

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

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ELLEN D. GORDON
EXECUTIVE SECRETARY
TELEPHONE
(781) 431-1019 EXT. 208

ROBERT A. BASTILLE
J. RANDOLPH BECKER
ROBERT W. LEVY

March 19, 2003

Ruth W. Whitehouse
1 Whitehouse Lane
Weston, MA 02493

Re: ZBA 2003-21
Petition of Ruth W. Whitehouse
56/58 Oak Street

Dear Mrs. Whitehouse;

Please be advised that at the Public Hearing held on March 13, 2003, the Zoning Board of Appeals voted unanimously to grant your request to withdraw the above referenced petition without prejudice.

Any future petition regarding construction at 56/58 Oak Street requiring relief from the Board of Appeals will require a new application, a new plot plan showing the proposed dwelling footprint with all relevant setbacks, new floor plans and elevations and a check in the amount of two hundred dollars.

If you have any questions, or need further assistance, please do not hesitate to call me.

Very truly yours,

A handwritten signature in cursive script, appearing to read "Ellen D. Gordon".

Ellen D. Gordon
Executive Secretary, Zoning Board of Appeals

cc: Town Clerk
Planning Board
Inspector of Buildings

RECEIVED
TOWN CLERK'S OFFICE
WELLESLEY MA 02482
2003 FEB 21 A 8:58

PLOT PLAN IN WELLESLEY, MASS.

SCALE: 1" = 20' DATE: SEPT. 12, 2002
LOCATION: #56 & #58 OAK STREET

PREPARED FOR:
RUTH & DAVID WHITEHOUSE

ENGINEERS & SURVEYORS:

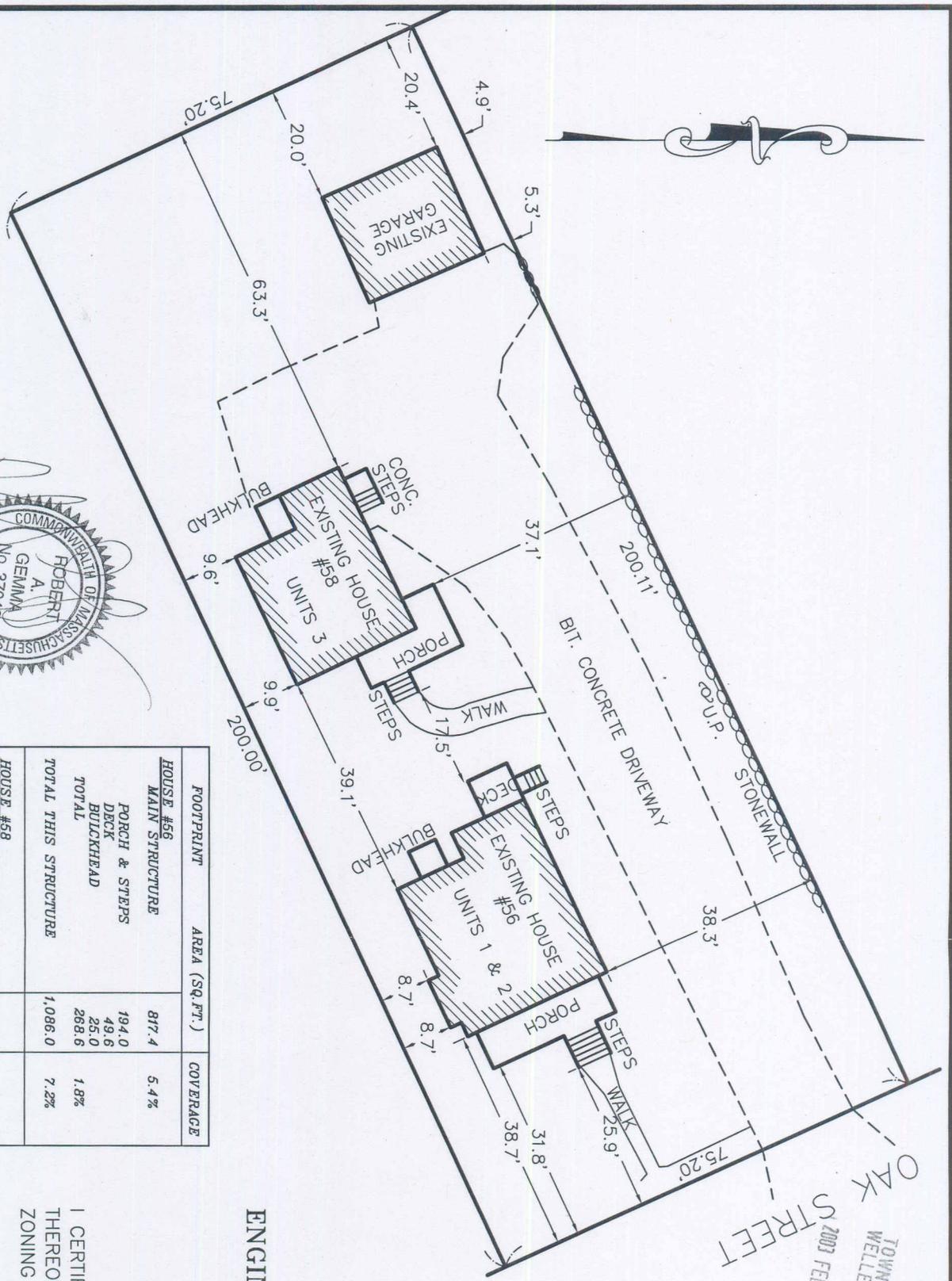
MWE
METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
ROBERT A. GEMMA, PLS 37046

I CERTIFY THAT THE LOT SHOWN AND FOUNDATION THEREON CONFORM TO THE TOWN OF WELLESLEY ZONING BY LAWS.

I CERTIFY THAT THE LOT SHOWN AND FOUNDATION THEREON ARE NOT WITHIN THE FEDERAL FLOOD HAZARD AREA.

NOTES

THIS PLAN IS PREPARED FROM LINES OF OCCUPATION. THE TIES TO THE LOT LINES ARE NOT TO BE USED IN THE SETTING OF FENCES, HEDGES, ETC.



ZONED: SINGLE RESIDENCE
AREA= 10,000 S.F.
FRONTAGE= 60 FT.
SETBACK= 30 FT.
SIDEYARD= 20 FT.
REARYARD= 10 FT.



REVISION NO.	DATE	DESCRIPTION
1	01/22/03	ADD FOOTPRINT AREAS

FOOTPRINT	AREA (SQ. FT.)	COVERAGE
HOUSE #56	877.4	5.4%
MAIN STRUCTURE	194.0	49.6
PORCH & STEPS	49.6	25.0
DECK	25.0	268.6
BULKHEAD	268.6	
TOTAL	268.6	1.8%
TOTAL THIS STRUCTURE	1,086.0	7.2%
HOUSE #58	614.0	4.1%
MAIN STRUCTURE	614.0	154.6
PORCH	154.6	27.3
STEPS	27.3	28.6
BUCKHEAD	28.6	192.1
TOTAL	192.1	1.3%
TOTAL THIS STRUCTURE	824.7	5.4%
GARAGE TOTAL	423.8	2.8%
GRAND TOTAL	2,315.9	15.4%

RECEIVED
TOWN CLERK'S OFFICE
WELLESLEY MA 02482
2003 FEB 21 10 58 AM '03

ZBA SKETCH
IN
WELLESLEY, MASS.

PROPOSAL FOR RENOVATION

SCALE: 1" = 20' DATE: JAN. 22, 2003
LOCATION: #56 & #58 OAK STREET

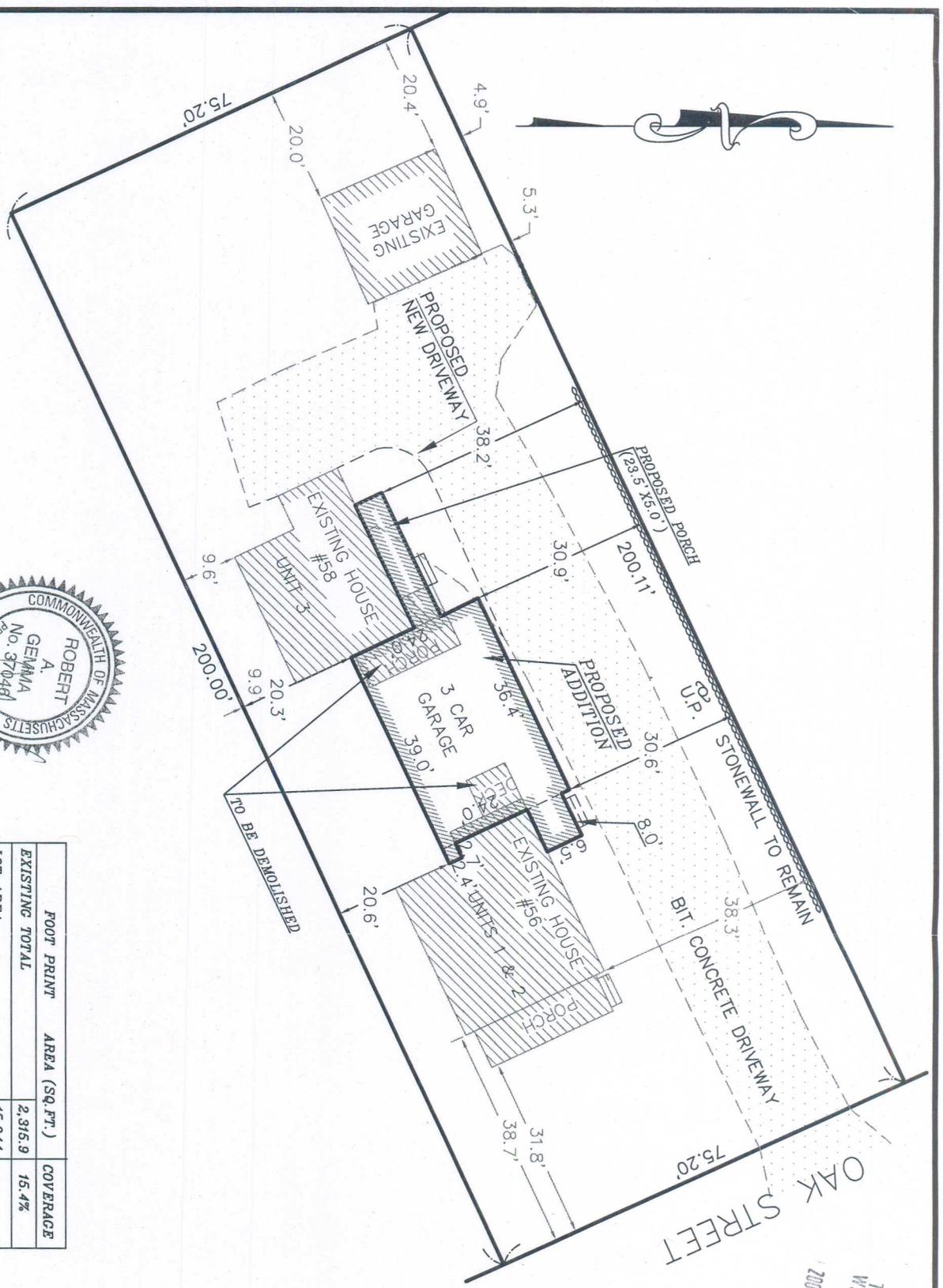
PREPARED FOR:
DESIGN WEST

MWE METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
ROBERT A. GEMMA, PLS 37046

THE PURPOSE OF THIS PLAN IS TO IDENTIFY ZONING SETBACKS AND VARIANCE REQUIREMENTS.
I CERTIFY THAT THE LOT SHOWN AND FOUNDATION THEREON ARE NOT WITHIN THE FEDERAL FLOOD HAZARD AREA.

NOTES

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SIDEYARD= 20 FT.
REARYARD= 10 FT.



FOOT PRINT	AREA (SQ.FT.)	COVERAGE
EXISTING TOTAL	2,316.9	15.4%
LOT AREA	15,044	
PROPOSED ADDITION = 933.0		
LESS OVERLAP AND PORTIONS TO BE DEMOLISHED= 330.2		
PROPOSED CHANGE IN COVERAGE	602.8	4.0%
PROPOSED COVERAGE GROSS	2,918.7	19.4%