

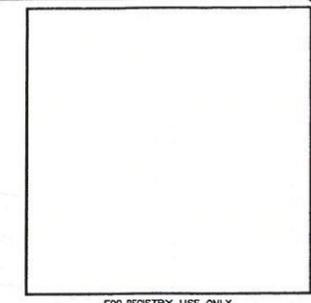
**SUBDIVISION PLAN OF LAND
IN
WELLESLEY, MASSACHUSETTS**

APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed
	definitive application filed
	definitive plan filed
	public hearing date
	area regulation district
DATE	project number
	PB number

SKYLINE DRIVE

LANDSCAPE EASEMENT
(PART OF RIGHT OF WAY)
504± S.F.

GREAT PLAIN AVENUE
(PUBLIC - VARIABLE WIDTH)
(1942 COUNTY LAYOUT #339)



FOR REGISTRY USE ONLY

GENERAL NOTES:

- LOCUS OWNER OF RECORD:
WELLESLEY RESIDENTIAL LLC
DEED BOOK 32778, PAGE 376.
ASSESSOR'S LOT 68-1
- THE LOCUS PARCEL IS LOCATED IN THE TOWN OF WELLESLEY, SINGLE RESIDENCE DISTRICT (SRD20) AS DEFINED BY THE TOWN OF WELLESLEY GIS MAPPING. MINIMUM SETBACK REQUIREMENTS ARE AS SHOWN ON TABLE 1 ARE:
FRONT SETBACK: 30' SIDE SETBACK: 20'
REAR SETBACK: 20'
- FOR REMAINING GENERAL NOTES SEE SHEET 2 OF 18.
- ROADWAY BOUNDS TO BE SET.
- 3 PERMITEE BENCHMARKS TO BE SET AFTER CONSTRUCTION.

LOT 68-2
N/F
RACHEL COTTONE REVOCABLE TRUST &
CHARLES C. HIRANG REVOCABLE TRUST
BK. 26777, PG. 532

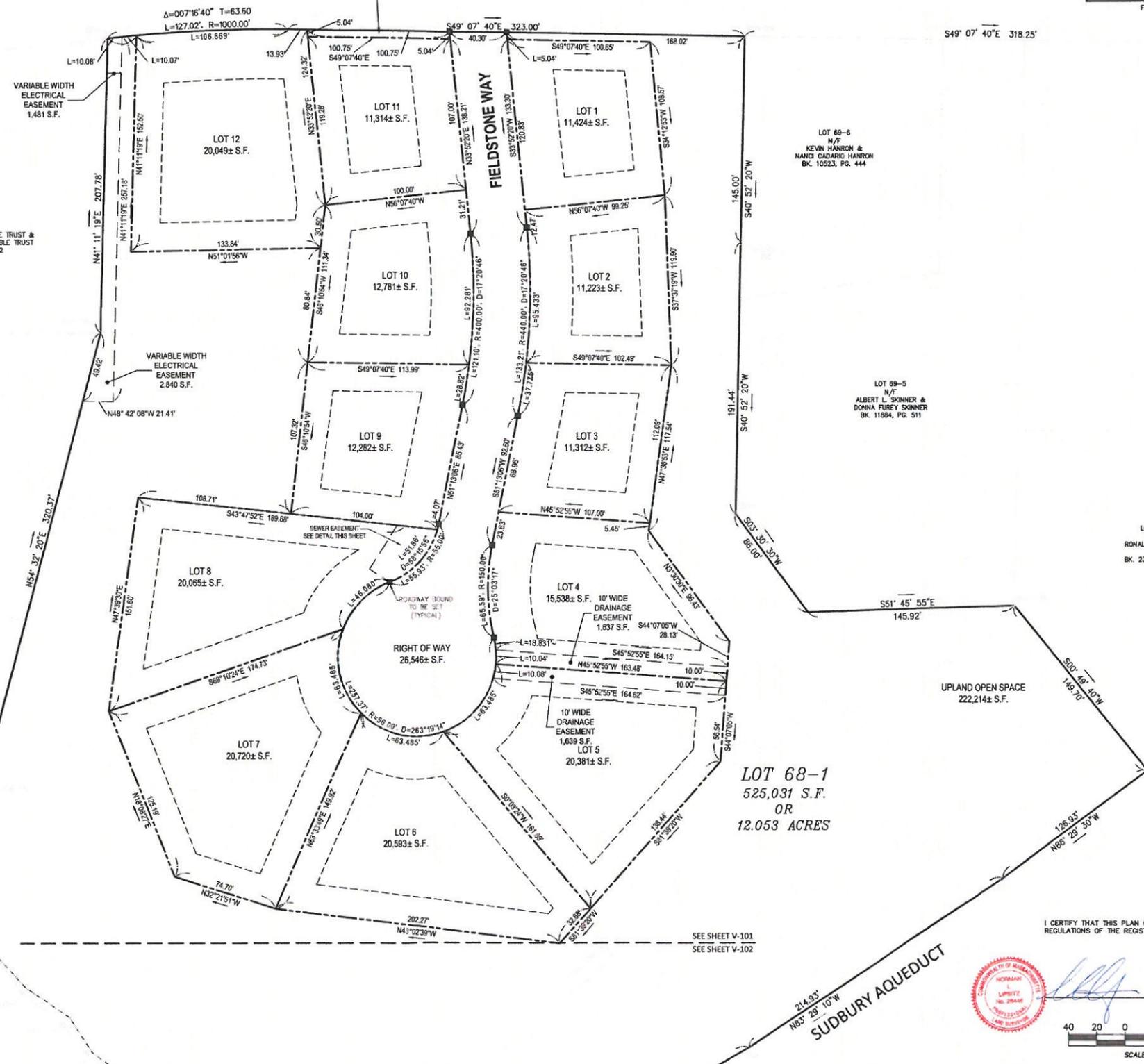
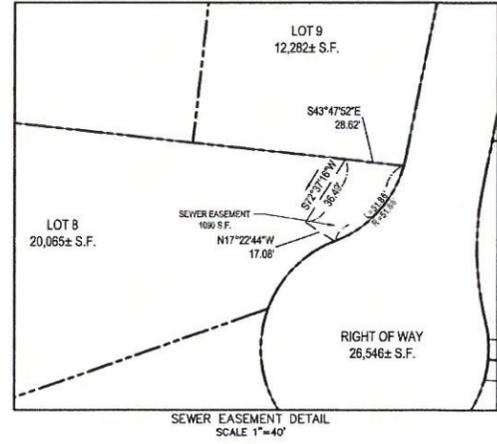
LOT 68-4
N/F
JOAN B. DIGANNO TRUST
BK. 30666, PG. 455

LOT 68-6
N/F
KEVIN HANRAN &
NANCY CADARIC HANRAN
BK. 10523, PG. 444

LOT 68-5
N/F
ALBERT L. SKINNER &
DONNA FUREY SKINNER
BK. 11684, PG. 511

LOT 68-3
N/F
RONALD & MARY A.
HASH
BK. 23871, PG. 546

LOT 78-17
N/F
TOWN OF WELLESLEY
BK. 3663, PG. 234



LOT 68-1
525,031 S.F.
OR
12.053 ACRES

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



DATE: 4/1/16



No.	Submitted / Revised	Appr. By	Date
0	DEFINITIVE SUBDIVISION SUBMITTAL	URC	HD
1	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	GRC	JPM
			04/01/16



Designed: CHA
Drawn: MWC
Checked: NIL

CHA
101 Acacia Park Drive
Norwell, MA 02061
Main: (818) 962-5400 • www.chaonline.com

135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

LOT LAYOUT PLAN (SHEET 1)

Issue Date: 07/01/15 Project No.: 28219 Scale: 1"=40'

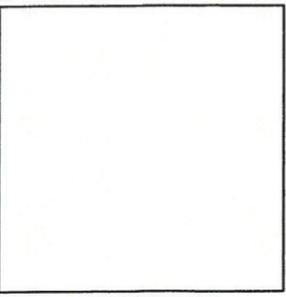
V-101
SHEET 4 OF 20 SHEETS

File: V:\PROJECTS\15\15001\15001_28219\15001_28219_V-101-2015-04-01.dwg
Scale: 4/1/2016 1:20:42 PM Plotter: 4/1/2016 1:20:42 PM User: Cole, Michael Location: 501

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature]

DATE: 4/4/16



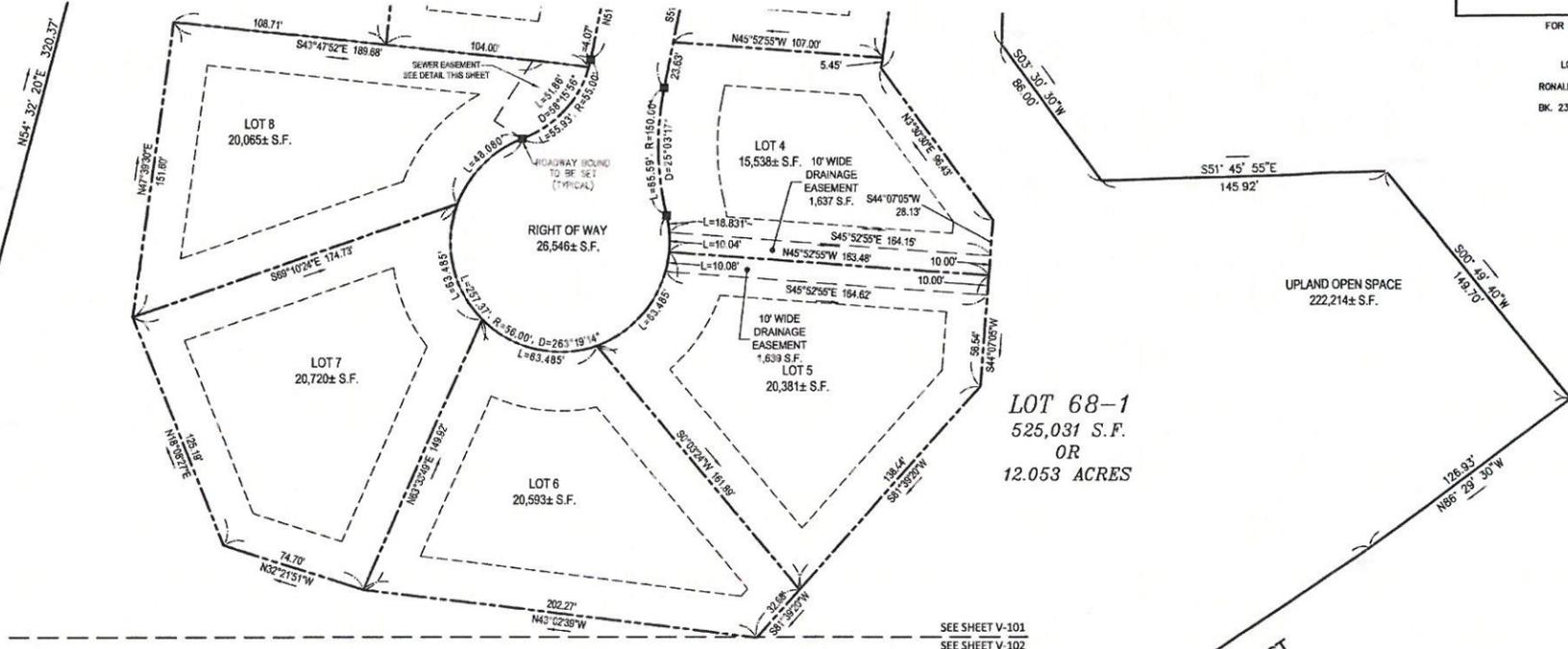
FOR REGISTRY USE ONLY
 LOT 69-3
 N/F
 RONALD & MARY A.
 HAIGH
 BK. 23871, PG. 546

LOT 78-17
 N/F
 TOWN OF WELLESLEY
 BK. 3863, PG. 234

LOT 79-2
 N/F
 JEFFREY T. WARD &
 MICHELLE THOMAS WARD
 BK. 13881, PG. 387

LOT 79-3
 N/F
 ROBERT L. HUGHES &
 JACQUELINE D. FINARD-HUGHES
 BK. 22374, PG. 114

LOT 79-4-A
 N/F
 CHARLES R. PIERCE
 BK. 8649, PG. 655



LOT 68-1
 525,031 S.F.
 OR
 12.053 ACRES

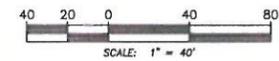
SUBBURY AQUEDUCT
 N65° 29' 10" W
 214.93'

SUBBURY AQUEDUCT
 N/F COMMONWEALTH OF MASSACHUSETTS
 N58° 05' 00" W
 138.91'

SUBBURY AQUEDUCT
 N79° 43' 00" W
 150.16'

SUBBURY AQUEDUCT
 N89° 58' 40" E
 510.00'

SEE SHEET V-101
 SEE SHEET V-102



SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS	
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed
_____	definitive application filed
_____	definitive plan filed
_____	public hearing date
_____	area regulation district
_____	project number
DATE _____	PB number

No.	Submitted / Revision	App'd By	Date
0	DEFINITIVE SUBDIVISION SUBMITTAL	GRIC	07/01/15
1	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	JPM	04/04/16



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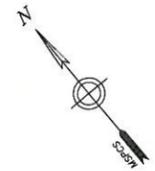
Designed: CHA | Drawn: MWC | Checked: NIL

135 GREAT PLAIN AVENUE
 WELLESLEY, MASSACHUSETTS

LOT LAYOUT PLAN (SHEET 2)

Issue Date: 07/01/15 | Project No.: 28219 | Scale: 1"=40'

File: V:\PROJECTS\NMA\135GP\135GP\SUBMITTALS\135GP-19219-LAY.DWG
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 User: Chad Michal
 Plot: 135GP-19219-LAY.DWG



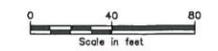
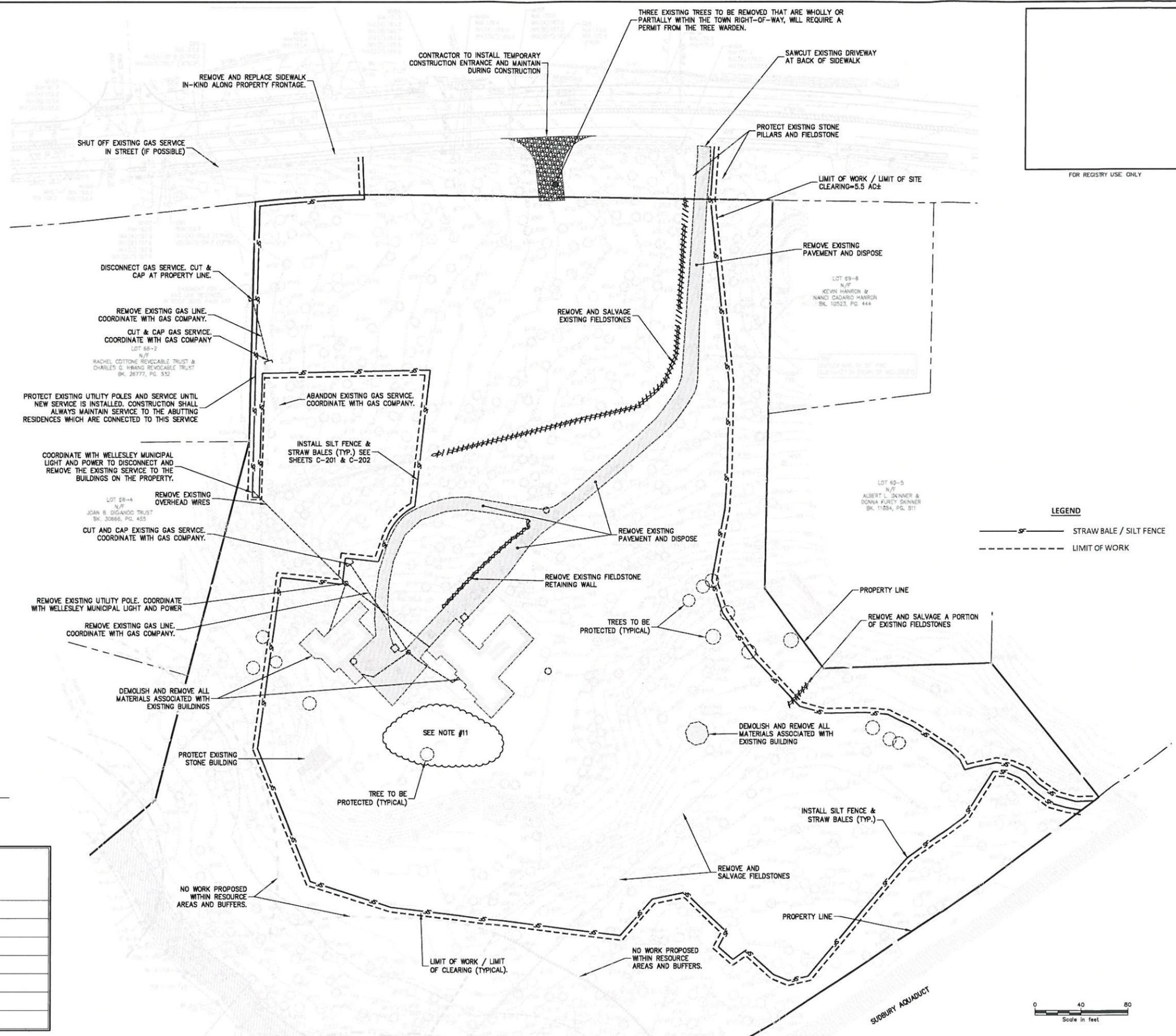
DEMOLITION GENERAL NOTES:

1. THE CONTRACTOR SHALL SUBMIT SITE RELATED WORK PHASING/STAGING PLAN TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK.
2. ANY DEVIATIONS, I.E. "FIELD CHANGES" FROM THE DESIGN PLAN(S) MUST BE APPROVED BY THE DESIGN ENGINEER IN WRITING. CONTRACTOR SHOULD BE AWARE THAT LOCAL AND STATE AUTHORITIES HAVE JURISDICTION AND APPROVALS MUST BE OBTAINED FROM THE APPROPRIATE AUTHORITY PRIOR TO THE IMPLEMENTATION OF THE "FIELD CHANGE." CHA ASSUMES NO LIABILITY OR RESPONSIBILITY FOR WORK ASSOCIATED WITH FIELD CHANGES COMPLETED WITHOUT REGARD TO THE "FIELD CHANGE" PROCEDURE.
3. ALL MATERIALS REMOVED FROM SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE TO IDENTIFY, CONFIRM AND MAINTAIN ALL ACTIVE UTILITIES AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCY.
5. CONDUCT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH OPERATIONS, STREETS, WALKS, AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY.
6. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING IMPROVEMENTS UNLESS OTHERWISE NOTED.
7. CONTRACTOR TO COORDINATE ABANDONMENT AND/OR REMOVAL OF EXISTING GAS SERVICE WITH PLUMBING CONTRACTOR AND UTILITY PURVEYOR PRIOR TO DEMOLITION.
8. THIS DEMO PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR TO REMOVE, RELOCATE, PROTECT, MAINTAIN AND/OR REPLACE ALL CONFLICTING UTILITIES, STRUCTURES & VEGETATION WITHIN THE LIMIT OF WORK TO BUILD THE IMPROVEMENTS.
9. BACKFILL OF REMOVED UTILITIES AND FOUNDATIONS TO BE COMPLETED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER.
10. CONTRACTOR TO COORDINATE UTILITY SERVICE SHUTOFFS AND RELOCATIONS WITH OWNER'S REPRESENTATIVE AND APPLICABLE UTILITY PURVEYORS.
11. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING SEPTIC SYSTEMS AND ALL ASSOCIATED COMPONENTS IN ACCORDANCE WITH TITLE 8 REGULATIONS AND ALL APPLICABLE LOCAL REGULATIONS. CONTRACTOR SHALL NOTE TWO SYSTEMS MAY BE LOCATED ON SITE TO INDIVIDUALLY SERVE EACH STRUCTURE. BOTH SYSTEMS SHALL BE REMOVED AND DISPOSED OF TO FACILITATE PROPOSED SUBDIVISION IMPROVEMENTS.
12. COORDINATE ALL WORK OUTSIDE PROPERTY LINE WITH LOCAL DPW AND THE TOWN OF WELLESLEY.
13. COORDINATE SECURITY FENCE REQUIREMENTS WITH OWNER / ARCHITECT PRIOR TO START OF CONSTRUCTION.
14. CONTRACTOR SHALL PROTECT ALL TREES NOT SCHEDULED FOR REMOVAL. ALL TREES WITHIN LIMIT OF WORK / LIMIT OF CLEARING SHALL BE REMOVED UNLESS OTHERWISE IDENTIFIED TO REMAIN AND BE PROTECTED.
15. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
16. ALL EXISTING STRUCTURES, FOUNDATIONS, PAVEMENT, FENCES AND UTILITIES WITHIN LIMIT OF WORK, UNLESS OTHERWISE NOTED, TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS.
17. EXISTING STONES FROM PORTIONS OF STONE WALLS IDENTIFIED TO BE REMOVED SHALL BE SALVAGED AND STOCKPILED FOR RE-USE ON SITE. STONES SHALL BE USED FOR DEMARCATION BETWEEN PROPOSED DEVELOPMENT AND OPEN SPACE AS DIRECTED BY OWNER AND LANDSCAPE ARCHITECT DURING CONSTRUCTION.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE: _____

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS	
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed
	definitive application filed
	definitive plan filed
	public hearing date
	area regulation district
DATE: _____	project number
	PB number



FOR REGISTRY USE ONLY

No.	Submitted / Revision	App'd By	Date
0	DEFINITIVE SUBDIVISION SUBMITTAL	GRC	07/01/15
1	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	JPM	06/24/16



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 Wellesley, MA 02481
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Designed: CHA | Drawn: JPM | Checked: SK

135 GREAT PLAIN AVENUE
 WELLESLEY, MASSACHUSETTS

DEMOLITION PLAN

Issue Date: 07/01/15 | Project No.: 26219 | Scale: AS NOTED

C-003
 SHEET 7 OF 20 SHEETS

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ZONING DISTRICT: SINGLE RESIDENCE 20
NATURAL RESOURCE PROTECTION DEVELOPMENT (NRPD)

MINIMUM LOT SIZE	10,000 SQUARE FEET ϕ / 20,000 S.F. ϕ
MINIMUM FRONTAGE	75 FEET ϕ * / 110 FEET ϕ
MINIMUM FRONT YARD WIDTH	75 FEET ϕ * / 110 FEET ϕ
MINIMUM FRONT YARD SETBACK	30 FEET ϕ / 35 FEET ϕ
MINIMUM SIDE YARD SETBACK	20 FEET ϕ
MINIMUM REAR YARD SETBACK	20 FEET ϕ
MAXIMUM BUILDING HEIGHT	36 FEET ϕ
MINIMUM OPEN SPACE	50 PERCENT ϕ

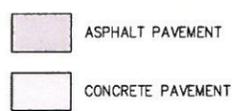
ϕ TAKEN FROM SECTION XVIF OF WELLESLEY ZONING BY-LAW (NRPD)
 ϕ TAKEN FROM SECTION XIX OF WELLESLEY ZONING BY-LAW (SINGLE RESIDENCE 20)
 ϕ TAKEN FROM SECTION XX OF WELLESLEY ZONING BY-LAW
 * SEE SECTION XIX, PAGE 151 OF WELLESLEY ZONING BY-LAW

EXISTING LOT 68-1 AREA = 525,031 \pm S.F. (12.05 ACRES)
 PROPOSED RIGHT-OF-WAY = 26,546 \pm S.F. (0.61 ACRES)
 PROPOSED SUBDIVISION = 187,683 \pm S.F. (4.31 ACRES)
 PROPOSED WETLAND OPEN SPACE = 85,961 \pm S.F. (1.97 ACRES)
 PROPOSED UPLAND OPEN SPACE = 224,840 \pm S.F. (5.16 ACRES)
 TOTAL PROPOSED OPEN SPACE = 311,802 \pm S.F. (7.16 ACRES)

BUILD FACTOR CALCULATION:
 Build Factor - A ratio of lot perimeter to lot area which limits the degree to which a lot may have an irregular shape according to the following formula:

$$\frac{\text{Lot Perimeter Squared}}{\text{Actual Lot Area}} \geq \frac{\text{Actual Lot Area}}{\text{Required Lot Area}}$$

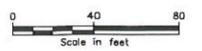
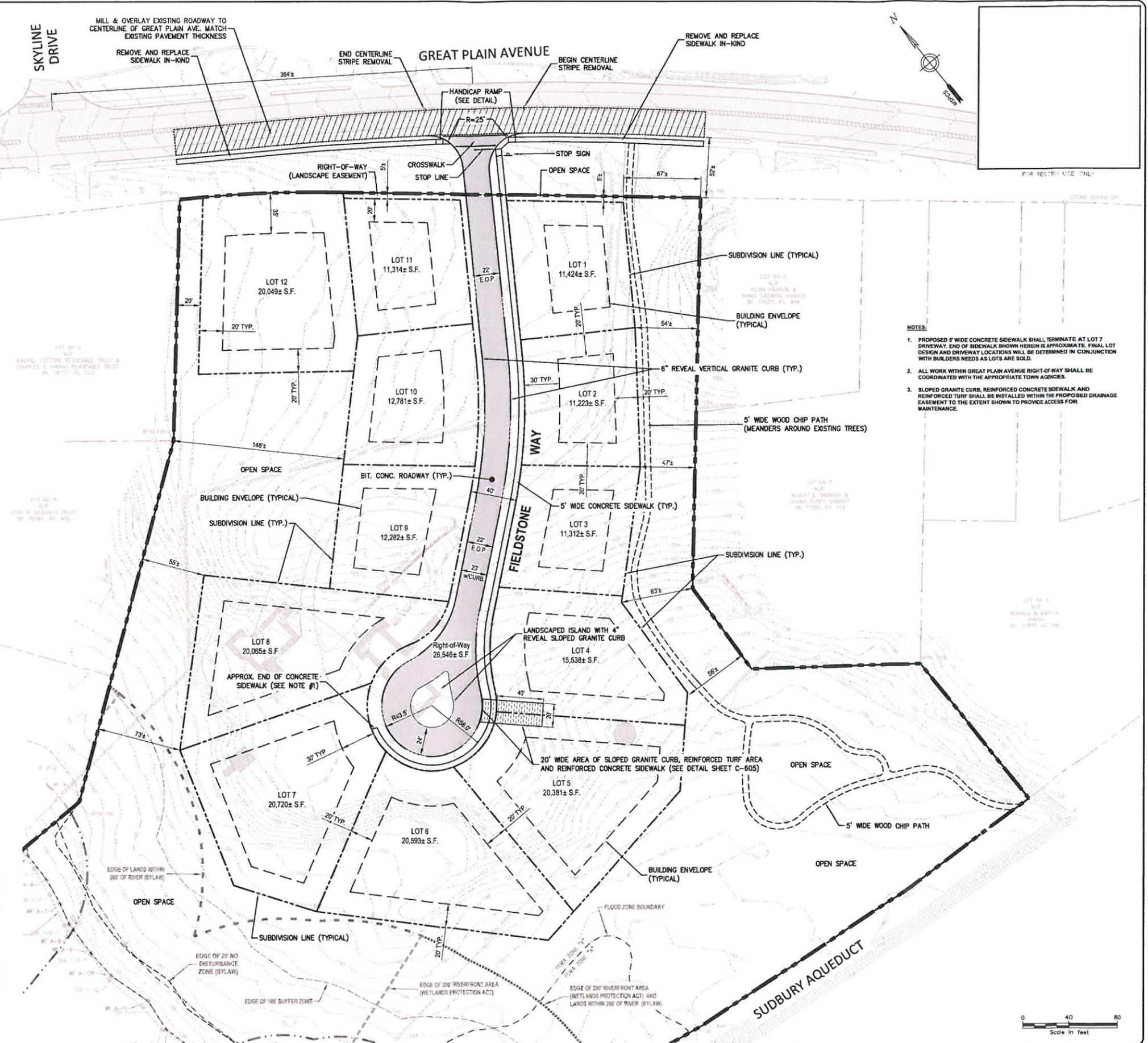
Lot Number	Lot Perimeter	Lot Area	Build Factor
Lot 1	429.31	11,424	14.12
Lot 2	429.54	11,223	14.65
Lot 3	428.31	11,312	14.34
Lot 4	508.55	15,538	10.71
Lot 5	583.83	20,381	8.21
Lot 6	610.24	20,593	8.78
Lot 7	588.02	20,720	8.05
Lot 8	638.99	20,065	10.14
Lot 9	443.62	12,282	13.05
Lot 10	448.83	12,781	12.33
Lot 11	427.03	11,314	14.25
Lot 12 (SRD20)	561.95	20,049	15.71
Total Square Footage		187,683	
Required Lot Area for NRPD	10,000.00		
Required Lot Area for SRD20	20,000.00		



I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
 DATE: _____

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS

APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed
_____	definitive application filed
_____	definitive plan filed
_____	public hearing date
_____	area regulation district
_____	project number
DATE _____	PB number



- NOTES:**
- PROPOSED 5' WIDE CONCRETE SIDEWALK SHALL TERMINATE AT LOT 7 DRIVEWAY. END OF SIDEWALK SHOWN HEREIN IS APPROXIMATE. FINAL LOT DESIGN AND DRIVEWAY LOCATIONS WILL BE DETERMINED IN CONJUNCTION WITH BUILDERS NEEDS AS LOTS ARE SOLD.
 - ALL WORK WITHIN GREAT PLAIN AVENUE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TOWN AGENCIES.
 - SLOPED GRANITE CURB, REINFORCED CONCRETE SIDEWALK AND REINFORCED TURF SHALL BE INSTALLED WITHIN THE PROPOSED DRAINAGE EASEMENT TO THE EXTENT SHOWN TO PROVIDE ACCESS FOR MAINTENANCE.

Date	07/01/15
By	HD
App'd	JPM
Submitted / Revision	
DEFINITIVE SUBDIVISION SUBMITTAL	
REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	
No.	0
1	

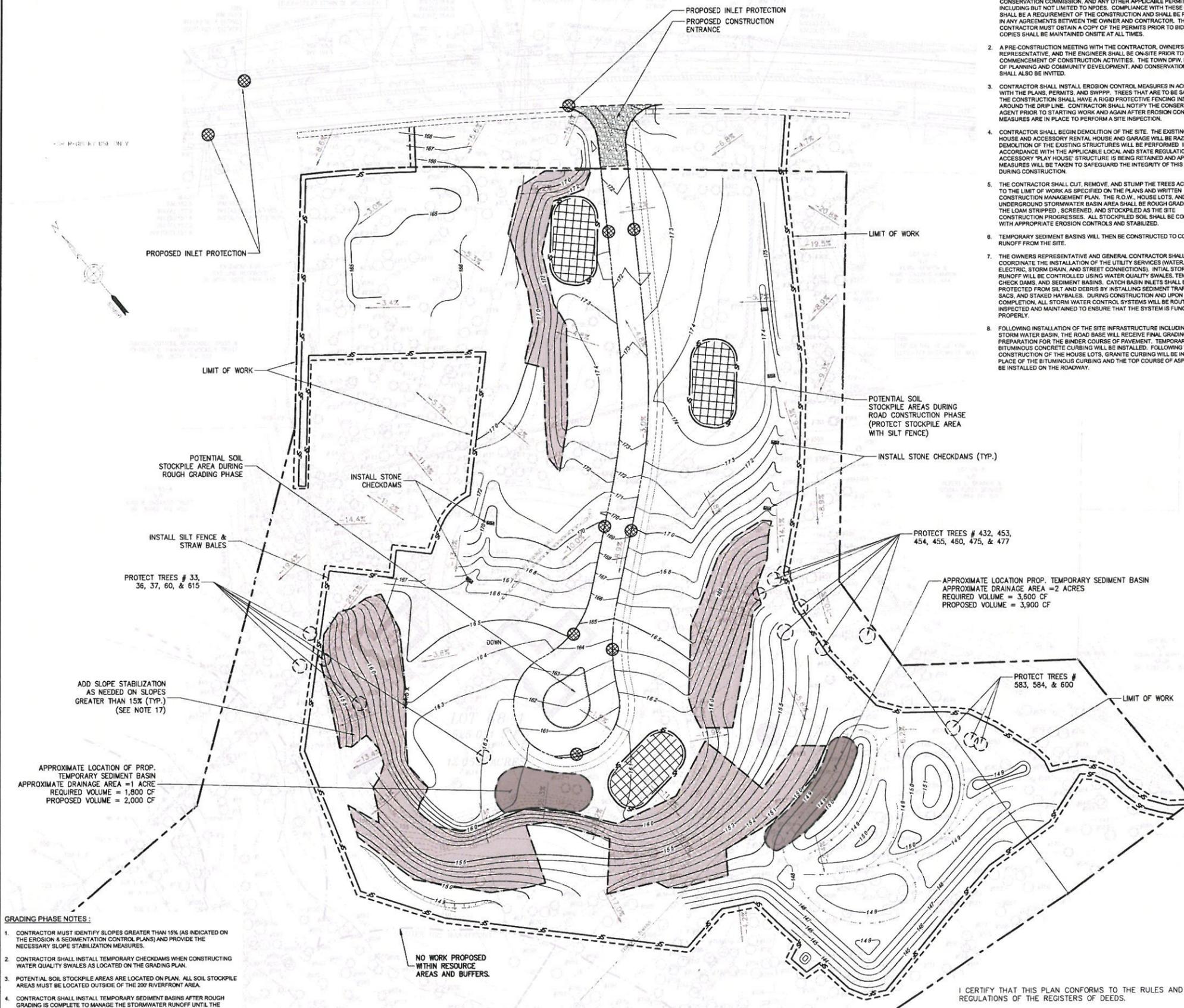


CHA
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 Wellesley, MA 02458
 Main: (781) 962-5400 • www.chacompanies.com
 Designer: CHA Drawn: JPM Checked: SK
 Issue Date: 07/01/15 Project No.: 29219 Scale: 1"=40'

135 GREAT PLAIN AVENUE WELLESLEY, MASSACHUSETTS
SITE LAYOUT PLAN
 Issue Date: 07/01/15 Project No.: 29219 Scale: 1"=40'

FILED: 07/01/15 09:51 AM OFFICE OF THE REGISTRAR OF DEEDS, 100 STATE STREET, 3RD FLOOR, BOSTON, MA 02109

FILED: 07/01/15 09:00 AM
 101 GREAT PLAIN AVENUE, SUITE 201
 WELLESLEY, MASSACHUSETTS 02158
 TEL: (781) 922-5400 FAX: (781) 922-5401
 WWW.CHACORPORATION.COM



GRADING PHASE NOTES:

- CONTRACTOR MUST IDENTIFY SLOPES GREATER THAN 15% (AS INDICATED ON THE EROSION & SEDIMENTATION CONTROL PLANS) AND PROVIDE THE NECESSARY SLOPE STABILIZATION MEASURES.
- CONTRACTOR SHALL INSTALL TEMPORARY CHECKDAMS WHEN CONSTRUCTING WATER QUALITY SWALES AS LOCATED ON THE GRADING PLAN.
- POTENTIAL SOIL STOCKPILE AREAS ARE LOCATED ON PLAN. ALL SOIL STOCKPILE AREAS MUST BE LOCATED OUTSIDE OF THE 200' RIVERFRONT AREA.
- CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT BASINS AFTER ROUGH GRADING IS COMPLETE TO MANAGE THE STORMWATER RUNOFF UNTIL THE DRAINAGE SYSTEM IS INSTALLED AND FUNCTIONAL.
- CONTRACTOR SHALL TEMPORARILY STABILIZE AREAS INDICATED BY INSTALLING LOAM AND SEEDING WITH ANNUAL RYE GRASS. ANNUAL RYE GRASS, IF USED SHALL BE MAINTAINED AND RE-ESTABLISHED AS NEEDED TO ENSURE NECESSARY STABILIZATION COVER.



SEQUENCE OF CONSTRUCTION:

- CONTRACTOR MUST PROCEED WITH CONSTRUCTION ACCORDING TO ALL APPLICABLE CONDITIONS ESTABLISHED BY THE LOCAL PLANNING BOARD, CONSERVATION COMMISSION, AND ANY OTHER APPLICABLE PERMITS INCLUDING BUT NOT LIMITED TO NOTES. COMPLIANCE WITH THESE PERMITS SHALL BE A REQUIREMENT OF THE CONSTRUCTION AND SHALL BE REFERENCED IN ANY AGREEMENTS BETWEEN THE OWNER AND CONTRACTOR. THE CONTRACTOR MUST OBTAIN A COPY OF THE PERMITS PRIOR TO BIDDING AND COPIES SHALL BE MAINTAINED ON-SITE AT ALL TIMES.
- A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR, OWNER'S REPRESENTATIVE, AND THE ENGINEER SHALL BE ON-SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. THE TOWN DPW, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT, AND CONSERVATION AGENT SHALL ALSO BE INVITED.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE PLANS, PERMITS, AND SWPPP. TREES THAT ARE TO BE SAVED PER THE CONSTRUCTION SHALL HAVE A RIGID PROTECTIVE FENCING INSTALLED AROUND THE DRIP LINE. CONTRACTOR SHALL NOTIFY THE CONSERVATION AGENT PRIOR TO STARTING WORK AND AGAIN AFTER EROSION CONTROL MEASURES ARE IN PLACE TO PERFORM A SITE INSPECTION.
- CONTRACTOR SHALL BEGIN DEMOLITION OF THE SITE. THE EXISTING MAIN HOUSE AND ACCESSORY RENTAL HOUSE AND GARAGE WILL BE RAZED. DEMOLITION OF THE EXISTING STRUCTURES WILL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE LOCAL AND STATE REGULATIONS. THE ACCESSORY "PLAY HOUSE" STRUCTURE IS BEING RETAINED AND APPROPRIATE MEASURES WILL BE TAKEN TO SAFEGUARD THE INTEGRITY OF THIS BUILDING DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CUT, REMOVE, AND STUMP THE TREES ACCORDING TO THE LIMIT OF WORK AS SPECIFIED ON THE PLANS AND WRITTEN CONSTRUCTION MANAGEMENT PLAN. THE R.O.W., HOUSE LOTS, AND UNDERGROUND STORMWATER BASIN AREA SHALL BE ROUGH GRADED WITH THE LOAM STRIPPED, SCREENED, AND STOCKPILED AS THE SITE CONSTRUCTION PROGRESSES. ALL STOCKPILED SOIL SHALL BE CONTAINED WITH APPROPRIATE EROSION CONTROLS AND STABILIZED.
- TEMPORARY SEDIMENT BASINS WILL THEN BE CONSTRUCTED TO CONTROL RUNOFF FROM THE SITE.
- THE OWNER'S REPRESENTATIVE AND GENERAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY SERVICES (WATER, SEWER, ELECTRIC, STORM DRAIN, AND STREET CONNECTIONS). INITIAL STORM WATER RUNOFF WILL BE CONTROLLED USING WATER QUALITY SWALES, TEMPORARY CHECK DAMS, AND SEDIMENT BASINS. CATCH BASIN INLETS SHALL BE PROTECTED FROM SILT AND DEBRIS BY INSTALLING SEDIMENT TRAPS, SILT SACS, AND STAKED HAYBALES. DURING CONSTRUCTION AND UPON COMPLETION, ALL STORM WATER CONTROL SYSTEMS WILL BE ROUTINELY INSPECTED AND MAINTAINED TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY.
- FOLLOWING INSTALLATION OF THE SITE INFRASTRUCTURE INCLUDING THE STORM WATER BASIN, THE ROAD BASE WILL RECEIVE FINAL GRADING IN PREPARATION FOR THE BANDER COURSE OF PAVEMENT. TEMPORARY BITUMINOUS CONCRETE CURBING WILL BE INSTALLED. FOLLOWING THE CONSTRUCTION OF THE HOUSE LOTS, GRANITE CURBING WILL BE INSTALLED IN PLACE OF THE BITUMINOUS CURBING AND THE TOP COURSE OF ASPHALT WILL BE INSTALLED ON THE ROADWAY.

STORMWATER POLLUTION PREVENTION NOTES:

- A SWPPP WILL BE PREPARED PRIOR TO CONSTRUCTION. CONTRACTOR TO ABIDE BY PROVISIONS OF EPA NOI NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND BY STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN. CONTRACTOR SHALL ABIDE BY NPDES CONSTRUCTION PHASE NOTICE REQUIREMENTS.
- MEASURES DEPICTED HEREIN ARE INTENDED TO PROVIDE GENERAL DIRECTION ON THE SWPPP. HOWEVER, MEASURES MAY BE MODIFIED AS NEEDED DURING THE DEVELOPMENT OF THE SWPPP.
- EROSION CONTROL MEASURES SHALL BE INCORPORATED IN THE SEQUENCE OF CONSTRUCTION TO PREVENT SEDIMENT-LADEN WATER FROM LEAVING THE SITE. THESE MEASURES MAY INCLUDE STAKED STRAW BALES, POLYPROPYLENE SILT FENCING AND VARIOUS COMBINATIONS OF THE TWO. THE LOCATION FOR THE INSTALLATION OF THESE MATERIALS ON THE PROJECT SITE ARE INDICATED ON THE PROJECT PLANS AND APPROPRIATE CONSTRUCTION DETAILS ARE INCLUDED ON THE PROJECT DETAIL SHEETS.
- NATURAL VEGETATION SHALL BE RETAINED WHENEVER FEASIBLE UP TO THE SCHEDULED START OF CONSTRUCTION ACTIVITY.
- AREAS SUBJECT TO EROSION SHALL BE MINIMIZED IN TERMS OF TIME AND AREA.
- IN GENERAL, WORK REQUIRING EROSION CONTROL INCLUDES EXCAVATIONS, FILLS, DRAINAGE SWALES, ROUGH AND FINISHED GRADING, AND STOCKPILING OF EARTH.
- ALL TEMPORARY STOCKPILE AREAS SHALL HAVE EROSION CONTROLS (STRAW AND SILT FENCE) AROUND THE PERIMETER.
- DO NOT DISTURB VEGETATION AND TOPSOIL BEYOND THE PROPOSED LIMIT OF GRADING.
- ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN PLACE AND OBSERVED PRIOR TO ANY WORK STARTING ON THE PROJECT.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
- TEMPORARY SEEDING WITH ANNUAL RYEGRASS OR OTHER METHOD OF STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE UNLESS ADDITIONAL CONSTRUCTION OF THE AREAS IS EXPECTED WITHIN 14 DAYS OF THE LAST DISTURBANCE.
- INSTALL AND MAINTAIN CATCH BASIN INSERTS IN ALL EXISTING CATCH BASINS WITHIN WORK ZONE (NOT REMOVED) AND PROPOSED CATCH BASINS.
- UPON COMPLETION OF CATCH BASINS AND AREA DRAINS, STRAWBALES OR INSERTS (SILT SACKS OR SIMILAR) WILL BE PLACED AT EACH STRUCTURE TO PREVENT SEDIMENTATION FROM ENTERING THE CATCH BASIN.
- UPON COMPLETION OF FINE GRADING, ALL AREAS NOT OTHERWISE PERMANENTLY STABILIZED SHALL BE SEEDING IN ACCORDANCE WITH THE SPECIFICATIONS INCLUDED ON THE PROJECT LANDSCAPE PLAN, AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 75% MINIMUM DENSITY, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, IS ACHIEVED.
- MAINTENANCE - EROSION AND SEDIMENT CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEMANDS NECESSARY OR AS DIRECTED BY THE ENGINEER OR ARCHITECT. ACCUMULATED SILT AT ANY EROSION AND SEDIMENT CONTROL DEVICE SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" AND SHALL BE DISTRIBUTED ON-SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION.
- ANY CONTRACTOR IS RESPONSIBLE FOR REESTABLISHING ANY EROSION CONTROL DEVICE WHICH HE DISTURBS. EACH CONTRACTOR SHALL NOTIFY THE ENGINEER/ARCHITECT OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASE, FUEL, AND LUBE OIL, PESTICIDES, ANY SOLID WASTE MATERIALS.
- ALL SIDE SLOPES SHALL BE SEEDING WITH GRASS OR INSTALL LITE NETTING TO PREVENT EROSION. SIDE SLOPES ALONG THE PERIMETER OF THE DEVELOPED AREA SHALL BE STABILIZED IMMEDIATELY FOLLOWING CONSTRUCTION. CONTRACTOR SHALL TEMPORARILY STABILIZE AREAS INDICATED BY INSTALLING LOAM AND SEEDING WITH ANNUAL RYE GRASS. ANNUAL RYE GRASS, IF USED SHALL BE MAINTAINED AND RE-ESTABLISHED AS NEEDED TO ENSURE NECESSARY STABILIZATION COVER.
- INSPECTIONS: INSPECTIONS ARE TO BE PERFORMED BY QUALIFIED PERSONNEL. DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AREAS USED FOR STORAGE, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, MUST BE INSPECTED ONCE EVERY 7 DAYS OR WITHIN 24 HOURS OF A STORM EVENT OF 0.25 INCHES OR GREATER. STABILIZED AREAS ARE TO BE INSPECTED ONCE PER MONTH. DISTURBED AREAS AND STORAGE AREAS EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF OR POTENTIAL FOR POLLUTANTS ENTERING THE DRAINAGE SYSTEM. CONTROL MEASURES SHALL BE OBSERVED TO ENSURE THEY ARE WORKING PROPERLY. DISCHARGE LOCATIONS AND POINTS SHALL BE INSPECTED TO ASCERTAIN WHETHER CONTROLS ARE PREVENTING SIGNIFICANT IMPACT. BASED ON THE RESULTS OF THE ABOVE INSPECTIONS, ANY NECESSARY CHANGES TO THE PLAN WILL BE MADE WITHIN 7 DAYS OF THE INSPECTION. THE CHANGES MUST BE IMPLEMENTED IN THE FIELD BEFORE THE NEXT STORM EVENT IF PRACTICABLE, OTHERWISE WITHIN 7 DAYS PER GENERAL CONSTRUCTION PERMIT.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SILT FROM BEHIND SILTATION BARRIERS, PAVEMENT AREAS, AND CATCH BASIN SUMPS. DISPOSE OF SILT IN UPLAND AREAS, SPREAD EVENLY.
- PROVIDE TEMPORARY SEDIMENTATION BASINS, BALES, ETC, AS NECESSARY.
- STOCKPILES ARE TO BE AT LEAST 100 FEET FROM WETLAND AREAS. STOCKPILES NOT TO BE REUSED WITHIN 14 DAYS ARE TO BE STABILIZED WITH SEED OR MULCH.
- POTENTIAL STOCK PILE AREA TO BE PROTECTED WITH EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL UTILIZE WATER TRUCK AS NEEDED FOR DUST CONTROL AND SHALL PROVIDE TEMPORARY PLANTINGS OR OTHER COVERINGS SUCH AS WOOD CHIPS TO MINIMIZE THE AMOUNT OF DUST LEAVING THE PREMISES.
- SUBSURFACE INFILTRATION SYSTEMS SHALL BE MAINTAINED OFF-LINE DURING CONSTRUCTION. SYSTEMS SHALL NOT BE UTILIZED UNTIL THE SITE IS FULLY STABILIZED. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY STORMWATER MANAGEMENT MEASURES FOR THE DURATION OF CONSTRUCTION.
- A DESIGNATED AREA FOR WASHING CONCRETE TRUCKS MUST BE POSTED AT THE SITE. THE DESIGNATED AREA SHALL CONSIST OF A BEST MANAGEMENT PRACTICE (BMP) FOR CONCRETE WASHOUT AND BE USED TO CONTAIN OR TREAT CONCRETE MATERIALS.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE: _____

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS	
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed
	definitive application filed
	definitive plan filed
	public hearing date
	area regulation district
	project number
	PB number
DATE _____	

App'd	By	Date
GRIC	GRIC	07/01/15
GRIC	JPM	04/01/16
DEFINITIVE SUBDIVISION SUBMITTAL		
REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS		
No.		
0		
1		

Submitter / Revision	

Northland Residential Corporation

GABRIEL A. COOPER
 CIVIL ENGINEER
 No. 4717
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MASSACHUSETTS
Gabe Cooper
 4-4-2016

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 Wellesley, MA 02158
 Main: (781) 922-5400 • www.chacorporation.com
 Drawing: CHA | Drawn: JPM | Checked:

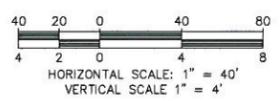
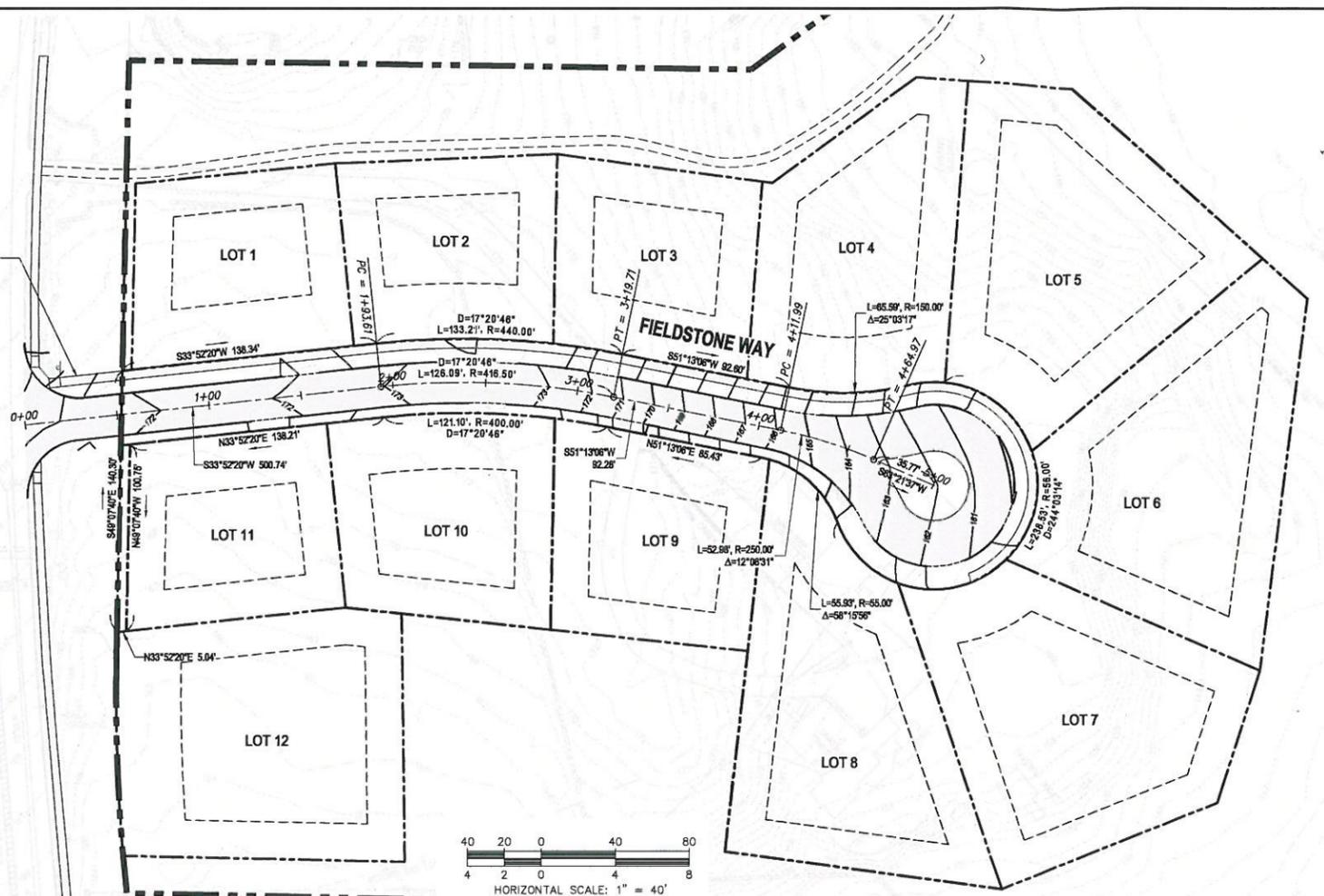
**135 GREAT PLAIN AVENUE
 WELLESLEY, MASSACHUSETTS**

**SOIL EROSION AND SEDIMENT
 CONTROL PLAN**

Issue Date: 07/01/15 | Project No.: 29219 | Scale: 1"=40'

CONNECT PROPOSED 5' WIDE CONCRETE SIDEWALK TO EXISTING BIT CONC SIDEWALK IN GREAT PLAIN AVENUE

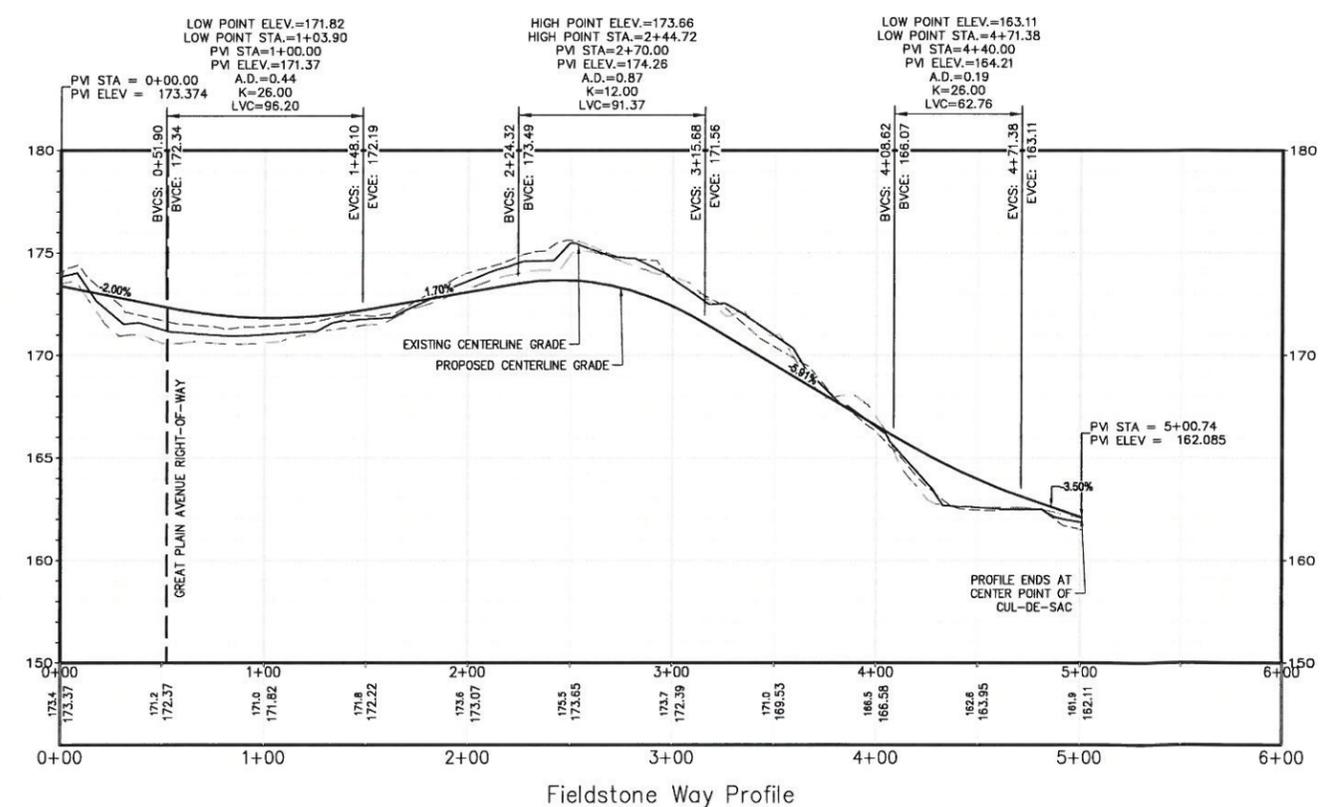
GREAT PLAIN AVENUE



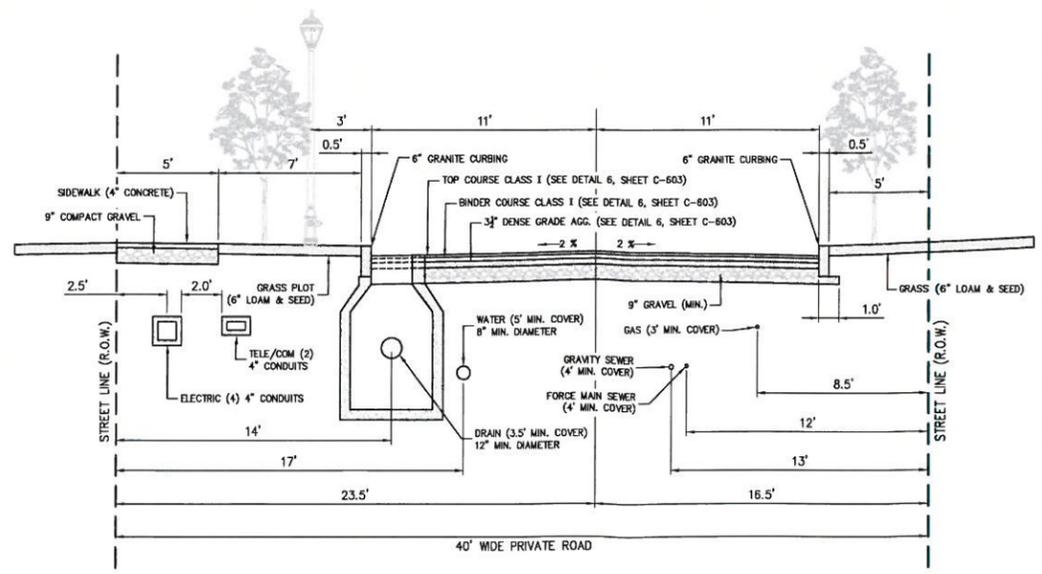
SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	
	definitive application filed	
	definitive plan filed	
	public hearing date	
	area regulation district	
	project number	
DATE	PB number	

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DATE: _____



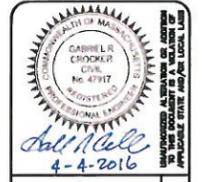
Fieldstone Way Profile



TYPICAL ROADWAY AND UTILITY SECTION
NOT TO SCALE

FOR REGISTRY USE ONLY

No.	Submitter / Revision	Date
0	DEFINITIVE SUBDIVISION SUBMITTAL	07/01/15
1	REVISED SUBDIVISION LAYOUT RESPONSE TO COMMENTS	JPM / GAD/PIE



CHA
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Designed: CHA Drawn: JPM Checked: SK

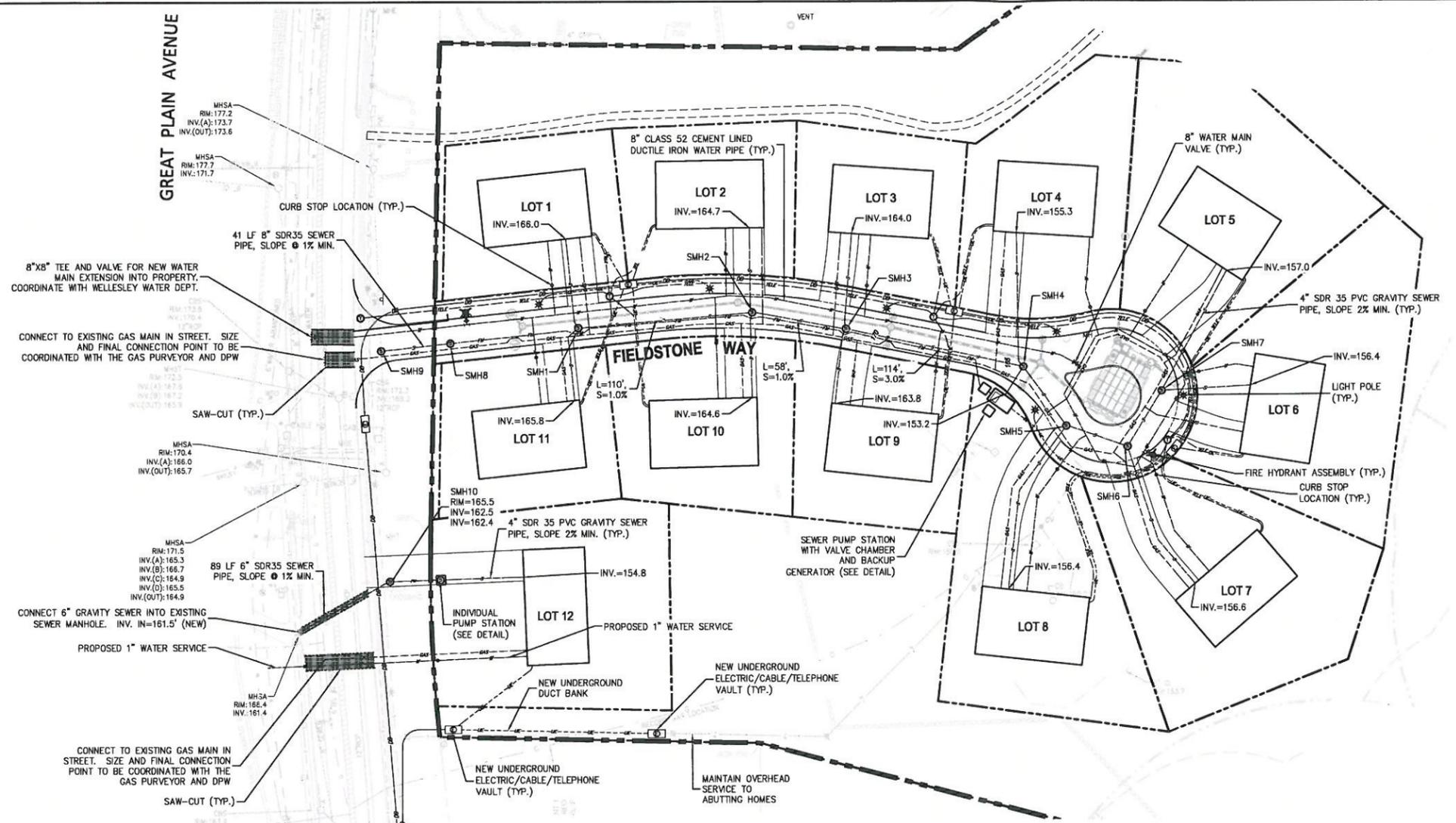
135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

ROADWAY PLAN AND PROFILE

Issue Date: 07/01/15 Project No.: 20219 Scale: AS NOTED

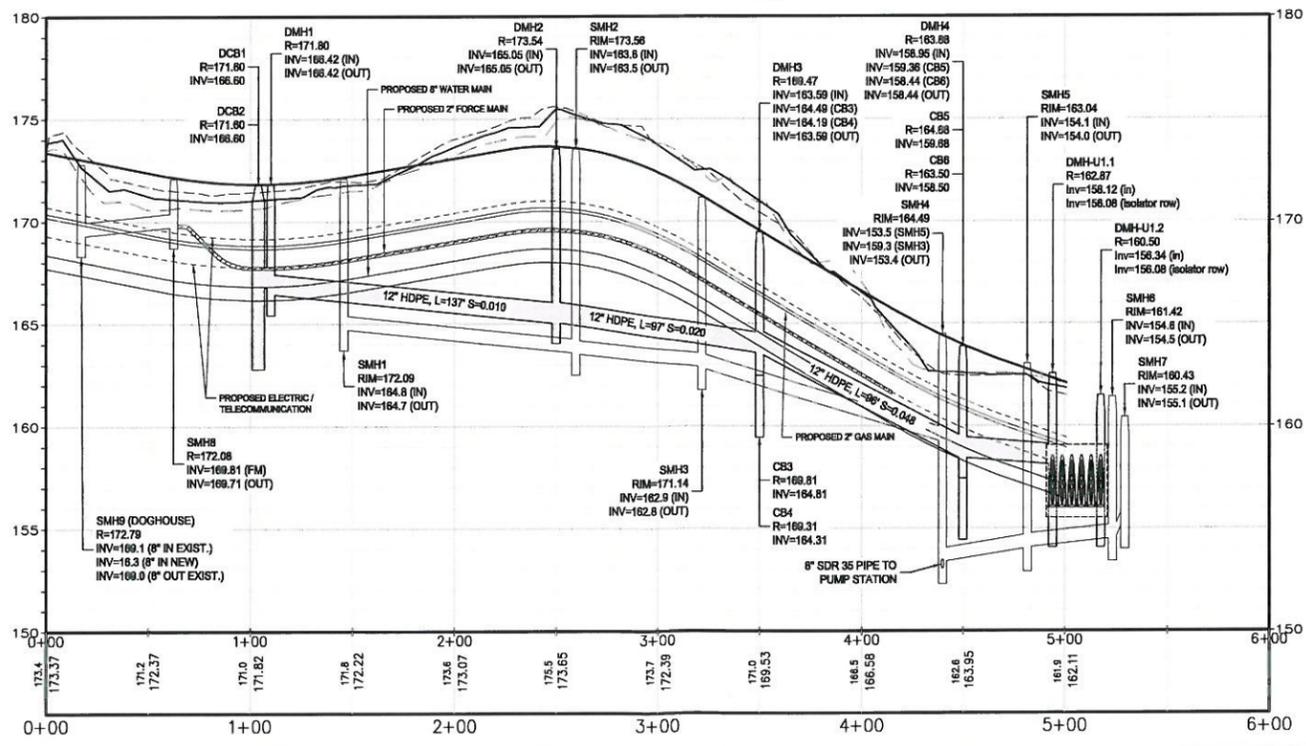
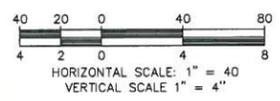
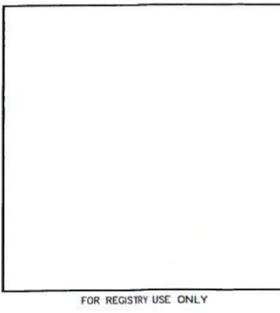
C-301
SHEET 11 OF 20 SHEETS

File: V:\PROJECTS\WMA78\PROJ\32919\CADD\LAYOUT\CIVIL\SHSHEET FILES\C-301-29219-RPP.DWG
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UTILITY NOTES:

- HOUSE UTILITIES AND SEWER INVERTS DEPICTED HEREIN ARE FOR SUBDIVISION PERMITTING PURPOSES. INDIVIDUAL LOT DESIGN SHALL BE PERFORMED AS LOTS ARE SOLD, BASED ON CONTRACTORS NEEDS AND UTILITY SERVICES LOCATIONS / ELEVATIONS MAY BE MODIFIED TO ACCOMMODATE THE INDIVIDUAL LOT DESIGN.
- LOT SEWER LATERALS SHALL COMPLY WITH ALL APPLICABLE REGULATIONS. SERVICES SHALL BE A MINIMUM SLOPE OF 2% FOR 10' FROM FOUNDATION AND A MINIMUM 1% FOR CONTINUATION TO CONNECTION TO TRUNK LINE. CLEANOUTS SHALL BE PROVIDED AS REQUIRED BY APPLICABLE CODES.
- UTILITY INFORMATION SHOWN HEREON WAS COMPILED USING AVAILABLE PLANS OF PUBLIC RECORD. PHYSICAL FEATURES, AND MARKINGS FOUND IN THE FIELD, BUT MAY NOT NECESSARILY REPRESENT ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO CONTACT DIG-SAFE (1-888-344-7233) AND FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE TOWN OF WELLESLEY, THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, AND THE APPLICABLE UTILITY PURVEYOR, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS AND LAYOUT SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO BEGINNING WORK.
- ALL NEW OR ADJUSTED MANHOLES, VALVE BOXES, WATER GATES, AND WATER SERVICES TO BE FLUSH WITH FINISHED GRADE.
- NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- DISPOSAL OF ALL DEBRIS AND EXCESS EARTH FROM SITEMARK OPERATIONS SHALL BE CONTRACTORS RESPONSIBILITY.
- CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL ALL NECESSARY BENDS, FITTINGS & APPURTENANCES NECESSARY TO PROVIDE COMPLETE UTILITY SYSTEMS. NOT ALL BENDS, ETC. ARE INDICATED ON THESE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR SUPPLY OF ALL NECESSARY ITEMS REQUIRED TO FULFILL THE INTENT OF THE DESIGN, WHETHER EXPLICITLY INDICATED HEREIN OR IMPLIED BY THE CONTRACT DOCUMENTS.
- UTILITY SERVICE LOCATIONS & SIZES TO BE COORDINATED WITH APPLICABLE UTILITY PROVIDERS.
- PROPOSED WATER SERVICE LOCATIONS ARE APPROXIMATE ONLY. SERVICES WILL BE FURTHER COORDINATED AND DEFINED DURING THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS, THRU COORDINATION BETWEEN THE WELLESLEY WATER DEPARTMENT, CHA, AND PROJECT PLUMBING ENGINEER.
- WATER METERS AND BACKFLOWS SHALL BE LOCATED IN THE BASEMENTS OF THE HOUSES. SIZES TO BE DETERMINED BY MEP ENGINEER FOR EACH HOUSE DESIGN.
- PROPOSED BUILDING SEWER ELEVATIONS DEPICTED ARE APPROXIMATE. INDIVIDUAL LOT DESIGN WILL BE PERFORMED AS LOTS ARE SOLD AND SHALL ACCOMMODATE BUILDER'S NEEDS.
- PROPOSED STORMDRAIN COLLECTION / CONVEYANCE MAINS SHALL HAVE A MINIMUM OF 4' OF COVER. WHERE LESS THAN 4' OF COVER IS PROVIDED, PIPE SHALL BE CLASS V RCP.

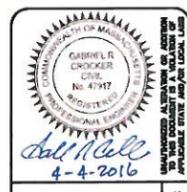


SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	
	definitive application filed	
	definitive plan filed	
	public hearing data	
	area regulation district	
	project number	
	PB number	
DATE		

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE: _____

No.	Submitted / Revision	App'd By	Date
0	DEFINITIVE SUBDIVISION BURMATTAL	GRC	07/01/15
1	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	GRC	04/24/16



135 GREAT PLAIN AVENUE WELLESLEY, MASSACHUSETTS	UTILITY PLAN AND PROFILE
Issue Date: 07/01/15	Project No.: 28219
Scale: AS SHOWN	

GREAT PLAIN AVENUE

KEY	QTY	LATIN	COMMON	SIZE	COMMENTS
A	18	Acer rubrum 'October Glory'	October Glory Red Maple	2.5"-3" cal., B&B	8' min. branching ht.
B	7	Quercus rubra	Red Oak	2.5"-3" cal., B&B	8' min. branching ht.
C	13	Desmodium illinoense	Hoop-Scented Fern	2 gal cont.	3' o.c.
D	16	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Juniper	2 gal cont.	3' o.c.
E	10	Arctostaphylos uva-ursi 'Massachusetts'	Bearberry	2 gal cont.	3' o.c.
F	12	Panicum virgatum 'Shenandoah'	Bearberry	2 gal cont.	4' o.c.
G	15	Aster dumosus 'Woods Purple'		2 gal cont.	3' o.c.

* A MINIMUM OF 25 STREET TREES SHALL BE INSTALLED. SPACING MAY VARY DURING FINAL PLANTING TO ACCOMMODATE DRIVEWAY LOCATIONS. HOWEVER SPACING GREATER THAN 60' BETWEEN TREES SHALL BE MINIMIZED AND EQUIVALENT SPACING SHALL BE USED TO THE EXTENT PRACTICAL.

TEMPORARY STABILIZATION NOTES
 CONTRACTOR SHALL TEMPORARILY STABILIZE AREAS INDICATED BY INSTALLING LOAM AND SEEDING WITH ANNUAL RYE GRASS OR WOODCHIP STABILIZATION.

ANNUAL RYE GRASS, IF USED, SHALL BE MAINTAINED AND RE-ESTABLISHED AS NEEDED TO ENSURE NECESSARY STABILIZATION COVER.
 WOOD CHIPS, IF USED, SHALL BE SPREAD FROM TREES CHIPPED ON SITE TO THE EXTENT PRACTICAL.

GENERAL NOTES
 EXISTING STONES FROM PORTIONS OF STONE WALLS IDENTIFIED TO BE REMOVED SHALL BE SALVAGED AND STOCKPILED FOR RE-USE ON SITE. STONES SHALL BE USED FOR DEMARCATION BETWEEN PROPOSED DEVELOPMENT AND OPEN SPACE AS DIRECTED BY OWNER AND LANDSCAPE ARCHITECT DURING CONSTRUCTION.

FINAL PLANTING AND FINAL STABILIZATION NOTES

ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC.

ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS.

PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.

SPACE PLANTS AT SCALED DISTANCES SHOWN ON DRAWINGS UNLESS OTHERWISE REQUIRED IN FIELD DUE TO UTILITY OR DRIVEWAY CONFLICTS. REVISED LOCATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL DECIDUOUS TREES SHALL BE FITTED WITH TREE-WATERING BAGS (TREEGATOR® OR EQUAL) FOLLOWING COMPLETION OF PLANTING.

ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL ONLY BE MADE AFTER PRIOR APPROVAL OF LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

ALL PLANT MATERIALS SHALL BE GUARANTEED FOR TWO YEARS FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR HIS REPRESENTATIVE.

CONTRACTOR SHALL PROTECT ALL EXISTING VEGETATION AT THE SITE THAT IS NOT REQUIRED TO BE REMOVED TO MAKE WAY FOR NEW CONSTRUCTION.

SOIL NOTES

ALL AREAS DISTURBED BY CONSTRUCTION NOT DESIGNATED TO RECEIVE OTHER TREATMENT SHALL BE LOAMED A MINIMUM OF 6" AND SEED AS SPECIFIED BELOW. TOPSOIL FOR THIS PURPOSE SHALL BE TESTED BY AN APPROVED SOIL TESTING LABORATORY AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS:

TEXTURE: FINE SANDY LOAM OR SANDY LOAM, AS DETERMINED BY MECHANICAL ANALYSIS AND BASED ON THE USDA STANDARD SOIL CLASSIFICATION SYSTEM.

ACIDITY: SOIL REACTION SHALL BE IN THE RANGE OF 5.5 TO 7.6, OR SHALL BE AMENDED TO MEET THIS RANGE.

ORGANIC MATTER: TOPSOIL SHALL HAVE A RANGE BETWEEN 5% AND 10% ORGANIC MATTER CONTENT BASED ON THE LOSS ON IGNITION OF OVEN-DRIED SAMPLES.

TREE/SHRUB PLANTING MIX: MIX THE SPECIFIED MATERIALS ON-SITE IN THE FOLLOWING PROPORTIONS:

3 PARTS TOPSOIL AS SPECIFIED ABOVE, 1 PART PEAT MOSS, 1 PART SAND. IF PLANTS ARE INSTALLED IN SPRING, ADD 5 POUNDS OF SUPERPHOSPHATE/CUBIC YARD OF MIXTURE. ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION. PLANTING MIX SHALL BE USED TO BACKFILL ALL TREE PLANTING HOLES, AS INDICATED IN THE PLANTING DETAIL.

PERMANENT SEED MIX NOTES

TURF GRASS AREAS: TURFSEED ALL TURFGRASS LAWN AREAS WITH A DROUGHT TOLERANT, HIGH-RESILIENCE TURFGRASS SEED MIX SUCH AS PEARL'S PREMIUM GRASS SEED BY PEARL'S PREMIUM, WAYLAND, MA; ENVIROTURF BY BLUESTEM NURSERY, LAURIER, WA; ECO-LAWN BY WILDFLOWER FARM, COLDWATER, ONT, CAN; OR APPROVED EQUAL, APPLIED AT SEED PRODUCER'S RECOMMENDED RATE. SEEDING SHALL BE DONE EITHER BETWEEN APRIL 1 AND JUNE 15, OR BETWEEN AUGUST 15 AND SEPTEMBER 30.

MEADOW MIX AREA: SEED OVER STORMWATER DETENTION AREA WITH "NEW ENGLAND NATIVE WARM SEASON GRASS MIX" BY NEW ENGLAND WETLAND PLANTS, AMHERST, MA, OR APPROVED EQUAL, PER MANUFACTURER'S RECOMMENDATIONS. WARM SEASON SEEDING PROGRAM WILL LIKELY TAKE 2-3 GROWING SEASONS UNTIL GOOD GROWTH IS ESTABLISHED.

MULCH: ALL SEEDED AREAS WITH 500-700 LBS. OF SALT/MARSH HAY OR WEED-FREE STRAW PER ACRE. SPREAD EVENLY ALL SLOPES OF 3:1 OR GREATER, AFTER BEING LOAMED, SEEDING, AND MULCHED, SHALL BE COVERED WITH JUTE OR BIODEGRADABLE TOBACCO NETTING SECURELY ANCHORED TO THE SLOPE OVERLAP A NETTING JOINTS A MINIMUM OF 4" AND SECURE WITH A DOUBLE ROW OF STAPLES.*

MAINTENANCE OF SEED AREAS SHALL CONSIST OF WATERING, WEEDING, CURING, REPAIR OF ALL EROSION, AND RESEEDING AS NECESSARY TO ESTABLISH A UNIFORM STAND OF GRASS LAWNS THAT BE WATERED IN A SATISFACTORY MANNER DURING AND IMMEDIATELY AFTER PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE. ALL AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON SHALL BE RESEED REPEATEDLY UNTIL A UNIFORM STAND IS ATTAINED.

HYDROSEEDING IS AN ACCEPTABLE ALTERNATE METHOD OF SEEDING, IF UNDERTAKEN IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

MATERIALS FOR HYDROSEEDING SHALL INCLUDE TACKIFIER, WOOD CELLULOSE FIBER MULCH, FERTILIZER, GROUND LIMESTONE AND WATER.

PROVIDE JUTE MATTING OR BIODEGRADABLE TOBACCO NETTING ON ALL SLOPES EQUAL TO OR GREATER THAN 3:1. JUTE MATTING SHALL BE C-JUTE BY CONTECH CONSTRUCTION PRODUCTS, INC. GEJUTE BY BELTON INDUSTRIES OR APPROVED EQUAL.*

IF PROJECT SCHEDULE REQUIRES SEEDING TO BE PERFORMED AFTER OCTOBER 15 UNTIL MARCH 31, THE FOLLOWING IS REQUIRED: AFTER HYDROSEEDING/SEEDING, THOSE VEGETATED AREAS WHICH HAVE A SLOPE EQUAL TO OR STEEPER THAN 4:1 SHALL BE COVERED WITH JUTE MATTING AND STAPLED IN PLACE PER MANUFACTURER'S REQUIREMENTS. PRECAUTIONS SHALL BE TAKEN TO MINIMIZE DISTURBANCE OF THE HYDROSEED/SEED WHEN INSTALLING THE JUTE.*

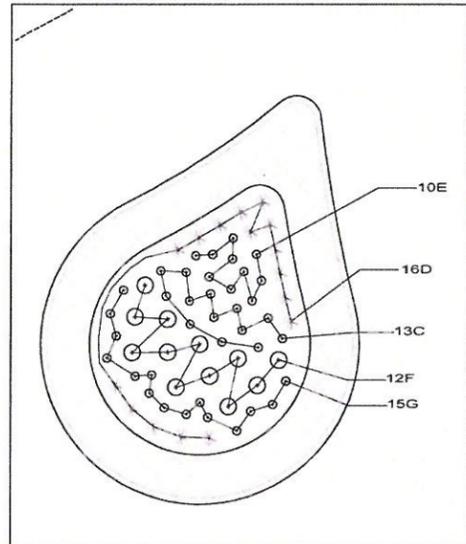
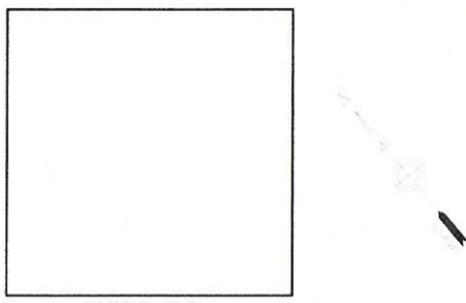
HYDROSEEDING/ SEEDING MIXTURE:

TACKIFIER:
 APPLY AT A RATE OF 60 GALLONS PER ACRE.

WOOD CELLULOSE FIBER MULCH:
 APPLY AT A RATE OF 2,000 POUNDS PER ACRE.

APPLY FERTILIZER AND LIMESTONE AT RATES DETERMINED BY SOIL ANALYSIS

*STRAW MULCH AND NETTING ON SLOPES 3:1 OR GREATER IS NOT REQUIRED ON HYDROSEEDING OPERATIONS IF SLOPES ARE SPRAYED WITH A BONDED FIBER MATRIX MULCH, SUCH AS FLEXITERRA BY PROFILE PRODUCTS, LLC, OR HYDROSTRAW BFM BY HYDROSTATION, INC., INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



CUL-DE-SAC ISLAND PLANTING DETAIL

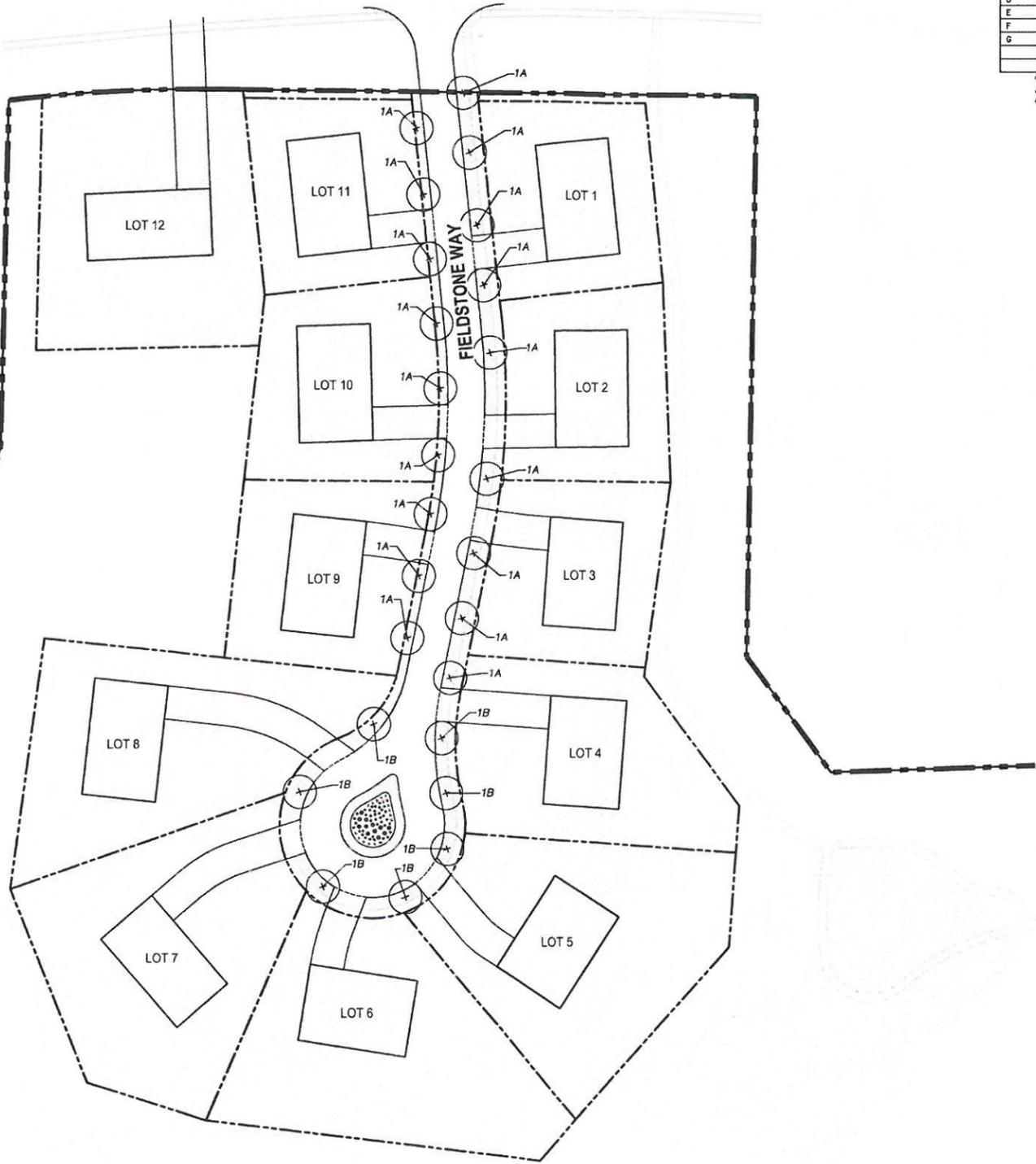
SCALE: 1"=10'

- TEMPORARY STABILIZATION AREA
- MEADOW MIX AREA
- TURF GRASS LAWN AREA

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE: _____

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS	
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed
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	area regulation district
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	PB number



Date	By	Appr	Rev
07/01/15	JHM	JHM	

RYAN ASSOCIATES LANDSCAPE ARCHITECTURE AND PLANNING 144 NODDY STREET, Bldg 4 WALTHAM, MA 02453 PH: 781.314.0401 FAX: 781.314.0151



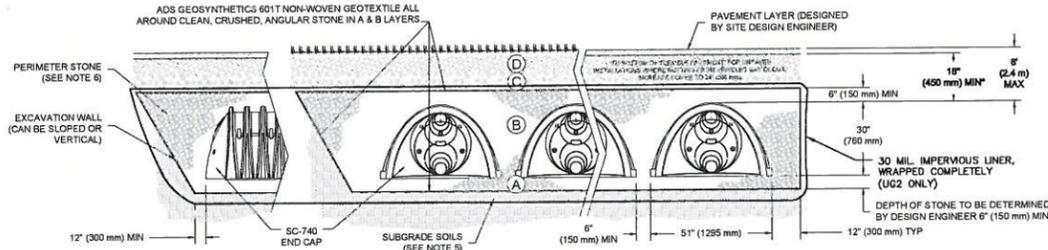
CHA 101 Accord Park Drive Newell, MA 02061 Mail: (978) 962-5450 - www.chainc.com
 Designer: CHA
 Drafter: DT
 Checker: SK

135 GREAT PLAIN AVENUE WELLESLEY, MASSACHUSETTS
 LANDSCAPE PLAN
 Issue Date: 07/01/15 Project No.: 20219 Scale: AS NOTED

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 8, 68, 7, 78, 8, 69, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ¹¹

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

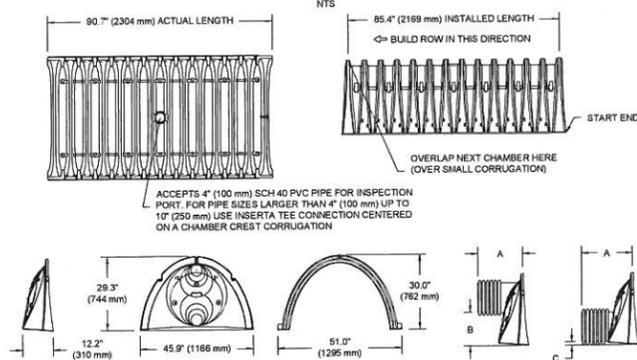


NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- STORMTECH SC-740 UNITS TO BE H20 RATED FOR VEHICLE LOADS.

1 STORMTECH SC-740 CHAMBER UNIT SYSTEM
SCALE: NO SCALE

SC-740 TECHNICAL SPECIFICATION



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	51.0" X 30.0" X 35.4"	(1295 mm X 762 mm X 2169 mm)
CHAMBER STORAGE	45.9 CUBIC FEET	(1.30 m ³)
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET	(2.12 m ³)
WEIGHT	75.0 lbs.	(33.6 kg)

*ASSUMES 8" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

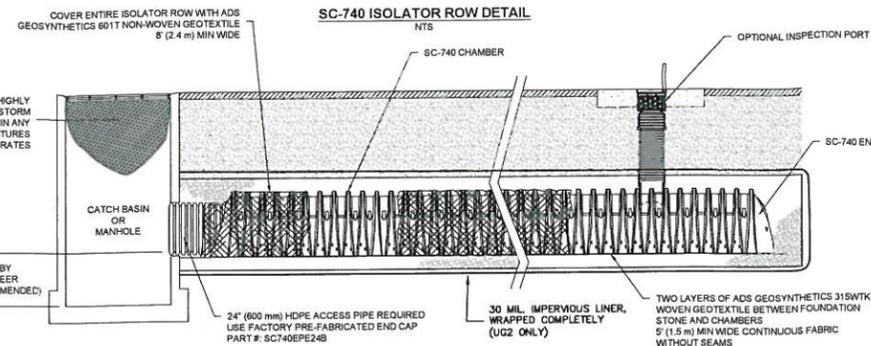
STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	A	B	C
SC740EP007 / SC740EP061PC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	—
SC740EP008 / SC740EP062PC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	0.5" (13 mm)
SC740EP009 / SC740EP063PC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	0.6" (15 mm)
SC740EP010 / SC740EP101PC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	0.7" (18 mm)
SC740EP011 / SC740EP102PC	14" (350 mm)	16.0" (406 mm)	10.5" (267 mm)	0.8" (20 mm)
SC740EP012 / SC740EP103PC	16" (400 mm)	17.3" (439 mm)	8.5" (216 mm)	0.9" (23 mm)
SC740EP013 / SC740EP104PC	18" (450 mm)	18.6" (470 mm)	6.5" (165 mm)	1.0" (25 mm)
SC740EP014 / SC740EP105PC	20" (500 mm)	19.9" (500 mm)	4.5" (114 mm)	1.1" (28 mm)
SC740EP015 / SC740EP106PC	22" (550 mm)	21.2" (535 mm)	2.5" (64 mm)	1.2" (30 mm)

ALL STUBS, EXCEPT FOR THE SC740EP24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-882-2694.

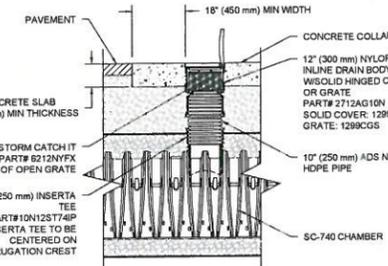
*FOR THE SC740EP24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL



INSPECTION & MAINTENANCE

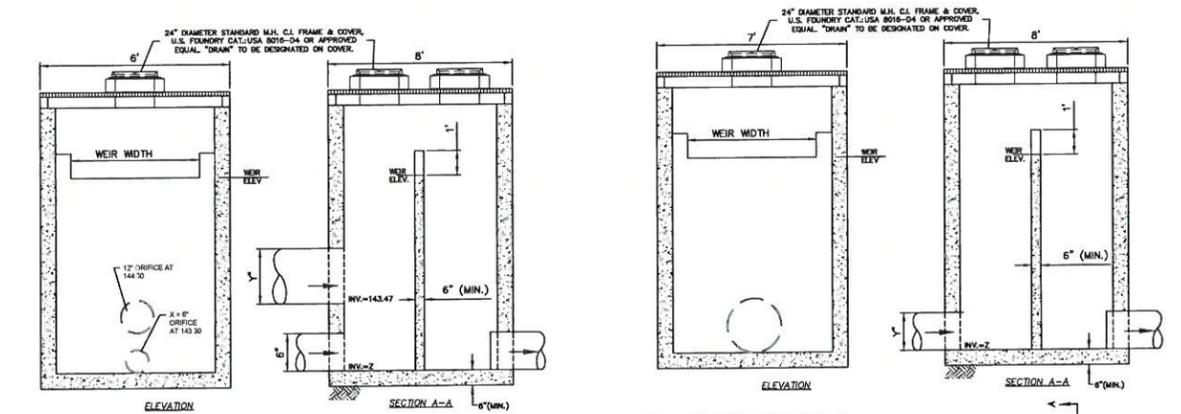
- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT**
- INSPECTION PORTS (IF PRESENT)
 - REMOVE OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - ALL ISOLATOR ROWS
 - REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JET/VAC PROCESS**
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JET/VAC UNTIL BACKLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.**
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.**



SC-740 INSPECTION PORT DETAIL

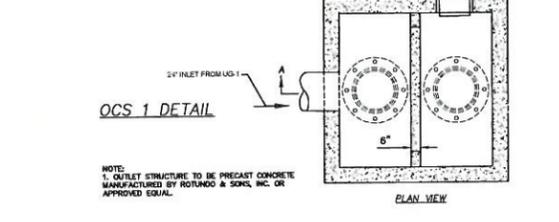
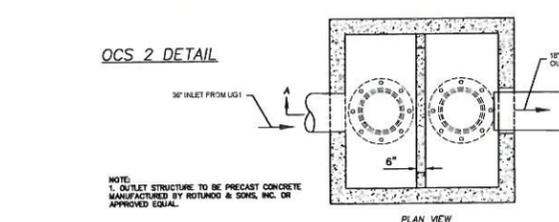
NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



STRUCTURE	X	Y	Z	WEIR ELEV	WEIR WIDTH
OCS 2	6"	30"	143.30	148.30	5'

STRUCTURE	Y	Z	WEIR ELEV	WEIR WIDTH
OCS 1	24"	155.50	158.40	8.0"



2 OUTLET CONTROL STRUCTURE DETAILS
SCALE: NO SCALE

FOR REGISTRY USE ONLY

Date	By	App'd	Submittal / Revision
07/01/15	JPM	GRC	DEFINITIVE SUBDIVISION SUBMITTAL
04/04/16	JPM	GRC	REVISED SUBDIVISION LAYOUT RESPONSE TO COMMENTS

Northland Residential Corporation



4-4-2016

CHA
101 Accord Park Drive
Wellesley, MA 02480
Main: (781) 982-2400 • www.chacompanies.com

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

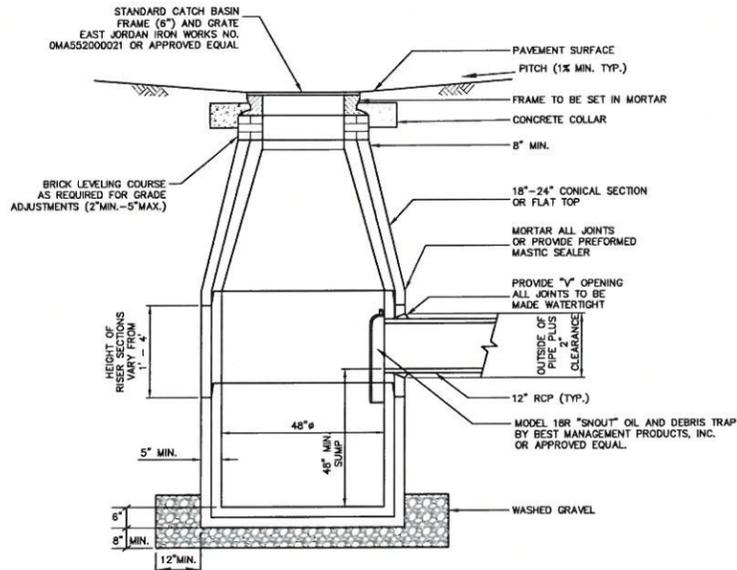
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SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS

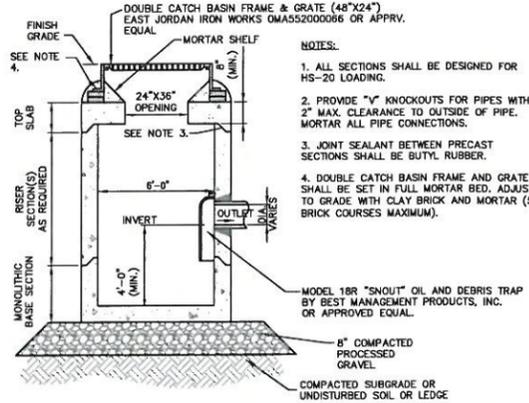
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed
_____	definitive application filed
_____	definitive plan filed
_____	public hearing date
_____	area regulation district
_____	project number
_____	PB number

135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

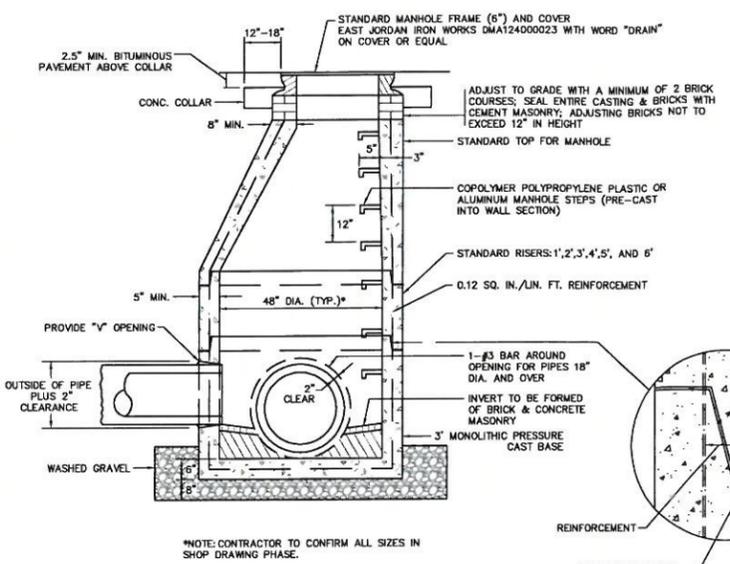
C-601
SHEET 14 OF 20 SHEETS



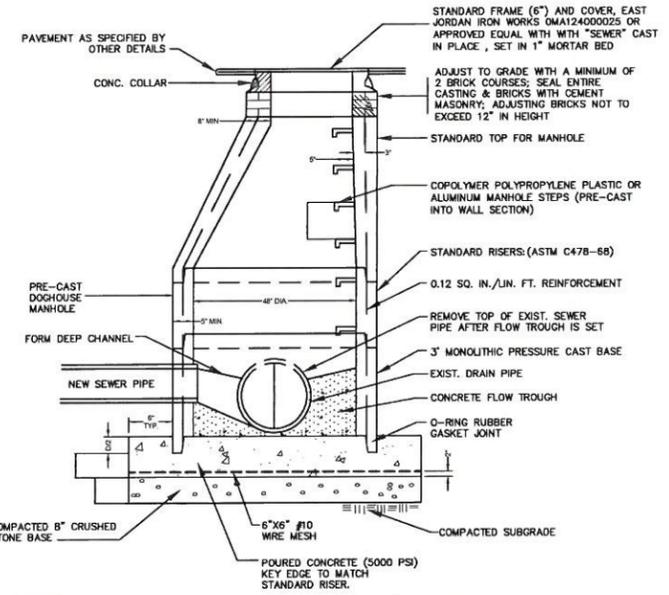
1 PRECAST CONCRETE SINGLE GRATE CATCH BASIN
SCALE: NO SCALE



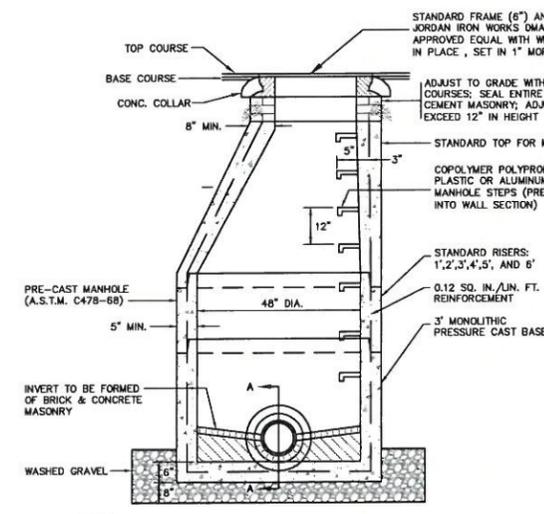
2 DOUBLE GRATE CATCH BASIN
SCALE: NO SCALE



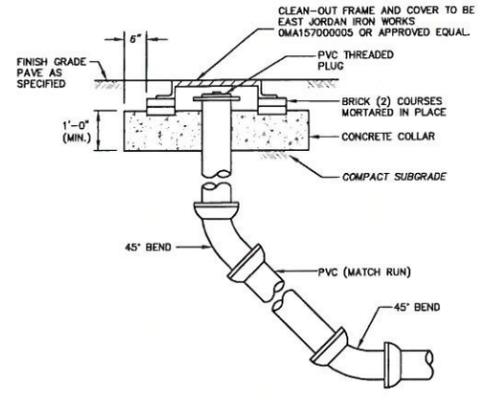
3 STANDARD PRE-CAST DRAIN MANHOLE
SCALE: NO SCALE



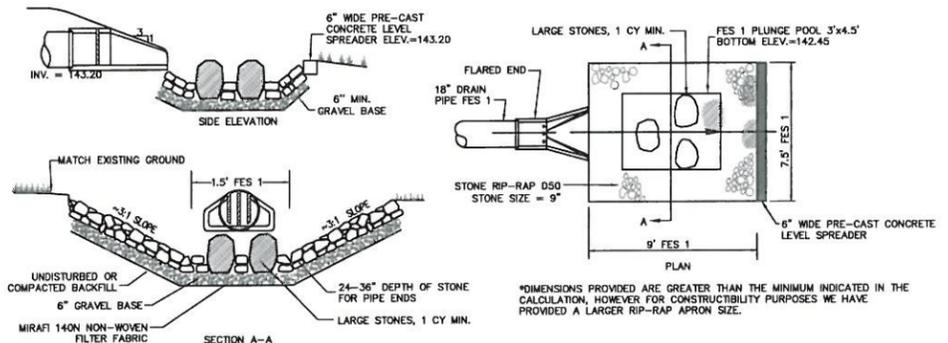
4 "DOGHOUSE" SEWER MANHOLE W/CAST IN PLACE BASE
SCALE: NO SCALE



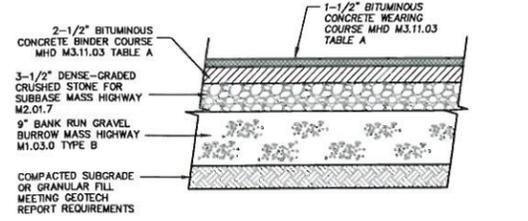
5 STANDARD PRE-CAST SEWER MANHOLE
SCALE: NO SCALE



6 TYPICAL SEWER SERVICE CLEANOUT
SCALE: NO SCALE



7 LEVEL SPREADER/PLUNGE POOL/ENERGY DISSIPATER
SCALE: NO SCALE



8 STANDARD DUTY BITUMINOUS PAVEMENT SECTION (PRIVATE ROADWAY)
SCALE: NO SCALE

FOR REGISTRY USE ONLY

No.	0	1
Submitted / Revision	DEFINITIVE SUBDIVISION SUBMITTAL	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS
App'd By	CHC	JPM
Date	07/01/15	04/04/16



4-4-2016

CHA
101 Accord Park Drive
Norwell, MA 02061
Main: (781) 942-0400 - www.chainorwell.com

Designed: CHA
Drawn: JPM
Checked: SK

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS

APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed
	definitive application filed
	definitive plan filed
	public hearing date
	area regulation district
	project number
	PB number

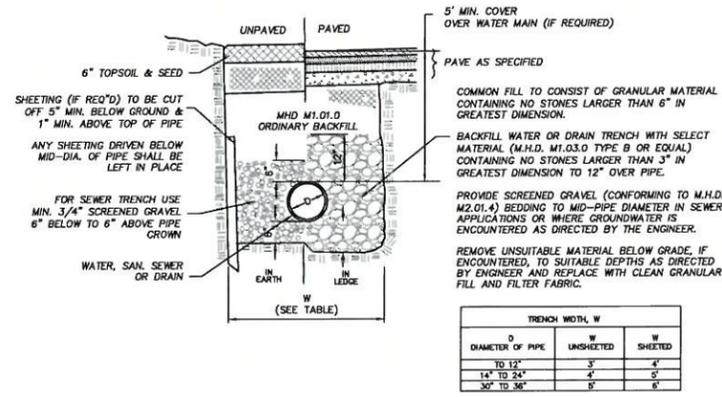
DATE: _____

135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

DETAILS

Issue Date: 07/01/15
Project No.: 29219
Scale: AS NOTED

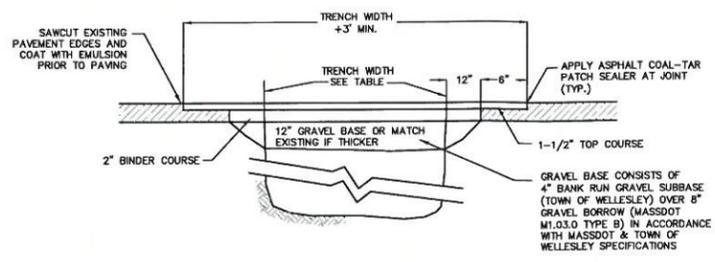
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NOTES:

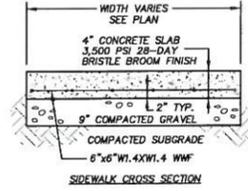
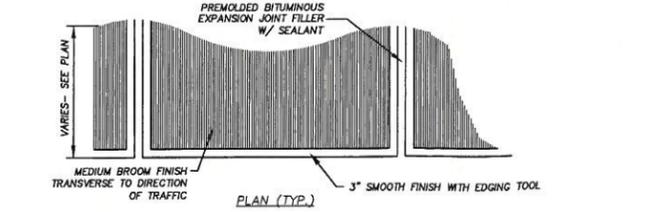
1. ALL TRENCH CONSTRUCTION TO CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
2. COMPACT FILL AND TAMP PIPE TO 95% MAX. DRY DENSITY IN 8" LIFTS UNLESS OTHERWISE SPECIFIED.
3. INSTALL DUCTILE IRON WATER PIPE IN ACCORDANCE WITH ANSI A21.51 (AWWA C151) LAYING CONDITION TYPE 2. BACKFILL TO CONFORM TO M.H.D. M1.03.0 GRAVEL BURROW TYPE c TO 12" ABOVE PIPE CROWN OR AS DIRECTED BY MANUFACTURER OR ENGINEER.
4. MATERIALS FOR SEWER BEDDING, HAUNCHING, AND BACKFILL TO CONFORM TO CLASSES I, II, OR III AS DESCRIBED IN ASTM D 2321 AND TR-15 GUIDES FOR THE DESIGN OF WASTEWATER TREATMENT WORKS. BC TO 12" ABOVE PIPE CROWN OR AS DIRECTED BY MANUFACTURER OR ENGINEER.
6. PROVIDE MINIMUM 5 FT. COVER OVER WATER MAIN AS MEASURED FROM BOTTOM OF CURB LINE. INSULATE WATERMAIN IN ACCORDANCE WITH M.H.D. SECTION 301 WATER SYSTEMS IN AREAS PRONE TO FROST ACTION AND/OR LESS THAN 5 MIN. COVER.

TRENCH WIDTH, W		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'



TRENCH WIDTH, W		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

- NOTES:**
1. CONTRACTOR TO PROVIDE PAVEMENT PATCH TO MEET TOWN OF WELLESLEY SPECIFICATIONS.
 2. PAVEMENT TO BE MINIMUM 3 1/2" HOT MIX OR GREATER TO MATCH EXISTING.

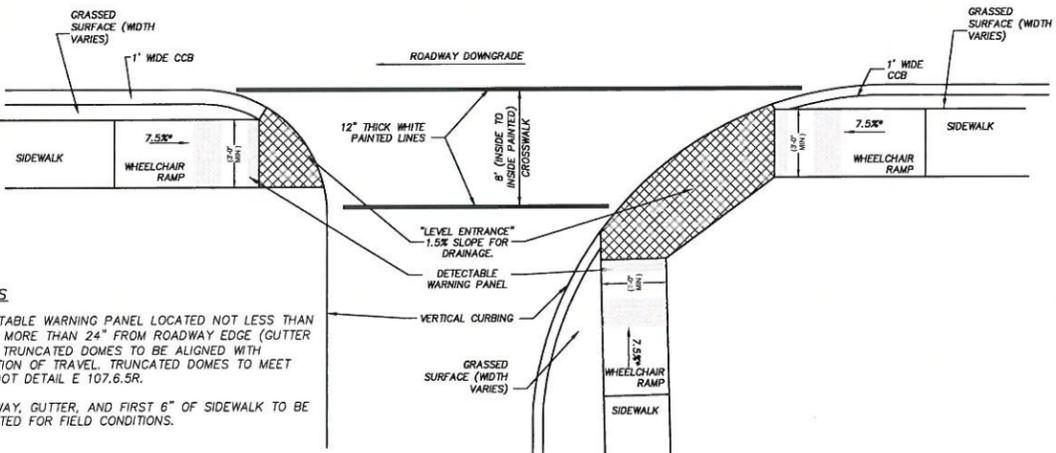


- NOTES:**
1. PROVIDE CONSTRUCTION CONTROL JOINT EVERY 5' OR AS NOTED ON SCORING PLAN.
 2. PROVIDE EXPANSION JOINT EVERY 20' OF 400 SQUARE FEET OR AS NOTED ON SCORING PLAN.
 3. PITCH WALK TO DOWN GRADE SIDE AT 2% MAX.
 4. REFER TO ARCHITECTURAL PLANS FOR JOINT PATTERN AND FINISH SURFACE IN ENTRANCE AREA WALK.

1 TYPICAL TRENCH SECTION
SCALE: NO SCALE

2 PAVEMENT PATCH DETAIL FOR TRENCH SECTIONS
SCALE: NO SCALE

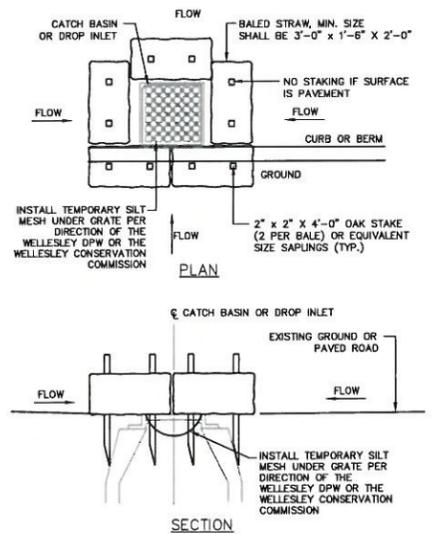
3 CONCRETE SIDEWALK
SCALE: NO SCALE



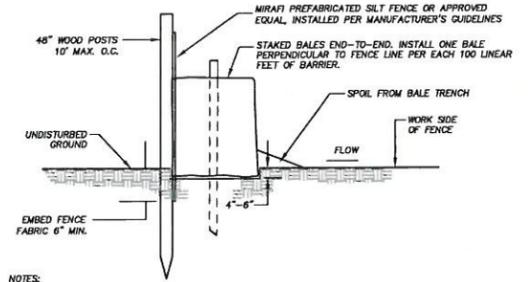
NOTES:

1. DETECTABLE WARNING PANEL LOCATED NOT LESS THAN 6" OR MORE THAN 24" FROM ROADWAY EDGE (GUTTER LINE). TRUNCATED DOMES TO BE ALIGNED WITH DIRECTION OF TRAVEL. TRUNCATED DOMES TO MEET MASSDOT DETAIL E 107.6.5R.
2. ROADWAY, GUTTER, AND FIRST 6" OF SIDEWALK TO BE ADJUSTED FOR FIELD CONDITIONS.

4 CONCRETE CURB RAMP AND CROSSWALK DETAIL
SCALE: NO SCALE



5 DRAIN INLET PROTECTION
SCALE: NO SCALE

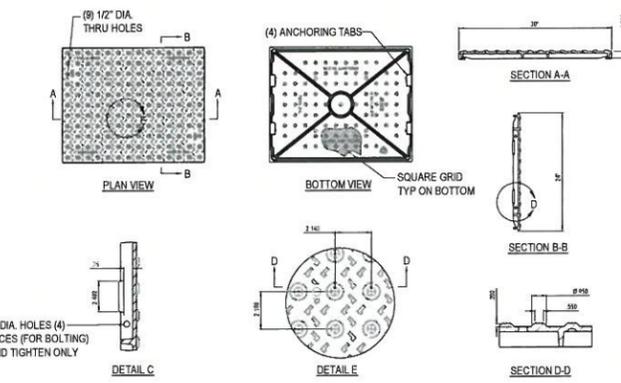


- NOTES:**
1. BALES TO BE TIED W/BIOGRADABLE TWINE.
 2. HAY BALES TO BE SECURED W/ MIN. TWO (2) 1"x1"x3" WOOD STAKES PER BALE, DRIVEN 12" MIN. INTO GRADE.

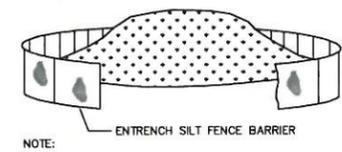
6 STRAWBALE SILT FENCE
SCALE: NO SCALE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE: _____

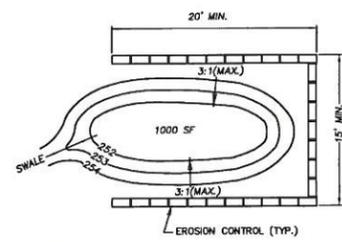


9 DURALAST® DETECTABLE WARNING PLATE
SCALE: NO SCALE



NOTE: STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

8 SOIL STOCKPILE
SCALE: NO SCALE



9 TEMPORARY SEDIMENTATION BASIN
SCALE: NO SCALE

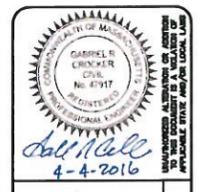
1. SEDIMENT BASINS AND TRAPS SHALL BE SIZED IN ACCORDANCE WITH EPA GUIDELINES.
2. SEDIMENT TRAPS ARE UTILIZED FOR DRAINAGE AREAS SMALLER THAN 5 ACRES. THE SEDIMENT TRAP SHOULD HAVE A MINIMUM VOLUME BASED ON 1/2 INCH OF STORAGE FOR EACH ACRE OF DRAINAGE AREA. THIS VOLUME EQUATES TO 1800 CUBIC FEET OF STORAGE OR 87 CUBIC YARDS FOR EACH ACRE OF DRAINAGE AREA.
3. SEDIMENT BASIN ARE UTILIZED FOR DRAINAGE AREAS FROM 5 TO 100 ACRES. THE TEMPORARY SEDIMENT BASIN SHOULD HAVE A MINIMUM VOLUME OF 3,600 CUBIC FEET FOR EACH ACRE OF DRAINAGE AREA.
4. LOCATION DICTATED BY SEQUENCE OF CONSTRUCTION. CONTRACTOR TO PROVIDE WHERE NECESSARY TO FILTER RUNOFF FROM CONSTRUCTION AREAS PRIOR TO DISCHARGE.

**SUBDIVISION PLAN OF LAND
IN
WELLESLEY, MASSACHUSETTS**

APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed
	definitive application filed
	definitive plan filed
	public hearing date
	area regulation district
	project number
	PB number

DATE: _____

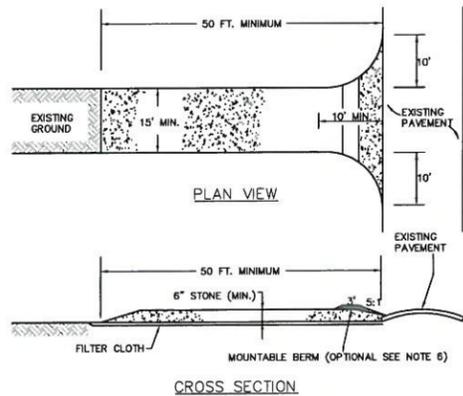
No.	Submitted / Revision	App'd By	Date
0	DEFINITIVE SUBDIVISION SUBMITTAL	JPM	07/07/15
1	REVISED SUBDIVISION LAUNCH / RESPONSE TO COMMENTS	JPM	08/06/16




 Design: CHA
 Drawn: JPM
 Checked: SK

135 GREAT PLAIN AVENUE
 WELLESLEY, MASSACHUSETTS
 DETAILS
 Project No.: 29219
 Scale: AS NOTED
 Issue Date: 07/07/15

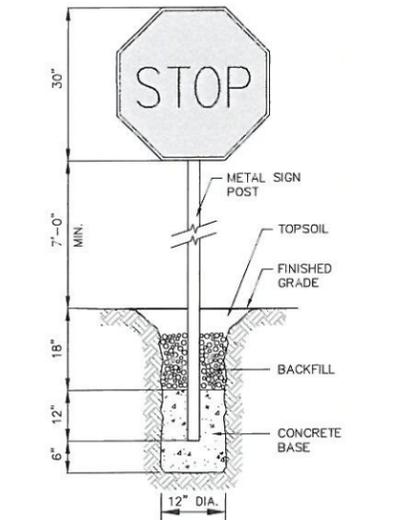
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CONSTRUCTION SPECIFICATIONS:

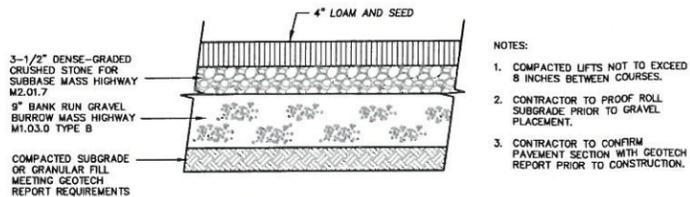
- STONE SIZE—USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH—RECOMMEND GREATER THAN OR EQUAL TO 50 FEET WHERE SOILS ARE SANDS AND GRAVELS AND 100 FEET IN SILTS AND CLAYS.
- THICKNESS—NOT LESS THAN SIX (6) INCHES.
- WIDTH—FIFTEEN (15) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OF EGRESS OCCURS.
- FILTER CLOTH—SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER—ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHALL BE INSTALLED.
- MAINTENANCE—THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.

1 STABILIZED CONSTRUCTION ENTRANCE
SCALE: NO SCALE



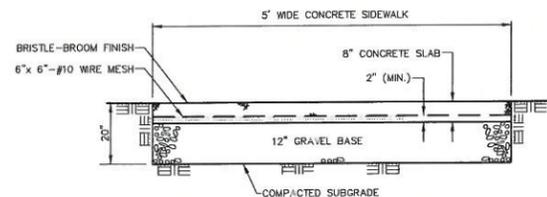
NOTE:
1. PROVIDE SIGN IN ACCORDANCE WITH MUTCD SPECIFICATIONS AND LOCAL AUTHORITIES HAVING JURISDICTION.

3 STOP SIGN (R1-1) DETAIL
SCALE: NO SCALE



NOTES:
1. COMPACTED LIFTS NOT TO EXCEED 8 INCHES BETWEEN COURSES.
2. CONTRACTOR TO PROOF ROLL SUBGRADE PRIOR TO GRAVEL PLACEMENT.
3. CONTRACTOR TO CONFIRM PAVEMENT SECTION WITH GEOTECH REPORT PRIOR TO CONSTRUCTION.

4 REINFORCED TURF
SCALE: NO SCALE



5 REINFORCED CONCRETE SIDEWALK
SCALE: NO SCALE

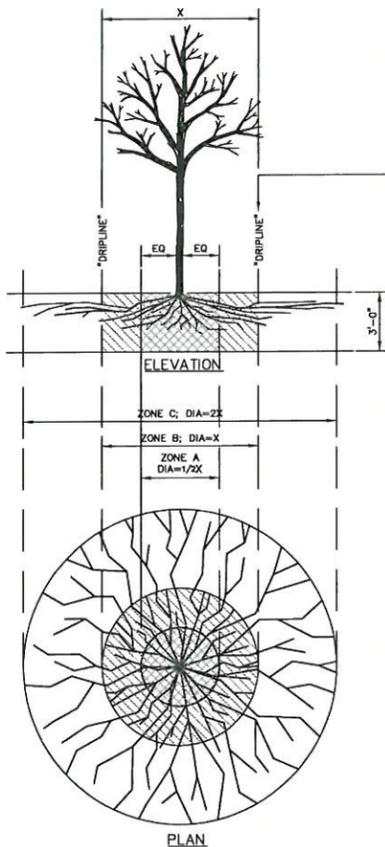


- Diameter: 18.7" / 475 mm
- Height: 31.5" / 800 mm
- Weight: 29 lbs
- EPA: 0.96
- IP Rating: 65

NOTE:
STREET LIGHTING SHALL BE IN ACCORDANCE WITH WELLESLEY MUNICIPAL LIGHT AND POWER REQUIREMENTS.

10 PROVIDENCE MICRO-CORE (MEDIUM)
SCALE: NO SCALE

- Providence® MicroCore™ – Medium Housing PROV** TYPE
- FEATURES**
- DLC Qualified
 - Reliable, uniform, glare free illumination
 - Types B, B, B, V and custom distributions
 - 2030K, 4200K, 5100K CCT
 - 0-10V dimming ready
 - Integral surge suppression
 - LifeShield™ thermal protection
 - 13 standard powder coat finishes



FENCING/ROOT PROTECTION
CHAIN LINK FENCING TO BE PROVIDED AND MAINTAINED AT DRIPLINE
ENGINEER'S APPROVAL REQUIRED FOR USE/ACCESS WITHIN ZONE B. PERMISSION FOR USE/ACCESS REQUIRES SURFACE PROTECTION FOR ALL UNFENCED, UNPAVED SURFACES WITHIN ZONE B

- * SURFACE PROTECTION MEASURES**
- MULCH LAYER, 6"-8" DEPTH
 - 3/4" PLYWOOD
 - STEEL PLATES

TRENCHING/EXCAVATION

ZONE A (CRITICAL ROOT ZONE)

- NO DISTURBANCE ALLOWED WITHOUT SITE-SPECIFIC INSPECTION AND APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE
- SEVERANCE OF ROOTS LARGER THAN 2" DIA REQUIRES ENGINEER'S APPROVAL
- TUNNELING REQUIRED TO INSTALL LINES 3'-0" BELOW GRADE OR DEEPER

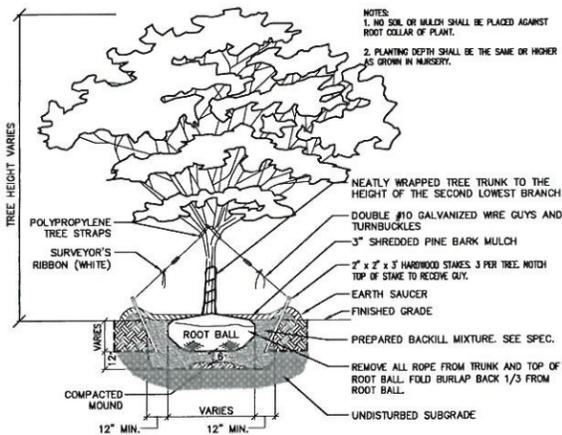
ZONE B (DRIPLINE)

- OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEERS APPROVAL. SURFACE PROTECTION MEASURES REQUIRED
- TRENCHING ALLOWED AS FOLLOWS:
- EXCAVATION BY HAND OR WITH HAND-DRIVEN TRENCHER MAY BE REQUIRED
- LIMIT TRENCH WIDTH. DO NOT DISTURB ZONE A
- MAINTAIN 2/3 OR MORE OF ZONE B IN UNDISTURBED CONDITION
- TUNNELING MAY BE REQUIRED FOR TRENCHES DEEPER THAN 3'-0"

ZONE C (FEEDER ROOT ZONE)

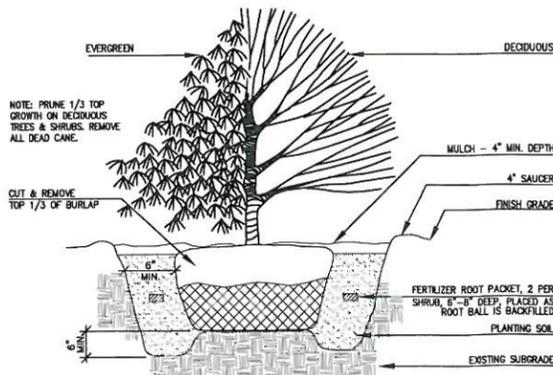
- OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEERS APPROVAL. SURFACE PROTECTION MEASURES MAY BE REQUIRED
- TRENCHING WITH HEAVY EQUIPMENT ALLOWED AS FOLLOWS:
- MINIMIZE TRENCH WIDTH
- MAINTAIN 2/3 OR MORE OF ZONE C IN UNDISTURBED CONDITION

6 TREE PROTECTION DURING CONSTRUCTION
SCALE: NO SCALE



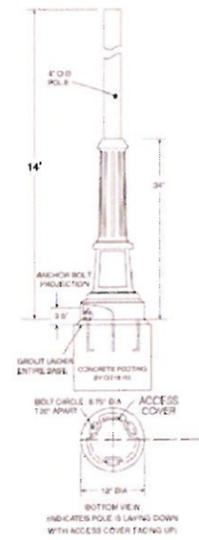
NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

7 DECIDUOUS TREE PLANTING DETAIL
SCALE: NO SCALE



NOTE: PRUNE 1/3 TOP GROWTH ON DECIDUOUS TREES & SHRUBS. REMOVE ALL DEAD CANE.

8 SHRUB PLANTING DETAIL
SCALE: NO SCALE



9 ARCHITECTURAL AREA LIGHTING 4\"/>

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS	
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed
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DATE	

Date	By	App'd	Revision
07/07/15	HD	CRC	DEFINITIVE SUBDIVISION SUBMITTAL
08/04/15	JPM	CRC	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS

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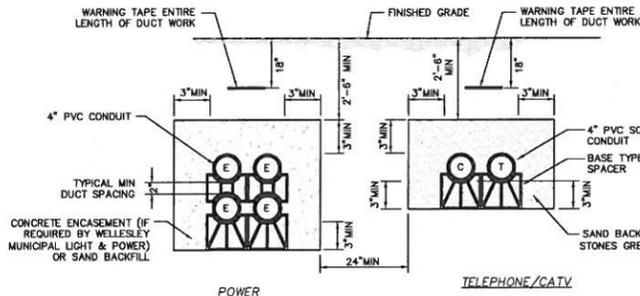


135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

DETAILS

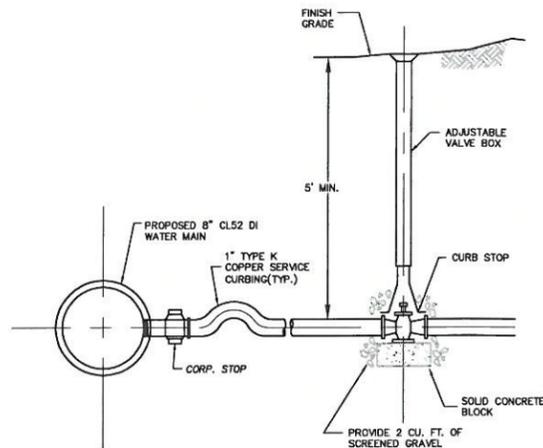
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Project No.: 29219
Issue Date: 07/07/15

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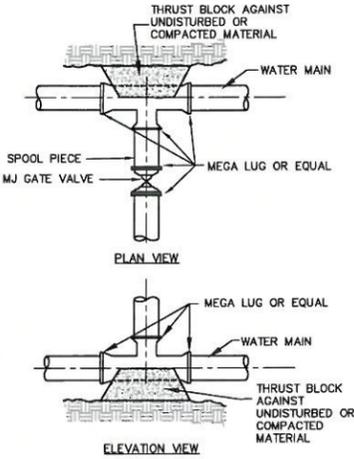
- NOTES:
1. CONTRACTOR TO COORDINATE INSTALLATION OF UTILITIES WITH RESPECTIVE PURVEYORS.
 2. UTILITIES TO BE INSTALLED PER UTILITY PURVEYOR'S DETAILS AND SPECIFICATIONS.
 3. MAINTAIN A MINIMUM OF 2\"/>

1 UTILITY / ELECTRICAL DUCTBANK
SCALE: NO SCALE

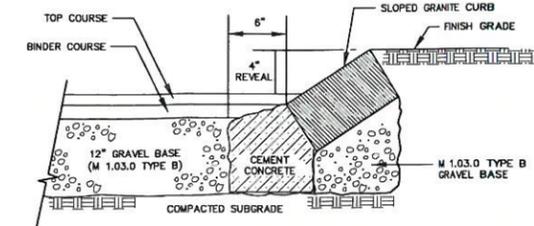


- NOTE:
1. CONTRACTOR TO PROVIDE CATALOG CUTS OF ALL BRASS AND WATER VALVE COMPONENTS IN ACCORDANCE WITH LOCAL PREFERENCES.

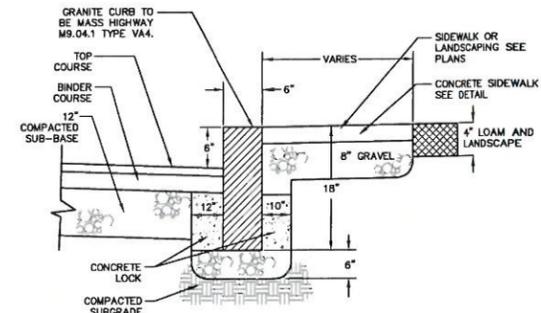
2 WATER SERVICE CONNECTION
SCALE: NO SCALE



3 RESTRAINED JOINT TEE AND VALVE DETAIL
SCALE: NO SCALE



4 SLOPED GRANITE CURB
SCALE: NO SCALE



NOTE: EXISTING SOIL OR ORDINARY FILL COMPACT GRAVEL AND FILL BEHIND CURB TO 95% DRY DENSITY

7 VERTICAL GRANITE CURB
SCALE: NO SCALE

TYPE A BLOCKING FOR 11 1/4\"/>

PIPE SIZE NOM DIA (INCHES)	VERTICAL BEND DEGREES	NO. OF CURBS CONC. BLOCKING	DIA OF SHAKLE RODS (2) (INCHES)	DEPTH IN CONCRETE (FEET)
4"	11 1/4"	8	2.0	3/4"
	22 1/2"	16	2.5	
6"	11 1/4"	16	2.5	3/4"
	22 1/2"	32	3.2	
8"	11 1/4"	28	3.0	3/4"
	22 1/2"	56	3.8	
10"	11 1/4"	42	3.5	3/4"
	22 1/2"	84	4.4	
12"	11 1/4"	60	3.9	3/4"
	22 1/2"	118	4.9	
16"	11 1/4"	104	4.7	7/8"
	22 1/2"	208	5.9	

THRUST BLOCK NOTES

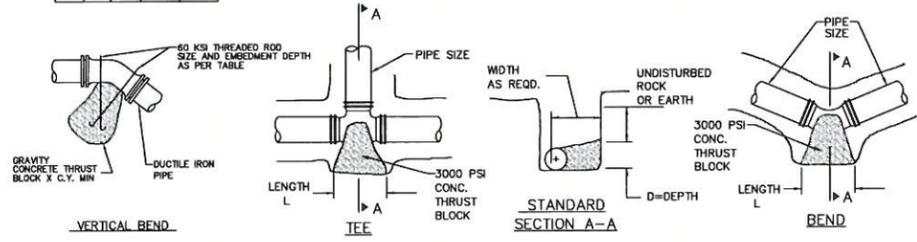
1. FOR REQUIRED BEARING AREA DIMENSIONS D & L SEE TABLE. DIMENSIONS OF D & L OTHER THAN THOSE SHOWN IN THE TABLE MAY BE USED PROVIDED THEY YIELD A BEARING AREA EQUAL TO OR LARGER THAN THAT REQUIRED.
2. CONCRETE NOT TO OVERLAP ANY JOINT.
3. CONCRETE TO BE PLACED SO AS NOT TO INTERFERE WITH REMOVING OR INSTALLING ANY OF THE JOINTING HARDWARE.
4. APPROXIMATE VOLUME OF CONCRETE THRUST BLOCK:
 $V = \frac{LD(W+ID)}{81}$
WHERE:
V = VOLUME IN CUBIC YARDS
L = LENGTH OF BLOCK IN FEET
D = DEPTH OF BLOCK IN FEET
W = WIDTH OF BLOCK IN FEET
ID = INSIDE DIAMETER OF PIPE IN FEET
5. VALUES FOR TEE ALSO APPLY TO END PLUGS, CAPS, AND TAPPING SLEEVES.
6. REQUIRED BEARING AREAS ARE DUE TO THRUSTS CAUSED BY 150 PSI WORKING PRESSURE PLUS 50%(75 PSI) SURGE ALLOWANCE RESULTING IN 225 PSI TOTAL INTERNAL PRESSURE. NORMAL PIPE DIAMETER USED.
7. REQUIRED BEARING AREAS ARE BASED ON ALLOWABLE SOIL BEARING CAPACITY OF 2000 LBS. PER SQUARE FOOT FOR SAND. DUE TO OTHER SOIL CONDITIONS ENCOUNTERED, BEARING AREAS MAY BE MODIFIED BY THE ENGINEER.
8. IN MUCK, PEAT, OR RECENTLY PLACED FILL ALL THRUST SHALL BE RESISTED BY PILES OR THE ROOFS TO SOLID FOUNDATIONS, OR BY REMOVAL OF SUCH UNSTABLE MATERIAL, AND REPLACEMENT WITH BALLAST OF SUFFICIENT STABILITY TO RESIST THE THRUSTS, ALL AS REQUIRED BY THE ENGINEER.

REQUIRED BEARING AREAS & DIMENSIONS FOR CONCRETE THRUST BLOCKS

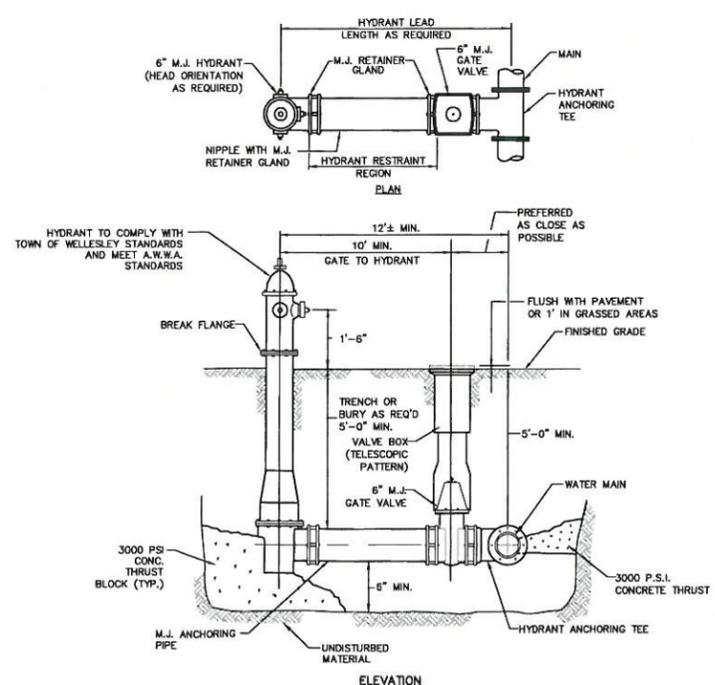
PIPE SIZE (IN.)	TEE (See Note 5) AREA Sq.Ft.	90(1/4)BEND		45(1/8)BEND		22-1/2(1/16)BEND		11-1/4(1/32)BEND		
		AREA Sq.Ft.	Dimen. D x L	AREA Sq.Ft.	Dimen. D x L	AREA Sq.Ft.	Dimen. D x L	AREA Sq.Ft.	Dimen. D x L	
3 & 4	1.4	1.0 x 1.5	2.0	1.0 x 2.0	1.1	1.0 x 1.5	0.6	0.5 x 1.5	0.3	0.5 x 1.0
6	3.2	1.5 x 2.5	4.5	2.0 x 2.5	2.4	1.5 x 2.0	1.2	1.0 x 1.5	0.6	1.5 x 1.5
8	5.7	2.0 x 3.0	8.0	2.0 x 4.0	4.3	2.0 x 2.5	2.2	1.5 x 1.5	1.1	1.0 x 1.5
12	12.7	3.5 x 3.5	18.0	4.0 x 4.5	9.7	2.5 x 4.0	5.0	2.0 x 2.5	2.5	1.5 x 2.0
16	50.0	6.0 x 8.5	50.0	6.0 x 8.5	27.0	5.0 x 5.5	13.8	3.5 x 4.0	8.9	2.5 x 3.0

TYPE B BLOCKING FOR 45\"/>

PIPE SIZE NOM DIA (INCHES)	VERTICAL BEND DEGREES	NO. OF CURBS CONC. BLOCKING	DIA OF SHAKLE RODS (2) (INCHES)	DEPTH IN CONCRETE (FEET)
4"	29	3.1	3/4"	1.6
6"	59	3.9		
8"	102	4.7		
10"	154	5.4		
12"	218	6.0		
16"	378	7.2		



5 THRUST BLOCK DETAILS
SCALE: NO SCALE



- NOTES:
1. HYDRANT TO BE INSTALLED WITHIN RIGHT-OF-WAY OR AS SHOWN ON THE PLANS.
 2. ALL MATERIALS AND INSTALLATION TO CONFORM WITH TOWN OF WELLESLEY SPECIFICATIONS.

6 HYDRANT AND VALVE ASSEMBLY INSTALLATION DETAIL
SCALE: NO SCALE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE: _____

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS

APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed
	definitive application filed
	definitive plan filed
	public hearing date
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	project number
	PB number

DATE: _____

No.	By	Date
0	GRC	07/07/15
1	GRC	04/04/16

Submittal / Revision	By	Date
DEFINITIVE SUBDIVISION SUBMITTAL	GRC	07/07/15
REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	GRC	04/04/16

Northland Residential Corporation

Professional Seal of Daniel J. Callahan, Registered Professional Engineer, No. 41917, State of Massachusetts.

Daniel J. Callahan
4-4-2016

CHA

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Designed: CHA Drawn: JPM Checked: SK

135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

DETAILS

Issue Date: 07/07/15 Project No.: 29219 Scale: AS NOTED

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PUMP/TANK NOTES:

1. THE TANK AND INSTALLATION IS IN COMPLIANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND IN ACCORDANCE WITH THE APPROVED PLANS.
2. THE BOTTOM OF THE TANK INTERIOR HAS A CONCRETE FILLET SLOPED TOWARD THE PUMP.
3. A 4-FLOAT SWITCH SYSTEM IS INSTALLED AS FOLLOWS FROM BOTTOM TO TOP: PUMP OFF/PUMP ON/LAG AND ALARM ON/ ALARM
4. THE STANDING WATER BELOW THE PUMP OFF SWITCH IS SET AT AN ELEVATION SUFFICIENT TO SUBMERGE 2/3 OF THE PUMP HOUSING (OR GREATER IF REQUIRED BY PUMP SPECIFICATIONS).
5. THE ALARM SYSTEM INCLUDES AN AUDIO AND VISUAL SIGNAL WITH AMBER COLORED LIGHT.
6. THE CONTROL/ALARM BOX IS LABELED WITH A DESCRIPTION AND EMERGENCY PHONE NUMBER TO CALL IN THE EVENT OF AN ALARM.
7. THE CONTROL PANEL IS FITTED WITH A LOCK.

GENERAL NOTES:

1. PUMP EQUIPMENT SHALL BE SUBMERSIBLE PUMP AS MANUFACTURED BY HOMA, OR APPROVED EQUAL. THE UNIT SHALL OPERATE FROM A 230 VOLT, 1 PHASE POWER SOURCE. PUMP SHALL BE APPROVED BY OWNER OR CHA CONSULTING, INC. BEFORE INSTALLATION.
2. PUMP STATION WET WELL SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE STANDARD H2O LOADING, CONSTRUCTED OF REINFORCED CONCRETE FOR COMPRESSIVE STRENGTH TO A MINIMUM OF 5,000 PSI AND TO THE DIMENSIONS AS SHOWN ON THE DETAILS AND MANUFACTURED BY SHOREY PRECAST OR APPROVED EQUAL.
3. ALL STEEL REINFORCEMENT SHALL CONFORM TO ASTM A 615-75 GRADE 60 WITH 1" MINIMUM COVER.
4. THE SUBMERSIBLE PUMP SHALL BE INSTALLED WITH A HYDRAULICALLY SEALED SLIDE COUPLING ARRANGEMENT SO THAT THE PUMPS CAN BE REMOVED FROM THE WET WELL FOR SERVICE AND INSPECTION AND THEN RETURNED TO SERVICE WITHOUT ENTERING THE WET WELL BASIN TO UNBOLT OR UNLOCK THE CONNECTION BETWEEN THE PUMP AND PIPING.
5. THE SUBMERSIBLE PUMP SHALL BE EQUIPPED WITH POWER CABLE WITH EPOXY SEALED HOUSING WITH SECONDARY PRESSURE GROMMET FOR SEALING AND STRAIN RELIEF OF ADEQUATE LENGTH TO COMPLY WITH OWNER'S REQUIREMENTS AND ALL REGULATIONS. ALL INCOMING LEAD WIRES SHALL BE SPLICED IN THE MOTOR TERMINAL HOUSING.
6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THE JUNCTION DISCONNECT AND CONTROL PANEL WITH THE OWNER PRIOR TO CONSTRUCTION. ALARM PANEL SHALL BE CLEARLY VISIBLE.
7. THE CONTRACTOR SHALL FURNISH AND INSTALL FOUR (4) NON-MERCURY LIQUID LEVEL SENSORS WITH SUFFICIENT LENGTH OF CABLE FOR THE PUMP STATION. SUSPENDED TYPE OF LEVEL SENSORS SHALL BE MOUNTED IN A CORROSION RESISTANT POLYPROPYLENE HOUSING, AND MOUNTED TO TANK INTERIOR BY A DETACHABLE BRACKET.
8. ELECTRICAL SUPPLY AND CONTROL CIRCUITS SHALL BE DESIGNED TO ALLOW DISCONNECTION AT CONTROL PANEL LOCATION SHALL BE COORDINATED WITH BUILDING OWNER. SUPPLY AND CONTROL WIRING SHALL BE PLACED IN SEPARATE CONDUIT.
9. THE PUMP MOTOR SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE FOR CLASS 1, DIVISION 2 LOCATIONS.
10. ALL INLET AND OUTLET PIPING CONNECTIONS AT THE WET WELL SHALL BE MADE WATERTIGHT.
11. DISCHARGE PIPING WITHIN WET WELL AND VALVE CHAMBER SHALL BE PVC, SCHEDULE 80. PIPING BEYOND VALVE CHAMBERS SHALL BE PVC, SDR 21.
12. PROVIDE THRUST BLOCKING FOR ALL FITTINGS AND BENDS ETC. IN THE FORCEMAIN.
13. ALL PRE-CAST CONCRETE STRUCTURES TO BE WATERTIGHT, WATERPROOF, WITHSTAND H-20 LOADING, SEAL JOINTS WITH WATERPROOFING MEMBRANE - TREMPROOF 60 OR APPROVED EQUAL, AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. SEAL JOINTS ARE REQUIRED TO HAVE SECONDARY PROTECTION IN THE FORM OF AN EPOXY SPRAY SYSTEM, AS APPROVED BY THE ENGINEER.
14. CONTRACTOR TO PROVIDE SAFETY NET FOR RECTANGULAR HATCH OPENING.
15. ALL STRUCTURES SHALL BE DESIGNED, MANUFACTURED, AND INSTALLED TO WITHSTAND DEPTH OF COVER REQUIRED.
16. THE ACCESS COVERS SHALL BE 1/4" THICK ALUMINUM TO THE CLEAR DIMENSIONS AS SHOWN ON THE DETAILS SUITABLE FOR H2O LOADING PER SQUARE FOOT. THE ACCESS COVERS SHALL HAVE HEAVY FORGED ALUMINUM HINGES FITTED WITH STAINLESS STEEL PINS. A FLUSH SPRING LOADED SNAP LOCK OPERABLE FROM THE OUTSIDE BY A REMOVABLE HANDLE AND FROM THE INSIDE BY A FIXED HANDLE.
17. ALL PUMP HATCH AND MANHOLE COVERS SHALL BE GASKETED TO PREVENT THE RELEASE OF OODRS AND INFLOW OF STORMWATER. ALL HATCH AND MANHOLE COVERS SHALL BE EQUIPPED WITH LOCKING DEVICES. ALL MANHOLES SHALL BE EQUIPPED WITH RECESSED PADLOCK HASPS. ALL MANHOLES SHALL BE PROVIDED WITH YALE#112 CYLINDER LOCKS.

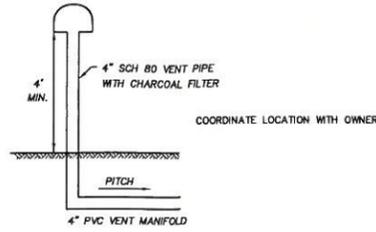
CONTROL PANEL FEATURES:

THE CONTROL PANEL SHALL BE EQUIPPED WITH THE FOLLOWING ADDITIONAL FEATURES:

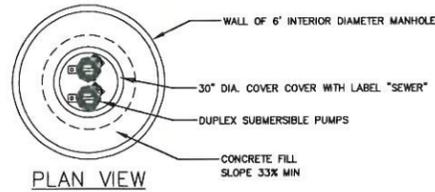
1. SEAL-LEAK INDICATING LIGHTS.
2. ALARM LIGHT AND HORN
3. ELAPSED-TIME METERS FOR PUMPS.
4. AUTO DIALER UNITED SECURITIES MODEL AD 2001
5. DEAD-FRONT LOCKABLE ENCLOSURE.

MOTOR CONTROL PANEL NOTES:

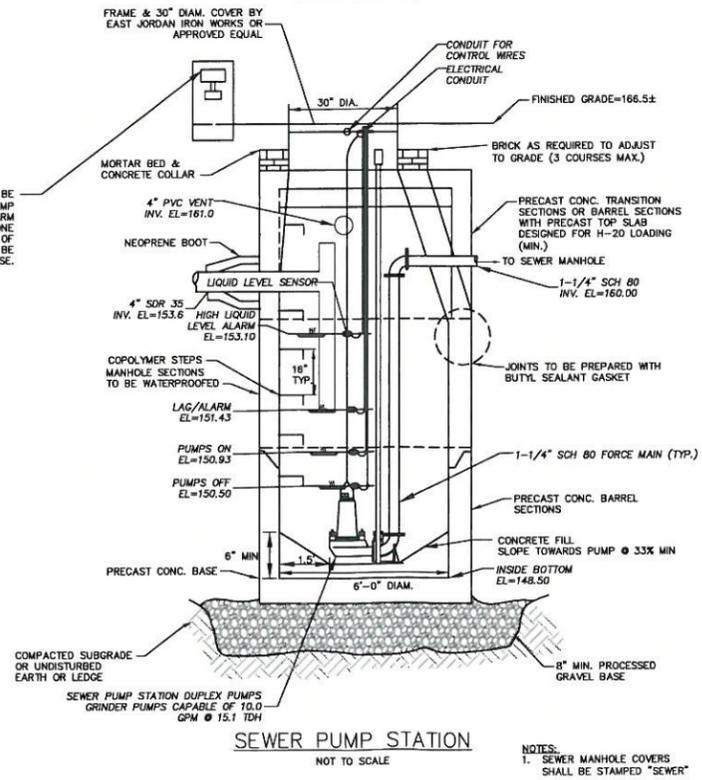
1. PROVIDE CONTROL PANEL INSTALLED WITHIN A NEMA 4X DEAD FRONT ENCLOSURE SUITABLE FOR POST MOUNTING AS INDICATED ON DRAWINGS.
2. ELECTRICAL CONTROLS TO INCLUDE MAGNETIC STARTERS, RUN LIGHTS, H-O-A (HAND-OFF-AUTOMATIC) SWITCHES, HOLD/ALTERNATE CAPABILITY, CIRCUIT BREAKERS, AND CONTROL RELAYS NECESSARY TO CONTROL ELECTRICAL DEVICES ON PUMP STATION SYSTEM.
 - A. PUMP MOTOR CONTROLLED BY H-O-A SWITCHES AND MAGNETIC STARTERS IN CONJUNCTION WITH LIQUID LEVEL SENSORS.
 - B. ELECTRICAL EQUIPMENT AND CIRCUITRY TO BE PROTECTED BY PROPERLY-SIZED CIRCUIT BREAKERS OR FUSES.
 - C. DUPLEX OR STANDBY EQUIPMENT SHALL BE DESIGNED TO BE OPERATED BY DEVICES WITHIN THE CONTROL SYSTEM.



2 VENT PIPE
SCALE: NO SCALE



CONTROL PANEL AND ALARMS AND JUNCTION DISCONNECT BOX SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION WITHIN 25' OF THE PUMP CHAMBER. CONSULT WITH OWNER. PROVIDE REMOTE OUTSIDE AUDIO ALARM AND LIGHT THAT SHALL BE CLEARLY LABELED WITH NAME AND PHONE NUMBER OF EMERGENCY CONTACT. PANEL CONTROLS TO BE INSIDE OF LOCKED ENCLOSURE TO PREVENT UNAUTHORIZED ACCESS. ENCLOSURE TO BE SUITABLE FOR OUTSIDE USE.



SEWER PUMP STATION
NOT TO SCALE

NOTES:
1. SEWER MANHOLE COVERS SHALL BE STAMPED "SEWER"

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