



## ZONING BOARD OF APPEALS

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ZBA 2002-52  
 Petition of Wellesley College  
 Paintshop Pond Project  
Softball Field and Structures

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday, June 11, 2002 at 7:30 p.m. in the Great Hall at the Town Hall, 525 Washington Street, Wellesley, on the petition of WELLESLEY COLLEGE requesting the following relief from the Zoning Bylaw for the construction of a softball field, bleacher seating, restroom and scorer's box on a 219,360 square foot area at the western end of the WELLESELY COLLEGE CAMPUS abutting Route 135, in an Educational District and a Water Supply Protection District

1. Site Plan Approval pursuant to the provisions of Section XVIA for a Major Construction project involving grading or regarding of land to planned elevations and disturbance of the existing vegetative cover over an area of 5,000 or more square feet.
2. A Special Permit pursuant to the provisions of Section XIVE.D.2 for a Major Construction Project in a Water Supply Protection District.

On May 17, 2002, the petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing was Barry Monahan, representing Wellesley College. Mr. Monahan was accompanied by Pete Jackson, landscape architect, of Dufresne-Henry, Inc. and Chip Sloan, architect, of William Sloan Associates.

Mr. Monahan said that this was the last part of the "Upland Project", which has included Paintshop Pond, the construction of other playing fields and a portion of Lake Waban. Using an enlarged site plan of the area, Mr. Monahan updated the Board as to the progress made in these areas, which have required two prior Site Plan Approvals (ZBA 2000-79 and ZBA 2001-87).

Mr. Jackson said that when the college last appeared before the Board in November, 2001, the architectural design of the buildings in the softball field area had not been completed. When the project was presented to the Design Review Board last year, that Board withheld approval of the softball field project because it was felt that the architecture and landscaping designs were so intertwined that they should be reviewed together.

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Using an enlarged plan of the work area, Mr. Jackson located the softball field, the restroom/maintenance building and the small scorer's booth. The college has rethought the initial design plan in which the buildings and field were much larger, as the site development was considered too elaborate for the current athletic program.

The new softball field will meet NCAA standards, with a perimeter graveled based turf walkway behind the proposed field. The Fire Department conditioned its approval on its ability to access the facility through an existing curb cut next to the Sports Center on Route 135, which is rarely used at this time. The Fire Department determined this entrance would be its primary means of access. This access road connects to a 10 foot wide walkway, giving access to the lower level of the maintenance/restroom building. The triangular island has been modified at the request of the Fire Department to allow fire trucks to make a "Y" turn.

The softball field development has been simplified. The full dugouts and concrete stadium seating for about 250 people, and the original restroom facility have been eliminated. There will be a small 10 foot by 24 foot scorer's booth; seating will be mainly on the grass hillside, which has a 3:1 slope. Behind the backstop, there will be bleacher seating for between 80 and 90 people. The bleachers will be standard aluminum bleachers containing 5 rows, and will be constructed on a concrete pad.

There will be bench areas and bullpen areas for the teams along the sidelines of the field. The field extends 210 feet from home plate to the center outfield fence. The field will be entirely enclosed with a six foot chain link fence with a windscreen.

The turf field will have underground drainage systems so the turf remains dry. All the drainage from the slopes and the field will be piped into a detention basin outside the center field fence south of the field, and then discharged into Paintshop Pond.

There has been a concerted effort to save as much of the existing landscape buffer along Route 135 as possible. There is an existing tree buffer, which will be expanded with additional evergreens and other trees to create a dense buffer. There will be underplantings of flowering shrubs to add color.

A restroom/maintenance building will be constructed at the curve in front of the triangular island between the existing tennis courts and the Distribution Center. The restrooms will be in the lower level, with maintenance and equipment storage in the upper level. A stairway will provide access from the upper to the lower level. The building is located at a key point of circulation through the site.

Using a model of the restroom, Chip Sloan said that the building contains 1,100 square feet on each level. There will be a storage facility, small office and two handicap bathrooms on the upper level, and the main restrooms will be on the lower level facing the walkway. There will be no food service in the building. The building will be closed unless the fields are in use.

The other small structure to be constructed is the scorer's booth, which is a one-level 10 foot by 24 foot building with a shed roof, set into the side of the slope.

The Board asked if the outside transformer would be screened. Mr. Jackson said that bollards would be placed between the pad and the landscaping for protection from vehicles.

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The Board asked if there were any wetlands associated with the softball field, and noted the Wetlands Committee had stated that the small changes in the original plans were not significant as to drainage. Mr. Jackson said no wetlands were involved. The field has been lowered 17 feet from Route 135. The result has been the creation of a grassed bowl. There has been no change in the hydrology due to the change in elevation.

The Board asked if there would be any impact on the piping system. Mr. Jackson said they had to lower several piping structures, but there was still sufficient grade drop to reach the detention pond. The pipes did not have to be resized as the field is actually smaller than the original plan.

The Board noted that the Town Engineer had stated that the dimensions of the scorer's booth on Plan S2a and Plan DD1.0 did not agree. Mr. Jackson said the initial plan was for a 12 foot by 20 foot structure. As the design developed, Mr. Sloan suggested the structure be longer and narrower. The new dimensions are 10 feet by 24 feet. The Board requested that Plan S2a be revised to show the 10 foot by 24 foot dimension.

The Board asked if the field would be open to the public. Mr. Monahan said the college is working on a process to provide access. If the fields are not in use, the restrooms will be closed. The field will not be illuminated. The only lighting will be along the footpath.

No other person present had any comment on the petition.

Statement of Facts

The subject area of work involves 219,360 square feet at the western end of the Wellesley College Campus in an Educational District and a Water Supply Protection District. The area is bounded by Route 135 to the north and Paintshop Pond to the southwest.

In October, 2000, Wellesley College appeared before the Board and was granted Site Plan Approval for the first phase of the Paintshop Pond Reclamation Project (ZBA 2000-79), which allowed removal or disturbance of the existing vegetative cover over an area of 5,000 square feet, including removal of vegetation from uplands and wetlands over sections of the 39 acre portion of the campus to be remediated. Phase Two activities did not require approval from the Board of Appeals.

In November, 2001, the college appeared before the Board for Site Plan Approval for Phase Three of the project (ZBA 2001-87). This phase involved construction of four playing fields as well as other restoration projects. At that time, the design for the softball field and ancillary structures had not been reviewed or approved by the Design Review Board. The Site Plan Approval was amended to construction of three playing fields, rather than the four originally requested. The decision contained a condition that no work on the proposed softball field or any ancillary structure could be undertaken until approved by the Design Review Board and the Board of Appeals.

The petitioner is now requesting Site Plan Approval for the final portion of the Paintshop Pond Project, which involves construction of the softball field, bleachers, a 10 foot by 24 foot one-level scorer's booth, and a two-level 40 foot by 35 foot restroom/maintenance building.

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A Special Permit is also requested for a Major Construction Project in a Water Supply Protection District.

The following plans were submitted:

Title Page, Site Layout Plan (C-2), Softball Field Plan (C-5), Softball Diamond Plan & Details (C5a), Restroom Building Layout Plan (C7b), and Scorer's Booth at Softball Field (S2a). All plans were dated April 26, 2002 and stamped by George R. Allen, Registered Professional Engineer. Plans & Elevations of Restroom Facility and Scorer's Booth (DD1.0) dated May 9, 2002, stamped by William H. Sloan, Jr., Registered Architect, was also submitted.

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The following written materials were submitted:

1. Letter from Peter A. Alpert of Ropes & Gray, regarding "Final Application for Phase 3 Zoning Approvals", dated May 16, 2002.
2. Application and check list of plans dated May 16, 2002
3. Official Development Prospectus, dated May 16, 2002

On February 28, 2002, the Design Review Board held a preliminary review of the project, and a final review on May 9, 2002. The design of the scorer's box had been modified in response to recommendations at the prior review. The Board then recommended that the Board of Appeals approve the Wellesley College Softball field, landscaping, bleachers, bathroom and storage building as presented as well as the revised scorer's booth.

All of the submitted plans and written materials were sent to the Planning Board, Wetlands Protection Committee, Town Engineer, Board of Health and Fire Chief, as required by Section XVIA of the Zoning Bylaw. Written responses were received from each of the above and are on file in the office of the Board of Appeals.

The Wetlands Protection Committee reviewed the plans and materials with special attention to drainage alterations. The Committee had issued an Order of Conditions (DEP 324-330) for the entire remediation project, including the athletic fields. The plans submitted for the softball field do not show any change in the drainage system or other details that would affect the wetlands, and are within the scope of activities approved by the Order. The change in elevation of the softball field does not change the drainage pattern, nor does the construction of the ancillary structures. The changes appear to meet the criteria of the Water Supply Protection District.

The Fire Department approved the project subject to the following conditions:

- The walkways shall be 10 feet wide made of hot top, with a two foot hard packed extension on each side, with a final top layer of grass.
- The triangular island south of the proposed restroom/maintenance building, shall be constructed according to the submitted Site Layout Plan (C-2) to ensure fire truck access to the field area.

On June 11, 2002, the Planning Board reviewed the petition and supported the recommendations of the Design Review Board

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Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing. The petitioner's proposed construction of a softball field, bleachers, scorer's booth and restroom/maintenance building constitute a Major Construction Project pursuant to Section XVIA and Section XIVE of the Zoning Bylaw because the construction involves grading or regarding of land to planned elevations and the disturbance of the existing vegetative cover over an area of 5,000 or more square feet.

It is the opinion of this Authority that the submitted plans, as listed in the foregoing Statement of Facts, comply with the Zoning Bylaws of the Town, protect the safety, convenience and welfare of the public, minimize additional congestion in public and private ways and ensure adequate protection for water, sewerage and drainage. Furthermore, compliance with Section XVI of the Zoning Bylaw is also ensured.

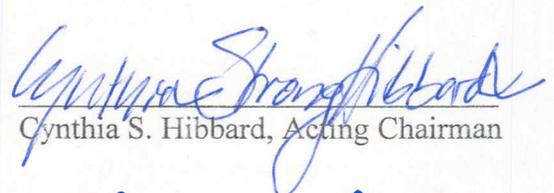
Therefore, Site Plan Approval for the Paintshop Pond Project/Softball Field and Structures is granted, as voted unanimously by this Authority at the Public Hearing, pursuant to Section XVIA and Section XIVE of the Zoning Bylaw, subject to the conditions attached hereto as Addendum A.

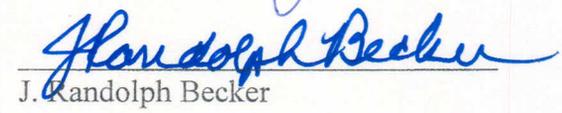
It is the opinion of this Authority that the Special Permit requested for a Major Construction Project in a Water Supply Protection District meets all the standards and requirements of Section XIVE and Section XXVD of the Zoning Bylaw.

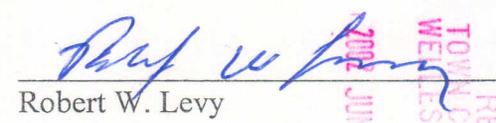
Therefore, this Special Permit is granted, as voted unanimously by this Authority at the Public Hearing, subject to the same conditions contained in Addendum A.

APPEALS FROM THIS DECISION,  
IF ANY, SHALL BE MADE PURSUANT  
TO GENERAL LAWS, CHAPTER 40A,  
SECTION 17, AND SHALL BE FILED  
WITHIN 20 DAYS AFTER THE DATE  
OF FILING OF THIS DECISION IN  
THE OFFICE OF THE TOWN CLERK.

Cc: Planning Board  
Wetlands Protection Committee  
Town Engineer  
Inspector of Buildings  
Edg

  
Cynthia S. Hibbard, Acting Chairman

  
J. Randolph Becker

  
Robert W. Levy

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ADDENDUM A

1. Prior to the onset of any construction of the softball field or ancillary structures, a revision of Plan S2a showing the dimensions of the scorer's booth to be 10 feet by 24 feet shall be submitted to the Board of Appeals.
2. All conditions contained in the Design Review Board Memorandum dated May 20, 2002 regarding the design of the scorer's booth are hereby incorporated into this decision.
3. The Order of Conditions and Amended Order of Conditions (DEP324-330) issued by the Wetlands Protection Committee are hereby incorporated into this decision.
4. All work shall be performed in accordance with the last revision of the plans submitted and on file in the office of the Board of Appeals.
5. Any changes to said plans occurring during the design and/or construction phases of this project shall be subject to prior review by the appropriate Town board and/or department prior to the commencement of such changes.
6. All design and construction shall comply with all applicable state and local codes.
7. All requirements of the Wellesley Fire Department shall be met.
8. All requirements of the Department of Public Works shall be met.

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