should be identified by its cast number so it can be located on a site visit.

The plan location of the force main along Brookside Road needs to be revised to show it along the roadway as stated.

The Comfort Station is located within the Watershed Protection District and within the DEP Zone II. From the plans submitted, I did not see any provisions that would be in non compliance with the Watershed Protection regulation or the DEP Groundwater Supply Protection regulations.

Turf Care Maintenance Facility Sheet C-3.1

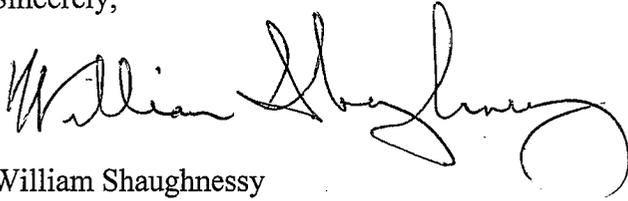
The hydrant should be repositioned nearer the start of the facility to provide better access for the Fire Department in case of emergency.

The existing municipal and building service sewer lines need to be shown on the plan.

The Turf Management Facility and the Bulk Material Storage Building are located within the Watershed Protection District. The Turf Management Facility is located within the DEP Zone II and the Bulk Material Storage Building is located at the edge of the DEP Zone II. It is appreciated that these revised plans show the building at a further distance from the Wellesley Avenue wells. The plans at this time do not show the uses within the buildings so I reserve the right to comment on their provisions for groundwater supply protection.

Thank you for this opportunity to comment on the plans. Please let me know if you have any questions on my comments.

Sincerely,

A handwritten signature in black ink, appearing to read "William Shaughnessy". The signature is fluid and cursive, with a large, sweeping flourish at the end.

William Shaughnessy

**WELLESLEY COUNTRY CLUB
EXISTING MAINTENANCE BUILDING**



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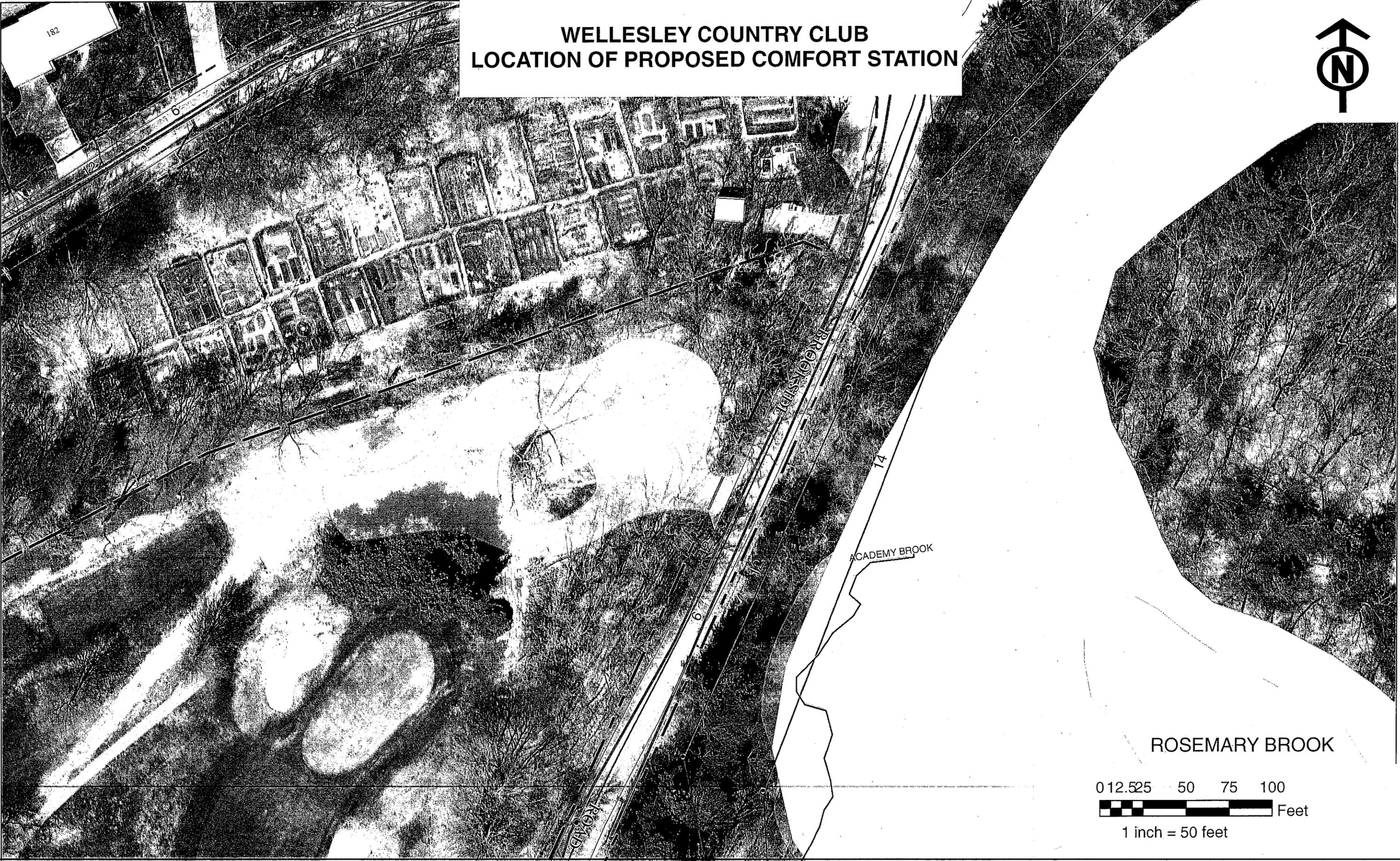
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WELLESLEY AVENUE

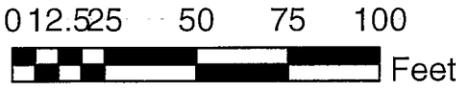
WELLESLEY AVENUE

0 12.525 50 75 100
Feet
1 inch = 50 feet

**WELLESLEY COUNTRY CLUB
LOCATION OF PROPOSED COMFORT STATION**



ROSEMARY BROOK



1 inch = 50 feet

WELLESLEY COUNTRY CLUB
EXISTING PADDLE COURTS

