

COMPREHENSIVE PERMIT SITE APPROVAL **APPLICATION / HOMEOWNERSHIP**

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LETTER TO GREGORY WATSON

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September 11, 2017

Gregory P. Watson
Manager of Comprehensive Permit Programs
Massachusetts Housing Finance Agency
One Beacon Street
Boston, MA 02108

RE: Determination of Project Eligibility for Comprehensive Permit (Chapter 40B) under 760
CMR 56.04
135 Great Plain Avenue, Wellesley, Massachusetts

Dear Mr. Watson:

On behalf of Wellesley Residential, LLC, an affiliate of Northland Residential Corporation, we are pleased to submit this application for a written determination of Project Eligibility under 760 CMR 56.04 by the Massachusetts Housing Financing Agency in connection with the proposed development detailed in this application. The proposal is to construct a new 44-unit condominium community upon an approximately 12 acre parcel at 135 Great Plain Avenue in a townhouse and duplex style configuration with 25% of the homes set aside for households earning a moderate income.

By way of background, we had previously permitted a 12-lot subdivision for single-family homes on this site, which we own. However, following this effort, we concluded that a townhouse/duplex condominium community is a better use for this site, it being directly responsive to market demand, local housing needs and our core business model.

More specifically, this townhouse/duplex proposal advances key local housing needs in Wellesley through the development of new homeownership housing options that (i) are affordable to households earning moderate incomes (ii) diversify the types of housing available in Wellesley and (iii) are suitable for "older homeowners wishing to downsize, but with no alternatives available locally"¹.

This application includes all items required by MassHousing's Application Checklist, including the following materials:

¹ Town of Wellesley Comprehensive Plan Update 2007 – 2017, page 46.

1. Checks totaling \$7,200 (\$2,500 Application Processing Fee, \$2,500 Base Technical Assistance/Mediation Fee and \$2,200 (\$50 per unit));
2. Application and Supporting Materials (1 original and 3 copies); and
3. Plans and Specifications (2 full sized and 2 reduced copies).

In addition, pursuant to the enclosed letters, we have simultaneously sent notice of this Application to DHCD and a complete copy of this Application to the Wellesley Board of Selectmen. We will provide you with evidence of delivery of the same when we receive the return receipts for them.

We anticipate filing the corresponding application for a comprehensive permit under M.G.L. c. 40B within ten (10) days after receipt of Site Approval (Project Eligibility).

Please go ahead and start the process of ordering the required Land Value Appraisal. We understand that MassHousing will send out a request for bids to multiple pre-approved appraisers and, upon selection of an appraiser, will require that we, as the Applicant, provide payment for the appraisal.

Upon review, please let me know if you have any questions about the enclosed materials. At Northland, we are proud of our award-winning condominium communities and we are looking forward to working with the Town of Wellesley to create a successful homeownership community that meets some of the Town's housing needs. Thank you.

Sincerely yours,

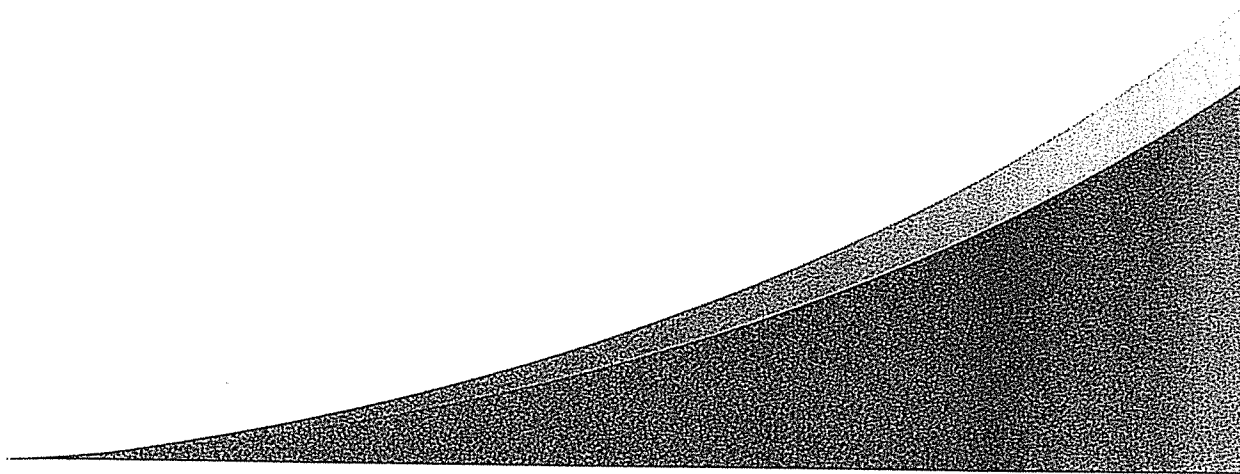


Peter D. Crabtree
Vice President, Acquisitions & Development



Comprehensive Permit Site Approval Application/Homeownership

www.masshousing.com | www.masshousingrental.com



Comprehensive Permit Site Approval Application/Homeownership

Attached is the Massachusetts Housing Finance Agency ("MassHousing") application form for Project Eligibility/Site Approval ("Site Approval") under the state's comprehensive permit statute (M.G.L. c. 40B, Sections 20-23 enacted as Chapter 774 of the Acts of 1969) known as "Chapter 40B". Developers seeking a comprehensive permit to construct affordable housing under Chapter 40B and intending to use a MassHousing financing program or financing through the New England Fund ("NEF") program must receive Site Approval from MassHousing. This approval (also referred to as "project eligibility approval") is a required component of any comprehensive permit application to be submitted to the local Zoning Board of Appeals of the municipality in which the development is to be located.

As part of its review of your application, MassHousing will conduct an inspection of the site and will solicit comments from the relevant municipality. MassHousing will consider any relevant concerns that the municipality might have about the proposed project or the developer. The applicant is encouraged, therefore, to make contact with the municipality prior to submitting the Site Approval application in order to ensure that the applicant understands any concerns that the municipality may be likely to raise regarding the proposed development.

In order for a project to receive Site Approval, MassHousing must determine that (i) the applicant has sufficient legal control of the site, (ii) the applicant is a public agency, non-profit organization or limited dividend organization, and (iii) the applicant and the project are generally eligible under the requirements of the MassHousing program selected by the applicant, subject to final eligibility review and approval. Furthermore, MassHousing must determine that the site of the proposed project is generally appropriate for residential development (taking into consideration municipal actions previously taken to meet affordable housing needs) and that the conceptual project design is generally appropriate for the site. In order for MassHousing to be able to make these findings (required by 760 CMR 56.04 (4)), it is important that you answer all questions in the application and include all required attachments.

Please note that MassHousing requires that all applicants meet with a member of our 40B Department staff before submitting their application. Applications for any projects that have not been the subject of a required pre-application meeting will not be accepted or processed.

Upon completion of its analysis, MassHousing will either issue a Site Approval Letter that approves, conditionally approves or denies the application. If the application is approved, the applicant should apply to the Zoning Board of Appeals within two years from the date of the Site Approval Letter (unless MassHousing extends such term in writing).

Please note that Site Approval from MassHousing does not constitute a loan commitment by MassHousing or any other financing program. All potential MassHousing financing is subject to further review and underwriting by MassHousing's Rental Lending Department.

Please be sure you have familiarized yourself with all of the applicable requirements set forth in the Chapter 40B regulations and guidelines, which can be found at

<http://www.mass.gov/hed/economic/eohed/dhcd/legal/regs/760-cmr-56.html> and
www.mass.gov/hed/docs/dhcd/legal/comprehensivepermitguidelines.pdf.

Instructions for completing the Site Approval Application are included in the application form which is attached. The completed application form and all additional documentation should be sent, after your pre-application meeting has been held, to:

Gregory Watson, Manager of Comprehensive Permit Programs
MassHousing, One Beacon Street, Boston, MA 02108

We look forward to working with you on your proposed development. Please contact Gregory Watson at 617-854-1880 or gwatson@masshousing.com to discuss scheduling your pre-application meeting or if there is any assistance that we can provide in the meantime to make your application process a smooth and efficient one.

Our Commitment to You

MassHousing recognizes that applicants seek some measure of predictability regarding the timeframe for our processing of their applications. Our staff will endeavor to adhere to the following schedule for reviewing applications for site approval:

Within two (2) business days of receipt of your application (provided that you have attended a required pre-application meeting) a member of our staff will notify you of any of the items listed on the checklist at the end of the application form that were missing from your application package. Please note that our acknowledgement of receipt of an item does not indicate that any substantive review has yet taken place.

If your application package is missing any of the items indicated on the checklist by an asterisk, we will not be able to continue processing your application until such items are received.

If we have received the information which is crucial to the commencement of our review process, we will proceed to (i) give the municipality a period of thirty (30) days in which to submit comments relating to your proposal, (ii) schedule and conduct a site visit, and (iii) solicit bids for and commission and review an "as is" appraisal of your site.

If during our review of your application package we determine that additional information or clarification is needed, we will notify you as soon as possible. Depending on when we receive such additional information, this may affect the amount of time required for MassHousing to complete the site approval process.

Assuming that your application package was complete and that you respond in a timely manner to requests for additional information or clarification, we would expect to issue or deny your site approval within 60 days of our receipt of your application package.



**Application for Chapter 40B Project Eligibility/Site Approval
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**

Please be sure to answer ALL questions. Indicate "N/A", "None" or "Same" when necessary.

Section 1: GENERAL INFORMATION (also see Required Attachments listed at end of Section 1)

Name of Proposed Project: Fieldstone Way

Municipality: Wellesley, Massachusetts

Address of Site: 135 Great Plain Avenue, Wellesley, MA

Cross Street (if applicable): NA

Zip Code: 02482

Tax Parcel I.D. Number(s) (Map/Block/Lot): 68-1

Name of Proposed Development Entity (typically a single purpose entity): Wellesley Residential, LLC

Entity Type: Limited Dividend Organization ☒ Non-Profit* ☐ Government Agency ☐

** If the Proposed Development Entity is a Non-Profit, please contact MassHousing regarding additional documentation that must be submitted.*

Has this entity already been formed? Yes ☒ No ☐

Name of Applicant (typically the Proposed Development Entity or its controlling entity or individual): Northland Residential LLC

Applicant's Web Address, if any: www.northlandresidential.com

Does the Applicant have an identity of interest with any other member of the development team or other party to the Proposed Project? Yes ☒ No ☐ If yes, please explain: Northland Construction is affiliated

Primary Contact Information (required)

Name of Individual: Peter D. Crabtree

Relationship to Applicant: VP, Acquisitions & Development

Name of Company (if any): Northland Residential Corporation

Street Address: 80 Beharrell Street

City/Town/Zip: West Concord, MA 01742

Telephone (office and cell) and Email: (781) 229-4706 (w)/(617) 797-6706 (c) pcrabtree@northlandresidential.com

Secondary Contact Information (required)

Name of Individual: John C. Dawley

Relationship to Applicant: President & CEO

Name of Company (if any): Northland Residential Corporation

Street Address: 80 Beharrell Street

City/Town/Zip: West Concord, MA 01742

Telephone (office and cell) and Email: (781) 229-4704 (w)/(617) 797-6704 (c) jdawley@northlandresidential.com

Additional Contact Information (optional)

Name of Individual: _____
Relationship to Applicant: _____
Name of Company (if any): _____
Street Address: _____
City/Town/Zip: _____
Telephone (office and cell) and Email: _____

Anticipated Financing: MassHousing _____ NEF Bank ☒
Name of NEF Bank: Middlesex Savings Bank

Total Number of Units 44.00 # Affordable Units 11.00 # Market Rate Units 33.00
Age Restricted? Yes ☐ No ☒ If Yes, 55+ ☐ or 62+ ☐

Brief Project Description (150 words or less):

Northland Residential LLC is proposing to develop Fieldstone Way, a new residential for-sale condominium community in Wellesley, MA. Fieldstone Way will consist of 44 townhouses: (33) market-rate & (11) moderate-income units. The parcel totals 12.05 acres in size with wetlands consisting of 1.97 acres. The 44 townhouses will be in 18 buildings: (8) triplexes and (10) duplexes. The living area in the homes will range from approximately 1,750 sf to 2,800 sf. Each home will feature a 2-car garage and/or dedicated parking for 2 vehicles. Additional guest parking will be available spread throughout the site. Fieldstone Way will be serviced by town water & sewer, natural gas and underground electricity. / utilities are currently available in Great Plain Avenue. The sewer system for the community will include a private pump station to pump the sewerage up grade to Great Plain Avenue. The new community will be designed to have a common town green. Mail will be delivered to a renovated antique stone outbuilding that the developer has preserved. Due to parcel's connection to the abutting Sudbury Aqueduct Walking Trail, a pedestrian pathway will be created to allow the neighborhood easy access to this popular walking & bike trail. There will be a Homeowner's Association established for the maintenance of the common areas. The site is located approximately 1.2 miles from Wellesley Square and 2.0 miles from Needham Center.

Required Attachments Relating to Section 1

1.1 Location Map

Provide a USGS or other form of map clearly marked to show the site's location, and an approximate property boundary.

1.2 Tax Map

Provide a copy of municipal tax map (assessor's plan) with subject parcels and parcel ID #'s clearly identified.

1.3 Directions

Provide detailed written directions to the site, noting the entrance to the site, relevant boundaries and any prominent landmarks that can be used for identification purposes.

**Application for Chapter 40B Project Eligibility/Site Approval
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**

Section 2: EXISTING CONDITIONS /SITE INFORMATION (also see Required Attachments listed at end of Section 2)

In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the site is generally appropriate for residential development.

Name of Proposed Project: Fieldstone Way

Buildable Area Calculations	Sq. Feet/Acres (enter "0" if applicable—do not leave blank)
Total Site Area	12.05
Wetland Area	1.97
Flood/Hazard Area	0.50
Endangered Species Habitat (animal and/or plant)	0.00
Conservation/Article 97 Land	0.00
Protected Agricultural Land	0.00
Other Non-Buildable (Describe)	0.00
Total Non-Buildable Area	2.47
Total Buildable Site Area	9.58

Current use of the site and prior use if known:

Our research indicates the property was undeveloped until c. 1900 when a single-family house and outbuildings were constructed. The house was re-modeled several times over the years and continued to be used as a single-family house. Absent the small stone outbuilding which is intended to be renovated for use within the Project, Northland razed the structures in May, 2017.

Is the site located entirely within one municipality? Yes ☒ No ☐

If not, in what other municipality is the site located? not applicable

How much land is in each municipality? (the Existing Conditions Plan must show the municipal boundary lines) not applicable

Current zoning classification and principal permitted uses:

Single Residence District with a minimum lot size of 20,000 Sq. Ft. Principal permitted uses include: one-family dwellings, Educational or Religious Purposes, Child Care Facility, Club, Agriculture and Home Occupations.

Previous Development Efforts

Please list (on the following page) any previous applications pertaining to construction on or development of the site, including (i) type of application (comprehensive permit, subdivision, special permit, etc.); (ii) application filing date; (iii) date of denial, approval or withdrawal. Also indicate the current Applicant's role, if any, in the previous applications.

Note that, pursuant to 760 CMR 56.03 (1), a decision of a Zoning Board of Appeals to deny a Comprehensive Permit, or (if the Statutory Minima defined at 760 CMR 56.03 (3) (b or c) have been satisfied) grant a Comprehensive Permit with conditions, shall be upheld if a related application has previously been received, as set forth in 760 CMR 56.03 (7).

The current Applicant filed a Definitive Subdivision Application for a 12-Lot Single-Family subdivision in accordance with the Natural Resource Protection (NRP) Development Zoning Bylaw on July 2, 2015. The aforementioned subdivision was approved by the Planning Board on June 6, 2016 and filed with the Town Clerk on June 21, 2016. No appeals were filed. The subdivision approval documents and the subdivision plan have been recorded at the Norfolk County Registry of Deeds.

To the best of your knowledge, has this site ever been rejected for project eligibility/site approval by another subsidizing agency or authority? No.

Existing Utilities and Infrastructure	Yes/No	Description
Wastewater- private wastewater treatment	No	
Wastewater - public sewer	Yes	Public sewer is available in Great Plain Avenue
Storm Sewer	No	The Storm Water will be handled on-site.
Water-public water	Yes	Public Water is available in Great Plain Avenue
Water-private well	No	The existing private well has been decommissioned.
Natural Gas	Yes	Natural Gas is available in Great Plain Avenue
Electricity	Yes	Underground electricity is available in G.P.A.
Roadway Access to Site	Yes	The parcel has frontage on Great Plain Avenue.
Sidewalk Access to Site	Yes	A public sidewalk exists along the frontage.
Other		

Describe surrounding land use(s):

The immediate surrounding land uses are predominantly single-family residences. Approximately 700 feet down Great Plain Avenue to the southeast is the entrance for the Town of Wellesley Recycling & Disposal Facility (169 Great Plain Avenue). Almost directly across from the RDF is the entrance to the Babson Hockey Rink & Boston Sports Club Facility (150 Great Plain Avenue). Olin College is located approximately 0.4 miles to the west along Great Plain Avenue in the town of Needham.

Surrounding Land Use/Amenities	Distance from Site	Available by Public Transportation?
Shopping Facilities	1.2 miles	Wellesley Council on Aging bus
Schools	0.8 miles	School bus
Government Offices	1.2 miles	Wellesley Council on Aging bus
Multi-Family Housing	1.0 miles	Wellesley Council on Aging bus
Public Safety Facilities	1.3 miles	Wellesley Council on Aging bus
Office/Industrial Uses	1.2 miles	Wellesley Council on Aging bus
Conservation Land	abutting property	walkable
Recreational Facilities	abutting property	walkable
Houses of Worship	1.1 miles	Wellesley Council on Aging bus
Other	1.4 miles	Wellesley Square Commuter Rail Station

List any public transportation near the Site, including type of transportation and distance from the site:

The Wellesley Square Commuter Rail Station is 1.4 miles from the subject property. The Needham Center Commuter Rail Station is 2.0 miles from the subject property. The Wellesley Council on Aging (COA) offers door-to-door bus transportation services for seniors residing in Wellesley. The COA bus will pick them up at their home and take them anywhere within Wellesley, or a neighboring town and deliver the senior back home when their task (such as shopping or a medical appointment) is concluded.

Site Characteristics and Development Constraints

Please answer "Yes", "No" or "Unknown" to the following questions. If the answer is "Yes" please identify on Existing Conditions Plan as required for Attachment 2.1 and provide additional information and documentation as an attachment as instructed for Attachment 2.4, "Documentation Regarding Site Characteristics/Constraints."

Are there any easements, rights of way or other restrictions of record affecting the development of the site? No

Is there any evidence of hazardous, flammable, or explosive material on the site? No

Is the site, or any portion thereof, located within a designated flood hazard area? Yes

Does the site include areas designated by Natural Heritage as endangered species habitat? No

Are there documented state-designated wetlands on the site? Yes

Are there documented vernal pools on the site? No

Is the site within a local or state Historic District or listed on the National Register or Historic Places? No

Has the site or any building(s) on the site been designated as a local, state or national landmark? No

Are there existing buildings and structures on site? No

Does the site include documented archeological resources? No

Does the site include any known significant areas of ledge or steep slopes? No

Required Attachments Relating to Section 2

2.1 Existing Conditions Plan

Please provide a detailed Existing Conditions Plan showing the entire site, prepared, signed and stamped by a Registered Engineer or Land Surveyor. Plans should be prepared at a scale of 1"=100' or 1"=200' and should include the following information:

- a. Reduced scale locus map
- b. Surveyed property boundaries
- c. Topography
- d. Wetland boundaries (if applicable)
- e. Existing utilities (subsurface and above ground).
- f. Natural features including bodies of water, rock outcroppings
- g. Existing easements and/or rights of way on the property
- h. Existing buildings and structures, including walls, fences, wells
- i. Existing vegetated areas
- j. Existing Site entries and egresses

2.2 Aerial Photographs

Please provide one or more aerial photograph(s) of the Site (such as those available on-line) showing the immediate surrounding area if available. Site boundaries and existing site entrance and access points must be clearly marked.

2.3 Site/Context Photographs

Please provide photographs of the Site and surrounding physical and neighborhood context, including nearby buildings, significant natural features and land uses. Please identify the subject and location of all photographs.

2.4 Documentation Regarding Site Characteristics/Constraints

Please provide documentation of site characteristics and constraints as directed including narratives, summaries and relevant documentation including:

- Flood Insurance Rate Map (FIRM) showing site boundaries
- Wetlands delineation
- Historic District Nomination(s)

2.5 By-Right Site Plan (if available)

MassHousing will commission, at your expense, an "as-is" appraisal of the site in accordance with the Guidelines, Section B (1). Therefore, if there is a conceptual development plan which would be permitted under current zoning and which you would like the appraiser to take into consideration, or if permits have been issued for alternative development proposals for the site, please provide two (2) copies of a "by-right" site plan showing the highest and best use of the site under current zoning, and copies of any existing permits. These will assist the appraiser in determining the "as is" value of the Site without any consideration being given to its potential for development under Chapter 40B.

**Application for Chapter 40B Project Eligibility/Site Approval
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**

Section 3: PROJECT INFORMATION (also see Required Attachments listed at end of Section 3)

In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the proposed project appears generally eligible under the requirements of the housing subsidy program and that the conceptual project design is generally appropriate for the site.

Name of Proposed Project: Fieldstone Way

Project Type (mark both if applicable): New Construction ☒ Rehabilitation ☐ Both ☐

Total Number of Dwelling Units: 44.00

Total Number of Affordable Units: 11.00

Number of 50% AMI Affordable Units: 0.00

Number of 80% AMI Affordable Units: 11.00

Unit Mix: Affordable Units (see attached chart)

Unit Type	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Number of Units					
Number of Bathrooms					
Square Feet/Unit					

Unit Mix: Market Rate

Unit Type	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Number of Units					
Number of Bathrooms					
Square Feet/Unit					

Percentage of Units with 3 or More Bedrooms*: 0.82

** Note that the January 17, 2014 Interagency Agreement Regarding Housing Opportunities for Families with Children requires that at least 10% of the units in the project must have three (3) or more bedrooms. Evidence of compliance with this requirement must be provided at Final Approval.*

Number of Handicapped Accessible Units: 0.00 Market Rate: 0.00 Affordable: 0.00

Gross Density (units per acre): 3.65

Net Density (units per buildable acre): 4.61

Section 3: Project Information

Unit Mix: Affordable Units

Unit Type	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Number of Units	0	0	7	4	0
Number of Bathrooms	0	0	1.5	1.5 - 2.5	0
Square Feet/Unit	0	0	1,776	2,144 - 2,202	0

Unit Mix: Market Units

Unit Type	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Number of Units	0	0	1	32	0
Number of Bathrooms	0	0	1.5	2.5	0
Square Feet/Unit	0	0	1,776	2,144 - 2,766	0

Residential Building Information

Building Type and Style <i>(single family detached, townhouse, multi-family)</i>	Construction or Rehabilitation	Number of Stories	Height	GFA	Number Bldgs. of this type
Tier 1 - Townhouse - triplex	New Construction	2.50	35'	6,096	12.00
Tier 2 - Townhouse - duplex #1	New Construction	2.50	35'	5,532	3.00
Tier 3 - Townhouse - duplex #2	New Construction	2.50	35'	7,070	7.00

Non-Residential Building Information

Building Type and Style	Construction or Rehabilitation	Number of Stories	Height	GFA	Number Bldgs. of this type
Antique Fieldstone Outbuilding	Rehabilitation	1.00	15'	200 sf	1.00

Will all features and amenities available to market unit residents also be available to affordable unit residents?
If not, explain the differences.

The common amenities in the community will be available to all residents. The interior features of the market rate units will differ from the affordable units. The exterior of the buildings will be substantially indistinguishable.

Parking

Total Parking Spaces Provided: 139.00

Ratio of Parking Spaces to Housing Units: 3.2

Lot Coverage *(Estimate the percentage of the site used for the following)*

Buildings: 16.4%

Parking and Paved Areas: 13.9%

Usable Open Space: 53.4%

Unusable Open Space: 16.3%

Lot Coverage: 30.3%

Does project fit definition of "Large Project" (as defined in 760 CMR 56.03 (6))? Yes/No No

Required Attachments Relating to Section 3

3.1 Preliminary Site Layout Plan(s)

Please provide preliminary site layout plans of the entire Site prepared, signed and stamped by a registered architect or engineer. Plans should be prepared at a scale of 1"=100' or 1"=200', and should show:

- Proposed site grading
- Existing lot lines
- Easements (existing and proposed)
- Access to a public way must be identified
- Required setbacks
- Proposed site circulation (entrances/egresses, roadways, driveways, parking areas, walk ways, paths, trails)
- Building and structure footprints (label)
- Utilities (existing and proposed)
- Open space areas
- Schematic landscaping and screening
- Wetland and other restricted area boundaries and buffer zones

Please provide one (1) set of full size (30"x40") plans along with one (1) set of 11"x17" reproductions and one (1) electronic set of plans. Please note that MassHousing cannot accept USB flash drives.

3.2 Graphic Representations of Project/Preliminary Architectural Plans

- Typical floor plans
- Unit plans showing dimensions, bedrooms, bathrooms and overall unit layout
- Exterior elevations, sections, perspectives and illustrative rendering.

3.3 Narrative Description of Design Approach

Provide a narrative description of the approach to building massing, style, and exterior materials; site layout, and the relationship of the project to adjacent properties, rights of way and existing development patterns. The handbook called Approach to Chapter 40B Design Reviews prepared by the Cecil Group in January 2011 may be helpful in demonstrating the nature of the discussion that MassHousing seeks in this narrative.

3.4 Tabular Zoning Analysis

Zoning analysis in tabular form comparing existing zoning requirements to the waivers that you will request from the Zoning Board of Appeals for the proposed project, showing required and proposed dimensional requirements including lot area, frontage, front, side and rear setbacks, maximum building coverage, maximum lot coverage, height, number of stories, maximum gross floor area ratio, units per acre, units per buildable acre; number of parking spaces per unit/square foot and total number of parking spaces (proposed and required).

3.5 Completed Sustainable Development Principles Evaluation Assessment Form *(see attached form)*

**Application for Chapter 40B Project Eligibility/Site Approval
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**

Section 4: SITE CONTROL (also see Required Attachments listed at end of Section 4)

In order to issue Site Approval, MassHousing must find (as required by 760 CRM 56.04 (4)) that the Applicant controls the site.

Name of Proposed Project: Fieldstone Way

Describe current ownership status of the entire site as shown on the site layout plans (attach additional sheets as necessary if the site is comprised of multiple parcels governed by multiple deeds or agreements):

Owned (or ground leased) by Development Entity or Applicant ☒

Under Purchase and Sale Agreement ☐

Under Option Agreement ☐

Note: The Grantee/Buyer on each document must be either the Applicant or the Proposed Development Entity, or you must attach an explanation showing direct control of the Grantee/Buyer by the Applicant or the Proposed Development Entity.

Grantor/Seller: G. Lawrence Langford

Grantee/Buyer: Wellesley Residential, LLC

Grantee/Buyer is (check one):

Applicant ☐ Development Entity ☐ Managing General Partner of Development Entity ☐

General Partner of Development Entity ☐ Other (explain) ☐

Are the Parties Related? The Parties are not related.

For Deeds or Ground Leases

Date(s) of Deed(s) or Ground Lease(s): December 17, 2014

Purchase Price: \$6,500,000.00

For Purchase and Sale Agreements or Option Agreements

Date of Agreement: not applicable

Expiration Date: not applicable

If an extension has been granted, date of extension: not applicable

If an extension has been granted, new expiration date: not applicable

Purchase Price: not applicable

Will any easements or rights of way over other properties be required in order to develop the site as proposed?

Yes ☐ No ☒

If Yes, please describe current status of easement: not applicable

Owned (or ground leased) by Development Entity or Applicant not applicable

Under Purchase and Sale Agreement not applicable

Under Option Agreement not applicable

Note: The Grantee/Buyer on each document must be either the Applicant or the Proposed Development Entity, or you must attach an explanation showing direct control of the Grantee/Buyer by the Applicant or the Proposed Development Entity.

Grantor/Seller: not applicable

Grantee/Buyer: not applicable

Are the Parties Related? not applicable

For Easements

Date(s) of Easement(s): not applicable

Purchase Price: not applicable

For Easement Purchase and Sale Agreements or Easement Option Agreements

Date of Agreement: not applicable

Expiration Date: not applicable

If an extension has been granted, date of extension: not applicable

If an extension has been granted, new expiration date: not applicable

Purchase Price: not applicable

Required Attachments Relating to Section 4

4.1 Evidence of Site Control (required)

Copies of all applicable, fully executed documents (deed, ground lease, purchase and sale agreement, option agreement, land disposition agreement) showing evidence of site control, including any required easements, along with copies of all amendments and extensions. Copies of all plans referenced in documents must be included.

**Application for Chapter 40B Project Eligibility/Site Approval
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**

Section 5: FINANCIAL INFORMATION – Site Approval Application Homeownership 40B

In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that an initial pro forma has been reviewed and that the Proposed Project appears financially feasible and consistent with the Chapter 40B Guidelines, and that the Proposed Project is fundable under the applicable program.

Name of Proposed Project: Fieldstone Way

Initial Capital Budget (please enter "0" when no such sales/revenue or cost is anticipated)

Sales / Revenue

Market	<u>50,395,000.00</u>
Affordable	<u>2,390,000.00</u>
Related Party	<u>0.00</u>
Other Income	<u>0.00</u>
Total Sales/Revenue	<u>52,785,000.00</u>

Pre-Permit Land Value, Reasonable Carrying Costs

Item	Budgeted
Site Acquisition: pre-permit land value (to be determined by MassHousing commissioned appraisal) plus reasonable carrying costs.	<u>9,000,000.00</u>

Costs

Item	Budgeted
Acquisition Cost	
Site Acquisition: pre-permit land value (to be determined by MassHousing Commissioned Appraisal) plus reasonable carrying costs	<u>9,000,000.00</u>
Subtotal Acquisition Costs	<u>9,000,000.00</u>
Construction Costs-Residential Construction (Hard Costs)	
Building Structure Costs	<u>21,767,550.00</u>
Hard Cost Contingency	<u>1,088,378.00</u>
Subtotal – Residential Construction (Hard Costs)	<u>22,855,928.00</u>

Costs**Item****Budgeted****Construction Costs--Site Work (Hard Costs)**

Earth Work	473,750.00
Utilities: On Site	617,000.00
Utilities: Off-Site	250,000.00
Roads and Walks	250,000.00
Site Improvement	553,500.00
Lawns and Planting	880,000.00
Geotechnical Condition	75,000.00
Environmental Remediation	0.00
Demolition	40,000.00
Unusual Site Conditions/Other Site Work	0.00
Subtotal --Site Work (Hard Costs)	3,139,250.00

Construction Costs--General Conditions, Builders Overhead and Profit (Hard Costs)

General Conditions	1,559,771.00
Builder's Overhead	519,904.00
Builder's Profit	1,559,711.00
Subtotal -- General Conditions Builder's Overhead and Profit (Hard Costs)	3,639,386.00

General Development Costs (Soft Costs)

Appraisal and Marketing Study (not 40B "as is" appraisal)	7,500.00
Lottery	0.00
Commissions/Advertising-Affordable	71,700.00
Commissions/Advertising-Market	2,771,725.00
Model Unit	250,000.00
Closing Costs (unit sales)	297,900.00
Real Estate Taxes (during construction)	360,000.00
Utility Usage (during construction)	50,000.00
Insurance (during construction)	220,000.00
Security (during construction)	20,000.00
Inspecting Engineer	25,000.00
Fees to Others	0.00
Construction Loan Interest	1,200,000.00
Fees to Construction Lender	125,000.00
Architectural	150,000.00
Engineering	250,000.00
Survey, Permits, Etc.	264,000.00
Clerk of the Works	0.00
Construction Manager	0.00

Item	Budgeted
General Development Costs (Soft Costs) – Continued	
Bond Premiums (<i>Payment/Performance/Lien Bond</i>)	120,000.00
Legal	301,000.00
Title (<i>including title insurance</i>) and Recording	10,000.00
Accounting and Cost Certification (<i>incl. 40B</i>)	43,000.00
Relocation	0.00
40B Site Approval Processing Fee	6,320.00
40B Technical Assistance/Mediation Fund Fee	5,000.00
40B Land Appraisal Cost (<i>as-is value</i>)	7,500.00
40B Final Approval Processing Fee	2,500.00
40B Subsidizing Agency Cost Certification Examination Fee	5,000.00
40B Monitoring Agent Fees	5,000.00
40B Surety Fees	25,000.00
Other Financing Fees	50,000.00
Development Consultant	5,000.00
Other Consultants (<i>describe</i>)	0.00
Other Consultants (<i>describe</i>)	0.00
Soft Cost Contingency	332,407.00
Other General Development (Soft) Costs	0.00
Subtotal – General Development Costs (Soft Costs)	6,980,552.00
Developer Overhead	
Developer Overhead	168,000.00
Subtotal – Developer Overhead	168,000.00
Summary of Subtotals	
Sales/Revenue	52,785,000.00
Site Acquisition	9,000,000.00
Residential Construction	22,855,928.00
Site Work	3,139,250.00
Builder's Overhead, Profit and General Conditions	3,639,386.00
General Development Costs	6,980,552.00
Developer Overhead	168,000.00
Summary	
Total Sales/Revenue	52,785,000.00
Total Development Costs (TDC)	45,783,116.00
Profit (Loss) from Sales/Revenue	7,001,884.00
Percentage of Profit (Loss) Over the Total Development Costs	15.29%

(See Attached Charts)

Initial Unit/Sales Price

	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Affordable Units					
Number of Units					
Number of Sq. Ft					
Sales Price					
Condo / HOA Fee					

	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Affordable Units	see attached chart				
Number of Units					
Number of Sq. Ft					
Sales Price					
Condo / HOA Fee					

Describe your approach to calculating any additional fees relating to Condominium Association or a Homeowners Association.

No additional fees are known at this time.

Section 5: Financial Information

Initial Unit Sales Prices: Affordable Units

	Studio	1 Bedroom	2 Bedroom	3 Bedroom					4 Bedroom
Affordable Units			Tier 1 TH B	Tier 1 TH A	Tier 1 TH C	Tier 2 Duplex A	Tier 3 Duplex B	Tier 3 Duplex C	
Number of Units	0	0	7	1	2	1	0	0	0
Number of Sq. Ft.			1,776	2,176	2,144	2,202			
Sales Price			210,000	230,000	230,000	230,000			
Condo/HOA Fee			100	120	120	120			

Initial Unit Sales Prices: Market Units

	Studio	1 Bedroom	2 Bedroom	3 Bedroom					4 Bedroom
Market Units			Tier 1 TH B	Tier 1 TH A	Tier 1 TH C	Tier 2 Duplex A	Tier 3 Duplex B	Tier 3 Duplex C	
Number of Units	0	0	1	7	6	5	7	7	0
Number of Sq. Ft.			1,776	2,176	2,144	2,766	2,538	2,588	
Sales Price			995,000	1,175,000	1,175,000	1,575,000	1,875,000	1,875,000	
Condo/HOA Fee			474	613	613	822	978	978	

Required Attachments Relating to Section 5

5.1 New England Fund Lender Letter of Interest

Please attach a Letter of Interest from a current Federal Home Loan Bank of Boston (FHLBB) member bank regarding financing for the proposed development. The letter of interest must include, at a minimum, the following:

- Identification of proposed borrower, and brief description of the bank's familiarity with the borrower;
- Brief description of the Proposed Project
- Confirmation that the bank is a current FHLBB member bank and that the bank will specifically use NEF funds for the proposed development.

NOTE: Binding Financing Commitments (or evidence of closed loans) will be required at the time you apply for Final Approval from MassHousing.

5.2 Market Sale Comparables (required)

Please provide a listing of market sales being achieved in properties comparable to the proposed project.

5.3 Market Study (if requested)

MassHousing may require a market study for projects located in areas where the need or demand for the type of housing being proposed cannot be clearly demonstrated.

**Application for Chapter 40B Project Eligibility/Site Approval
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**

Section 6: APPLICANT QUALIFICATIONS, ENTITY INFORMATION, AND CERTIFICATION

In order to issue Site Approval MassHousing must find (as required by 760 CRM 56.04 (4)) that the applicant is either a non-profit public agency or would be eligible to apply as a Limited Dividend Organization and meets the general eligibility standards of the program.

Name of Proposed Project: Fieldstone Way

Development Team

Developer/Applicant: Northland Residential LLC/Wellesley Residential, LLC

Development Consultant (if any): Consultant - none. Attorney: Peter Tamm (Goulston & Storrs) & David Himmelberger, Esq.

Attorney: See above

Architect: Union Studio, 140 Union Street, Providence, RI 02903

Contractor: Northland Residential Construction, LLC, 80 Beharrell Street, Concord, MA 01742

Lottery Agent: SEB, LLC, 165 Chestnut Hill Avenue, Unit #2, Brighton, MA 02135

Management Agent: unknown at this time

Other (specify): Affordability Monitoring Agent - MetroWest Collaborative Development, Inc. 79-B Chapel Street, Newton, MA 02458

Other (specify): Civil Engineer - Vanasse Hangen Brustlin, Inc., 101 Walnut Street, Watertown, MA 02471

Role of Applicant in Current Proposal

Development Task	Developer/Applicant	Development Consultant (identify)
Architecture and Engineering	Northland - active role	Arch.-Union Studio; Engineering - VHB
Local Permitting	Northland - active role	Attorney-Peter Tamm (Goulston & Storrs) & David Himmelberger
Financing Package	Northland	none
Construction Management	Northland/Northland Construction	none
Other	Northland - active role	Landscape Architecture-Ryan Associates, Inc.

Applicant's Ownership Entity Information

Please identify for each of (i) the Applicant and, if different (ii), the Proposed Development Entity, the following (collectively with the Applicant and the Proposed Development Entity, the "Applicant Entities"): the Managing Entities, Principals, Controlling Entities and Affiliates of each.

Note: For the purposes hereof, "Managing Entities" shall include all persons and entities (e.g. natural persons, corporations, partnerships, limited liability companies, etc., including beneficiaries of nominee trusts) who are managers of limited liability companies, general partners of limited partnerships, managing general partners of limited liability partnerships, directors and officers of corporations, trustees of trusts, and other similar persons and entities which have the power to manage and control the activities of the Applicant and/or Proposed Development Entity.

"Principal or Controlling Entities" shall include all persons and entities (e.g. natural persons, corporations, partnerships, limited liability companies, etc., including beneficiaries of nominee trusts) that shall have the right to:

- (i) approve the terms and conditions of any proposed purchase, sale or mortgage;
- (ii) approve the appointment of a property manager; and/or
- (iii) approve managerial decisions other than a decision to liquidate, file for bankruptcy, or incur additional indebtedness.

Such rights may be exercisable either (i) directly as a result of such person's or entity's role within the Applicant or the Proposed Development Entity or the Managing Entities of either or (ii) indirectly through other entities that are included within the organizational structure of the Applicant and/or Proposed Development Entity and the Managing Entities of either.

In considering an application, MassHousing will presume that there is at least one Principal or Controlling Entity of the Applicant and of the Proposed Development Entity. Any person or persons who have purchased an interest for fair market value in the Applicant and/or Proposed Development Entity solely for investment purposes shall not be deemed a Principal or Controlling Entity.

"Affiliates" shall include all entities that are related to the subject organization by reason of common control, financial interdependence or other means.

1. Applicant

Name of Applicant: Northland Residential LLC

Entity Type (limited liability company, limited partnership, limited liability partnership, corporation, trust, etc.):
Limited Liability Company

State in which registered/formed: Massachusetts

List all Managing Entities of Applicant (you must list at least one):
Northland Residential Corporation

List all Principals and Controlling Entities of Applicant and (unless the Managing Entity is an individual) its Managing Entities (use additional pages as necessary):

John C. Dawley - Northland Residential Corporation
Richard A. Thomas - Northland Residential Corporation

List all Affiliates of Applicant and its Managing Entities (use additional pages as necessary):
see attached sheet

Proposed Development Entity

Name of Proposed Development Entity: Wellesley Residential, LLC

Entity Type (*limited liability company, limited partnership, limited liability partnership, corporation, trust, etc.*):

Limited Liability Company

State in which registered/formed: Massachusetts

List all Managing Entities of Proposed Development Entity (*you must list at least one*):

Northland Residential Limited Liability Company

Northland Residential Corporation

List all Principals and Controlling Entities of Proposed Development Entity and (*unless the Managing Entity is an individual*) its Managing Entities (*use additional pages as necessary*):

John C. Dawley - Northland Residential Corporation

Richard A. Thomas - Northland Residential Corporation

List all Affiliates of Proposed Development Entity and its Managing Entities (*use additional pages as necessary*):
see attached sheet

Section 6: Entity Information

The following is a list of the Affiliates of the Applicant (Northland Residential LLC) and its Managing Entities.

The following is also a list of the Affiliates of the Proposed Development Entity (Wellesley Residential, LLC) and its Managing Entities.

Managing Entities

Northland Residential Corporation
Northland Residential Limited Liability Company
Northland Residential Development Fund II, LLC

Affiliate Entities

374 Brook Road Milton LLC
Brookside Residential, L.L.C.
Cranberry Cove Residential, LLC
Dorset Park, LLC
Duxbury Residential LLC
Hanover NRC, LLC
Milton NRC, LLC
Northland Residential Advisory Group LLC
Northland Residential Construction L.L.C.
Village Management L.L.C.
Wellesley Residential, LLC
Wellesley NRC, LLC
Weston Residential, LLC
Wolcott Residential, LLC

Certification and Acknowledgment

I hereby certify on behalf of the Applicant, *under pains and penalties of perjury*, that the information provided above for each of the Applicant Entities is, to the best of my knowledge, true and complete; and that each of the following questions has been answered correctly to the best of my knowledge and belief:

(Please attach a written explanation for all of the following questions that are answered with a "Yes". Explanations should be attached to this Section 6.)

Is there pending litigation with respect to any of the Applicant Entities? Yes ☒ No ☐

Are there any outstanding liens or judgments against any properties owned by any of the Applicant Entities? Yes ☐ No ☒

Have any of the Applicant Entities failed to comply with provisions of Massachusetts law related to taxes, reporting of employees and contractors, or withholding of child support? Yes ☐ No ☒

Have any of the Applicant Entities ever been the subject of a felony indictment or conviction? Yes ☐ No ☒

During the last 10 years, have any of the Applicant Entities ever been a defendant in a lawsuit involving fraud, gross negligence, misrepresentation, dishonesty, breach of fiduciary responsibility or bankruptcy? Yes ☐ No ☒

Have any of the Applicant Entities failed to carry out obligations in connection with a Comprehensive Permit issued pursuant to M.G.L. c. 40B and any regulations or guidelines promulgated thereunder (whether or not MassHousing is or was the Subsidizing Agency/Project Administrator) including, but not limited to, completion of a cost examination and return of any excess profits or distributions? Yes ☐ No ☒

Have any of the Applicant Entities ever been charged with a violation of state or federal fair housing requirements? Yes ☐ No ☒

Are any of the Applicant Entities not current on all existing obligations to the Commonwealth of Massachusetts, and any agency, authority or instrument thereof? Yes ☐ No ☒

I further certify that the information set forth in this application (including attachments) is true, accurate and complete as of the date hereof to the best of my/our knowledge, information and belief. I further understand that MassHousing is relying on this information in processing the request for Site Approval in connection with the above-referenced project.

I further certify that we have met with a representative of the 40B Department at MassHousing and understand the requirements for a) completing this application and b) the procedures if and when Site Approval is granted, including the requirement for (i) the use of the standard MassHousing Regulatory Agreement, and (ii) submission to MassHousing, within one hundred eighty (180) days after substantial completion or, if later, within ninety (90) days of the date on which all units are sold, of a cost certification examined in accordance with AICPA attestation standards by an approved certified public accountant.

I hereby acknowledge our commitment and obligation to comply with requirements for cost examination and limitations on profits and distributions, all as found at 760 CMR 56.04(8) and will be more particularly set forth in the MassHousing Regulatory Agreement.

I hereby acknowledge that it will be required to provide financial surety, by means of bond, cash escrow and a surety escrow agreement or letter of credit with the agreement that it may be called upon or used in the event that the Developer fails either to (i) complete and submit the Cost Examination as required by 760 CMR 56.04(8) and the MassHousing Regulatory Agreement or (ii) pay over to the Municipality any funds in excess of the limitations on profits and distributions as required by 760 CMR 56.04(8) and as set forth in the MassHousing Regulatory Agreement.

Signature: John C. Dawley

Name: John C. Dawley

Title: President & CEO

Date: 9/11/2017

Required Attachments Relating to Section 6

6.1 Development Team Qualifications

Please attach resumes for principal team members (Applicant, consultant, attorney, architect, general contractor, management agent, lottery agent, etc.) and list of all relevant project experience for 1) the team as a whole and 2) individual team members. Particular attention should be given to demonstrating experience with (i) projects of a similar scale and complexity of site conditions, (ii) permitting an affordable housing development, (iii) design, and (iv) financing. The development team should demonstrate the ability to perform as proposed and to complete the Project in a competent and timely manner, including the ability to pursue and carry out permitting, financing, marketing, design and construction.

(If the Applicant (or, if the Applicant is a single purpose entity, its parent developer entity) has received financing from MassHousing within the past five (5) years for a development of comparable size and complexity to the Proposed Project, no resume or list of project experience need be submitted for the Applicant or, as applicable, its parent developer entity. Information regarding the other team members still will be required.)

6.2 Applicant Entity 40B Experience

Please identify every Chapter 40B project in which the Applicant or any Applicant Entity has or had an interest. For each such project, state whether the construction has been completed and whether cost examination has been submitted.

6.3 Applicant's Certification

Please attach any additional sheets and any written explanations for questions answered with "yes" as required for Certification.

**Application for Chapter 40B Project Eligibility/Site Approval
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects**

Section 7: NOTIFICATIONS AND FEES

Name of Proposed Project: Fieldstone Way

Notice

Date(s) of meetings, if any, with municipal officials prior to submission of application to MassHousing:

6/7/17 & 6/23/17

Date copy of complete application sent to chief elected office of municipality:

9/11/2017

Date notice of application sent to DHCD:

9/11/2017

Fees (all fees should be submitted to MassHousing)

MassHousing Application Processing Fee (\$2500) Payable to MassHousing:

\$2,500.00

Chapter 40B Technical Assistance/Mediation Fee Payable to Massachusetts Housing Partnership:

a. Base Fee:

(Limited Dividend Sponsor \$2500, Non-Profit or Public Agency Sponsor \$1,000)

\$2,500.00

b. Unit Fee:

(Limited Dividend Sponsor \$50 per unit, Non-Profit or Public Agency Sponsor \$30 per unit)

\$2,200.00

Land Appraisal Cost

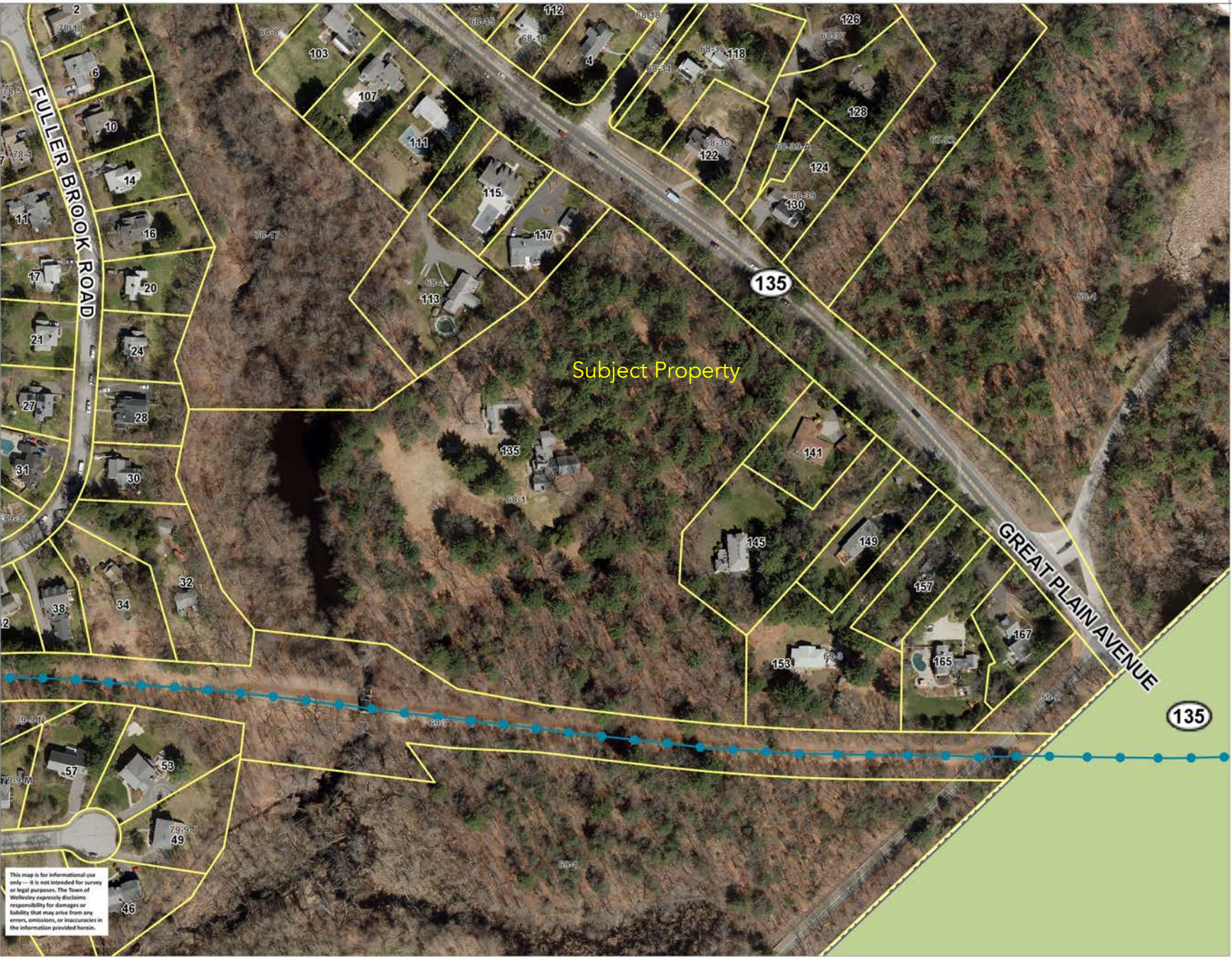
You will be required to pay for an "as-is" market value appraisal of the Site to be commissioned by MassHousing. MassHousing will contact you once a quote has been received for the cost of the appraisal.

Required Attachments Relating to Section 7

- 7.1** Narrative describing any prior correspondence and/or meetings with municipal officials
- 7.2** Evidence (such as a certified mail receipt) that a copy of the complete application package was sent to the Chief Elected Official of Municipality (may be submitted after the application is submitted to MassHousing)
- 7.3** Copy of notice of application sent to DHCD
- 7.4** Check made out to MassHousing for Processing Fee (\$2500)
- 7.5** Check made payable to Massachusetts Housing Partnership for Technical Assistance/Mediation Fee
- 7.6** W-9 (Taxpayer Identification Number)



- Points Of Interest
- Beach
 - Town Building
 - Cemetery
 - College
 - Fire
 - Library
 - Park
 - Parking
 - Police
 - Schools
- MBTA Commuter Rail Station
- MBTA Commuter Rails
- Aqueducts
- Parcels with Orthos
- MA Highways
- Interstate
 - US Highway
 - Numbered Routes
- Town Boundary
- Abutting Towns Opaque
- Abutting Towns



Section 1.1



- MBTA Commuter Rail Station
- MBTA Commuter Rails
- Buildings
- Contours
 - 10ft Contours
 - 2ft Contours
- Aqueducts
- Parcels
- MA Highways
 - Interstate
 - US Highway
 - Numbered Routes
- Town Boundary
- Abutting Towns Opaque
- Abutting Towns
- Roads (Edge Of Pavement)
- Sidewalks
- Paths
 - Sidewalks & Paved Paths
 - Unpaved Paths
- Parking
- Open Water
- Brooks And Streams
- Active Recreation Areas
 - Golf Course
 - Court- Basketball/Tennis
 - Track
 - Beach
 - Field



This map is for informational use only — it is not intended for survey or legal purposes. The Town of Wellesley expressly disclaims responsibility for damages or liability that may arise from any errors, omissions, or inaccuracies in the information provided herein.

0 1100 2200 ft

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Town of Wellesley, MA

Section 1.2



- MBTA Commuter Rail Station
- MBTA Commuter Rails
- Buildings
- Contours
 - 10ft Contours
 - 2ft Contours
- Aqueducts
- Parcels
- MA Highways
 - Interstate
 - US Highway
 - Numbered Routes
- Town Boundary
- Abutting Towns Opaque
- Abutting Towns
- Roads (Edge Of Pavement)
- Sidewalks
- Paths
 - Sidewalks & Paved Paths
 - Unpaved Paths
- Parking
- Open Water
- Brooks And Streams
- Active Recreation Areas
 - Golf Course
 - Court: Basketball/Tennis
 - Track
 - Beach
 - Field



Subject Parcel

Section 1.2

0 590 1180 ft

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Town of Wellesley, MA



- MBTA Commuter Rail Station
- MBTA Commuter Rails
- Buildings
- Contours
 - 10ft Contours
 - 2ft Contours
- Aqueducts
- Parcels
- MA Highways
 - Interstate
 - US Highway
 - Numbered Routes
- Town Boundary
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- Abutting Towns
- Roads (Edge Of Pavement)
- Sidewalks
- Paths
 - Sidewalks & Paved Paths
 - Unpaved Paths
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- Brooks And Streams
- Active Recreation Areas
 - Golf Course
 - Court- Basketball/Tennis
 - Track
 - Beach
 - Field



Section 1.2



One Beacon Street to 135 Great Plain Ave, Wellesley, MA 02482 Drive 16.5 miles, 36 min

One Beacon Street

1 Beacon St, Boston, MA 02108

Directions to 135 Great Plain Avenue

Get on I-90 W from Congress St


- | | | |
|---|--|----------------|
| | | 6 min (1.3 mi) |
| ↑ | 1. Head east on Beacon St toward Freedom Trail | |
| | | 154 ft |
| ↑ | 2. Continue straight onto School St | |
| | | 0.1 mi |
| ↶ | 3. Turn left onto Washington St | |
| | | 108 ft |
| ↷ | 4. Turn right onto Water St | |
| | | 463 ft |
| ↷ | 5. Turn right onto Congress St | |
| | | 0.3 mi |
| ↷ | 6. Use the 2nd from the right lane to turn right onto Purchase St | |
| | | 39 ft |
| ⤴ | 7. Use the left lane to take the I-93 S ramp to I-90 W/Quincy/Worcester | |
| | | 0.5 mi |
| ↶ | 8. Keep right at the fork, follow signs for Interstate 90 W | |
| | | 420 ft |
| ↷ | 9. Keep right, follow signs for Route 90 W/Mass Pike/Worcester and merge onto I-90 W | |
| | | 0.2 mi |


Follow I-90 W to MA-16 W/Washington St in Newton. Take exit 16 from I-90 W


- | | | |
|---|---|-----------------|
| | | 11 min (9.4 mi) |
| ⤴ | 10. Merge onto I-90 W | |
| | ⚠ Partial toll road | |
| | | 3.0 mi |
| ↶ | 11. Keep left to stay on I-90 W | |
| | ⚠ Toll road | |
| | | 6.0 mi |
| ↷ | 12. Take exit 16 to merge onto MA-16 W/Washington St toward Wellesley | |
| | | 0.4 mi |


Continue on MA-16 W/Washington St. Take Cedar St and Wellesley Ave to Great Plain Ave in Wellesley


- | | | |
|---|---|-----------------|
| | | 15 min (5.8 mi) |
| ⤴ | 13. Merge onto MA-16 W/Hwy 16 W/Washington St | |
| | | 1.8 mi |
| ↶ | 14. Slight left onto Wales St | |
| | | 351 ft |


-  15. Continue onto Walnut St

0.2 mi
-  16. Turn left onto Cedar St

0.9 mi
-  17. Use any lane to turn slightly right onto Hunnewell St

0.5 mi
-  18. Continue straight onto Wellesley Ave

1.7 mi
-  19. Turn left onto Seaver St

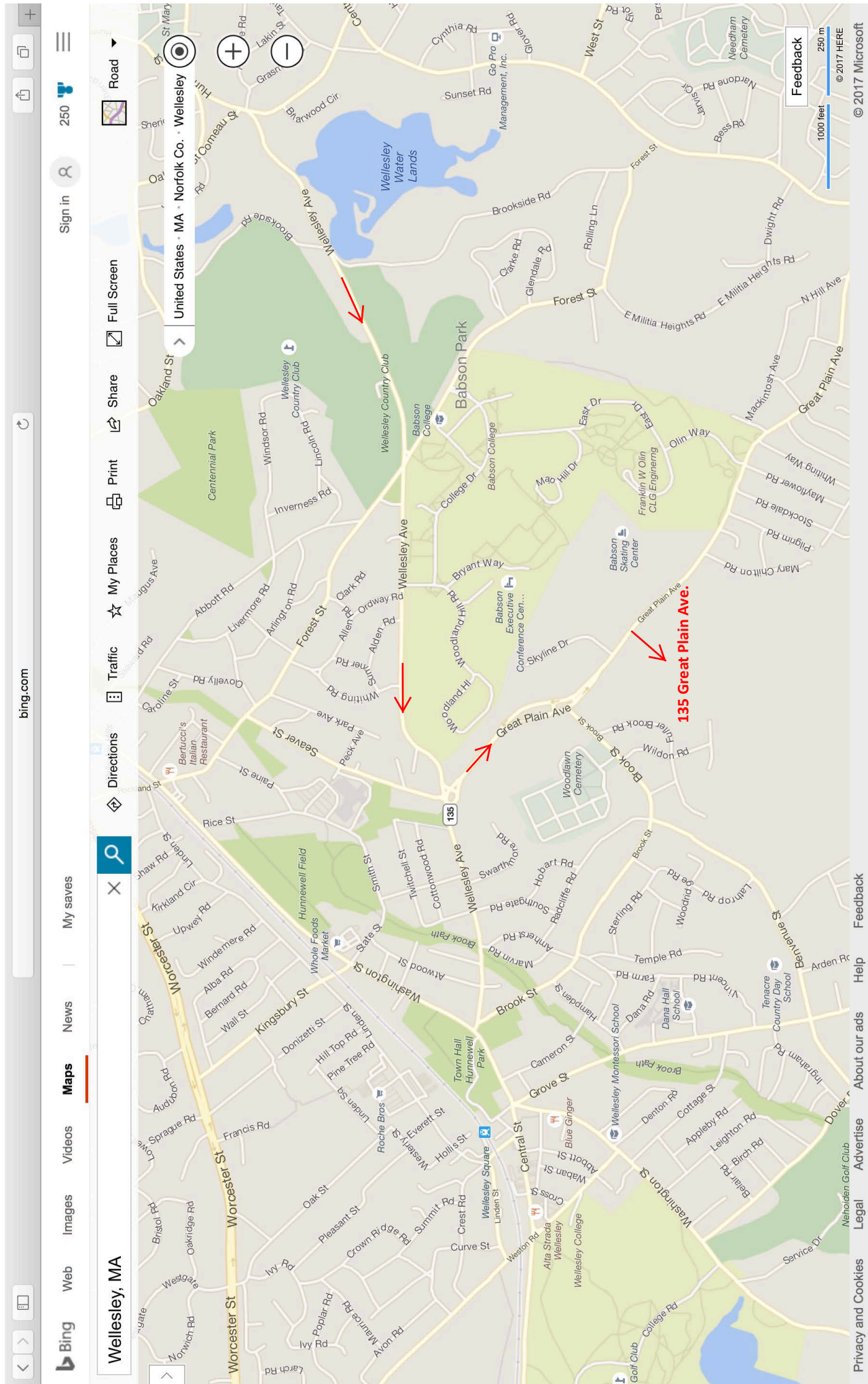
75 ft
-  20. At the traffic circle, take the 1st exit onto Great Plain Ave

0.6 mi
- 21. The entrance to 135 Great Plain Avenue will be on the right, between two old fieldstone pillars.

135 Great Plain Ave

Wellesley, MA 02482

These directions are for planning purposes only. You may find that construction projects, traffic, weather, or other events may cause conditions to differ from the map results, and you should plan your route accordingly. You must obey all signs or notices regarding your route.

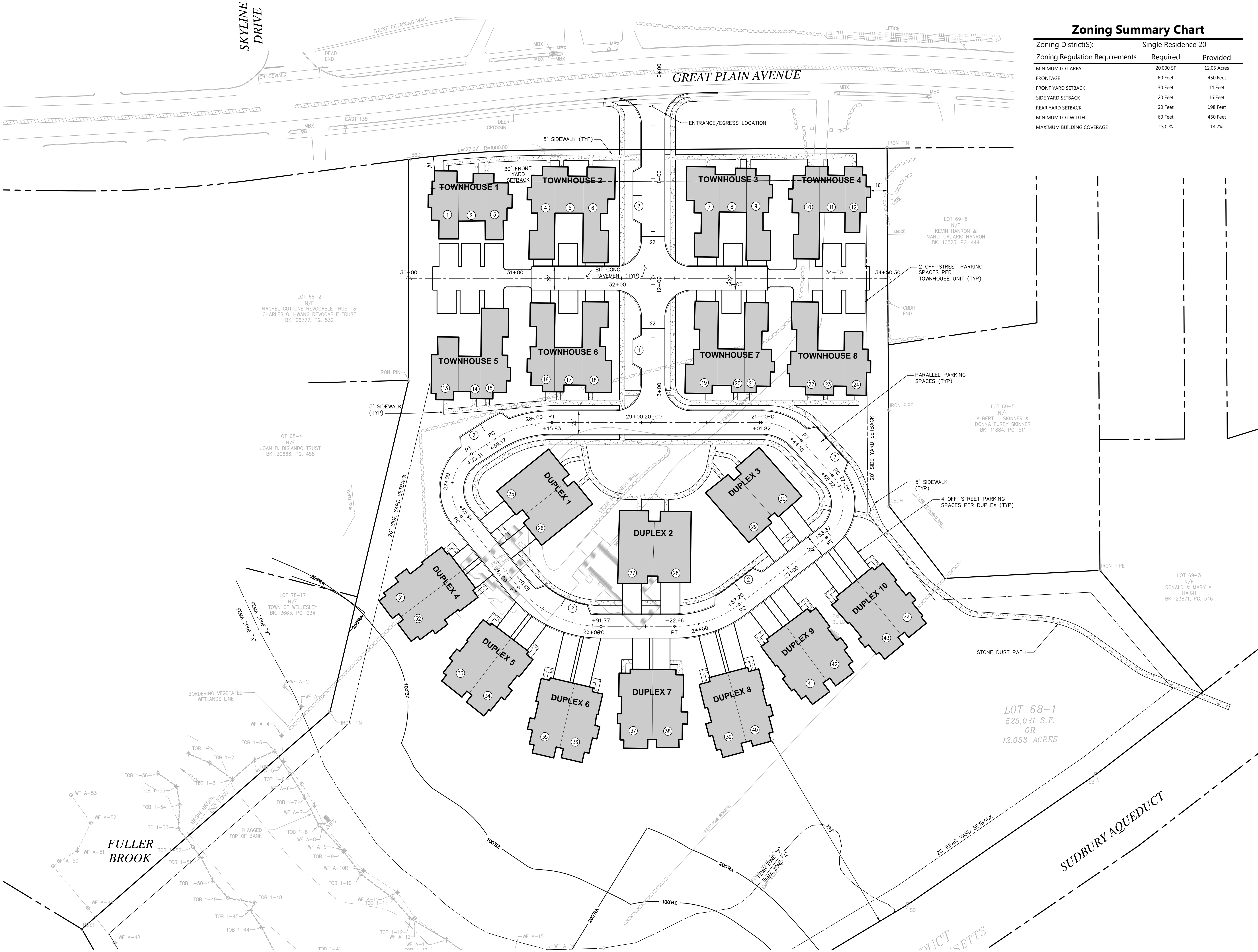




101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Zoning Summary Chart

Zoning District(S):	Single Residence 20	
Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA	20,000 SF	12.05 Acres
FRONTAGE	60 Feet	450 Feet
FRONT YARD SETBACK	30 Feet	14 Feet
SIDE YARD SETBACK	20 Feet	16 Feet
REAR YARD SETBACK	20 Feet	198 Feet
MINIMUM LOT WIDTH	60 Feet	450 Feet
MAXIMUM BUILDING COVERAGE	15.0 %	14.7%



135 Great Plain Avenue
Wellesley, Massachusetts

No.	Revision	Date	Appvd.

Designed by WNM Checked by CRQ
Issued for Date

Project Eligibility September 8, 2017

Not Approved for Construction
Drawing Title
Concept Layout
and Materials Plan



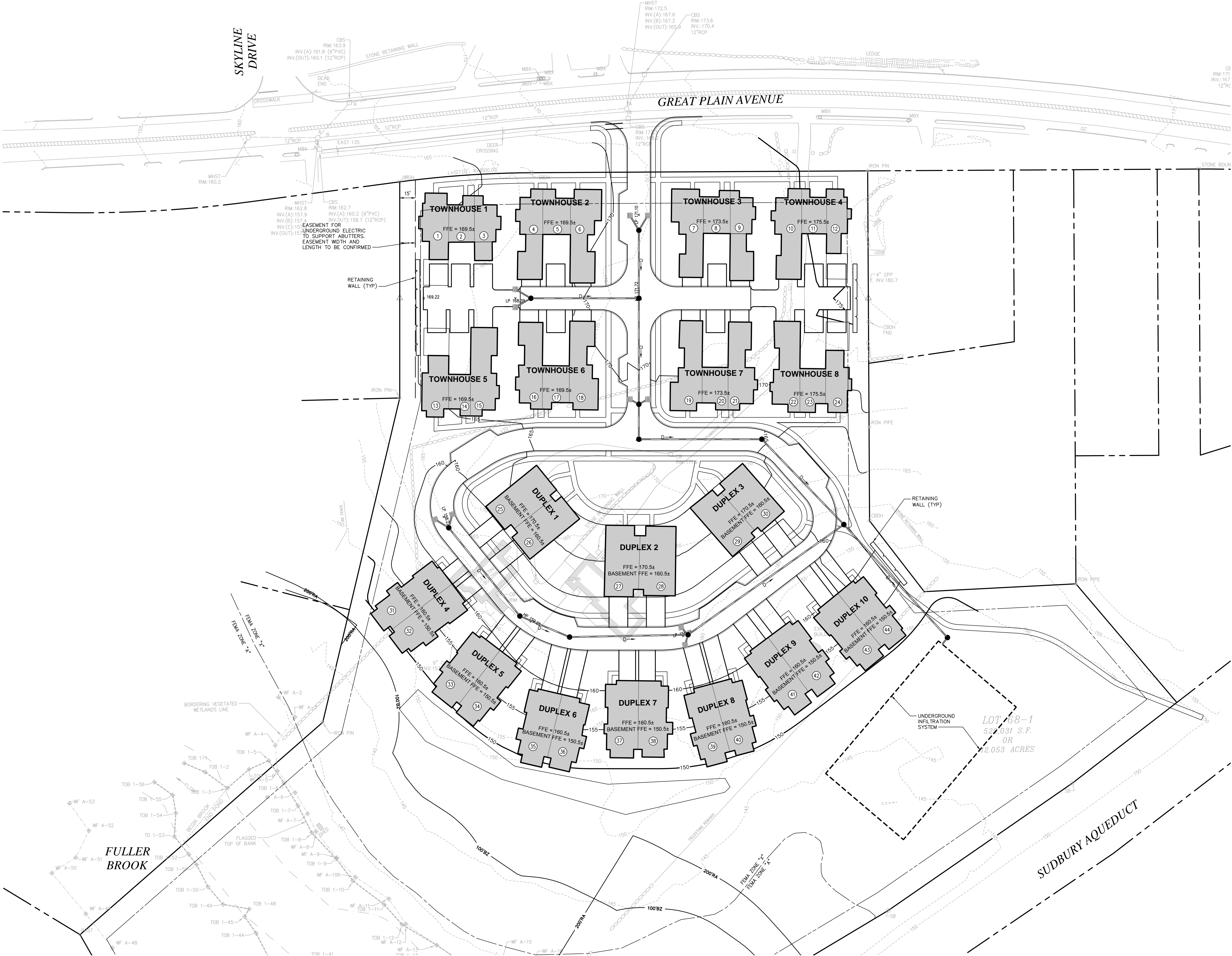
C-1

Sheet 1 of 3

Project Number
13936.00



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



135 Great Plain Avenue
Wellesley, Massachusetts

No.	Revision	Date	Appvd.

Designed by WNM Checked by CRQ
Issued for Date

Project Eligibility September 8, 2017

Not Approved for Construction
Drawing Title
Concept Grading and
Drainage Plan



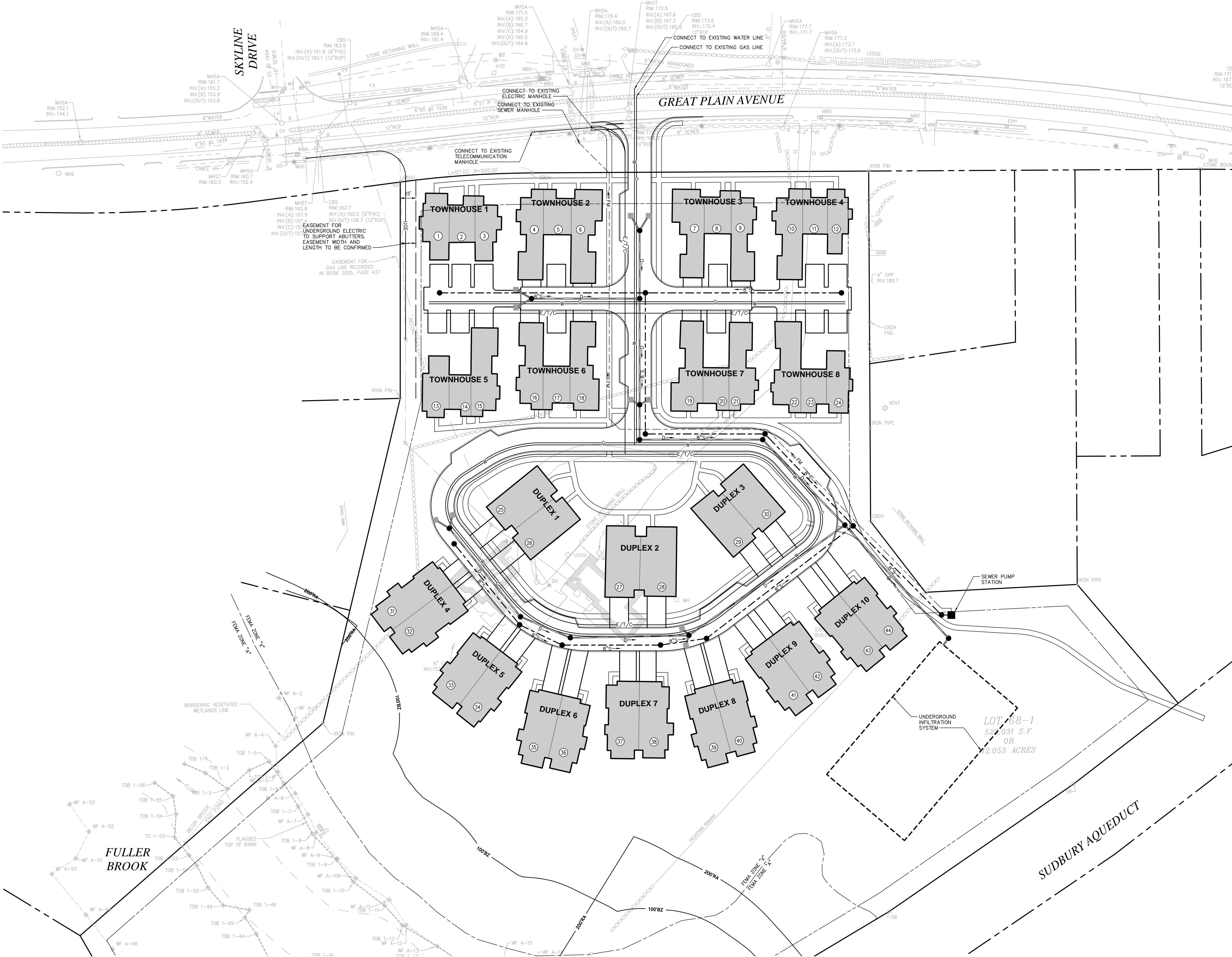
C-2

Sheet 2 of 3

Project Number
13936.00



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



0 20 40 80 Feet

135 Great Plain Avenue
Wellesley, Massachusetts

No.	Revision	Date	Appr.

Designed by	Checked by
WNM	CRQ

Issued for
Project Eligibility
September 8, 2017

Not Approved for Construction
Drawing Title
Concept Utility Plan

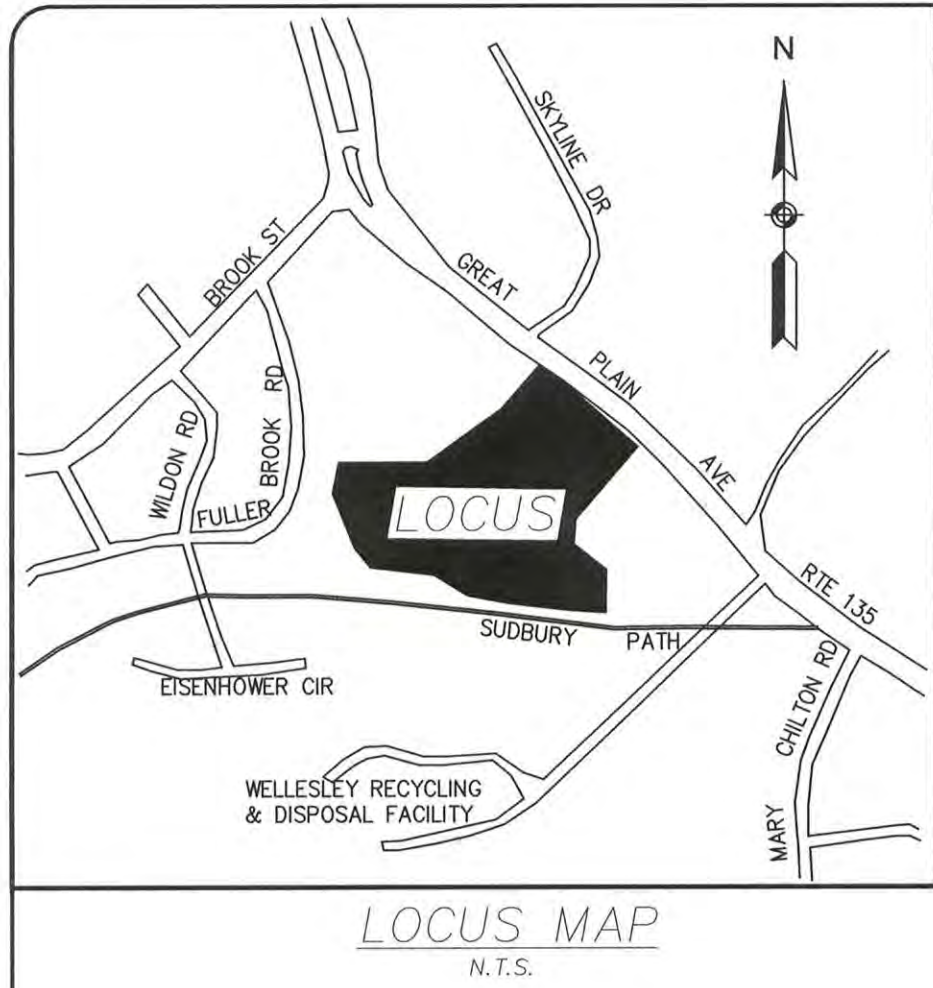


C-3

Sheet 3 of 3

Project Number
13936.00

File: V:\PROJECTS\MA78\SURVEY\PROJECT\MA WELLESLEY\GREAT PLAIN AVENUE\DWG-LD\WBASE_28754.DWG

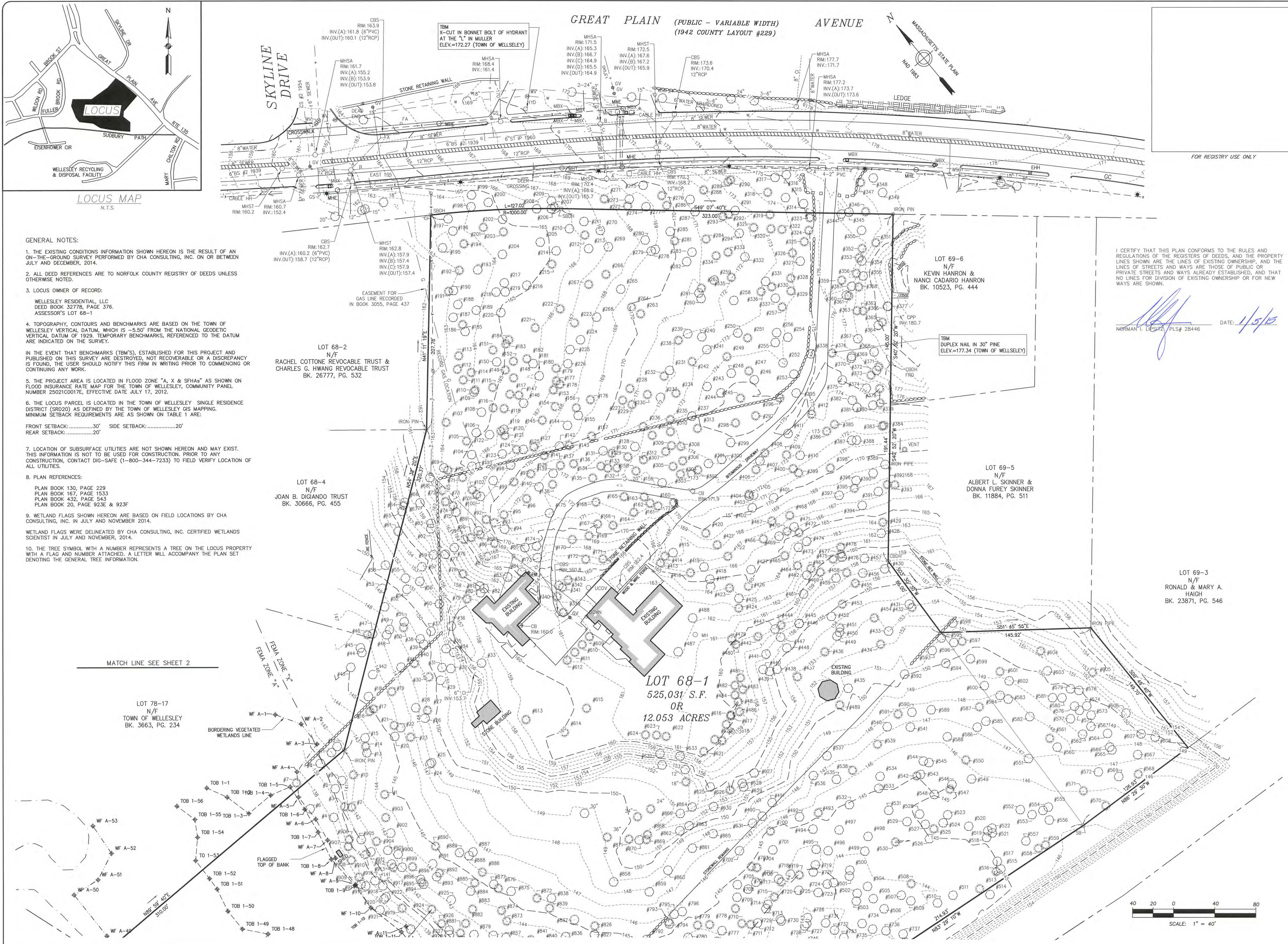


GENERAL NOTES:

1. THE EXISTING CONDITIONS INFORMATION SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY CHA CONSULTING, INC. ON OR BETWEEN JULY AND DECEMBER, 2014.
2. ALL DEED REFERENCES ARE TO NORFOLK COUNTY REGISTRY OF DEEDS UNLESS OTHERWISE NOTED.
3. LOCUS OWNER OF RECORD:
WELLESLEY RESIDENTIAL, LLC
DEED BOOK 32778, PAGE 376.
ASSESSOR'S LOT 68-1
4. TOPOGRAPHY, CONTOURS AND BENCHMARKS ARE BASED ON THE TOWN OF WELLESLEY VERTICAL DATUM, WHICH IS -5.50' FROM THE NATIONAL GEODETIC VERTICAL DATUM OF 1929. TEMPORARY BENCHMARKS, REFERENCED TO THE DATUM ARE INDICATED ON THE SURVEY.

IN THE EVENT THAT BENCHMARKS (TBM'S), ESTABLISHED FOR THIS PROJECT AND PUBLISHED ON THIS SURVEY ARE DESTROYED, NOT RECOVERABLE OR A DISCREPANCY IS FOUND, THE USER SHOULD NOTIFY THIS FIRM IN WRITING PRIOR TO COMMENCING OR CONTINUING ANY WORK.
5. THE PROJECT AREA IS LOCATED IN FLOOD ZONE "A, X & SFHAs" AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF WELLESLEY, COMMUNITY PANEL NUMBER 25021C0017E, EFFECTIVE DATE JULY 17, 2012.
6. THE LOCUS PARCEL IS LOCATED IN THE TOWN OF WELLESLEY SINGLE RESIDENCE DISTRICT (SRD20) AS DEFINED BY THE TOWN OF WELLESLEY GIS MAPPING. MINIMUM SETBACK REQUIREMENTS ARE AS SHOWN ON TABLE 1 ARE:
FRONT SETBACK:.....30' SIDE SETBACK:.....20'
REAR SETBACK:.....20'
7. LOCATION OF SUBSURFACE UTILITIES ARE NOT SHOWN HEREON AND MAY EXIST. THIS INFORMATION IS NOT TO BE USED FOR CONSTRUCTION. PRIOR TO ANY CONSTRUCTION, CONTACT DIG-SAFE (1-800-344-7233) TO FIELD VERIFY LOCATION OF ALL UTILITIES.
8. PLAN REFERENCES:
PLAN BOOK 130, PAGE 229
PLAN BOOK 167, PAGE 1533
PLAN BOOK 432, PAGE 543
PLAN BOOK 20, PAGE 9232 & 923F
9. WETLAND FLAGS SHOWN HEREON ARE BASED ON FIELD LOCATIONS BY CHA CONSULTING, INC. IN JULY AND NOVEMBER 2014.

WETLAND FLAGS WERE DELINEATED BY CHA CONSULTING, INC. CERTIFIED WETLANDS SCIENTIST IN JULY AND NOVEMBER, 2014.
10. THE TREE SYMBOL WITH A NUMBER REPRESENTS A TREE ON THE LOCUS PROPERTY WITH A FLAG AND NUMBER ATTACHED. A LETTER WILL ACCOMPANY THE PLAN SET DENOTING THE GENERAL TREE INFORMATION.



FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS, AND THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP, AND THE LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

NORMAN L. LIESZ/PLS# 28446

DATE: 1/5/16

Date	1/5/2015
By	MVC
Appd	NIL
Submitted / Revision	Issued as Final
No.	0



Prepared For:
NORTHLAND RESIDENTIAL CORP.
20 BURLINGTON MALL ROAD
SUITE 220
BURLINGTON, MA 01803

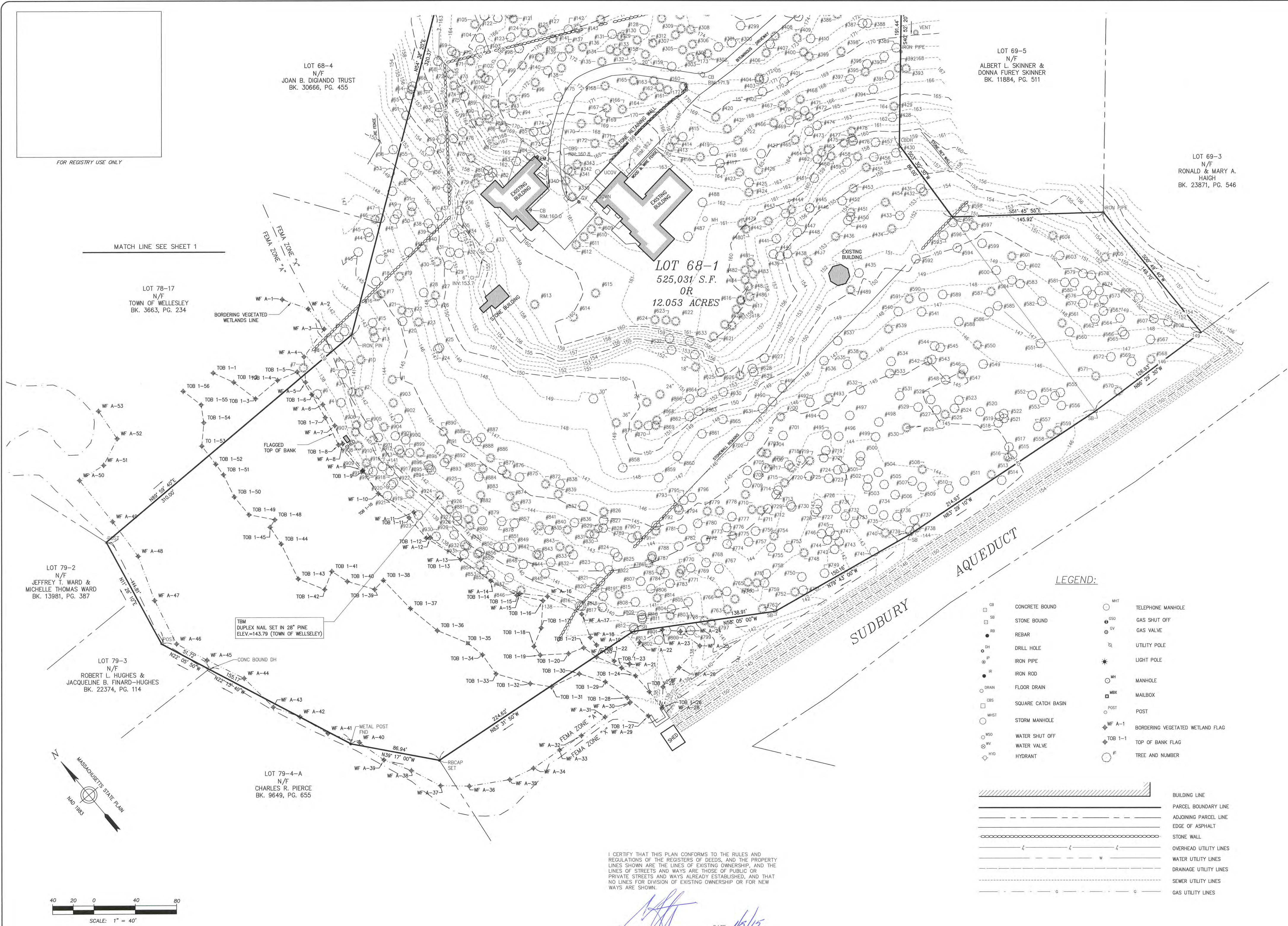
CHA
Drawing Copyright © 2013
101 Accord Park Drive
Norwell, MA 02061
Main: (781) 982-5400 • www.chacompanies.com

Designed: MWC
Drawn: MWC
Checked: NIL

NORTHLAND RESIDENTIAL CORP.
135 GREAT PLAIN AVENUE
WELLESLEY, MA
EXISTING CONDITIONS PLAN

Date: 1-05-2015
Project No.: 28219
Scale: 1"=40'

File: V:\PROJECTS\NMA78\SURVEY\PROJECT\MA\WELLESLEY\GREAT PLAIN AVENUE DWG-LDD\VDASE-28754.DWG



No.	Submital / Revision	Appd	By	Date
0	Issued as Final	NIL	MVC	1/05/2015



Prepared For:
NORTLAND RESIDENTIAL CORP.
20 BURLINGTON MALL ROAD
SUITE 220
BURLINGTON, MA 01803

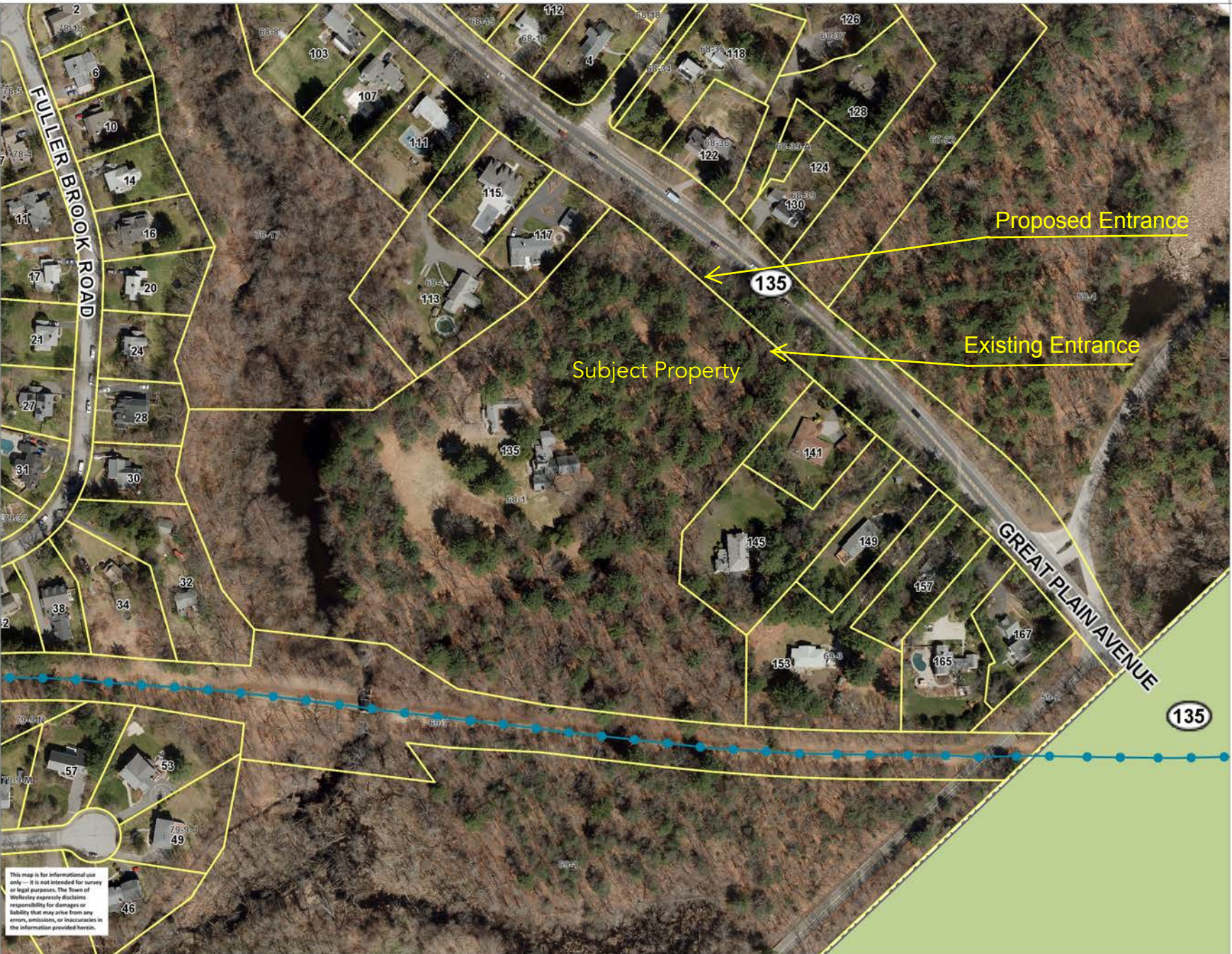
Drawing Copyright © 2013
CHA
104 Accord Park Drive
Norwell, MA 02061
Main: (781) 882-5400 • www.chacompanies.com

Designed: _____
Drawn: MVC
Checked: NIL

NORTLAND RESIDENTIAL CORP.
135 GREAT PLAIN AVENUE
WELLESLEY, MA
EXISTING CONDITIONS PLAN
Date: 1-05-2015 Project No.: 29219 Scale: 1"=40'



- Points Of Interest
- Beach
 - Town Building
 - Cemetery
 - College
 - Fire
 - Library
 - Park
 - Parking
 - Police
 - Schools
- MBTA Commuter Rail Station
- MBTA Commuter Rails
- Aqueducts
- Parcels with Orthos
- MA Highways
- Interstate
 - US Highway
 - Numbered Routes
- Town Boundary
- Abutting Towns Opaque
- Abutting Towns



This map is for informational use only — it is not intended for survey or legal purposes. The Town of Wellesley expressly disclaims responsibility for damages or liability that may arise from any errors, omissions, or inaccuracies in the information provided herein.

0 300 600 ft

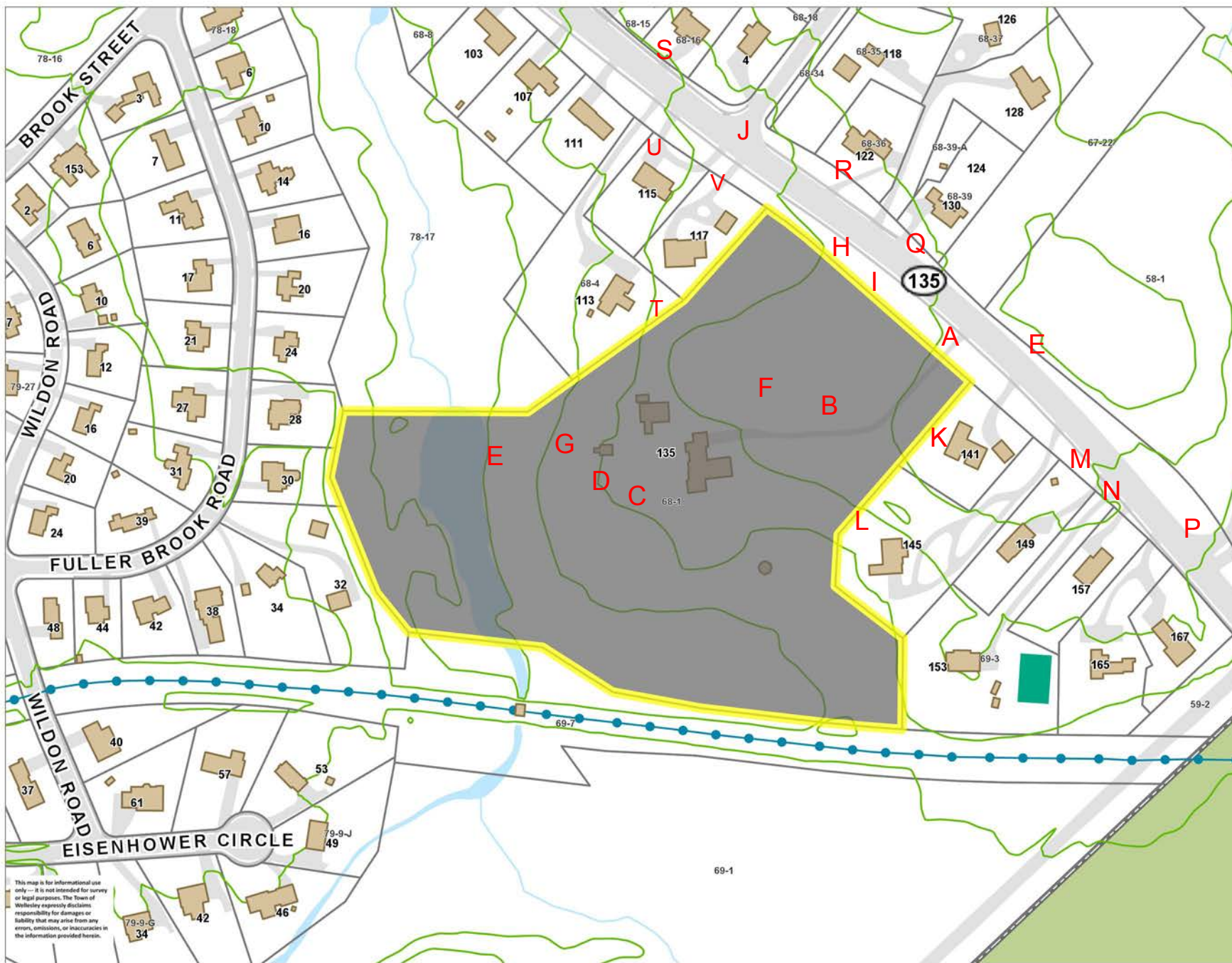
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- MBTA Commuter Rail Station
- MBTA Commuter Rails
- Buildings
- Contours
 - 10ft Contours
 - 2ft Contours
- Aqueducts
- Parcels
- MA Highways
 - Interstate
 - US Highway
 - Numbered Routes
- Town Boundary
- Abutting Towns Opaque
- Abutting Towns
- Roads (Edge Of Pavement)
- Sidewalks
- Paths
 - Sidewalks & Paved Paths
 - Unpaved Paths
- Parking
- Open Water
- Brooks And Streams
- Active Recreation Areas
 - Golf Course
 - Court- Basketball/Tennis
 - Track
 - Beach
 - Field

O

Section 2.3
Location of Photographs



0 300 600 ft

Printed on 05/25/2017 at 04:51 PM

Town of Wellesley, MA



Section 2.3
Site/Context Photos



Photo A: Subject Parcel – the existing driveway into the property enters through these old fieldstone pillars. The pillars are located in the Right-of-Way of Great Plain Avenue. The Applicant and the Town wish to preserve the pillars even though the proposed entry to the new community will be located further down the frontage on Great Plain Avenue.



Photo B: Subject Parcel – much of the 12-acre parcel is wooded. The majority of the trees covering the upland (shown here) are white pines, oaks and maples. At one time most of these areas were fields, but they filled in with trees after the fields were left untended.



Photo C: Subject Parcel – the lower portion of the property has a meadow along the a portion of the wetland edge.



Photo D: Subject Parcel – The Applicant is proposing to relocate and renovate an existing Fieldstone Outbuilding to serve as a common amenity for the community.



Photo E: Subject Parcel – at the rear of the property is a small stream that feeds into Fuller Brook. A section of the stream has a man-made damn that has been in existence for decades. The proposed development activity will remain outside the wetland buffer.



Photo F: Subject Parcel – there are several primitive fieldstone walls that cross the property. In areas where the walls will be impacted by development activity, the fieldstones will be set aside and used to create new stonewalls on site.



Photo G: Subject Parcel – a view towards the SW portion of the property across the meadow to the pond and the trees that flank the edge of the wetland.



Photo H: View from Subject Parcel looking to the West along Great Plain Avenue.



Photo I: View from Subject Parcel looking to the East along Great Plain Avenue.



Photo J: View from the Subject Property to the Northwest showing the intersection of Great Plain Avenue and Skyline Drive – a nearby intersecting street to the Subject Property.



Photo K: 141 Great Plain Avenue (direct abutter to the east) – photo taken near the common property line.



Photo L: 145 Great Plain Avenue (direct abutter to the east) – photo taken near the common property line.



Photo M: 149 Great Plain Avenue



Photo N: 153 Great Plain Avenue (visible to the rear, a direct abutter) & 157 Great Plain Avenue (in the foreground)



Photo O: View of the entrance to the Town of Wellesley Recycling & Disposal Facility located to the east along Great Plain Avenue just before the Needham Town Line.



Photo P: View to the east showing the entrance to the Babson Skating Center and the Boston Sports Club off of Great Plain Avenue.



Photo Q: 130 Great Plain Avenue



Photo R: 122 Great Plain Avenue



Photo S: 112 Great Plain Avenue



Photo T: 113 Great Plain Avenue (direct abutter to the west)



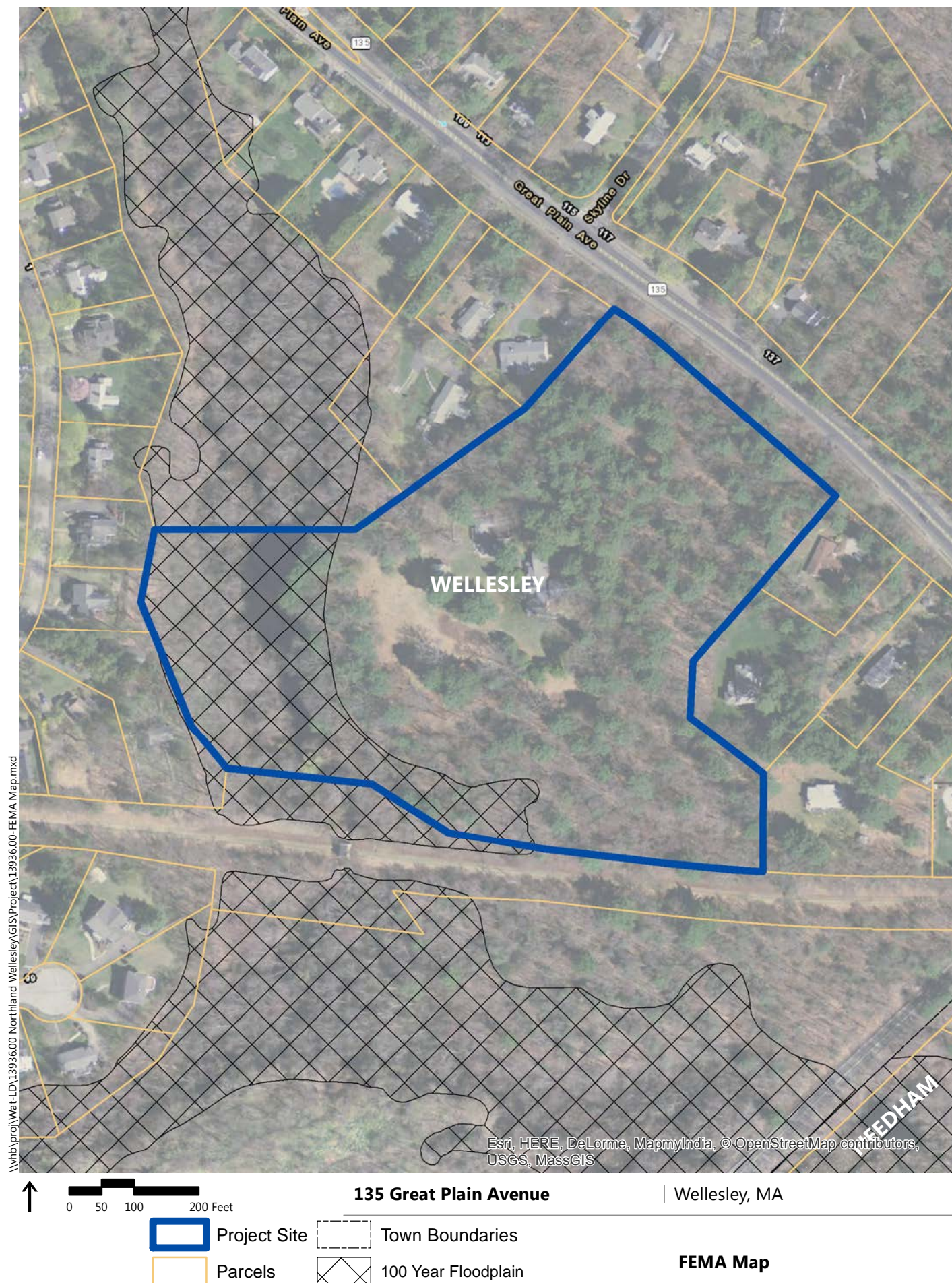
Photo U: 115 Great Plain Avenue



Photo V: 117 Great Plain Avenue (direct abutter to the west)



A bird's eye view showing the area surrounding the Subject Parcel.





Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 4B - Order of Resource Area Delineation
 Massachusetts Wetlands Protection Act M.G.L. c. 131 S40

Provided by MassDEP:
 MassDEP File #:324-0779
 eDEP Transaction #:750529
 City/Town:WELLESLEY

A. General Information

1. Conservation Commission WELLESLEY

2. This Issuance is for (Check one):

- a. ☒ Order of Resource Area Delineation
 b. ☐ Amended Order of Resource Area Delineation

3. Applicant Details

a. First Name	PETER	b. Last Name	CRABTREE
c. Organization	NORTHLAND RESIDENTIAL CORPORATION		
d. Mailing Address	20 MALL ROAD		
e. City/Town	BURLINGTON	f. State	MA
		g. ZIP	01803

4. Property Owner (if different from applicant):

a. First Name	PETER	b. Last Name	CRABTREE
c. Organization	NORTHLAND RESIDENTIAL CORPORATION		
d. Mailing Address	20 MALL ROAD		
e. City/Town	BURLINGTON	f. State	MA
		g. ZIP	01803

5. Project Location

a. Street Address	135 GREAT PLAIN AVENUE		
b. City/Town	WELLESLEY	c. Zip	02482
d. Assessors Map/Plat#	68	e. Parcel/Lot#	1
f. Latitude	42.29167N	g. Longitude	71.27389W

6. Dates

a. Date ANRAD Filed	4/6/2015	b. Date Public Hearing Closed	6/4/2015	c. Date Of Issuance	6/15/2015
---------------------	----------	-------------------------------	----------	---------------------	-----------

7. Final Approved Plans and Other Documents

Plan Title	Plan Prepared By	Plan Signed By	Plan Final Date	Plan Scale
SEE ATTACHED "EXHIBIT A" FOR LIST OF PLANS AND OTHER DOCUMENTS				

B. Order of Delineation

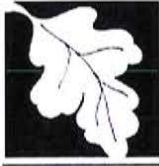
1. The Conservation Commission has determined the following (check whichever is applicable)

a. ☐ **Accurate:** The boundaries described on the referenced plan(s) above and in the Abbreviated Notice of Resource Area Delineation are accurately drawn for the following resource area(s):

1. ☐ Bordering Vegetated Wetlands
 2. ☐ Other resource area(s), specifically
 a.

b. ☒ **Modified:** The boundaries described on the plan(s) referenced above, as modified by the Conservation Commission from the plans contained in the Abbreviated Notice of Resource Area Delineation, are accurately drawn from the following resource area(s):

1. ☒ Bordering Vegetated Wetlands
 2. ☒ Other resource area(s), specifically
 a. RIVERFRONT AREA, LAND UNDER WATER BODIES AND WATERWAYS, BANK, BORDERING LAND



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 4B - Order of Resource Area Delineation
Massachusetts Wetlands Protection Act M.G.L. c. 131 S40

Provided by MassDEP:
MassDEP File #:324-0779
eDEP Transaction #:750529
City/Town:WELLESLEY

SUBJECT TO FLOODING

c. **e Inaccurate::** The boundaries described on the referenced plan(s) and in the Abbreviated Notice of Resource Area Delineation were found to be inaccurate and cannot be confirmed for the following resource area(s):

1. e Bordering Vegetated Wetlands
2. e Other resource area(s), specifically
 - a.
3. The boundaries were determined to be inaccurate because:

C. Findings

This Order of Resource Area Delineation determines that the boundaries of those resource areas noted above, have been delineated and approved by the Commission and are binding as to all decisions rendered pursuant to the Massachusetts Wetlands Protection Act (M.G.L. c. 131, S 40) and its regulations (310 CMR 10.00). This Order does not, however, determine the boundaries of any resource area or Buffer Zone to any resource area not specifically noted above, regardless of whether such boundaries are contained on the plans attached to this Order or to the Abbreviated Notice of Resource Area Delineation. This Order must be signed by a majority of the Conservation Commission. The Order must be sent by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate DEP Regional Office (see <http://www.mass.gov/dep/about/region/findyour.htm>).

D. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate DEP Regional Office to issue a Superseding Order of Resource Area Delineation. When requested to issue a Superseding Order of Resource Area Delineation, the Department's review is limited to the objections to the resource area delineation(s) stated in the appeal request. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant. Any appellants seeking to appeal the Department's Superseding Order of Resource Area Delineation will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order or Determination, or providing written information to the Department prior to issuance of a Superseding Order or Determination. The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act, (M.G.L. c. 131, S 40) and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal bylaw or ordinance, and not on the Massachusetts Wetlands Protection Act or regulations, the Department of Environmental Protection has no appellate jurisdiction.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
**WPA Form 4B – Order of Resource Area
Delineation**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

324- 0779
MassDEP File Number
750529
eDEP Transaction Number
Wellesley
City/Town

E. Signatures

6/16/15
Date of Issuance


Please indicate the number of members who will sign this form.

5
1. Number of Signers


Robert Collins


Carl Sciple


J. Stanley Waugh


Richard Howell


Neal Glick

This Order is valid for three years from the date of issuance.

If this Order constitutes an Amended Order of Resource Area Delineation, this Order
the issuance date of the original Final Order, which expires on _____ unless extended in writing by the
issuing authority.

This Order is issued to the applicant and the property owner (if different) as follows:

2. ☐ By hand delivery on _____

a. Date

3. ☒ By certified mail, return receipt requested on _____

a. Date

6/17/18

EXHIBIT A

This Order of Resource Area Delineation presents the Findings of the Wellesley Wetlands Protection Committee and addresses wetland resource areas under the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40) and its Regulations (310 CMR 10.00 *et seq.*) and the Town of Wellesley Wetlands Protection Bylaw (Article 44; as approved by Wellesley Town Meeting, April 9, 2002) and its Regulations (revised through June 24, 2004) for the site subject to review under this ANRAD shown on the Approved Plan: "Resource Area Plan, 135 Great Plain Avenue, Wellesley, Massachusetts," prepared by CHA Consulting, Inc., dated 03/20/2015, revised through 06/10/2015, signed and stamped by Norman I. Lipsitz, PLS #28446 and James B. Hall, PWS #1947, stamped received by the Natural Resources Office 06/15/2015. The Abbreviated Notice of Resource Area Delineation was peer reviewed by John P. Rockwood, Ph.D., PWS of EcoTec, Inc. on 05/21/2015, with peer review findings documented in EcoTec, Inc. review letters, dated 05/26/2015 and 06/02/2015. Exhibit A is hereby made a part of WPA Form 4B, Section B, Order of Delineation, of the Order of Resource Area Delineation.

Applicant:

Peter Crabtree
Northland Residential Corporation
20 Mall Road
Burlington, MA 01803

Property Owner:

Peter Crabtree
Northland Residential Corporation
20 Mall Road
Burlington, MA 01803

Date of Issuance: June 16, 2015

Documents of Record:

- ANRAD and supporting documents, prepared by CHA Consulting, Inc, dated March 2015, stamped received by the Natural Resources Office 04/06/2015
- Plan: "Resource Area Plan, 135 Great Plain Avenue, Wellesley, Massachusetts," prepared by CHA Consulting, Inc, scale 1" = 50', dated 03/20/2015, revised through 06/10/2015, signed and stamped by Norman I. Lipsitz, PLS #28446 and James B. Hall, PWS #1947, stamped received by the Natural Resources Office 06/15/2015

Findings:

The Wetlands Protection Committee finds:

- The wetland resource areas that occur on the site under the Wetlands Protection Act ("Act") and its Regulations are:
 - Land Under Water Bodies and Waterways,
 - Bank,
 - Bordering Vegetated Wetlands,

EXHIBIT A

- Bordering Land Subject to Flooding, and
- Riverfront Area.

The 100-foot Buffer Zone associated with Bordering Vegetated Wetlands also occurs on the site.

- The wetland resource areas that occur on the site under the Wellesley Wetlands Protection Bylaw ("Bylaw") and its Regulations are:
 - Pond and Land Under Pond,
 - River and Land Under River,
 - Bank,
 - Swamp Bordering on Pond and River (i.e., Bordering Vegetated Wetlands on approved site plan),
 - Land within 100' of Aforesaid Resources (i.e., 100' Buffer Zone on approved site plan),
 - Land within 200' of Rivers, and
 - Bordering Land Subject to Flooding.
- Although Land Under Water Bodies and Waterways under the Act and Pond and Land Under Pond and River and Land Under River under the Bylaw are present on the site within the delineated upper boundary of Bank (i.e., TOB flags), the boundaries of these wetland resource areas were not specifically delineated and are not approved under this ORAD.
- The upper boundary of Bank boundaries under the Act and Bylaw on the site are accurate as shown on the approved site plan by the TOB flags.
- The Bordering Vegetated Wetlands boundaries under the Act and Swamp Bordering on Pond and River under the Bylaw on the site are accurate as shown on the approved site plan by the A-series flags.
- The 100' Buffer Zone boundaries under the Act and Land Within 100' of Aforesaid Resources boundaries under the Bylaw on the site associated with both on-site and off-site Bordering Vegetated Wetlands flags are accurate as shown on the approved site plan. The 100' Buffer Zone is not a wetland resource area under the Act. Land Within 100' of Aforesaid Resources is a wetland resource area under the Bylaw. The 25' No Disturbance Zone on the site under the Bylaw Regulations is accurate as shown on the approved site plan. Under the current Bylaw Regulations, the outer 75 feet of the 100' Buffer Zone is considered the Limited Disturbance Zone.
- The Bordering Land Subject to Flooding boundaries under the Act and Bylaw on the site based upon the mapped FEMA Zone A are accurate as shown on the approved site plan. Bordering Land Subject to Flooding occurs in three areas of the site in areas located outside of or upgradient of the Bordering Vegetated Wetlands boundary and within the mapped FEMA Zone A. The boundary of two of these areas, one to the east of the Pond and one to the west of the Pond, are labeled on the approved plan; the third area is a very small area located to the west of the pond near flag A40 which is labeled on the approved plan as 25' No Disturbance Zone / 100' Buffer Zone.
- The on-site Pond is a Pond and not part of the River under the Act or the Bylaw and, as such, does not in and of itself have an associated 200' Riverfront Area under the Act or Lands within 200' of Rivers under the Bylaw. The 200' Riverfront Area boundaries under the Act on the site associated with the River (i.e., Fuller Brook) at both ends of the Pond are accurate as shown on

EXHIBIT A

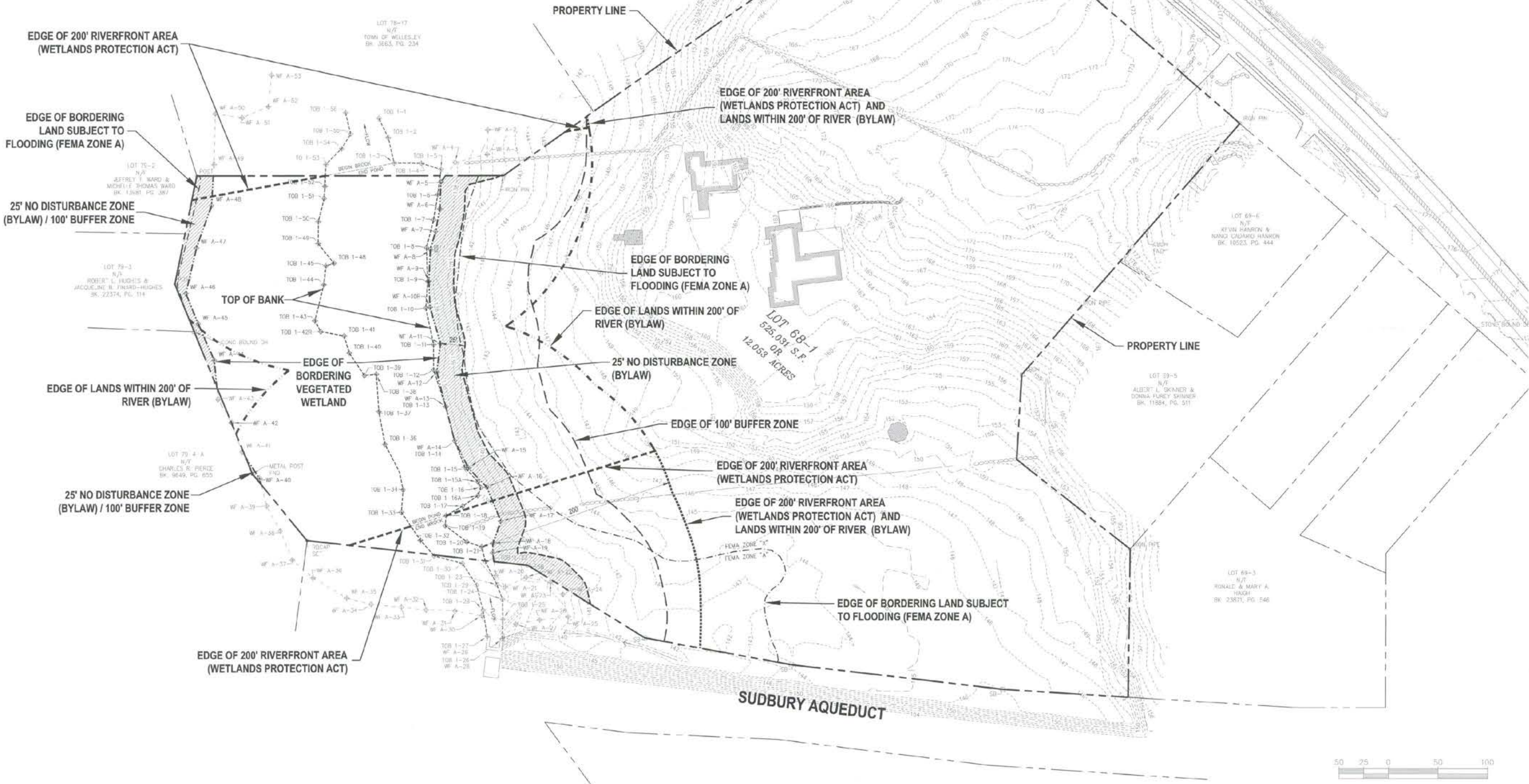
the approved plan. Lands Within 200' of Rivers under the Bylaw on the site associated with the River (i.e., Fuller Brook) at both ends of the Pond are accurate as shown on the approved plan. As shown on the approved plan, the boundaries of Lands Within 200' of Rivers under the Bylaw are more inclusive than the 200' Riverfront Area under the Act and include all land located above the Mean Annual High-water Line of the River and above the upper boundary of Bank of the Pond that is located within 200' of the River.

Section 2.4

- NOTES:
1. FEMA FLOOD ZONE (BORDERING LAND SUBJECT TO FLOODING) SHOWN HEREIN IS TAKEN FROM FLOOD INSURANCE RATE MAP 25021C0017E WITH AN EFFECTIVE DATE OF JULY 17, 2012.
 2. RESOURCE AREA FLAGS SHOWN HEREIN ARE BASED ON FIELD DELINEATION BY JAMES B. HALL, PWS ON JULY 8, 2014; NOVEMBER 14, 2014 AND SUBSEQUENT FIELD ADJUSTMENTS DURING PEER REVIEW ON MAY 21, 2015.
 3. THIRD PARTY PEER REVIEW PERFORMED BY ECOTEC, INC. ON MAY 21, 2015 INCLUDES THE FOLLOWING REVISIONS:
 - DELETE FLAG WFA-1. BEGIN WETLAND BOUNDARY WITH FLAG WFA-2.
 - DELETE FLAG WFA-10. REPLACE WITH FLAG WFA-10R.
 - RELABEL THE FIRST FLAG WFA-17 IN THE FIELD AS FLAG WFA-16.
 - LOCATE FLAGS TOB1-15A (BETWEEN FLAGS TOB1-15/16) AND FLAG TOB1-16A (BETWEEN FLAGS TOB1-16/17)
 - DELETE FLAG TOB1-42. REPLACE WITH FLAG TOB1-42R.
 - REVISE RIVER/POND TRANSITION POINTS ON NORTH AND SOUTH SIDES OF POND.
 - FLAGS TOB1-3 AND TOB1-18 ON EAST SIDE OF POND AT NORTH/SOUTH TRANSITION POINTS ARE CORRECT.
 - ADJUST SOUTHERN RIVER/POND TRANSITION POINT ON WEST SIDE OF POND FROM FLAG TOB1-33 TO MIDPOINT BETWEEN FLAGS TOB1-32 AND 33
 - ADJUST NORTHERN RIVER/POND TRANSITION POINT ON WEST SIDE OF POND FROM FLAG TOB1- 53 TO MIDPOINT BETWEEN FLAGS TOB1-52 AND 53

LEGEND

- BORDERING VEGETATED WETLAND (BVW)
- TOP OF BANK
- 25' NO DISTURBANCE ZONE (BYLAW)
- 100' BUFFER ZONE
- 200' RIVERFRONT AREA (WETLANDS PROTECTION ACT)
- LANDS WITHIN 200' OF RIVER (BYLAW)
- 200' RIVERFRONT AREA (WETLANDS PROTECTION ACT) AND LANDS WITHIN 200' OF RIVER (BYLAW)
- BORDERING LAND SUBJECT TO FLOODING (FEMA ZONE A)
- PROPERTY LINE
- 25' NO DISTURBANCE ZONE (BYLAW)



No.	Submitted / Revision	App'd By	Date
1	ANRAD FILING	JPM	03/20/15
2	WETLAND RESOURCE AREA SITE REVIEW	SK	05/20/15
3	WETLAND RESOURCE AREA PEER REVIEW	SK	06/03/15
4	CONSERVATION COMMISSION / PEER REVIEW	SK	06/10/15



CHA
101 Accord Park Drive
Norwell, MA 02061
Main: (781) 922-2400 • www.cha-engineers.com

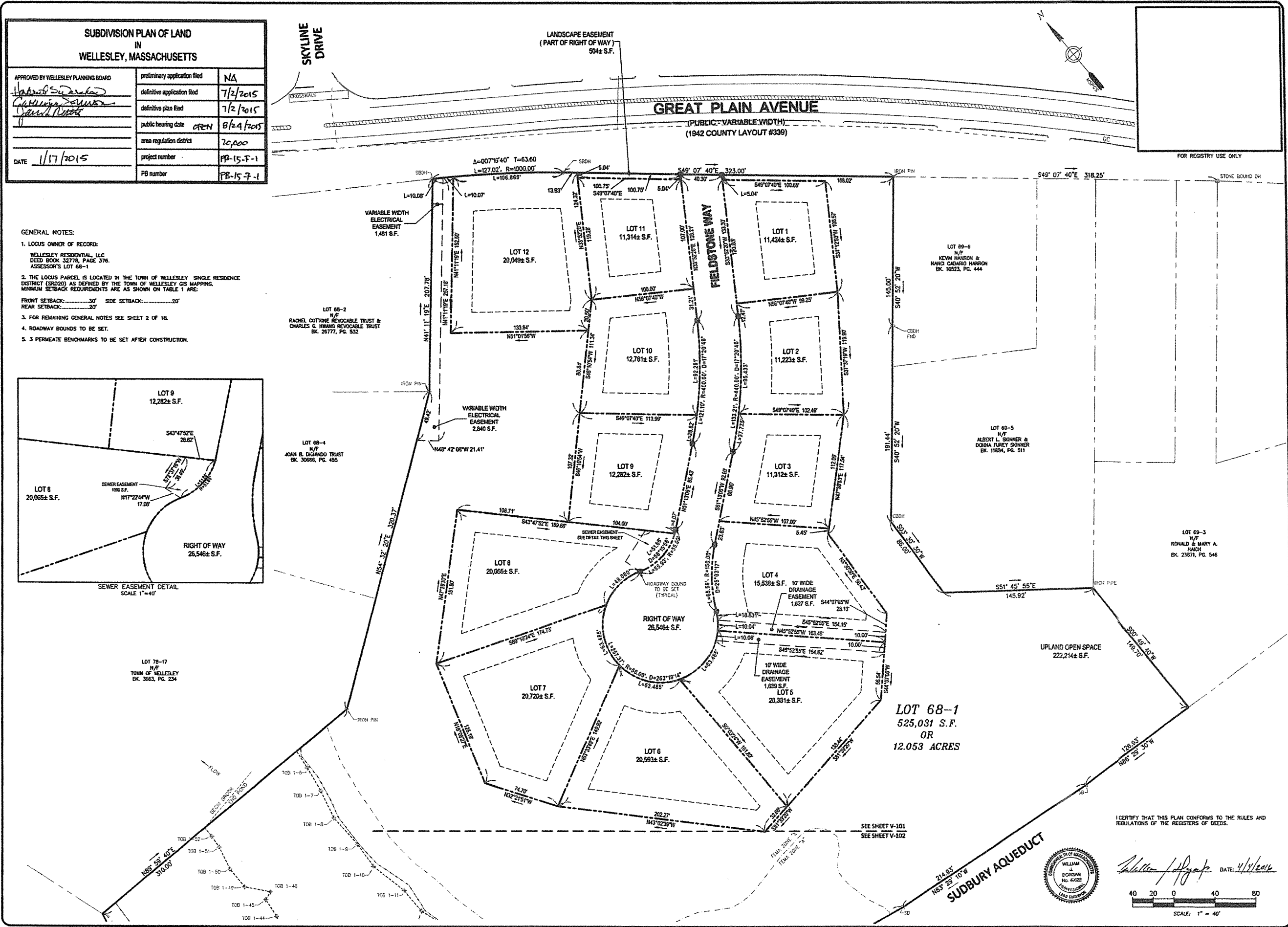
Designated: JPM
Drawn: JPM
Checked: JPM
Checked: JPM

135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

RESOURCE AREA PLAN

Issue Date: 03/20/15
Project No.: 20219
Scale: 1" = 50'

*WAIVER FROM SECTION VII., CONSTRUCTION OF STREETS, K., TREES, TO INCREASE THE MAXIMUM SEPARATION BETWEEN STREET TREES TO GREATER THAN 60'.



Date	
By	
Appr	
Submittal / Revision	
0	DEFINITIVE SUBDIVISION SUBMITTAL
1	RECORD SUBDIVISION LAYOUT RESPONSE TO COMMENTS
2	
3	
4	
5	
6	
7	
8	
9	
10	



CHA
101 Accord Park Drive
Wellesley, MA 02156
Phone: (781) 325-5400
Fax: (781) 325-5401
www.cha-engineers.com

Designed: CHA
Drawn: MWC
Checked: NIL

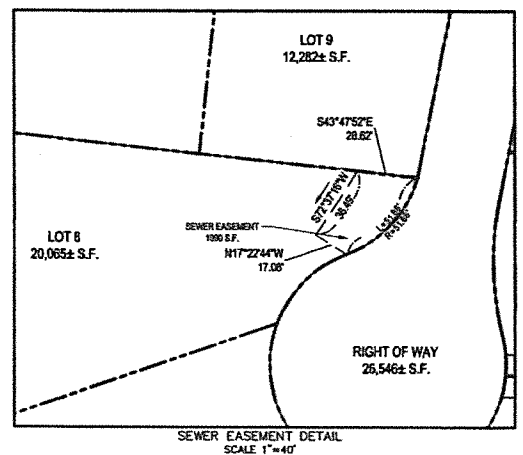
135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

LOT LAYOUT PLAN (SHEET 1)

Issue Date: 07/01/15
Project No.: 20219
Scale: 1"=40'

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>Handwritten Signature</i>	definitive application filed	7/2/2015
<i>Handwritten Signature</i>	definitive plan filed	7/2/2015
<i>Handwritten Signature</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20,000
DATE 1/17/2015	project number	PB-15-F-1
	PB number	PB-15-F-1

- GENERAL NOTES:
- LOCUS OWNER OF RECORD:
WELLESLEY RESIDENTIAL, LLC
DEED BOOK 32778, PAGE 376.
ASSESSOR'S LOT 68-1
 - THE LOCUS PARCEL IS LOCATED IN THE TOWN OF WELLESLEY SINGLE RESIDENCE DISTRICT (SRD200) AS DEFINED BY THE TOWN OF WELLESLEY GIS MAPPING. MINIMUM SETBACK REQUIREMENTS ARE AS SHOWN ON TABLE 1 ARE:
FRONT SETBACK: 30' SIDE SETBACK: 20'
REAR SETBACK: 20'
 - FOR REMAINING GENERAL NOTES SEE SHEET 2 OF 18.
 - ROADWAY BOUNDS TO BE SET.
 - 3 PERMATE BENCHMARKS TO BE SET AFTER CONSTRUCTION.



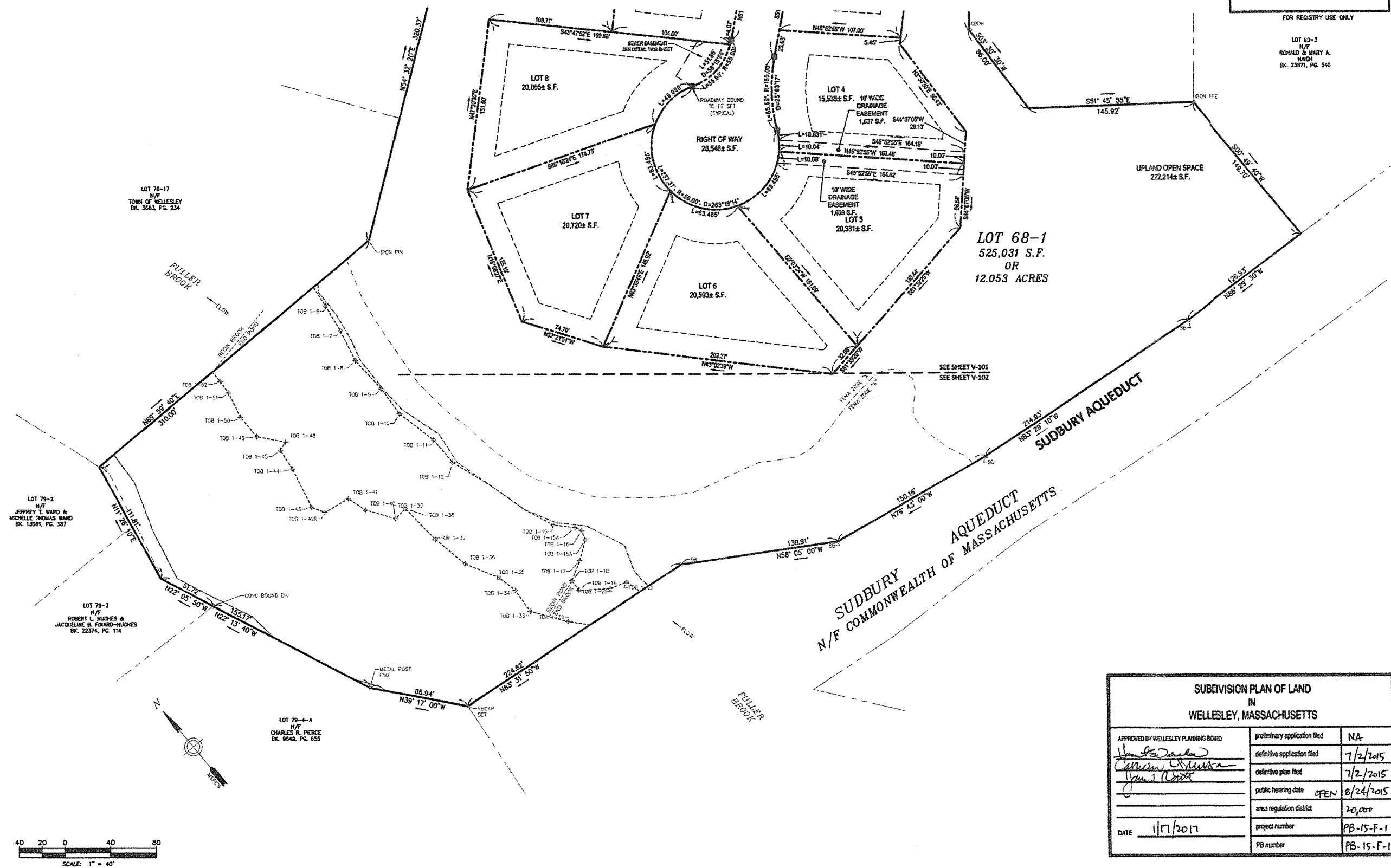
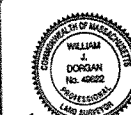
LOT 78-17
N/F
TOWN OF WELLESLEY
BK. 3663, PG. 234

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Handwritten Signature DATE: 4/1/2016

40 20 0 40 80
SCALE: 1" = 40'

Phillips / Syf DATE: 4/4/2016

[illegible]

William H. Page



101 Accord Park Drive
Norwell, MA 02061
Phone: (781) 962-5400 • www.chacompanies.com

Main: (781) 982-5400 • www.chocompanies.com

135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

LOT LAYOUT PLAN (SHEET 2)

LOT LAYOUT PLAN (SHEET 2)

V-102
SHEET 5 OF 20 SHEETS

L. Deborah Carpenter, Chair
Catherine Johnson, Vice Chair
Harriet Warshaw, Secretary
Jeanne S. Conroy
Lara Pfadt, AIA



Town Hall, 525 Washington Street
Wellesley, MA 02482
Tel. (781) 431-1019 ext. 2232, 2234, 2238
Fax (781) 237-6495

Michael Zehner, AICP
Planning Director

**DEFINITIVE SUBDIVISION
CERTIFICATE OF PLANNING BOARD ACTION - APPROVAL**

Application:	Definitive Subdivision Application for 135 Great Plain Avenue (PB-2015-F-1)
Subject Property:	135 Great Plain Avenue (PID 68-1)
Applicant:	Wellesley Residential, LLC
Property Owner:	Wellesley Residential, LLC
Request/Project Description:	A Definitive Subdivision Application for a 12-lot single family residential subdivision subject to development consistent with Section XVIF, <i>Natural Resources Protection (NRP) Development</i> , of the Zoning Bylaw.

APPLICATION OVERVIEW

The subject application, submitted by Wellesley Residential, LLC ("the Applicant"), is for the approval of a Definitive Plan for a 12-lot single family residential subdivision at 135 Great Plain Avenue ("the Subdivision"). The property to be subdivided has a total lot area of 525,031 sq. ft./12.05 acres. The developed area of the Subdivision has an area of 213,231 sq. ft./4.90 acres; 311,800 sq. ft./7.16 acres will be retained as protected open space.

The proposed lots will range in size from 11,223 sq. ft. to 20,720 sq. ft. Eleven (11) of the proposed lots will have frontage on and be accessed by a new street, Fieldstone Way, a two-way street with cul-de-sac; the twelfth (12th) lot will have frontage on and be accessed by Great Plain Avenue. Utilities, including stormwater management, are proposed to be installed in the subdivision; a lift station will be utilized to discharge sanitary waste into the Town's system at Great Plain Avenue.

The Subdivision is subject to the Massachusetts *Subdivision Control Law* (M.G.L. Ch. 41A, 81K - 81GG; the "Subdivision Control Law") and the *Rules and Regulations Governing the Subdivision of Land in Wellesley, Massachusetts* (the "Subdivision Regulations").

The Applicant has requested waivers from certain provisions of the Subdivision Regulations, as follows:

1. Waiver from Section V., *Design Requirements*, B., *Streets*, 2., *Street Width*, to eliminate the minimum required 40' radius at the right-of-way intersection of the proposed street/way and Great Plain Avenue;

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L. Deborah Carpenter, Chair
 Catherine Johnson, Vice Chair
 Harriet Warshaw, Secretary
 Jeanne S. Conroy
 Lara Pfadt, AIA



Town Hall, 525 Washington Street
 Wellesley, MA 02482
 Tel. (781) 431-1019 ext. 2232, 2234, 2238
 Fax (781) 237-6495

Michael Zehner, AICP
 Planning Director

DEFINITIVE SUBDIVISION CERTIFICATE OF PLANNING BOARD ACTION - APPROVAL

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2. Waiver from Section V., *Design Requirements*, B., *Streets*, 3., *Grade*, to reduce the minimum design speed for the street from 30 mph to 25 mph;
3. Waiver from Section V., *Design Requirements*, B., *Streets*, 4., *Dead End Streets*, to reduce the minimum required pavement width from 24' to 22';
4. Waiver from Section VII., *Construction of Streets*, D., *Sidewalks*, to provide a sidewalk along only one side of the proposed street/way; and
5. Waiver from Section VII., *Construction of Streets*, K., *Trees*, to increase the maximum separation between street trees to greater than 60'.

Per the Subdivision Regulations, the Subdivision's compliance with the Zoning Bylaw is also required. An associated Special Permit pursuant to Section XVIB, *Inclusionary Zoning*, to satisfy the required provision of Assisted/Affordable Units for the project by alternative means, was issued by the Planning Board on April 19, 2016. The Subdivision is also subject to Section XVIF, *Natural Resources Protection (NRP) Development*; the Applicant sought and was issued an associated Special Permit from Section XVIF to locate a non-vegetated storm water management system (an underground storm water detention system labeled on plans as "UG2") within required open space.

APPLICATION SUBMITTAL DOCUMENTS

The following documents are considered to constitute the application:

1. Letter from David Himmelberger to Michael Zehner, Planning Director, dated July 2015;
2. Original Submission - July 2, 2015
 - a. Definitive Subdivision Plans prepared by CHA:
 - Sheet C-001 Cover Sheet, dated July 1, 2015;
 - Sheet V-001 Existing Conditions Plan (Sheet 1), dated July 1, 2015;
 - Sheet V-002 Existing Conditions Plan (Sheet 2), dated July 1, 2015;
 - Sheet V-101 Lot Layout Plan (Sheet 1), dated July 1, 2015;
 - Sheet V-102 Lot Layout Plan (Sheet 2), dated July 1, 2015;
 - Sheet C-002 Legend & General Notes, dated July 1, 2015;
 - Sheet C-003 Demolition Plan, dated July 1, 2015;
 - Sheet C-101 Site Layout Plan, dated July 1, 2015;
 - Sheet C-201 Grading & Drainage Plan, dated July 1, 2015;
 - Sheet C-301 Roadway Plan and Profile, dated July 1, 2015;
 - Sheet C-302 Typical Roadway & Utility Section Plan, dated July 1, 2015;
 - Sheet C-401 Utility Plan and Profile, dated July 1, 2015;
 - Sheet C-501 Landscape Plan, dated July 1, 2015;
 - Sheet C-601 Details, dated July 1, 2015;
 - Sheet C-602 Details, dated July 1, 2015;

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- Sheet C-603 Details, dated July 1, 2015;
 - Sheet C-604 Details, dated July 1, 2015; and
 - Sheet C-605 Details, dated July 1, 2015;
- b. Subdivision Permitting Report, prepared by CHA, dated July 1, 2015:
- Project Narrative;
 - Stormwater Report;
 - Municipal Impact Statements;
 - Appendix A - Subdivision Application and Fee;
 - Appendix B - Waiver Request Letter;
 - Appendix C - Order of Resources Area Delineation (ORAD);
 - Appendix D - Traffic Impact Report - VAI;
 - Appendix E - Subdivision Lot Math;
 - Appendix F - Fire Access Figure;
 - Appendix G - Construction Management and Phasing Plan; and
 - Appendix H - Plan Set
3. "Natural Resource Protection Development Design Process" submission, prepared by Northland Residential, dated September 1, 2015;
4. Revised Submission - September 30, 2015
- a. Letter from David Himmelberger, dated September 29, 2015;
 - b. Revised Waiver Request Letter (revision date September 30, 2015);
 - c. Response to Board of Health Comments dated August 18, 2015, dated September 29, 2015;
 - d. Response to DPW Comments dated August 19, 2015, dated September 29, 2015;
 - e. Proposed Roadway Vertical Profile, dated September 29, 2015;
 - f. Sanitary Conveyance Assessment, dated September 29, 2015;
 - g. Tree Protection & Mitigation Plan, dated September 29, 2015;
 - h. Draft of HOA Declaration of Trust and Declaration of Easements, Covenants, and Restrictions, last revised September 30, 2015;
 - i. UG2 Landscape Concept Plan, dated October 6, 2015;
 - j. Illustrative View of Fieldstone Way from Great Plain Avenue, dated October 6, 2015; and
 - k. Illustrative Panorama along Great Plain Avenue, dated October 6, 2015
5. Letter from David Himmelberger, dated October 22, 2015;
6. Letter from David Himmelberger, dated December 30, 2015;
7. Site Presentation Plan - SP-02, prepared by CHA, dated February 23, 2016;
8. Site Presentation Plan - SP-03, prepared by CHA, dated February 23, 2016;
9. Letter from David Himmelberger, dated February 29, 2016;

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10. PowerPoint Presentation for March 7, 2016 Planning Board meeting (23 slides);

11. Revised Submission - April 5, 2016

- a. Letter from Gabe Crocker, CHA, dated April 4, 2016;
- b. Letter from David Himmelberger, dated April 4, 2016;
- c. Draft Declaration of Trust and Declaration of Easements, Covenants, and Restrictions, last revised April 1, 2016;
- d. Subdivision Permitting Report, prepared by CHA, dated revised April 4, 2015 (*Note: scrivener's error; correct date is revised April 4, 2016, which is the date referred to in this Certificate*):

- Project Narrative;
- Stormwater Report;
- Municipal Impact Statements;
- Appendix A - Subdivision Application and Fee;
- Appendix B - Waiver Request Letter;
- Appendix C - Order of Resources Area Delineation (ORAD);
- Appendix D - Traffic Impact Report - VAI;
- Appendix E - Subdivision Lot Math;
- Appendix F - Fire Access Figure;
- Appendix G - Construction Management and Phasing Plan;
- Appendix H - Tree Protection and Mitigation Plan;
- Appendix I - Sanitary Pump Station Calculations; and
- Appendix J - Plan Set

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e. Fieldstone Way Definitive Subdivision Plan Set, prepared by CHA:

- C-001 Cover Sheet, dated last revised April 4, 2016
- V-001 Existing Conditions Plan (Sheet 1), dated July 1, 2015
- V-002 Existing Conditions Plan (Sheet 2), dated July 1, 2015
- V-101 Lot Layout Plan (Sheet 1), dated last revised April 4, 2016
- V-102 Lot Layout Plan (Sheet 2), dated last revised April 4, 2016
- C-002 Legend & General Notes, dated last revised April 4, 2016
- C-003 Demolition Plan, dated last revised April 4, 2016
- C-101 Site Layout Plan, dated last revised April 4, 2016
- C-201 Soil Erosion and Sediment Control Plan, dated last revised April 4, 2016
- C-202 Grading & Drainage Plan, dated last revised April 4, 2016
- C-301 Roadway Plan and Profile, dated last revised April 4, 2016
- C-401 Utility Plan and Profile, dated last revised April 4, 2016
- C-501 Landscape Plan, dated last revised April 4, 2016
- C-601 Details, dated last revised April 4, 2016
- C-602 Details, dated last revised April 4, 2016
- C-603 Details, dated last revised April 4, 2016
- C-604 Details, dated last revised April 4, 2016
- C-605 Details, dated last revised April 4, 2016

- C-606 Details, dated last revised April 4, 2016
 - C-607 Details, dated last revised April 4, 2016
12. Conceptual Constructed Wetland Exhibit EX1, prepared by CHA, dated April 14, 2016;
 13. Conceptual Constructed Wetland Exhibit EX2 (without topo), prepared by CHA, dated April 14, 2016;
 14. Conceptual Constructed Wetland Exhibit EX2 (without topo), prepared by CHA, dated April 14, 2016;
 15. Conceptual Constructed Wetland Exhibit EX2 (with topo), prepared by CHA, dated April 14, 2016;
 16. Conceptual Constructed Wetland Exhibit EX2 (with topo and trees to be removed highlighted), prepared by CHA, dated April 14, 2016; and
 17. Additional Trees to be Removed for Constructed Wetland Basin, dated April 14, 2016

COMMENTS, REPORTS, RECOMMENDATIONS, AND PREVIOUS DECISIONS

The following documents were submitted to the Planning Board from Town boards, staff, and the general public for consideration during the public hearing:

1. Letter from James Verner on behalf of the Municipal Light Plant, dated July 17, 2015;
2. Memo from Deputy Chief DiGiandomenico on behalf of the Fire Department, dated July 23, 2015;
3. Memo from Meghan Jop to the Board of Selectmen, dated August 4, 2015;
4. Memo from the Natural Resources Commission, dated August 10, 2015;
5. Memo from Meghan Jop on behalf of the Board of Selectmen, dated August 11, 2015;
6. Letter from Lenny Izzo on behalf of the Board of Health, dated August 18, 2015;
7. Memo from George Saraceno on behalf of the Department of Public Works, dated August 19, 2015;
8. Letter from Tad Heuer on behalf of the Wellesley Historical Commission, dated August 19, 2015;
9. Memo from Michael Zehner, Planning Director, to the Planning Board, dated August 20, 2015;
10. Memo from Michael Zehner, Planning Director, and Imaikalani Aiu, Assistant Planning Director, to the Planning Board, dated September 2, 2015;



11. Letter from Tad Heuer on behalf of the Wellesley Historical Commission, dated September 29, 2015;
12. Letter from Tad Heuer on behalf of the Wellesley Historical Commission, dated October 2, 2015.
13. Memo from Michael Zehner, Planning Director, and Imaikalani Aiu, Assistant Planning Director, to the Planning Board, dated October 2, 2015;
14. Memo from Michael Zehner, Planning Director, and Imaikalani Aiu, Assistant Planning Director, to the Planning Board, dated October 23, 2015;
15. Email from Kevin Hanron, dated October 23, 2015; and
16. Letter from Victoria Ostler to the Board of Selectmen, dated October 28, 2015;
17. Email from Denny Nackoney on behalf of the Trails Committee, dated November 2, 2015;
18. Email from George Saraceno on behalf of the Department of Public Works, dated November 13, 2015;
19. Email from Charles Pierce, dated November 19, 2015;
20. Letter from Lenny Izzo on behalf of the Board of Health, dated November 30, 2015;
21. Memo from Terry Connolly on behalf of the Board of Selectmen, dated December 2, 2015;
22. Memo from Michael Zehner, Planning Director, and Imaikalani Aiu, Assistant Planning Director, to the Planning Board, dated December 4, 2015;
23. Letter and documents from Stanley Norkunas, received on December 7, 2015 (referred to at the December 7 meeting);
24. Memo from Michael Zehner, Planning Director, and Imaikalani Aiu, Assistant Planning Director, to the Planning Board, dated December 30, 2015;
25. Memo from Michael Zehner, Planning Director, and Imaikalani Aiu, Assistant Planning Director, to the Planning Board, dated March 3, 2016;
26. Letter from Robert Kenney, WHDC, dated April 14, 2016;
27. Memo from Michael Zehner, Planning Director, to the Planning Board, dated April 15, 2016;
28. Letter from Lenny Izzo to Michael Zehner, dated April 15, 2016;

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29. Inclusionary Zoning Special Permit Decision, filed with the Town Clerk on April 26, 2016;
30. Memo from George Saraceno to Michael Zehner, dated April 29, 2016;
31. Natural Resources Protection Development Standards Special Permit Decision, filed with the Town Clerk on May 6, 2016; and
32. Memo from Michael Zehner, Planning Director, to the Planning Board, dated May 13, 2016;

REVIEW REQUIREMENTS

Per Chapter 41, Section 81U, *Approval, modification or disapproval of plan by board*, prerequisites for decision, of the Subdivision Control Law, a recommendation of approval of the Definitive Plan by the Board of Health/Director of Health is a prerequisite to the Board's approval of the Plan. Further, the Section requires the Planning Board to determine whether the Definitive Plan complies with the Subdivision Control Law and Subdivision Regulations.

Pursuant to Ch. 41, Section 81R of the Subdivision Control Law, and Section VIII, *Administration*, subsection B., *Waiver of Compliance*, of the Subdivision Regulations, the Planning Board is required to determine whether the waivers requested from (strict compliance with) the Subdivision Regulations are in the public interest and not inconsistent with the intent and purpose of the Subdivision Control Law.

Pursuant to Section IV, *Submission and Approval of Subdivision Plans*, B. *Definitive Plan*, 4., *Procedure*, c., *Certificate of Approval*, of the Subdivision Regulations, the action of the Planning Board, following a public hearing, is to be by voice vote, with copies of the Board's action to be filed with the Town Clerk and sent to the Applicant.

PUBLIC HEARING

Pursuant to Ch. 41, Sec. 81T of the Subdivision Control Law and Section IV, *Submission and Approval of Subdivision Plans*, B. *Definitive Plan*, 4., *Procedure*, b., *Public Hearing*, of the Subdivision Regulations, the Planning Board opened a duly advertised public hearing on August 24, 2015, which was continued until September 8, 2015, then again to October 6, 2015, then again to October 26, 2015, then again to December 7, 2015, then again to January 4, 2016, then again to March 7, 2016, then again to April 19, 2016, then again to May 2, 2016, and finally to May 16, 2016. Pursuant to Ch. 41, Section 81U of the Subdivision Control Law, beginning at the October 26, 2015 meeting, the Applicant requested and the Planning Board granted extensions of the 135-day period from submission by which the Board is required to act on the Definitive Plan; such extensions were requested and granted at each subsequent meeting during which the application was considered.

There was no evidence presented, or deliberations of the Planning Board, at the sessions of the public hearing held on August 24, 2015 and October 26, 2015. All sessions of the public

hearing were held in the Wellesley Town Hall, 525 Washington Street, Wellesley, Massachusetts.

Ms. Johnson and Ms. Conroy were present at all sessions of the public hearing during which evidence was presented and deliberations were held. Ms. Warshaw and Ms. Pfadt were not present for the session of the public hearing held on September 8, 2015 during which evidence was presented and deliberations were held; Ms. Carpenter was not present for the session of the public hearing held on March 7, 2016 during which evidence was presented and deliberations were held. Pursuant to M.G.L., Ch. 39, §23D, and §6.8A of the Town Bylaws, Ms. Warshaw, Ms. Pfadt, and Ms. Carpenter certified that they examined all of the evidence received at the hearing sessions that were missed, including audio or video recordings of the missed hearing sessions.

During the course of the public hearing, much of the discussion and comments from the Applicant, the Planning Board, and the general public concerned the Subdivision's conformance with the Subdivision Regulations and the standards of the Natural Resources Protection Development Bylaw; consideration was also given to the proposed and issued special permits under the Inclusionary Zoning Bylaw and Natural Resources Protection Development Bylaw.

After comments were concluded at the May 16, 2016 session of the public hearing, Ms. Conroy made a motion to close the public hearing. Ms. Warshaw seconded the motion. The Board voted 5-0 to close the public hearing. Subsequently, and agreeing to the Applicant's request for an extension, Ms. Conroy made a motion to continue consideration of the Board's action to June 6, 2016. Ms. Warshaw seconded the motion. The Board voted 5-0 to continue consideration of the Board's action to June 6, 2016.

FINDINGS & VOTE

Following the close of the public hearing on May 16, 2016, the Planning Board, at the meeting on June 6, 2016, discussed options for action on the application, reviewed and suggested edits to the draft decision and conditions, and heard requested edits from the Applicant. Following these discussions, as well as comments from members of the public in attendance, Ms. Carpenter asked for a motion if members were prepared to vote on the Definitive Plan for the Subdivision. Ms. Warshaw made a motion to approve the Definitive Plan for the Subdivision, consisting of the following plans, based on a determination that the Definitive Plan complies with the Subdivision Control Law and the Subdivision Regulations:

Fieldstone Way Definitive Subdivision Plan Set, prepared by CHA

- C-001 Cover Sheet, dated last revised April 4, 2016
- V-001 Existing Conditions Plan (Sheet 1), dated July 1, 2015
- V-002 Existing Conditions Plan (Sheet 2), dated July 1, 2015
- V-101 Lot Layout Plan (Sheet 1), dated last revised April 4, 2016
- V-102 Lot Layout Plan (Sheet 2), dated last revised April 4, 2016
- C-002 Legend & General Notes, dated last revised April 4, 2016
- C-003 Demolition Plan, dated last revised April 4, 2016
- C-101 Site Layout Plan, dated last revised April 4, 2016

- C-201 Soil Erosion and Sediment Control Plan, dated last revised April 4, 2016
- C-202 Grading & Drainage Plan, dated last revised April 4, 2016
- C-301 Roadway Plan and Profile, dated last revised April 4, 2016
- C-401 Utility Plan and Profile, dated last revised April 4, 2016
- C-501 Landscape Plan, dated last revised April 4, 2016
- C-601 Details, dated last revised April 4, 2016
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and, inclusive of the approval of the following waivers from the Subdivision Regulations based on a determination that the waivers requested are in the public interest and not inconsistent with the intent and purpose of the Subdivision Control Law:

1. Waiver from Section V., *Design Requirements*, B., *Streets*, 2., *Street Width*, to eliminate the minimum required 40' radius at the right-of-way intersection of the proposed street/way and Great Plain Avenue;
2. Waiver from Section V., *Design Requirements*, B., *Streets*, 3., *Grade*, to reduce the minimum design speed for the street from 30 mph to 25 mph;
3. Waiver from Section V., *Design Requirements*, B., *Streets*, 4., *Dead End Streets*, to reduce the minimum required pavement width from 24' to 22';
4. Waiver from Section VII., *Construction of Streets*, D., *Sidewalks*, to provide a sidewalk along only one side of the proposed street/way; and
5. Waiver from Section VII., *Construction of Streets*, K., *Trees*, to increase the maximum separation between street trees to greater than 60'.

(collectively "the Approved Plans") and subject to the following conditions to ensure the Definitive Plan's compliance with the Subdivision Control Law and Subdivision Regulations, and that the approved waivers are in the public interest and not inconsistent with the intent and purpose of the Subdivision Control Law:

1. The Subdivision shall be developed in substantial accordance with the Approved Plans, except where revisions may be required by other conditions.
2. Prior to the endorsement of the Definitive Plan by the Planning Board, the Approved Plans shall be revised to address the following:
 - a. A note shall be added referencing this Certificate of Planning Board Action - Approval, along with its recorded location at the Norfolk County Registry of Deeds;

- b. A note shall be added indicating the waivers from the Subdivision Regulations approved by the Planning Board;
- c. The Concrete Curb Ramp and Crosswalk Detail shall be revised to show a "ladder" painted crosswalk;
- d. Include a note for the detectable warning panel for the wheelchair ramp on Great Plain Avenue, east of the driveway to the subdivision;
- e. Edits to relate plan leaders to construction details with detail numbers that correspond to sheet numbers;
- f. Revise General Notes Item #8 of the Legend and General Notes on Sheet C-002 to identify whether benchmarks will be set prior to construction or added after construction;
- g. Clearly show the measure to control the site limits;
- h. The Applicant should certify the cut and fill calculations shown on the plans, and revise if necessary;
- i. Preserved trees should be shown on all plans.
- j. Revise Sheet C-401 - Utility Plan and Profile, to show stationing on the roadway so that it can be compared to the stationing on the profile.
- k. Revise Sheet C-202 - Grading and Drainage Plan, to update structure labels.
- l. Revise the Approved Plans to show cross sectional detail with proposed elevations for UG1 and UG2, and include a note for the proposed Stormtech Unit number; revise appropriate "Details" sheets to include cross sectional detail;
- m. For the Lot 12 driveway and the street entrance from Great Plain Avenue, provide a sufficient number of spot grades to assure that stormwater runoff from Great Plain Avenue will not flow into the driveway or street;
- n. The outlet control structure details, structure table, and elevation data should match as included on Sheet C-202 - Grading and Drainage Plan and Sheet and Sheet C-601 - Details;
- o. Revise Sheet C-202 - Grading and Drainage Plan, Notes #4 to indicate the number of chambers as twenty-one (21);
- p. Revise plans to provide water service connections for Lots 6, 7, and 8 that are straight;
- q. Revise Sheet C-003 - Demolition Plan to include a note requiring notification of the Board of Health prior to removal of the existing septic systems and wells;

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- r. Revise Sheet C-401 - Utility Plan and Profile to provide flow arrows for the sanitary sewer gravity main and force main;
- s. Revise Sheet C-401 - Utility Plan and Profile to relocate the proposed curb stops to within the limits of the right-of-way for easier access to the gate valves;
- t. Revise Sheet C-401 - Utility Plan and Profile by adding a note on the profile that shows the location of the proposed sanitary sewer ejector station;
- u. If necessary information is provided by the Wellesley Department of Public Works, revise Sheet V-001 - Existing Conditions Plan to show the location of the recently installed sanitary sewer force mains;
- v. Revise Sheet C-602 - Details to include cleanouts for sanitary sewer house connection services; refer to the Town of Wellesley Sewer Connection Detail;
- w. Revise the Approved Plans to provide for the sewer laterals for Lot 7 & Lot 8, manhole for the horizontal change in direction;
- x. Revise Sheet C-401 - Utility Plan and Profile by amending Note 13 to state that the water meter and backflow devices will need to be approved by the Water & Sewer Division prior to installation;
- y. Revise the Approved Plans to show the sewer force main into SMH8 to be insulated whenever there is less than 4' of ground cover;
- z. Revise Sheet C-603 - Details to ensure that the sewer pump station pipe sizes for sanitary sewer match in both the plan view and elevation view;
- aa. Revise the Approved Plans by adding a note that an enclosure will be provided for the plywood, or better, mounting control panel for the pump station, to be separately designed, and approved by the Planning Director;
- bb. Revise the Approved Plans by adding a note that landscape screening will be provided for the proposed sewer pump station, to be separately designed, and approved by the Planning Director;
- cc. Revise the Approved Plans by adding a note that the emergency generator for the sewer pump station will use natural gas, and that the manufacturer's information will be provided to the Department of Public Works prior to installation;
- dd. Revise Sheet C-603 - Details to provide buoyancy calculations for the proposed 5,000 gallon precast concrete sewer pump station and show the groundwater depth on the sewer pump station elevation view ;
- ee. Revise Sheet C-607 - Details by adding a note indicating that the sewer pump station is for Lot 12.

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 WELLESLEY MA 02459
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- ff. Revise the Approved Plans to correct the invert of 16.3 shown for SMH9 (doghouse MH) ;
- gg. Revise the Approved Plans to show orifices within the weir wall for the outlet control structures and confirm the capacity of the 18" outlet pipe for all design storms;
- hh. Revise the Approved Plans by adding a note indicating that the proposed sanitary sewer pump station is to be owned, operated, and maintained by the homeowners association/organization; and
- ii. Revise the Approved Plans to ensure that the street tree planting detail is consistent with current planting practices and/or the Town's Tree Planting Detail; planting mixture with fertilizer shall not be used for trees.
3. Prior to the endorsement of the Definitive Plan by the Planning Board all improvements detailed on the Definitive Plan shall have been installed, or the Applicant shall present the Planning Board with an appropriate performance guarantee, to be accepted by the Board, securing the construction of ways and installation of services and utilities.
4. Prior to commencing land disturbance activities the Applicant shall:
- Provide a phasing plan for development of the Subdivision, to be approved by the Planning Director. This phasing plan shall be separate from, but consistent with, the Construction Management and Phasing Plan included as Appendix G to the Subdivision Permitting Report dated revised April 4, 2016. The phasing plan shall specify the areas to be disturbed and the improvements to be completed in association with the release of certain lots for construction and eventual sale. The phasing plan may be updated and/or revised as necessary to account for development and lot release; any such updates or revisions shall be provided to the Planning Director for approval;
 - Notify the Town's Planning Director, Department of Public Works, and Police Department;
 - Install all temporary construction fencing, tree protection fencing, and erosion and sediment control fencing specified in the Approved Plans and the Tree Protection and Mitigation Plan included as Appendix H to the Subdivision Permitting Report dated revised April 4, 2016;
 - Prior to the installation of temporary construction fencing affecting or requiring the removal of public shade trees, provide the Planning Director with a letter from the Town's Tree Warden approving installation of the fencing and the removal of public shade trees;
 - Notify the Planning Director and the Town Engineer of the responsible party for preparation of the Stormwater Pollution Prevention Plan ("SWPPP") and

Construction General Permit ("CGP") for the Subdivision, and submit copies of the SWPPP and CGP to the Planning Director and Town Engineer;

- f. Revise the Operations & Maintenance Plan to show the location of the proposed OCS1 at the UG1 underground infiltration system; and
 - g. Provide a table in the Stormwater Analysis for the Subdivision showing the pre and post-development peak rate and volume runoff calculations.
5. During the course of development, including the construction of any homes on lots in the Subdivision, the Applicant shall:
- a. Maintain at least three (3) benchmarks with elevations and triangulation information;
 - b. Comply with a restriction requiring all vehicles associated with development of the Subdivision or construction within the Subdivision and weighing more than 6,000 lbs to access the Subdivision from Needham over Great Plain Avenue, and to depart the site over Great Plain Avenue towards Needham;
 - c. Prohibit the parking of vehicles and equipment, or the storage of materials, on the right-of-way of Great Plain Avenue;
 - d. At periodic intervals, provide documentation to the Planning Director, Town Engineer, and Board of Health as to the origin of any fill material brought to the site, along with a report from a licensed engineer detailing the composition of the fill material. Fill material shall not contain asphalt, brick, or concrete;
 - e. Coordinate and arrange for the Director of the Health Department to witness the abandonment and removal of all components of the existing septic systems currently on the property;
 - f. Coordinate and arrange for the Director of the Health Department to witness the decommissioning and abandonment of the existing potable water well and well house;
 - g. Comply with the Tree Protection and Mitigation Plan included as Appendix H to the Subdivision Permitting Report dated revised April 4, 2016; and
 - h. Protect the stone pillars and associated fieldstone located in the right-of-way of Great Plain Avenue.
6. Prior to the issuance of building permits for any of the lots in the Subdivision, the Applicant shall:
- a. At a minimum, establish base course paving along the frontage of the lot for which a permit is being sought. No lots shall be released for building permits unless the timing of the release is consistent with the approved phasing plan (Condition 4.a.);

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- b. Receive final approval of the street name and address numbers for the lots within the Subdivision from the Board of Selectmen and/or the Selectmen's Office;
 - c. Identify easements to be granted to the Town and private easements; recorded easement plans and descriptions must be completed prior to issuance of building permits and shall be made available to the Town in electronic format;
 - d. Provide to the Planning Director a certification from a licensed engineer of at least one (1) commonly accepted Low Impact Development stormwater management best practice to be used on each lot.
 - e. Provide to the Planning Director for approval a design for the sanitary pump station control panel and junction disconnect mounting enclosure; the design shall include information regarding the manufacturer's information for the emergency generator mounting panel size, material, location, and landscape screening.
7. Prior to the conveyance by the Applicant of any lot within the Subdivision with a house constructed thereon, the Applicant shall:
- a. Record an agreement or declaration at the Norfolk County Registry of Deeds establishing an association/organization of the homeowners and setting forth the responsibilities of homeowners in the subdivision; Lot 12 may or may not be subject to this agreement or declaration, or portions thereof, at the discretion of the Applicant. Prior to recording this agreement or declaration, the Applicant shall submit the document to the Planning Director for final approval; prior to the Planning Director's approval, the Planning Director and Town Counsel shall review the document and confirm that it is sufficient with respect to the conditions of this Certificate and the requirements of Section XVIF of the Zoning Bylaw. At a minimum, the agreement or declaration shall include provisions for the following:
 - i. The association/organization to have responsibility for the general maintenance of the roadway and sidewalks;
 - ii. The association/organization to have responsibility for snow plowing and snow removal from the proposed street/way;
 - iii. The association/organization to have responsibility for operation, management, and maintenance of the sanitary sewer system;
 - iv. The association/organization to have responsibility for operation, management, and maintenance of the drainage and storm water systems;
 - v. The association/organization to have responsibility for, as allowed by the Department of Public Works and/or Board of Selectmen, for the monthly maintenance, including the removal of trash and debris, from the right-of-way of Great Plain Avenue;

- vi. The association/organization to have responsibility for, as allowed by the Department of Public Works and/or Board of Selectmen, the maintenance and preservation of the stone pillars and associated fieldstone located in the right-of-way of Great Plain Avenue, to delineate the entrance to the trail;
 - vii. The association/organization to have responsibility for the trail and open space, consistent with the requirements of the Conservation Restriction;
 - viii. Prohibition on the connection of house foundation drains and/or sump pumps to the stormwater system;
 - ix. A requirement that, after conveyance of a lot from the Applicant to any entity, any increase of impervious surface so that the total impervious surface is greater than 3,500 square feet on any individual lot requires the submission to the homeowners organization of a stormwater analysis prepared by a licensed engineer certifying the adequacy of the subsurface drainage system; the agreement or declaration shall also include a means by which such requests are approved by the organization; and
 - x. A prohibition on the use of exterior lighting on any lot that is not Dark Sky compliant/rated.
- b. For Lot 7, record a Deed Restriction governing the maintenance and preservation of the existing stone "playhouse" building for a term of 30 years. Prior to recording the Deed Restriction, the Applicant shall submit the document to the Planning Director for final approval; prior to the Planning Director's approval, the Planning Director and Town Counsel shall review the document and confirm that it sufficiently ensures the maintenance and preservation of the playhouse for a period of 30 years;
- c. Comply with the Tree Planting Covenant contained in the Tree Protection and Mitigation Plan included as Appendix H to the Subdivision Permitting Report dated revised April 4, 2016; and
- d. Install stone markers, reusing fieldstones from existing stone walls on the site to be removed, at the corners of each lot common with the protected open space.
8. Upon completion of the Subdivision and prior to the final release of the performance guarantee, the Planning Board shall issue to the Applicant a Certificate of Completion. The following must be satisfied prior to the issuance of a Certificate of Completion for the Subdivision:
- a. The Great Plain Avenue frontage of the Subdivision, from curb to curb, shall be milled and paved. The Applicant shall coordinate this work with the Department of Public Works, perform the work consistent with Department of Public Works specifications, and receive final approval of the work from the Department of Public Works. Prior to commencing this work, the Applicant shall provide a detail for the mill and overlay work, including a detail for the sidewalk replacement, for Department of Public Works approval;

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 WESTLEY, MA 02082
 JUN 21 P 2:19

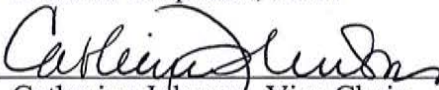
- b. Provide project inspection reports prepared by a licensed engineer indicating satisfactory inspections of the installed utilities and roadway, as well as of general construction activities, to be submitted to the Planning Board with copies to the Town Engineer;
- c. Provide an as-built plan for the Subdivision, consistent with the requirements of the Subdivision Regulations and providing a minimum of three (3) benchmarks with elevations and triangulation information.
- d. The Applicant shall provide the documents establishing a Conservation Restriction to be placed on the open space to the Planning Director for final approval; prior to the Planning Director's approval, the Planning Director and Town Counsel shall review the document and confirm that it is sufficient with respect to the conditions of this Certificate and the requirements of Section XVIF of the Zoning Bylaw;
- e. Transfer the open space and right-of-way, by deed, to the homeowners association/organization, or, with respect to the open space, another entity approved to hold and maintain the open space;
- f. Establish a public access easement over the trail leading from Great Plain Avenue to the Sudbury Aqueduct;
- g. If applicable, the Applicant shall register UG1 with the Massachusetts Underground Injection Control program;
- h. The supplemental tree plantings in the open space corridors shall be made consistent with the Tree Protection and Mitigation Plan included as Appendix H to the Subdivision Permitting Report dated revised April 4, 2016;
- i. With the approval of the Department of Public Works and/or Board of Selectmen, install ADA ramps at the existing crosswalks on Great Plain Avenue approximately 1,000 feet west of the Subdivision;
- j. With the approval of the Department of Public Works and/or Board of Selectmen, install additional pedestrian crosswalk signs for existing crosswalks, the type and location of these signs to be consistent with the report from BETA Group dated September 2, 2015; and
- k. With the approval of the Department of Public Works and/or Board of Selectmen, install an electronic feedback speed limit sign (non-solar) coupled with a 35 mph speed limit regulatory sign for the Great Plain Avenue westbound travel direction, and an electronic feedback speed limit sign (non-solar) for the Great Plain Avenue eastbound travel direction.


Ms. Johnson seconded the motion. Ms. Carpenter called for a vote on the motion. The Board voted 5 - 0 to approve the motion, approving the Definitive Subdivision.

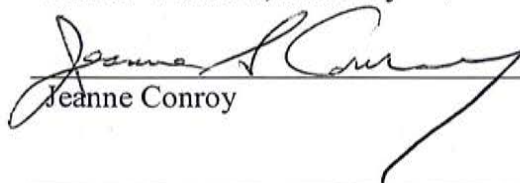
APPEALS FROM THIS DECISION, IF ANY, SHALL BE MADE WITHIN 20 DAYS AFTER THE DATE OF THE FILING OF THIS CERTIFICATE IN THE OFFICE OF THE TOWN CLERK PURSUANT TO GENERAL LAWS CHAPTER 41, SECTION 81V.

WELLESLEY PLANNING BOARD


Deborah Carpenter, Chair


Catherine Johnson, Vice Chair


Harriet Warshaw, Secretary


Jeanne Conroy

Lara Pfadt, AIA

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WELLESLEY MA 02482
JUN 21 P 2:19

NOT VALID UNTIL CERTIFIED BY TOWN CLERK

In accordance with Massachusetts General Laws, Chapter 41, Section 81V, I hereby certify that twenty (20) days have elapsed after the within decision was filed in the office of the Town Clerk for the Town of Wellesley, and that no appeal has been filed, or that if such appeal has been filed, that it has been dismissed or denied.

Date: July 11, 2016

Attest:



Kathleen F. Nagle
Town Clerk

- NOTE:
- 1.) THESE PLANS ARE SUBJECT TO CERTIFICATE OF PLANNING BOARD ACTION-APPROVAL, DATED JUNE 21, 2016, AND RECORDED IN BOOK 35282, PAGE 411.
- 2.) THE FOLLOWING WAIVERS FOR THE SUBDIVISION REGULATIONS HAVE BEEN APPROVED BY THE PLANNING BOARD:
- *WAIVER FROM SECTION V., DESIGN REQUIREMENTS, B., STREETS, 2., STREET WIDTH, TO ELIMINATE THE MINIMUM REQUIRED 40' RADIUS AT THE RIGHT-OF-WAY INTERSECTION OF THE PROPOSED STREET/WAY AND GREAT PLAIN AVENUE.
- *WAIVER FROM SECTION V., DESIGN REQUIREMENTS, B., STREETS, 3., GRADE, TO REDUCE THE MINIMUM DESIGN SPEED FOR THE STREET FROM 30 MPH TO 25 MPH.
- *WAIVER FROM SECTION V., DESIGN REQUIREMENTS, B., STREETS, 4., DEAD END STREETS, TO REDUCE THE MINIMUM REQUIRED PAVEMENT WIDTH FROM 24' TO 22'.
- *WAIVER FROM SECTION VII., CONSTRUCTION OF STREETS, D., SIDEWALKS, TO PROVIDE A SIDEWALK ALONG ONLY ONE SIDE OF THE PROPOSED STREET/WAY.
- *WAIVER FROM SECTION VII., CONSTRUCTION OF STREETS, K., TREES, TO INCREASE THE MAXIMUM SEPARATION BETWEEN STREET TREES TO GREATER THAN 60'.

OWNER/APPLICANT:

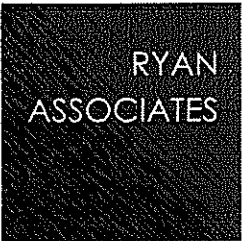
WELLESLEY RESIDENTIAL, LLC
c/o NORTHLAND RESIDENTIAL CORPORATION
20 MALL ROAD, SUITE 220
BURLINGTON, MASSACHUSETTS 01803

**SURVEYOR/ENGINEER/LANDSCAPE
ARCHITECT/PERMITTING:**



CHA CONSULTING, INC.
101 ACCORD PARK DRIVE
NORWELL, MA 02061
781-982-5400

LANDSCAPE ARCHITECT:



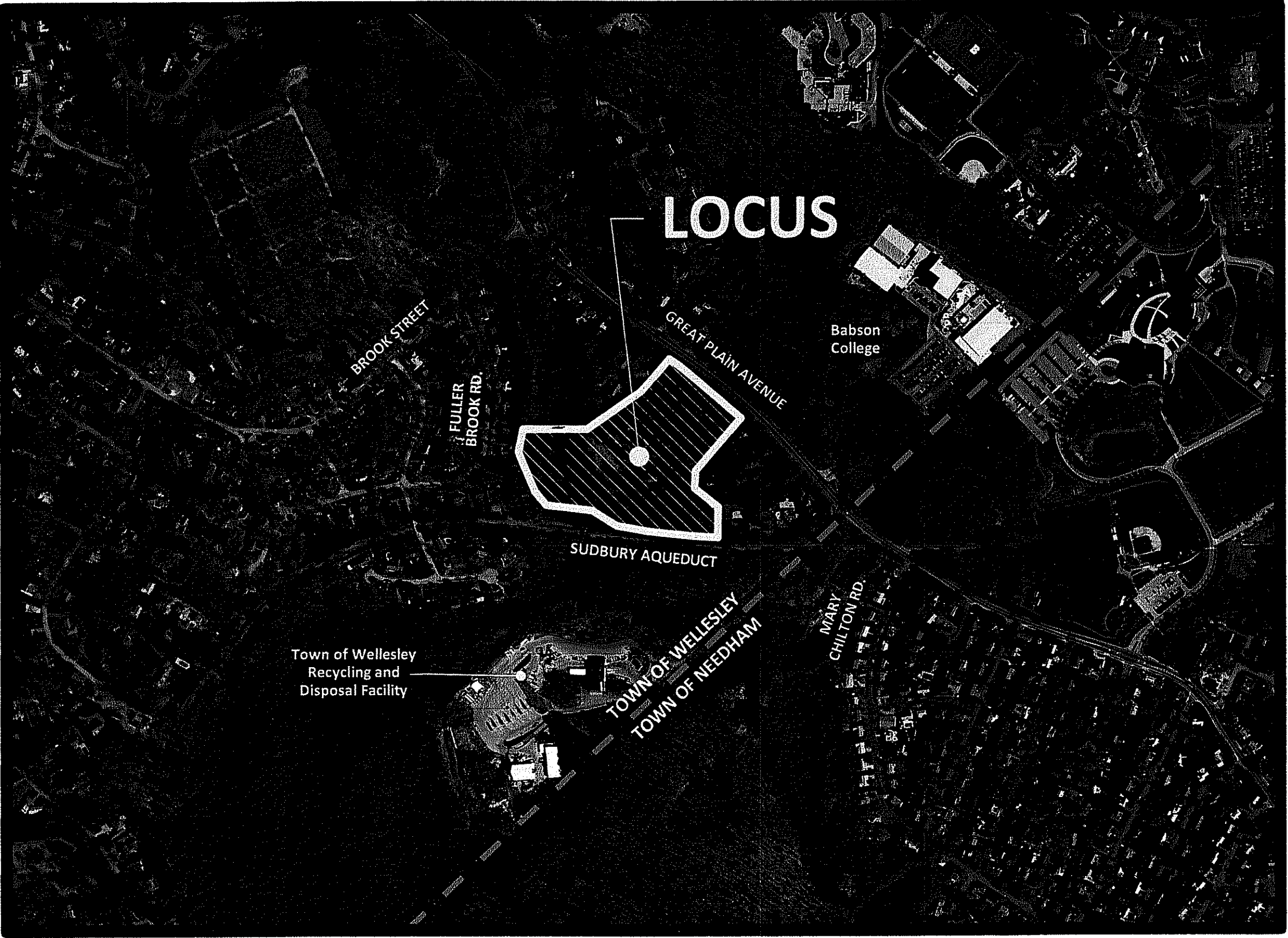
RYAN ASSOCIATES
144 MOODY STREET, BUILDING 4
WALTHAM, MA 02453
781-314-0401

FIELDSTONE WAY

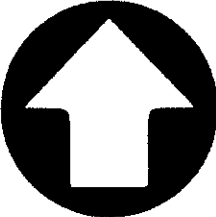
DEFINITIVE SUBDIVISION

PROPOSED 12 LOT RESIDENTIAL SUBDIVISION

135 GREAT PLAIN AVENUE
LOT 68-1
WELLESLEY, MASSACHUSETTS



NORTH



LOCUS MAP

SCALE: 1" = 500'



THIS PLAN IS APPROVED SUBJECT TO A CERTAIN COVENANT DATED JANUARY 11, 2017 AND TO BE DULY RECORDED WITH THE NORFOLK REGISTRY OF DEEDS HEREWITH.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature] DATE: 1/10/2017

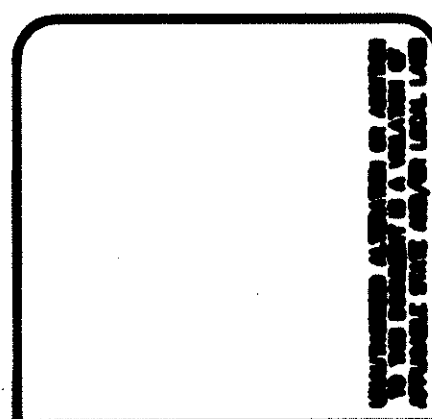
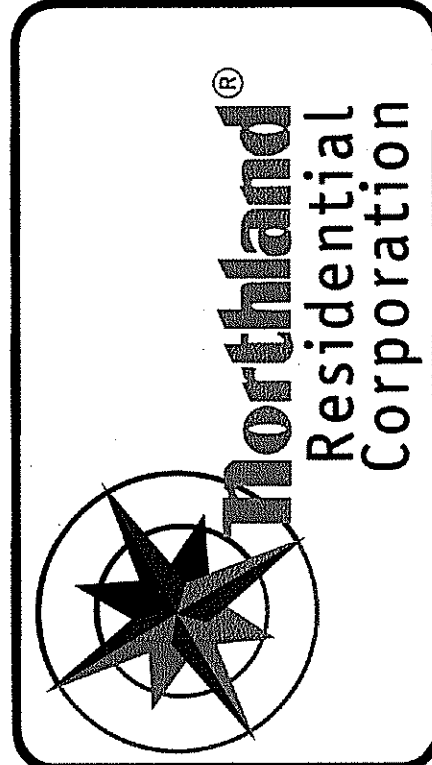
DRAWING INDEX:

C-001	COVER SHEET
V-001	EXISTING CONDITIONS PLAN (sheet 1)
V-002	EXISTING CONDITIONS PLAN (sheet 2)
V-101	LOT LAYOUT PLAN (sheet 1)
V-102	LOT LAYOUT PLAN (sheet 2)
C-002	LEGEND & GENERAL NOTES
C-003	DEMOLITION PLAN
C-101	SITE LAYOUT PLAN
C-201	SOIL EROSION & SEDIMENT CONTROL PLAN
C-202	GRADING & DRAINAGE PLAN
C-301	ROADWAY PLAN / PROFILE & SECTION
C-401	UTILITY PLAN & PROFILE
C-501	LANDSCAPE PLAN
C-601	DETAIL SHEET
C-602	DETAIL SHEET
C-603	DETAIL SHEET
C-604	DETAIL SHEET
C-605	DETAIL SHEET
C-606	DETAIL SHEET
C-607	DETAIL SHEET

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>[Signature]</i>	definitive application filed	7/2/2015
<i>[Signature]</i>	definitive plan filed	7/2/2015
<i>[Signature]</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20,000
DATE 1/17/2017	project number	PB-15-F-1
	PB number	PB-15-F-1

Plan Book 66
Page 25

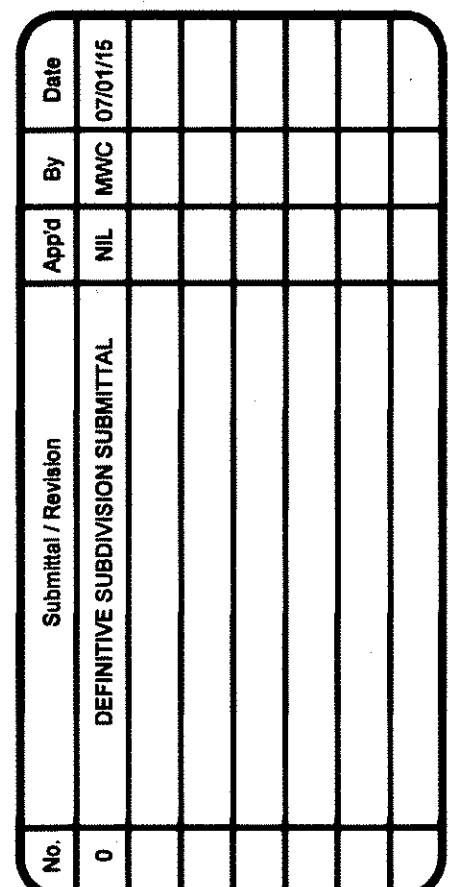
No.	Submitter / Revision	By	Date
0	DEFINITIVE SUBDIVISION SUBMITTAL	GRC	07/01/15
1	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	JPM	04/04/16
2	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	GRC	11/29/16
3	REVISED FOR PPM COMMENTS	GRC	01/01/17




Designed: CHA	Drawn: JPM	Checked: SK
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135 GREAT PLAIN AVENUE WELLESLEY, MASSACHUSETTS	COVER SHEET	Scale: AS NOTED
Issue Date: 07/01/15	Project No.: 28219	

C-001
SHEET 1 OF 20 SHEETS





 COMMONWEALTH OF MASSACHUSETTS
 WILLIAM J. DORGAN
 No. 49622
 PROFESSIONAL
 LAND SURVEYOR

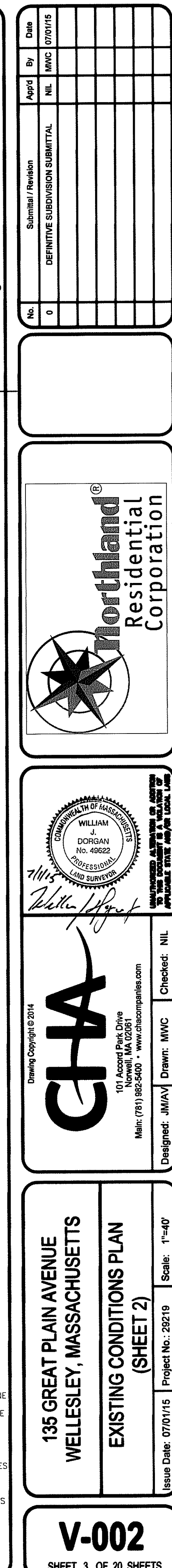
7/1/15
 White / J. J. J.

101 Accord Park Drive
 Norwell, MA 02061
 Main: (781) 982-5000 • www.crispsofmaplanet.com

Drawing Copyright © 2014

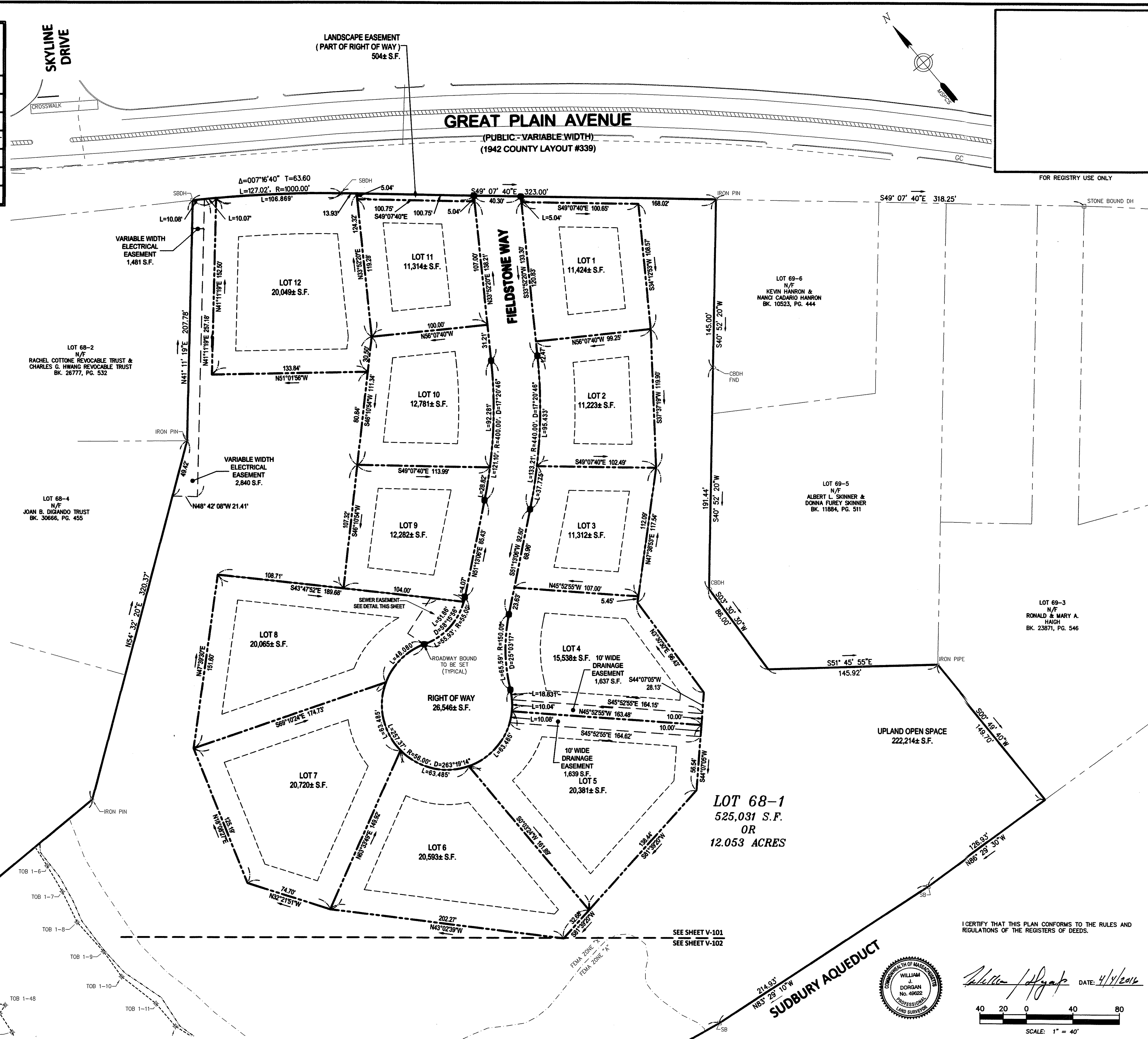
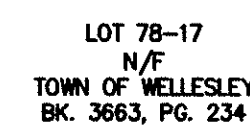
Designed: JMA/V Drawn: MWC Checked: NIL

<h2 style="margin: 0;">V-001</h2> <p style="margin: 0;">SHEET 2 OF 20 SHEETS</p>		
<div style="display: flex; justify-content: space-between;"> <div style="width: 40%;"> <p style="margin: 0;">135 GREAT PLAIN AVENUE</p> <p style="margin: 0;">WELLESLEY, MASSACHUSETTS</p> </div> <div style="width: 50%; text-align: center;"> <p style="margin: 0;">EXISTING CONDITIONS PLAN</p> <p style="margin: 0;">(SHEET 1)</p> </div> </div>		
Issue Date: 07/01/15	Project No.: 28219	Scale: 1"=40'

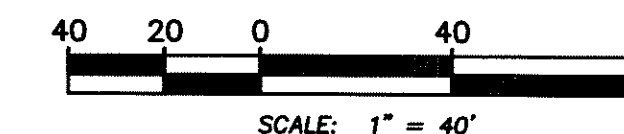
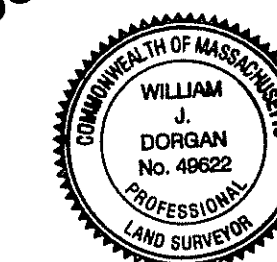
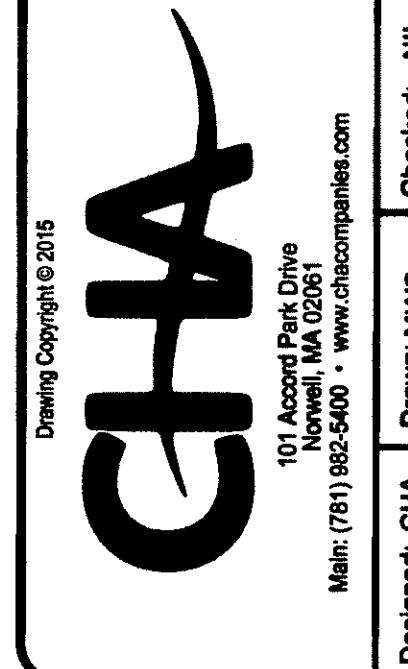
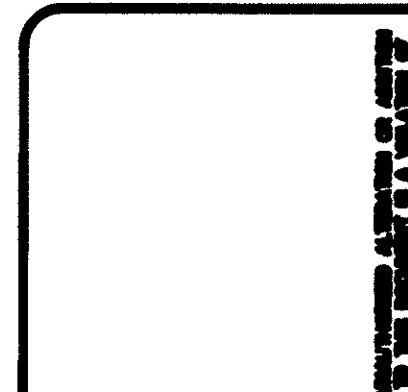
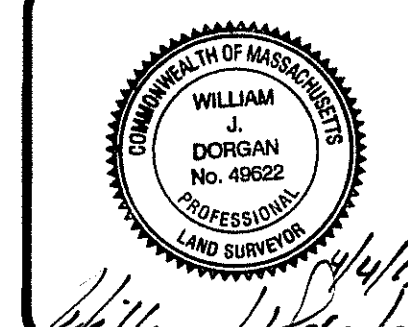


APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>Harold S. Derchak</i>	definitive application filed	7/2/2015
<i>William S. S. S. S.</i>	definitive plan filed	7/2/2015
<i>Janet R. R. R.</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20,000
DATE <u>1/17/2015</u>	project number	PB-15-F-1
	PB number	PB-15-F-1

5. 3 PERMEATE BENCHMARKS TO BE SET AFTER CONSTRUCTION



Letter 1 Draft DATE: 4/4/2001

[illegible]

**135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS**

LOT LAYOUT PLAN (SHEET 1)

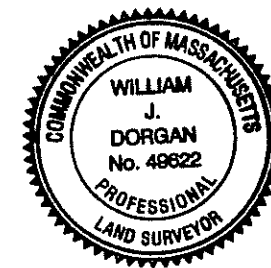
Issue Date: 07/04/15	Project No.: 20340	Scale: 4"=10'
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V-101

SHEET 4 OF 20 SHEETS

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

William J. Dorgan
DATE: 4/4/2016



FOR REGISTRY USE ONLY

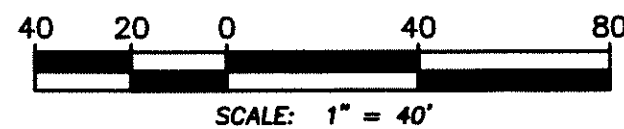
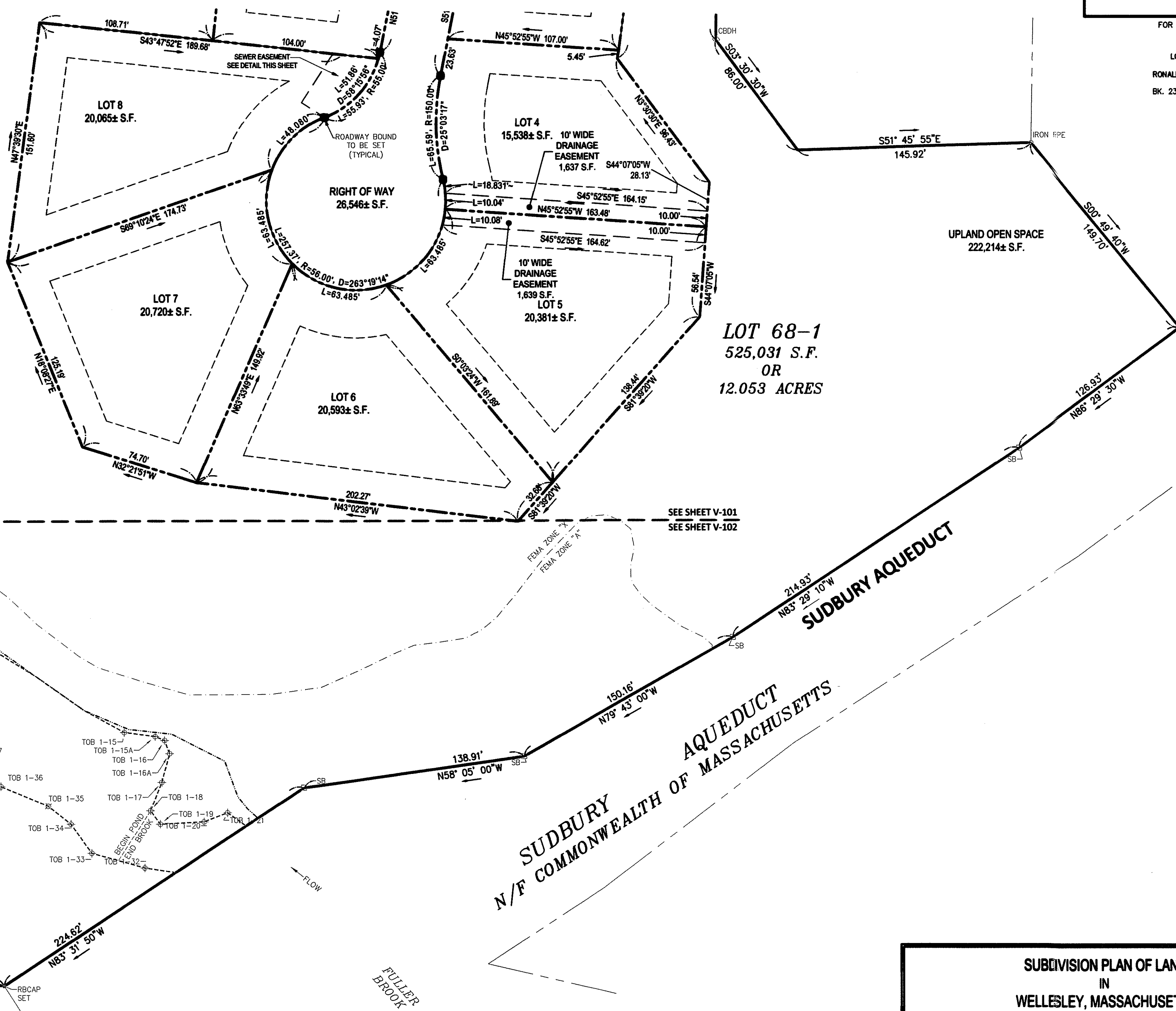
LOT 68-3
N/F
RONALD & MARY A.
HAIGH
BK. 23871, PG. 546

LOT 78-17
N/F
TOWN OF WELLESLEY
BK. 3663, PG. 234

LOT 79-2
N/F
JEFFREY T. WARD &
MICHELLE THOMAS WARD
BK. 13981, PG. 387

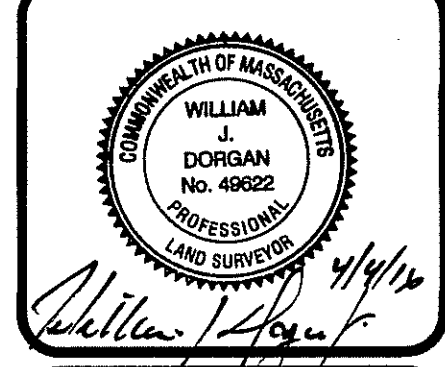
LOT 79-3
N/F
ROBERT L. HUGHES &
JACQUELINE B. FINARD-HUGHES
BK. 22374, PG. 114

LOT 79-4-A
N/F
CHARLES R. PIERCE
BK. 9649, PG. 655



SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>[Signature]</i>	definitive application filed	7/2/2015
<i>[Signature]</i>	definitive plan filed	7/2/2015
<i>[Signature]</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20,000
DATE 1/17/2017	project number	PB-15-F-1
	PB number	PB-15-F-1

No.	Submitted / Revision	DEFINITIVE SUBDIVISION SUBMITTAL	REVISION SUBDIVISION LAYOUT / RESPONSE TO COMMENTS
0			
1			



CHA
101 Accord Park Drive
Norwell, MA 02061
Main: (781) 982-5400 • www.chacompanies.com

Designed: CHA Drawn: MWC Checked: NIL

135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

LOT LAYOUT PLAN (SHEET 2)

Issue Date: 07/01/15 Project No.: 20219 Scale: 1"=40'

GENERAL

1. **PROTECTIONS**
- A. PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS, TREES OR VEGETATION.
- B. PROTECT IMPROVEMENTS ON ADJOINING PROPERTIES AND ON OWNER'S PROPERTY.
- C. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
- D. CONDUCT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH OPERATIONS, STREETS, WALKS, AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEP ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY.
2. UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE WELLESLEY DEPARTMENT OF PUBLIC WORKS (DPW), THE WELLESLEY SUBDIVISION RULES / REGULATIONS AND MASSACHUSETTS DOT SPECIFICATIONS FOR HIGHWAYS AND BRIDGES AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
3. ALL SLOPES, UNLESS OTHERWISE SPECIFIED, SHALL BE LOAMED AND SEEDED FOR STABILIZATION AS SOON AS POSSIBLE TO PREVENT EROSION INTO WETLAND RESOURCE AREAS, ADJUTING PROPERTIES, OR PUBLIC WAYS. EROSION CONTROL BLANKETS ARE REQUIRED FOR ALL 2H:1V SLOPES. SLOPES MAY NOT EXCEED 2H:1V.
4. ANY DEVIATIONS, I.E. "FIELD CHANGES" FROM THE DESIGN PLANS) MUST BE APPROVED BY THE DESIGN ENGINEER IN WRITING. CONTRACTOR SHOULD BE AWARE THAT LOCAL AND STATE AUTHORITIES HAVE JURISDICTION AND APPROVALS MUST BE OBTAINED FROM THE APPROPRIATE AUTHORITY PRIOR TO THE IMPLEMENTATION OF THE "FIELD CHANGE". CHA, INC. ASSUMES NO LIABILITY OR RESPONSIBILITY FOR WORK ASSOCIATED WITH FIELD CHANGES COMPLETED WITHOUT REGARD TO THE "FIELD CHANGE" PROCEDURE.
5. RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
6. *** DIG SAFE NOTE *** IN ACCORDANCE WITH MGL CH. 82, SEC. 40 INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES, IN WRITING, OF THE INTENT TO EXCAVATE, BLAST, DEMOLISH, BORE, OR PERFORM OTHER EARTH MOVING OPERATIONS NO LESS THAN 72 HOURS AND NO MORE THAN 30 DAYS PRIOR TO THE COMMENCEMENT OF SUCH WORK (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS) OR CALL "DIG SAFE" AT 1-888-DIG-SAFE.
7. EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF ANY CONSTRUCTION.
8. ADDITIONAL BENCHMARKS TO BE SET BY CONTRACTOR PRIOR TO CONSTRUCTION TO ENSURE QUALITY WORKMANSHIP.
9. ANY STILLING AND/OR DETENTION BASINS SHOULD RECEIVE PERIODIC MAINTENANCE DURING CONSTRUCTION TO REMOVE DEPOSITED SILTS AND DEBRIS TO ENSURE PROPERTY DRAINAGE AND SETTling OF PARTICULATE MATTER.
10. UNLESS OTHERWISE LABELED, ALL REINFORCED CONCRETE PIPE, RCP, SHALL BE CLASS III; ALL DUCTILE IRON PIPE SHALL BE CEMENT LINED CLASS 52; ALL PVC GRAVITY SEWER SHALL BE SDR 35. ALL PRESSURE SEWER SHALL BE SDR 24.

SITE WORK

1. **CAUTION - NOTICE TO CONTRACTOR**
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON LIMITED INFORMATION. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS) PRIOR TO ANY EXCAVATION, BLASTING, DEMOLITION, BORING, OR OTHER EARTH MOVING OPERATIONS TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AT NO ADDITIONAL EXPENSE TO OWNER.
2. **FILL MATERIAL**
- A. ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, AND DEBRIS PRIOR TO FILL PLACEMENT.
- B. PLACE APPROPRIATE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING EIGHT INCHES (8") IN LOOSE DEPTH AND COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT TO THE GREATER OF OR DESIGNATED BY A GEOTECHNICAL ENGINEER:
- B.1. ADJACENT UNDISTURBED SOIL, OR
- B.2. 95% OF THE MAXIMUM DRY DENSITY OF THE EMBANKMENT MATERIAL AS DETERMINED BY AASHTO STANDARD METHOD T99, METHOD C.
3. **FINISH GRADING**
- A. GRADE ALL AREAS WHERE FINISH GRADE ELEVATIONS ARE INDICATED ON DRAWINGS, OTHER THAN PAVED AREAS AND BUILDINGS, INCLUDING EXCAVATED AREAS, FILLED AND TRANSITION AREAS, AND LANDSCAPED AREAS. GRADED AREAS SHALL BE UNIFORM AND SMOOTH, FREE FROM DEBRIS, OR IRREGULAR SURFACE CHANGES. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED SUBGRADE ELEVATIONS, AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISH DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION POTENTIAL.
- B. GRADE SURFACE TO MATCH ADJACENT GRADES AND TO PROVIDE FLOW TO SURFACE DRAINAGE STRUCTURES, OR GRADE AS DESIGNATED ON THE PLANS AFTER FILL PLACEMENT AND COMPACTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEANUP OF THE PROJECT ON A DAILY BASIS AND AT THE COMPLETION OF THE PROJECT. OPEN TRENCHES, DITCHES, EXCAVATIONS, ETC. SHALL NOT BE PERMITTED TO BE LEFT OPEN OVERNIGHT. CONTRACTOR WILL BACKFILL OR UTILIZE SUITABLE STEEL PLATES FOR THE SECURING OF THE PROJECT SITE PRIOR TO CEASING WORK EACH DAY.
5. APPROPRIATE TRAFFIC CONTROL, I.E. SIGNAGE, BARRICADES, AND OTHER MEANS, WILL BE SUPPLIED BY THE CONTRACTOR IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL AGENCIES.
6. UNDER NO CIRCUMSTANCES MAY ANY UTILITY, STRUCTURE, AND/OR REPAIR BE BACKFILLED UNLESS INSPECTED AND APPROVED BY THE TOWN OFFICIALS AND/OR REPRESENTATIVE. RECEIPT OF APPROVAL TO BACKFILL WILL NOT RELEASE THE CONTRACTOR FROM ANY RESPONSIBILITY OR LIABILITY FOR PERFORMANCE TESTS REQUIRED AS PART OF THIS PROJECT.
7. PROPER SHORING AND TRENCH BOXES SHALL BE UTILIZED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATORY AGENCIES TO PROVIDE A SAFE WORKING ENVIRONMENT. SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS WITH EXPERIENCE IN SHORING DESIGN.
8. ALL UTILITIES DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

John Hall

DATE: 1-10-2017

SUBDIVISION PLAN OF LAND
IN
WELLESLEY, MASSACHUSETTS

APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>Harriet P. Desjardins</i>	definitive application filed	7/2/2015
<i>William J. Johnson</i>	definitive plan filed	7/2/2015
<i>James J. Lusk</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20,000
	project number	PB-15-F-1
DATE 1/17/2017	PB number	PB-15-F-1

SEWER NOTES

1. THESE NOTES ARE INTENDED TO SUPPLEMENT THE LOCAL REQUIREMENTS FOR MATERIALS AND WORKMANSHIP.
2. WATER AND SEWER MAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST LOCAL AND STATE CODES INCLUDING THE RECOMMENDATIONS OF THE AMERICAN WATER WORKS ASSOCIATION AND THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION TECHNICAL REPORT 16. CONSTRUCTION SHALL PROCEED IN A WORKMANLIKE MANNER WITH STATE-OF-THE-ART CONSTRUCTION TECHNIQUES.
3. THE CONTRACTOR SHALL INSULATE WATER AND SEWER MAINS AS INDICATED ON THE PLANS OR WHEN DESIGN OR CONSTRUCTION ENCUMBRANCES DICTATE ALIGNMENT TO OCCUR ABOVE THE FROST LINE. PROCUREMENT AND INSTALLATION OF PIPE INSULATION SHALL CONFORM TO THE REQUIREMENTS LISTED IN THE LATEST MASS. DOT STANDARD SPECIFICATIONS FOR SECTION 301.60P AND MATERIAL SPECIFICATION M9.11.1. THE PIPE INSULATION SHALL BE PRE-MOLDED TYPE CELLULAR GLASS INSULATION WITH ALUMINUM JACKET CONFORMING TO THE LATEST REQUIREMENTS OF ASTM-522 OR APPROVED EQUAL.
4. THE CONTRACTOR SHALL FOLLOW ALTERNATE CONSTRUCTION PROCEDURES WHEN DESIGN OR CONSTRUCTION ENCUMBRANCES PREVENT HORIZONTAL SEPARATION OF 10 FEET OR THE ALTERNATE OF 18 INCHES OF VERTICAL SEPARATION BETWEEN WATER AND SEWER MAINS. IN AREAS WHERE THE ABOVE OFFSETS CANNOT BE MAINTAINED, THE WATER MAIN SHALL BE CONSTRUCTED WITH MEGA-LUG MECHANICAL TYPE FITTINGS OR APPROVED EQUAL FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING OR LATERAL ENCRUMBMENT AND SHALL STRADDLE A FULL LENGTH OF CLASS 52 CEMENTED UNDED DUCTILE IRON WATER PIPE.
5. THE DEFLECTION IN ALL GRAVITY SEWER PIPE SHALL BE TESTED USING A 60, NO-GO MANDREL TEST TO ENSURE THAT PROPER INSTALLATION HAS OCCURRED. TEST SHALL CONFORM WITH PIPE MANUFACTURER'S RECOMMENDATIONS AND SHALL NOT INDICATE MORE THAN 7.5% DEFLECTION, U.O.N.
6. ALL TESTING SHALL CONFORM TO TOWN OF WELLESLEY REQUIREMENTS.
7. EACH SEGMENT OF THE SEWER MAIN INCLUDING MANHOLES SHALL BE LEAK TESTED AND OBSERVED BY A REPRESENTATIVE OF THE TOWN AND/OR ENGINEER IN ACCORDANCE WITH THE FOLLOWING PROCEDURES:

EXFILTRATION TEST: (NEW SEWER MANHOLES ONLY. CANNOT BE PERFORMED ON THE DOG-HOUSE MANHOLE.)

1. PREPARATION OF TEST: AFTER THE MANHOLE HAD BEEN ASSEMBLED IN PLACE, ALL LIFTING HOLES AND THOSE EXTERIOR JOINTS WITHIN SIX FEET OF THE GROUND SURFACE SHALL BE FILLED AND POINTED WITH AN APPROVED NON-SHRINKING MORTAR. THE TEST SHALL BE MADE PRIOR TO PLACING THE SHELF AND INVERT AND BEFORE FILLING AND POINTING THE HORIZONTAL JOINTS BELOW THE 6-FOOT DEPTH LINE. IF THE GROUNDWATER TABLE HAS BEEN ALLOWED TO RISE ABOVE THE BOTTOM OF THE MANHOLE, IT SHALL BE LOWERED FOR THE DURATION OF THE TEST. ALL PIPES AND OTHER OPENINGS INTO THE MANHOLE SHALL BE SUITABLE PLUGGED AND PLUGS BRACED TO PREVENT BLOW-OUT.
2. TEST PROCEDURE: THE MANHOLE SHALL THEN BE FILLED WITH WATER TO THE TOP OF THE CONE SECTION. IF THE EXCAVATION HAS NOT BEEN BACKFILLED AND OBSERVATION INDICATED NO VISIBLE LEAKAGE, THAT IS, NO WATER VISIBLY MOVING DOWN THE SURFACE OF THE MANHOLE, THE MANHOLE MAY BE CONSIDERED TO BE SATISFACTORILY WATERTIGHT. IF THE TEST AS DESCRIBED ABOVE IS UNSATISFACTORY AS DETERMINED BY THE ENGINEER OR IF THE MANHOLE EXCAVATION HAS BEEN BACKFILLED THE TEST SHALL BE CONTINUED. A PERIOD OF TIME MAY BE PERMITTED, IF THE CONTRACTOR WISHES, TO ALLOW FOR ABSORPTION.
3. AT THE END OF THIS PERIOD, THE MANHOLE SHALL BE REFILLED TO THE TOP OF THE CONE. IF NECESSARY, AND THE MEASURING TIME OF AT LEAST EIGHT HOURS BEGIN AT THE END OF THE TEST PERIOD, THE MANHOLE SHALL BE REFILLED TO THE TOP OF THE CONE, MEASURING THE VOLUME OF WATER ADDED. THIS AMOUNT SHALL BE EXTRAPOLATED TO A 24-HOUR RATE AND THE LEAKAGE DETERMINED ON THE BASIS OF DEPTH. THE LEAKAGE FOR EACH MANHOLE SHALL NOT EXCEED ONE GALLON PER VERTICAL FOOT FOR A 24-HOUR PERIOD. IF THE TEST FAILS THIS REQUIREMENTS, BY THE LEAKAGE DOES NOT EXCEED THREE GALLONS PER VERTICAL FOOT PER DAY, REPAIRS BY APPROVED METHODS MAY BE MADE AS DIRECTED BY THE ENGINEER TO BRING THE LEAKAGE WITHIN THE ALLOWABLE RATE ON ONE GALLON PER VERTICAL FOOT PER DAY. LEAKAGE DUE TO A DEFECTIVE SECTION OR JOINT OF EXCEEDING THE THREE-GALLON PER VERTICAL FOOT PER DAY RATE, SHALL BE CAUSE FOR THE REJECTION OF THE MANHOLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO UNCOVER, DISASSEMBLE, RECONSTRUCT OR REPLACE THE MANHOLE AS DIRECTED BY THE ENGINEER. THE MANHOLE SHALL THEN BE RE-TESTED AND, IF SATISFACTORY, INTERIOR JOINTS SHALL BE FILLED AND POINTED.
4. BACKFILLING: THE TEST MAY BE CONDUCTED EITHER BEFORE OR AFTER BACKFILLING AROUND THE MANHOLE. HOWEVER, IF THE CONTRACTOR ELECTS TO BACKFILL PRIOR TO TESTING, IT SHALL BE AT HIS OWN RISK AND IT SHALL BE INCIDENT UPON THE CONTRACTOR TO DETERMINE THE REASON FOR ANY FAILURE OF THE TEST. NO ADJUSTMENT IN THE LEAKAGE ALLOWANCE WILL BE MADE FOR UNKNOWN CAUSES SUCH AS LEAKING PLUGS, ABSORPTION, ETC., I.E., IT WILL BE ASSUMED THAT ALL LOSS OF WATER DURING THE TEST IS A RESULT OF LEAKS THROUGH THE JOINTS OF THROUGH THE CONCRETE. FURTHERMORE, THE CONTRACTOR SHALL TAKE ANY STEPS NECESSARY TO ASSURE THE ENGINEER THAT THE WATER TABLE IS BELOW THE BOTTOM OF THE MANHOLE THROUGHOUT THE TEST.

VACUUM TEST: (GRAVITY MANHOLES ONLY. CANNOT BE PERFORMED ON THE DOG-HOUSE MANHOLE.)

1. THE VACUUM TESTING SYSTEM SHALL BE SUPPLIED BY NPC SYSTEMS, INC. OR EQUIVALENT AS APPROVED BY THE ENGINEER. THE TESTING SHALL BE DONE IMMEDIATELY AFTER ASSEMBLY OF THE MANHOLE AND BEFORE BACKFILLING. A 60 LB-FT. TORQUE WRENCH SHALL BE USED TO TIGHTEN EXTERNAL CLAMPS THAT SECURE THE TEST COVER TO THE TOP OF THE MANHOLE. ALL LIFT HOLES SHALL BE PLUGGED WITH A NON-SHRINKING MORTAR. THE CONTRACTOR SHALL PLUG THE PIPE OPENINGS, TAKING CARE TO SECURELY BRACE THE PLUGS AND THE PIPE TO PREVENT THE PLUGS FROM BEING DRAWN INTO THE MANHOLE.
2. A VACUUM OF 10 INCHES OF MERCURY, HG (4.9 PSIG), SHALL BE DRAWN AND THE VACUUM PUMP SHUT OFF. THE MANHOLE PASSES THE TEST IF THE VACUUM REMAINS GREATER THAN OR EQUAL TO 9 INCHES HG (4.4 PSIG) FOR A PERIOD GREATER THAN ONE MINUTE FOR MANHOLES UP TO 10 FEET DEEP; ONE MINUTE FIFTEEN SECONDS FOR MANHOLES 10-15 FEET DEEP; AND ONE MINUTE THIRTY SECONDS FOR MANHOLES 15-25 FEET DEEP.

IF THE MANHOLE FAILS THE INITIAL TEST, THE CONTRACTOR SHALL LOCATE THE LEAKS AND MAKE PROPER REPAIRS. LEAKS MAY BE FILLED WITH A WET SLURRY OF ACCEPTED QUICK SETTING MATERIAL. IF THE MANHOLE FAILS THE VACUUM TEST AGAIN, ADDITIONAL REPAIRS MUST BE MADE, AND THE MANHOLE MUST BE TESTED BY EXFILTRATION AS OUTLINED ABOVE.

LEAKAGE TEST:

1. THE PIPELINES SHALL BE MADE AS NEARLY WATERTIGHT AS PRACTICABLE, AND LEAKAGE TESTS AND MEASUREMENTS SHALL BE MADE AFTER THE PIPELINE HAS BEEN BACKFILLED.
2. WHERE THE GROUNDWATER LEVEL IS MORE THAN 1 FT ABOVE THE TOP OF THE PIPE AT ITS UPPER END, THE CONTRACTOR SHALL CONDUCT EITHER INFILTRATION TESTS OR LOW PRESSURE AIR TESTS.
3. WHERE THE GROUNDWATER LEVEL IS LESS THAN 1 FT. ABOVE THE TOP OF THE PIPE AT ITS UPPER END, THE CONTRACTOR SHALL CONDUCT EITHER EXFILTRATION TESTS OR LOW PRESSURE AIR TESTS.
4. AT THE TIME OF THE TEST, THE CONTRACTOR SHALL DETERMINE THE GROUNDWATER ELEVATION FROM OBSERVATION WELLS, EXCAVATIONS OR OTHER MEANS, ALL SUBJECT TO REVIEW BY THE ENGINEER.
5. FOR MAKING THE LOW PRESSURE AIR TESTS, THE CONTRACTOR SHALL USE EQUIPMENT SPECIFICALLY DESIGNED AND MANUFACTURED FOR THE PURPOSE OF TESTING SEWER PIPELINES USING LOW PRESSURE AIR. THE EQUIPMENT SHALL BE PROVIDED WITH AN AIR REGULATORY VALVE OR AIR SAFETY SO SET THAT THE INTERNAL AIR PRESSURE IN THE PIPELINE CANNOT EXCEED 8 PSIG.
6. THE LEAKAGE TEST USING LOW PRESSURE AIR SHALL BE MADE ON EACH MANHOLE-TO-MANHOLE SECTION OF PIPELINE AFTER PLACEMENT OF THE BACKFILL.
7. PNEUMATIC PLUGS SHALL HAVE A SEALING LENGTH EQUAL TO OR GREATER THAN THE DIAMETER OF THE PIPE TO BE TESTED. PNEUMATIC PLUGS SHALL RESIST INTERNAL TEST PRESSURES WITHOUT REQUIRING EXTERNAL BRACING OR BLOCKING.
8. ALL AIR USED SHALL PASS THROUGH A SINGLE CONTROL PANEL.
9. LOW PRESSURE AIR SHALL BE INTRODUCED INTO THE SEALED LINE UNTIL THE INTERNAL AIR PRESSURE REACHES 4 PSIG. GREATER THAN THE MAXIMUM PRESSURE EXERTED BY THE GROUNDWATER THAT MAY BE ABOVE THE INVERT OF THE PIPE AT THE TIME OF THE TEST. HOWEVER, THE INTERNAL AIR PRESSURE IN THE SEALED LINE SHALL NOT BE ALLOWED TO EXCEED 8 PSIG. WHEN THE MAXIMUM PRESSURE EXERTED BY THE GROUNDWATER IS GREATER THAN 4 PSIG., THE CONTRACTOR SHALL CONDUCT ONLY AN INFILTRATION TEST.
10. AT LEAST TWO MINUTES SHALL BE ALLOWED FOR THE AIR PRESSURE TO STABILIZE IN THE SECTION UNDER TEST. AFTER THE STABILIZATION PERIOD, THE LOW PRESSURE AIR SUPPLY HOSE SHALL BE QUICKLY DISCONNECTED FROM THE CONTROL PANEL. THE TIME REQUIRED IN MINUTES FOR THE PRESSURE IN THE SECTION UNDER TEST TO DECREASE FROM 3.5 TO 2.5 PSIG (GREATER THAN THE MAXIMUM PRESSURE EXERTED BY GROUNDWATER THAT MAY BE ABOVE THE INVERT OF THE PIPE) SHALL NOT BE LESS THAN THAT SHOWN IN THE FOLLOWING TABLE:

PIPE DIAMETER IN INCHES VS. MINUTES

6"	5.0 MIN. 40 SEC.
8"	7.0 MIN. 34 SEC.
10"	9.0 MIN. 26 SEC.
12"	11.0 MIN. 20 SEC.
14"	14.0 MIN. 10 SEC.
16"	17.0 MIN. 0 SEC.
21"	19.0 MIN. 50 SEC.
24"	22.0 MIN. 40 SEC.
27"	25.0 MIN. 30 SEC.

11. FOR MAKING THE INFILTRATION AND EXFILTRATION TESTS, THE CONTRACTOR SHALL FURNISH SUITABLE TEST PLUGS, WATER PUMPS, AND APPURTENANCES, AND ALL LABOR REQUIRED TO PROPERLY CONDUCT THE TESTS ON SECTIONS OF ACCEPTABLE LENGTH.
12. FOR MAKING THE INFILTRATION TESTS, UNDERDRAINS, IF USED, SHALL BE PLUGGED AND OTHER GROUNDWATER DRAINAGE SHALL BE STOPPED TO PERMIT THE GROUNDWATER TO RETURN TO ITS NORMAL LEVEL INsofar AS PRACTICABLE.
13. UPON COMPLETION OF A SECTION OF THE SEWER, THE CONTRACTOR SHALL Dewater IT AND CONDUCT AN EXFILTRATION TEST TO MEASURE THE INFILTRATION FOR AT LEAST 24 HOURS. THE AMOUNT OF INFILTRATION, INCLUDING MANHOLES, TEES, AND CONNECTIONS, SHALL NOT EXCEED 200 GAL. PER INCH DIAMETER PER MILE OF SEWER PER 24 HOURS.
14. FOR MAKING THE EXFILTRATION TESTS, THE SEWERS SHALL BE SUBJECTED TO AN INTERNAL PRESSURE BY PLUGGING THE PIPE AT THE LOWER END AND THEN FILLING THE PIPELINES AND MANHOLES WITH CLEAN WATER TO A HEIGHT OF 2 FT. ABOVE THE TOP OF THE SEWER AT ITS UPPER END. WHEN CONDITIONS BETWEEN MANHOLES, MAY RESULT IN TEST PRESSURES WHICH WOULD CAUSE LEAKAGE AT THE STOPPERS IN BRANCHES, PROVISIONS SHALL BE MADE BY SUITABLE TIES, BRACES, AND WEDGES TO SECURE THE STOPPERS AGAINST LEAKAGE RESULTING FROM THE TEST PRESSURE.
15. THE RATE OF LEAKAGE FROM THE SEWERS SHALL BE DETERMINED BY MEASURING THE AMOUNT OF WATER REQUIRED TO MAINTAIN THE LEVEL 2 FT. ABOVE THE TOP OF THE PIPE.
16. LEAKAGE FROM THE SEWERS UNDER TEST SHALL NOT EXCEED THE REQUIREMENTS FOR LEAKAGE INTO SEWERS AS HEREIN BEFORE SPECIFIED.
17. THE SEWERS SHALL BE TESTED BEFORE ANY CONNECTIONS ARE MADE TO BUILDINGS.
18. THE CONTRACTOR SHALL CONSTRUCT WEIRS OR OTHER MEANS OF MEASUREMENTS AS MAY BE REQUIRED.
19. SUITABLE BULKHEADS SHALL BE INSTALLED, AS REQUIRED, TO PERMIT THE TEST OF THE SEWER.
20. SHOULD THE SECTIONS UNDER TEST FAIL TO MEET THE REQUIREMENTS, THE CONTRACTOR SHALL DO ALL WORK OF LOCATING AND REPAIRING LEAKS AND RETESTING AS THE ENGINEER MAY REQUIRE WITHOUT ADDITIONAL COMPENSATION.
21. IF, IN THE JUDGMENT OF THE ENGINEER, IT IS IMPRACTICABLE TO FOLLOW THE FOREGOING PROCEDURES FOR ANY REASON, ACCEPTABLE MODIFICATIONS IN THE PROCEDURES SHALL BE MADE AS REQUIRED, BUT IN ANY EVENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ULTIMATE TIGHTNESS OF THE LINE WITHIN THE ABOVE TEST PROCEDURES.

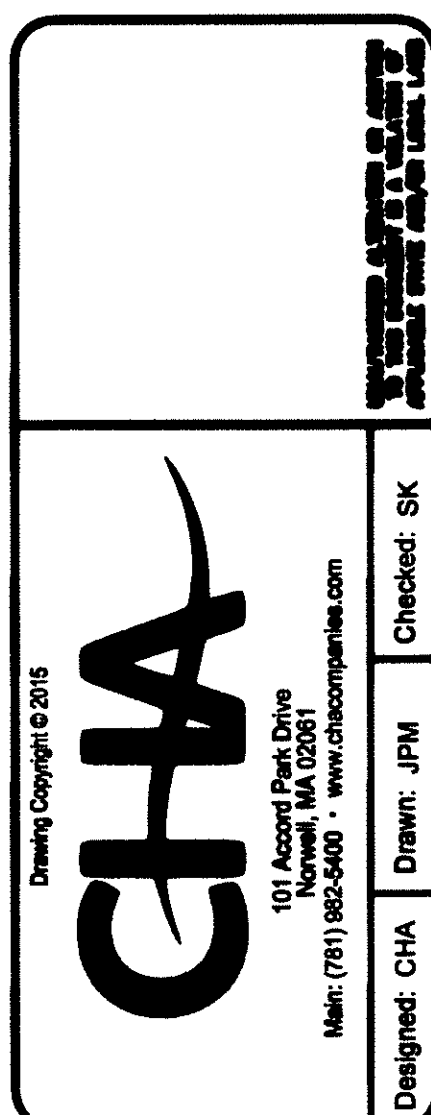
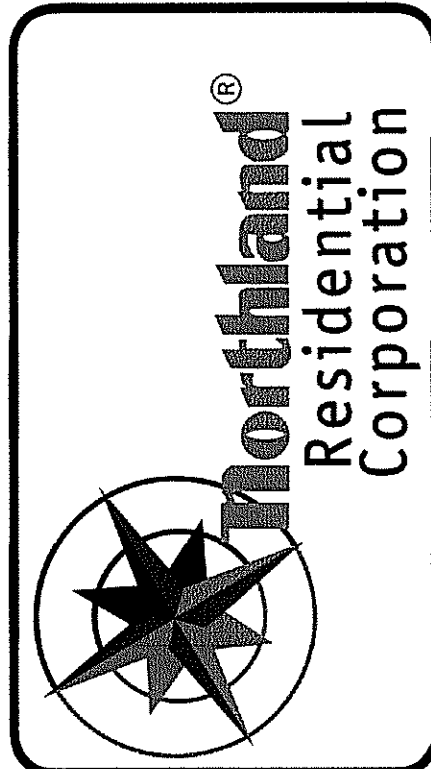
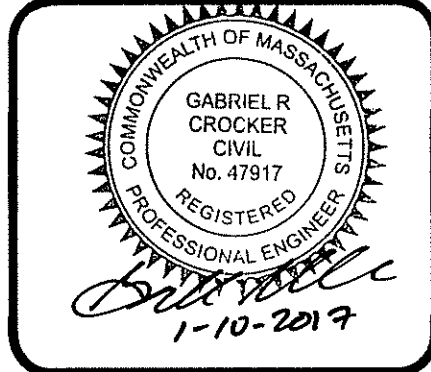
WATER NOTES

1. ALL WATER PIPING, VALVES, HYDRANTS, AND FITTINGS ETC. TO CONFORM TO LOCAL GUIDELINES OR AS DIRECTED BY THE WELLESLEY WATER DEPARTMENT. CONSTRUCTION OF WATER LINE TO CONFORM TO ALL LOCAL AND STATE AGENCIES HAVING JURISDICTION.
2. ALL WATER PIPE SHALL BE THICKNESS CLASS 52 DUCTILE IRON. ALL PIPES AND FITTINGS SHALL HAVE A CEMENT LINING TWICE THE THICKNESS SPECIFIED IN AWWA C104 AND SHALL HAVE A BITUMINOUS SEAL COAT APPLIES INSIDE AND OUTSIDE CONFORMING TO AWWA C104, "TYTON" OR MECHANICAL JOINTS ARE PERMITTED UNLESS OTHERWISE DIRECTED.
3. REQUIRED TESTS FOR WATERLINES AND FORCE MAINS:
- A. PERFORM THE FOLLOWING AFTER THE PIPE HAS BEEN INSTALLED AND PRIOR TO FINAL ACCEPTANCE:
- A.1. PRESSURE TEST.
- A.2. LEAKAGE TEST.
4. PRESUMPTIVE HYDROSTATIC TESTS MAY BE PERFORMED WHEN THE SYSTEM IS PARTIALLY BACKFILLED TO "CHECK" THE WORK, BUT FINAL ACCEPTANCE SHALL BE BASED ON HYDROSTATIC TESTS PERFORMED ON THE FINISHED SYSTEM AFTER IT IS COMPLETELY BACKFILLED.
5. **PRESSURE TEST:**
- A. TEST PIPING TO 1.5 TIMES THE PIPE WORKING PRESSURE, OR 150 PSI, WHICHEVER IS GREATER. MEASURE TEST PRESSURES AT THE LOWEST POINT IN THE PIPE SECTION AND CORRECT TO THE ELEVATION OF THE GAUGE.
- B. RELIEVE TRAPPED AIR AT THE SECTION HIGH POINTS THROUGH HYDRANTS, OR TAPS INSTALLED FOR THIS PURPOSE, PROVIDED TEMPORARY INSTALLATIONS ARE REMOVED AND PLUGGED AFTER ACCEPTANCE.
- C. MAINTAIN THE TEST PRESSURE FOR A PERIOD OF TWO (2) HOURS. AT THE END OF THE TEST PERIOD, IF THE TEST PRESSURE REMAINS CONSTANT, THE PIPE SECTION SHALL HAVE PASSED THE TEST. IF THE PRESSURE HAS DROPPED, IT SHALL BE BROUGHT BACK TO THE TEST PRESSURE BY PUMPING A KNOWN VOLUME OF WATER (BY PUMPING FROM A GRADUATED CONTAINER OR BY METERING) BACK INTO THE PIPE. THE VOLUME OF WATER THUS USED, REPRESENTING LEAKAGE FROM THE PIPE, SHALL BE RECORDED. IF THE LEAKAGE IS LESS THAN THE ALLOWABLE LEAKAGE SPECIFIED BELOW, THE PIPE SHALL HAVE PASSED THE TEST. IF THE LEAKAGE EXCEEDS THE ALLOWABLE LEAKAGE SPECIFIED, THE CONTRACTOR SHALL LOCATE THE LEAK, PERMANENTLY REPAIR THE SECTION OF PIPE WHERE THE LEAK IS OCCURRING TO THE SATISFACTION OF THE ENGINEER, AND RETEST THE PIPE AS SPECIFIED ABOVE.
6. **LEAKAGE TEST:**
- A. CONDUCT THE LEAKAGE TEST CONCURRENTLY WITH THE PRESSURE TEST.
- B. THE MAXIMUM ALLOWED LEAKAGE IS DETERMINED BY THE FOLLOWING FORMULA:
- $$L = \frac{N \times D \times P \times \pi}{7400}$$
- WHERE L = ALLOWABLE LEAKAGE, IN GPH
WHERE N = NO. OF JOINTS IN TEST SECTION
WHERE D = NOMINAL PIPE DIAMETER, IN INCHES
WHERE P = AVERAGE TEST PRESSURE, IN PSIG
7. ACCEPTANCE SHALL BE DETERMINED ON THE BASIS OF ALLOWABLE LEAKAGE. IF ANY PIPE SECTION DISCLOSES LEAKAGE GREATER THAN THAT SPECIFIED, LOCATE, REPAIR AND RETEST UNTIL THE LEAKAGE IS WITHIN THE LIMITS SPECIFIED.
8. MAKE ALL VISIBLE LEAKS TIGHT REGARDLESS OF THE AMOUNT OF LEAKAGE, AND IF THE LINES DO NOT MEET THE ABOVE LEAKAGE TEST, REPAIR AND RETEST AS NECESSARY UNTIL THE LEAKAGE REQUIREMENT IS MET. REPAIR OR REPLACE ALL DEFECTIVE WORK.
9. DISINFECT ALL POTABLE WATER MAINS IN ACCORDANCE WITH THE LATEST VERSION OF AWWA C651, EXCEPT THAT THE PLACEMENT OF CHLORINE POWDER OR TABLETS INSIDE THE PIPE DURING INSTALLATION SHALL NOT BE ALLOWED. DISINFECT WATER MAINS AFTER THE PIPING HAS PASSED THE PRESSURE AND LEAKAGE TESTING.
10. FLUSH THE PIPE WITH WATER AT A MINIMUM VELOCITY OF 2.5 FEET PER SECOND (FPS) TO CLEAR ALL FOREIGN MATERIAL FROM THE PIPE.
11. APPLY A CHLORINE SOLUTION WITH A CONCENTRATION BETWEEN 50 PARTS PER MILLION (PPM) AND 100 PPM. THE CHLORINE SOLUTION SHALL REMAIN IN THE PIPING FOR A MINIMUM OF 24 HOURS. THE CONCENTRATION AT THE END OF THIS PERIOD SHALL BE AT LEAST 25 PPM IN ALL SECTIONS OF THE MAIN. REPEAT THE ENTIRE PROCEDURE IF THE RESIDUAL IS LESS THAN 25 PPM.
- A. WHILE THE CHLORINATED WATER IS BEING ADDED, ALL APPURTENANCES (VALVES, HYDRANTS, ETC.) SHALL BE OPERATED SO AS TO COMPLETELY DISINFECT THE NEWWORK.
- B. POSITION VALVES SO THAT THE CHLORINE SOLUTION IN THE SECTION BEING DISINFECTED WILL NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE.
- C. CHLORINE RESIDUAL SAMPLES SHALL BE TAKEN AS DIRECTED BY THE ENGINEER.
12. AFTER THE TWENTY FOUR (24) HOUR RETENTION PERIOD, FLUSH THE MAIN UNTIL RESIDUAL TESTING INDICATES THAT THE CHLORINE CONCENTRATION IS APPROXIMATELY THAT OF THE NEIGHBORING SERVICE AREA.
- A. DISPOSE OF HEAVILY CHLORINATED WATER INTO SANITARY SEWER OR TANK TRUCK.
- B. THE OWNER AND THE OWNER OF THE SANITARY SEWER SYSTEM SHALL BE NOTIFIED A MINIMUM OF TWENTY-FOUR (24) HOURS PRIOR TO THE DISCHARGE OF ANY WATER TO THE SANITARY SEWER. CONTRACTOR SHALL SUBMIT TO THE ENGINEER WRITTEN CONFIRMATION THAT THE OWNER OF SANITARY SEWER SYSTEM HAS APPROVED THE DISCHARGE OF WATER TO ITS SANITARY SEWER.
- C. UNDER NO CIRCUMSTANCES WILL THE EMPTYING OF WATER ONTO ROADWAYS, OR INTO DITCHES, CULVERTS, STREAMS OR WETLANDS BE ALLOWED.
13. AFTER DISINFECTION AND FINAL FLUSHING, AND PRIOR TO PLACING THE LINES IN SERVICE, THE CONTRACTOR SHALL COLLECT BACTERIOLOGICAL SAMPLES (BOTH COLIFORM AND HETEROTROPHIC PLATE COUNT) AND SUBMIT SAMPLES TO AN APPROVED TESTING LABORATORY. TWO CONSECUTIVE SETS OF SAMPLES SHALL BE TAKEN AT LEAST 24 HOURS APART IN ACCORDANCE WITH AWWA C651. THE COLLECTION POINTS SHALL BE AS DIRECTED BY THE ENGINEER AND LOCAL AUTHORITY HAVING JURISDICTION.
- A. THE TESTING LABORATORY PERFORMING THE BACTERIOLOGICAL ANALYSIS SHALL BE ACCEPTABLE TO THE ENGINEER.
- B. SUBMIT THREE (3) COPIES OF THE LABORATORY ANALYSIS TO THE ENGINEER.
- C. SHOULD SAFE RESULTS NOT OCCUR AFTER LABORATORY TESTS, THE CONTRACTOR SHALL, AT HIS EXPENSE, REPEAT THE DISINFECTION PROCEDURE UNTIL SAFE RESULTS ARE OBTAINED. THIS INCLUDES A POSITIVE RESULT FOR COLIFORM OR A MEASURED HETEROTROPHIC PLATE COUNT OF GREATER THAN 500 COLONY-FORMING UNITS PER ML.
- D. CONTRACTOR SHALL PAY FOR ALL TESTING REQUIRED.
14. ALL PRECAUTION SHALL BE TAKEN TO MAINTAIN DRY AND SANITARY CONDITIONS AND PREVENT CONTAMINATION OF ANY PIPING. IF, IN THE OPINION OF THE ENGINEER, CONTAMINATION HAS OCCURRED, THE CONTRACTOR SHALL REPEAT THE DISINFECTION PROCEDURE AND TESTING AT HIS COST AND EXPENSE.
15. ALL TESTING SHALL CONFORM TOWN OF WELLESLEY REQUIREMENTS.

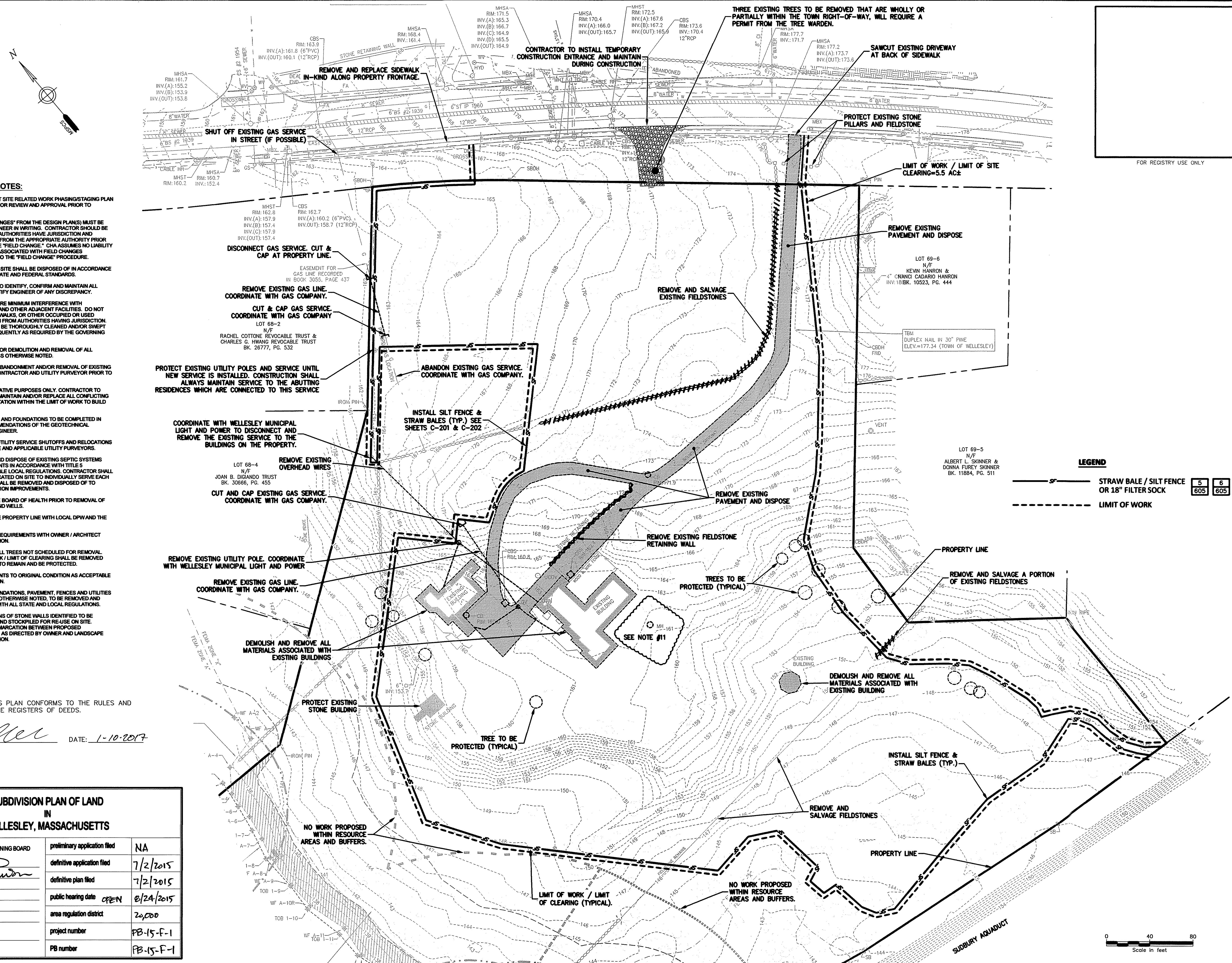
LEGEND

EXISTING		PROPOSED	
—————SBS—————	MAJOR CONTOUR	—————SBS—————	MAJOR CONTOUR
- - - - -SBS- - - - -	MINOR CONTOUR	—————SBS—————	MINOR CONTOUR
—————W—————	DOMESTIC WATER	—————W—————	DOMESTIC WATER
—————DB—————	UNDERGROUND ELECTRIC	—————DB—————	DUCT BANK (ELECTRIC/CABLE/TELEPHONE)
—————ECT—————	SANITARY SEWER	—————ECT—————	ELECTRIC/CABLE/TELEPHONE
—————UE—————	STORM SEWER	—————UE—————	UNDERGROUND ELECTRIC
—————7—————7—————	OVERHEAD WIRE	—————S—————	SANITARY SEWER
—————FM—————	NATURAL GAS	—————FM—————	FORCEMAIN SEWER
—————GAS—————	CHAINLINK FENCE	—————GAS—————	NATURAL GAS
—x			

Date	By	App'd	Submittal / Revision
07/01/15	GRG	HD	0 DEFINITIVE SUBDIVISION SUBMITTAL
04/04/16	JPM	GRG	1 REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS
11/29/16	JMPK	GRG	2 REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS
01/10/17	JMPK	GRG	3 REVISED FOR DPW COMMENTS



135 GREAT PLAIN AVENUE WELLESLEY, MASSACHUSETTS	LEGEND & GENERAL NOTES
Issue Date: 07/01/15	Project No.: 28219
Scale: AS NOTED	



ZONING DISTRICT: SINGLE RESIDENCE 20	
NATURAL RESOURCE PROTECTION DEVELOPMENT (NRPD)	
MINIMUM LOT SIZE	10,000 SQUARE FEET ϕ / 20,000 S.F. ϕ
MINIMUM FRONTAGE	75 FEET ϕ * / 110 FEET ϕ
MINIMUM FRONT YARD WIDTH	75 FEET ϕ * / 110 FEET ϕ
MINIMUM FRONT YARD SETBACK	30 FEET ϕ / 35 FEET ϕ
MINIMUM SIDE YARD SETBACK	20 FEET ϕ
MINIMUM REAR YARD SETBACK	20 FEET ϕ
MAXIMUM BUILDING HEIGHT	36 FEET ϕ
MINIMUM OPEN SPACE	50 PERCENT ϕ

- TAKEN FROM SECTION XXIV OF WELLESLEY ZONING BY-LAW (NRPD)
○ TAKEN FROM SECTION XIX OF WELLESLEY ZONING BY-LAW (SINGLE RESIDENCE 20)
○ TAKEN FROM SECTION XIX OF WELLESLEY ZONING BY-LAW

* SEE SECTION XIX, PAGE 151 OF WELLESLEY ZONING BY-LAW

EXISTING LOT 68-1 AREA = 525,031± S.F. (12.05 ACRES)

PROPOSED RIGHT-OF-WAY = 26,546± S.F. (0.61 ACRES)

PROPOSED SUBDIVISION = 187,683± S.F. (4.31 ACRES)

PROPOSED WETLAND OPEN SPACE = 85,861± S.F. (1.97 ACRES)

PROPOSED UPLAND OPEN SPACE = 224,840± S.F. (5.16 ACRES)

TOTAL PROPOSED OPEN SPACE = 311,802± S.F. (7.16 ACRES)

BUILD FACTOR CALCULATION:

Build Factor - A ratio of lot perimeter to lot area which limits the degree to which a lot may have an irregular shape according to the following formula:

$$\frac{\text{Lot Perimeter Squared}}{\text{Actual Lot Area}} \div \frac{\text{Actual Lot Area}}{\text{Required Lot Area}}$$

135 Great Plain Avenue, Wellesley, Massachusetts			
Lot Number	Lot Perimeter	Lot Area	Build Factor
Lot 1	429.31	11,424	14.12
Lot 2	429.54	11,223	14.65
Lot 3	428.31	11,312	14.34
Lot 4	508.55	15,538	10.71
Lot 5	583.83	20,381	8.21
Lot 6	610.24	20,593	8.78
Lot 7	588.02	20,720	8.05
Lot 8	638.99	20,065	10.14
Lot 9	443.62	12,282	13.05
Lot 10	448.83	12,781	12.33
Lot 11	427.03	11,314	14.25
Lot 12 (SRD20)	561.95	20,049	15.71
Total Square Footage		187,683	
Required Lot Area for NRPD	10,000.00		
Required Lot Area for SRD20	20,000.00		

NOTES:

- PROPOSED 5' WIDE CONCRETE SIDEWALK SHALL TERMINATE AT LOT 7 DRIVEWAY. END OF SIDEWALK SHOWN HEREIN IS APPROXIMATE. FINAL LOT DESIGN AND DRIVEWAY LOCATIONS WILL BE DETERMINED IN CONJUNCTION WITH BUILDERS NEEDS AS LOTS ARE SOLD.
- ALL WORK WITHIN GREAT PLAIN AVENUE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TOWN AGENCIES.
- SLOPED GRANITE CURB, REINFORCED CONCRETE SIDEWALK AND REINFORCED TURF SHALL BE INSTALLED WITHIN THE PROPOSED DRAINAGE EASEMENT TO THE EXTENT SHOWN TO PROVIDE ACCESS FOR MAINTENANCE.

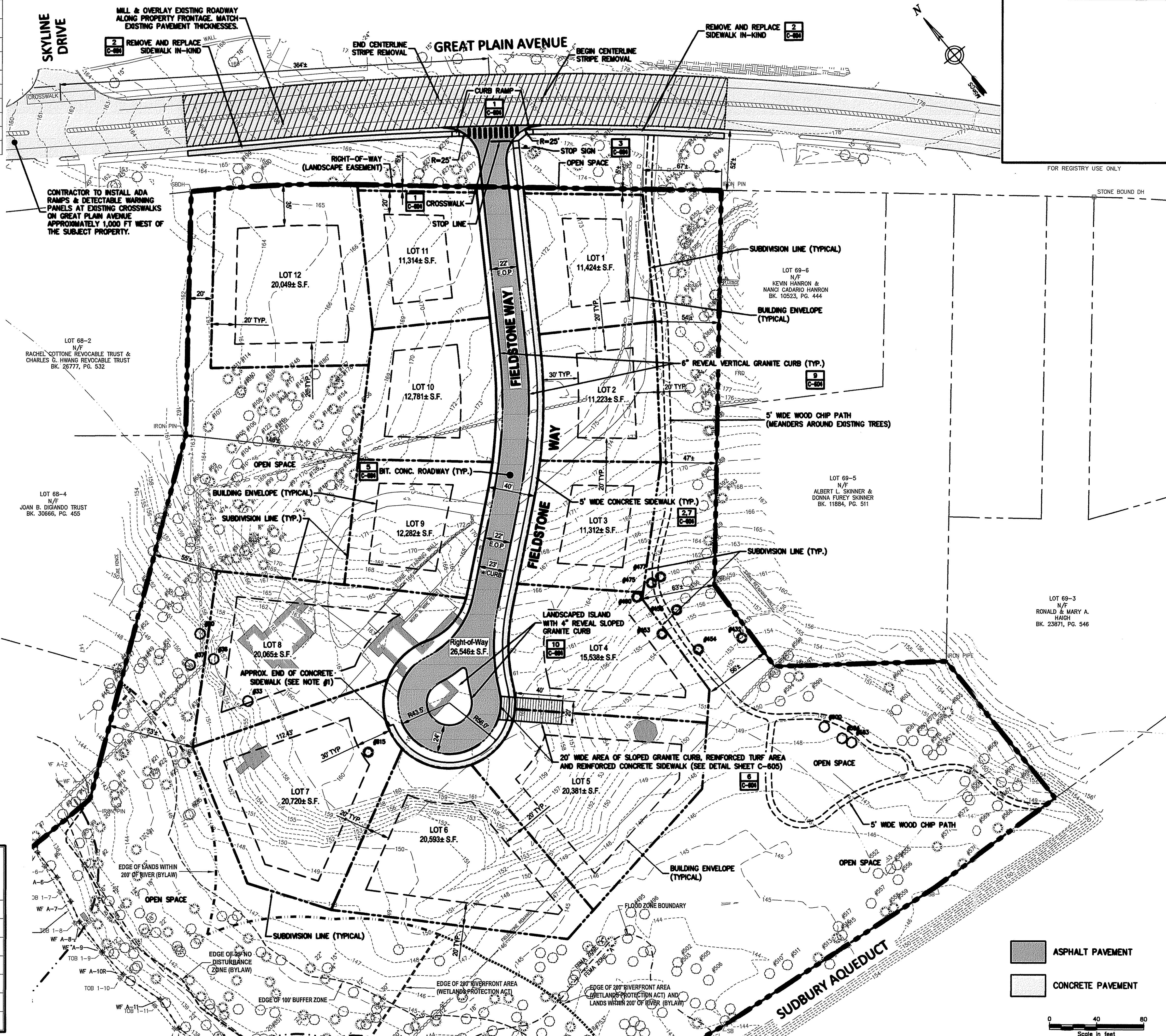
I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Shelli Nall

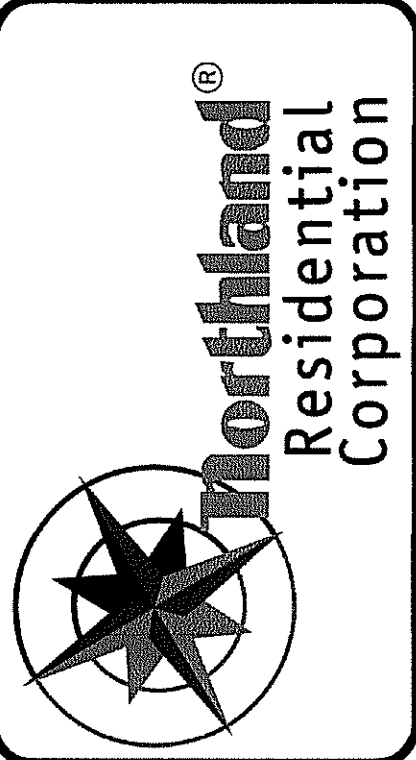
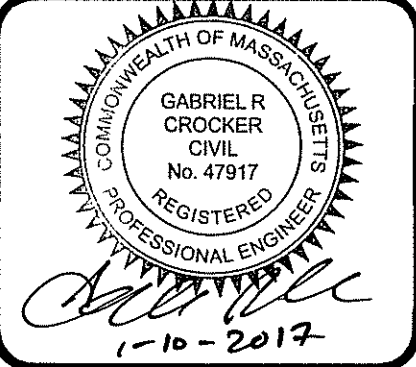
DATE: 1-10-2017

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS

APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>Shelli Nall</i>	definitive application filed	7/2/2015
<i>Shelli Nall</i>	definitive plan filed	7/2/2015
<i>Shelli Nall</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20,000
	project number	PB-15-F-1
	PB number	PB-15-F-1
DATE 1/7/2017		



No.	Submital / Revision	App'd	By	Date
0	DEFINITIVE SUBDIVISION SUBMITTAL	GRG	HO	07/01/15
1	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	GRG	JPM	04/09/16
2	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	GRG	JMP/KP	11/29/16
3	REVISED FOR DPH COMMENTS	GRG	JMP/KP	01/10/17



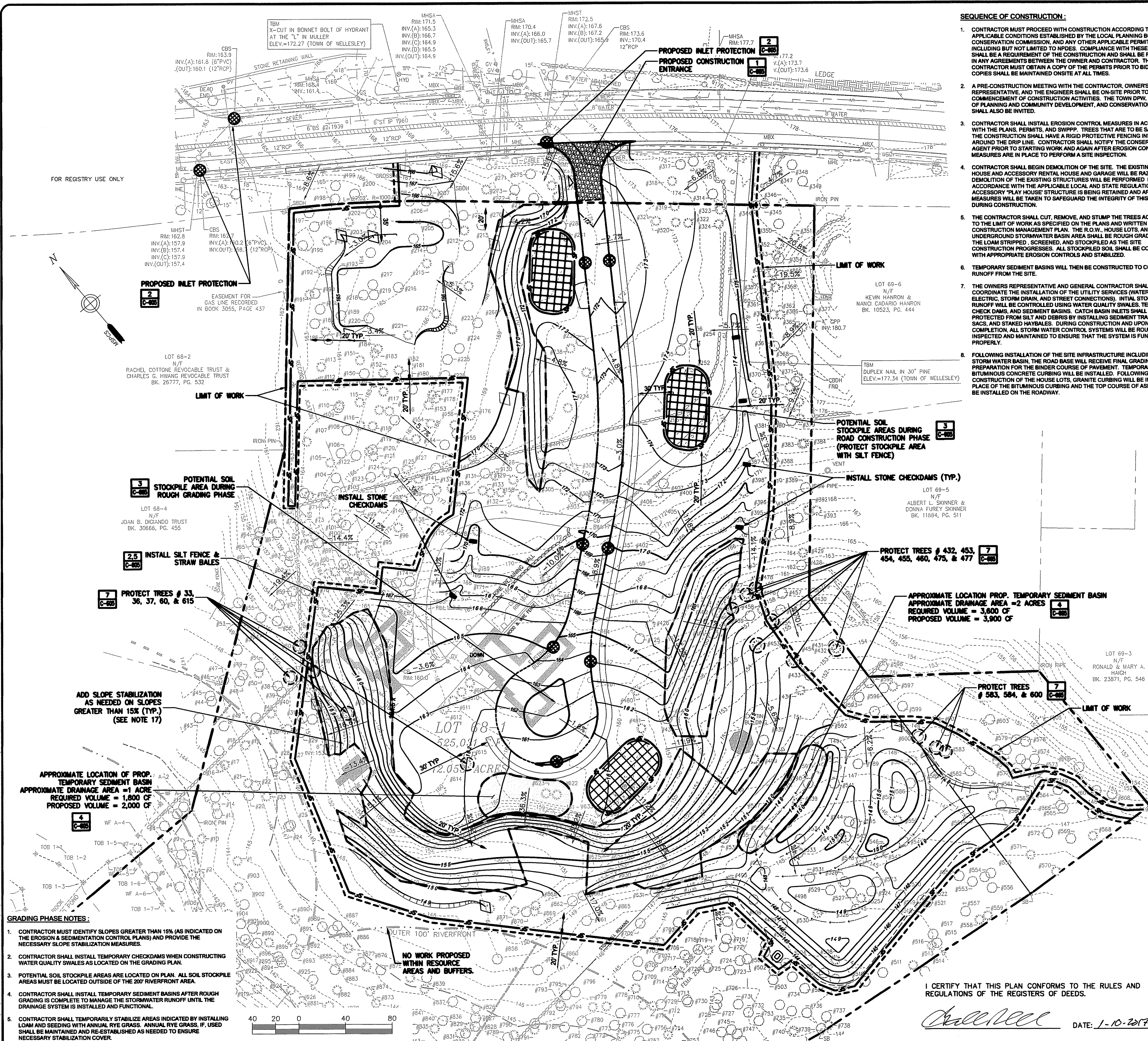
CHA
101 Accord Park Drive
Norwell, MA 02061
Main: (781) 925-3400 • www.chaonline.com

Designed: CHA
Drawn: JPM
Checked: SK

135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

SITE LAYOUT PLAN

Issue Date: 07/01/15
Project No.: 29219
Scale: 1"=40'



SEQUENCE OF CONSTRUCTION:

- CONTRACTOR MUST PROCEED WITH CONSTRUCTION ACCORDING TO ALL APPLICABLE CONDITIONS ESTABLISHED BY THE LOCAL PLANNING BOARD, CONSERVATION COMMISSION, AND ANY OTHER APPLICABLE PERMITS INCLUDING BUT NOT LIMITED TO NPDES. COMPLIANCE WITH THESE PERMITS SHALL BE A REQUIREMENT OF THE CONSTRUCTION AND SHALL BE REFERENCED IN ANY AGREEMENTS BETWEEN THE OWNER AND CONTRACTOR. THE CONTRACTOR MUST OBTAIN A COPY OF THE PERMITS PRIOR TO BIDDING AND COPIES SHALL BE MAINTAINED ON-SITE AT ALL TIMES.
- A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR, OWNER'S REPRESENTATIVE, AND THE ENGINEER SHALL BE ON-SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. THE TOWN DPW, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT, AND CONSERVATION AGENT SHALL ALSO BE INVITED.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE PLANS, PERMITS, AND SWPPP. TREES THAT ARE TO BE SAVED PER THE CONSTRUCTION SHALL HAVE A RIGID PROTECTIVE FENCING INSTALLED AROUND THE DRIP LINE. CONTRACTOR SHALL NOTIFY THE CONSERVATION AGENT PRIOR TO STARTING WORK AND AGAIN AFTER EROSION CONTROL MEASURES ARE IN PLACE TO PERFORM A SITE INSPECTION.
- CONTRACTOR SHALL BEGIN DEMOLITION OF THE SITE. THE EXISTING MAIN HOUSE AND ACCESSORY RENTAL HOUSE AND GARAGE WILL BE RAZED. DEMOLITION OF THE EXISTING STRUCTURES WILL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE LOCAL AND STATE REGULATIONS. THE ACCESSORY PLAY HOUSE STRUCTURE IS BEING RETAINED AND APPROPRIATE MEASURES WILL BE TAKEN TO SAFEGUARD THE INTEGRITY OF THIS BUILDING DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CUT, REMOVE, AND STUMP THE TREES ACCORDING TO THE LIMIT OF WORK AS SPECIFIED ON THE PLANS AND WRITTEN CONSTRUCTION MANAGEMENT PLAN. THE R.O.W., HOUSE LOTS, AND UNDERGROUND STORMWATER BASIN AREA SHALL BE ROUGH GRADED WITH THE LOAM STRIPPED, SCREENED, AND STOCKPILED AS THE SITE CONSTRUCTION PROGRESSES. ALL STOCKPILED SOIL SHALL BE CONTAINED WITH APPROPRIATE EROSION CONTROLS AND STABILIZED.
- TEMPORARY SEDIMENT BASINS WILL THEN BE CONSTRUCTED TO CONTROL RUNOFF FROM THE SITE.
- THE OWNERS REPRESENTATIVE AND GENERAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY SERVICES (WATER, SEWER, ELECTRIC, STORM DRAIN, AND STREET CONNECTIONS). INITIAL STORM WATER RUNOFF WILL BE CONTROLLED USING WATER QUALITY SWALES, TEMPORARY CHECK DAMS, AND SEDIMENT BASINS. CATCH BASIN INLETS SHALL BE PROTECTED FROM SILT AND DEBRIS BY INSTALLING SEDIMENT TRAPS, SILT SACS, AND STAKED HAYBALES. DURING CONSTRUCTION AND UPON COMPLETION, ALL STORM WATER CONTROL SYSTEMS WILL BE ROUTINELY INSPECTED AND MAINTAINED TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY.
- FOLLOWING INSTALLATION OF THE SITE INFRASTRUCTURE INCLUDING THE STORM WATER BASIN, THE ROAD BASE WILL RECEIVE FINAL GRADING IN PREPARATION FOR THE BINDER COURSE OF PAVEMENT. TEMPORARY BITUMINOUS CONCRETE CURBING WILL BE INSTALLED. FOLLOWING THE CONSTRUCTION OF THE HOUSE LOTS, GRANITE CURBING WILL BE INSTALLED IN PLACE OF THE BITUMINOUS CURBING AND THE TOP COURSE OF ASPHALT WILL BE INSTALLED ON THE ROADWAY.

STORMWATER POLLUTION PREVENTION NOTES:

- A SWPPP WILL BE PREPARED PRIOR TO CONSTRUCTION. CONTRACTOR TO ABIDE BY PROVISIONS OF EPA NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND BY STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN. CONTRACTOR SHALL ABIDE BY NPDES CONSTRUCTION PHASE NOTICE REQUIREMENTS.
- MEASURES DEPICTED HEREIN ARE INTENDED TO PROVIDE GENERAL DIRECTION ON THE SWPPP, HOWEVER, MEASURES MAY BE MODIFIED AS NEEDED DURING THE DEVELOPMENT OF THE SWPPP.
- EROSION CONTROL MEASURES SHALL BE INCORPORATED IN THE SEQUENCE OF CONSTRUCTION TO PREVENT SEDIMENT-LADEN WATER FROM LEAVING THE SITE. THESE MEASURES MAY INCLUDE STAKED STRAW BALES, POLYPROPYLENE SILT FENCING AND VARIOUS COMBINATIONS OF THE TWO. THE LOCATION FOR THE INSTALLATION OF THESE MATERIALS ON THE PROJECT SITE ARE INDICATED ON THE PROJECT PLANS AND APPROPRIATE CONSTRUCTION DETAILS ARE INCLUDED ON THE PROJECT DETAIL SHEETS.
- NATURAL VEGETATION SHALL BE RETAINED WHENEVER FEASIBLE UP TO THE SCHEDULED START OF CONSTRUCTION ACTIVITY.
- AREAS SUBJECT TO EROSION SHALL BE MINIMIZED IN TERMS OF TIME AND AREA.
- IN GENERAL, WORK REQUIRING EROSION CONTROL INCLUDES EXCAVATIONS, FILLS, DRAINAGE SWALES, ROUGH AND FINISHED GRADING, AND STOCKPILING OF EARTH.
- ALL TEMPORARY STOCKPILE AREAS SHALL HAVE EROSION CONTROLS (STRAW AND SILT FENCE) AROUND THE PERIMETER.
- DO NOT DISTURB VEGETATION AND TOPSOIL BEYOND THE PROPOSED LIMIT OF GRADING.
- ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND EROSION CONTROL MEASURES SHALL BE IN PLACE AND OBSERVED PRIOR TO ANY WORK STARTING ON THE PROJECT.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OFFLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
- TEMPORARY SEEDING WITH ANNUAL RYEGRASS OR OTHER METHOD OF STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE, UNLESS ADDITIONAL CONSTRUCTION OF THE AREAS IS EXPECTED WITHIN 14 DAYS OF THE LAST DISTURBANCE.
- INSTALL AND MAINTAIN CATCH BASIN INSERTS IN ALL EXISTING CATCH BASINS WITHIN WORK ZONE (NOT REMOVED) AND PROPOSED CATCH BASINS.
- UPON COMPLETION OF CATCH BASINS AND AREA DRAINS, STRAWBALES OR INSERTS (SILT SACKS OR SIMILAR) WILL BE PLACED AT EACH STRUCTURE TO PREVENT SEDIMENTATION FROM ENTERING THE CATCH BASIN.
- UPON COMPLETION OF FINE GRADING, ALL AREAS NOT OTHERWISE PERMANENTLY STABILIZED SHALL BE SEED IN ACCORDANCE WITH THE SPECIFICATIONS INCLUDED ON THE PROJECT LANDSCAPE PLAN, AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 75% MINIMUM DENSITY, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, IS ACHIEVED.
- MAINTENANCE - EROSION AND SEDIMENT CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY OR AS DIRECTED BY THE ENGINEER OR ARCHITECT. ACCUMULATED SILT AT ANY EROSION AND SEDIMENT CONTROL DEVICE SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" AND SHALL BE DISTRIBUTED ON-SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION.
- ANY CONTRACTOR IS RESPONSIBLE FOR REESTABLISHING ANY EROSION CONTROL DEVICE WHICH HE DISTURBS. SUCH CONTRACTOR SHALL NOTIFY THE ENGINEER/ARCHITECT OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASE, FUEL, AND LUBE OIL, PESTICIDES, ANY SOLID WASTE MATERIALS.
- ALL SIDE SLOPES SHALL BE SEED WITH GRASS OR INSTALL JUTE NETTING TO PREVENT EROSION. SIDE SLOPES ALONG THE PERIMETER OF THE DEVELOPED AREA SHALL BE STABILIZED IMMEDIATELY FOLLOWING CONSTRUCTION. CONTRACTOR SHALL TEMPORARILY STABILIZE AREAS INDICATED BY INSTALLING LOAM AND SEEDING WITH ANNUAL RYE GRASS. ANNUAL RYE GRASS, IF USED SHALL BE MAINTAINED AND RE-ESTABLISHED AS NEEDED TO ENSURE NECESSARY STABILIZATION COVER.
- INSPECTIONS: INSPECTIONS ARE TO BE PERFORMED BY QUALIFIED PERSONNEL. DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AREAS USED FOR STORAGE, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, MUST BE INSPECTED ONCE EVERY 7 DAYS OR WITHIN 24 HOURS OF A STORM EVENT OF 0.25 INCHES OR GREATER. STABILIZED AREAS ARE TO BE INSPECTED ONCE PER MONTH DISTURBED AREAS AND STORAGE AREAS EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF OR POTENTIAL FOR POLLUTANTS ENTERING THE DRAINAGE SYSTEM. CONTROL MEASURES SHALL BE OBSERVED TO ENSURE THEY ARE WORKING PROPERLY. DISCHARGE LOCATIONS AND POINTS SHALL BE INSPECTED TO ASCERTAIN WHETHER CONTROLS ARE PREVENTING SIGNIFICANT IMPACT. BASED ON THE RESULTS OF THE ABOVE INSPECTIONS, ANY NECESSARY CHANGE WILL BE MADE WITHIN 7 DAYS OF THE INSPECTION. THE PLAN CHANGES MUST BE IMPLEMENTED IN THE FIELD BEFORE THE NEXT STORM EVENT IF PRACTICABLE, OTHERWISE WITHIN 7 DAYS PER GENERAL CONSTRUCTION PERMIT.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SILT FROM BEHIND SILTATION BARRIERS, PAVEMENT AREAS, AND CATCH BASIN SUMPS. DISPOSE OF SILT IN UPLAND AREAS, SPREAD EVENLY.
- PROVIDE TEMPORARY SEDIMENTATION BASINS, BALES, ETC. AS NECESSARY.
- STOCKPILES ARE TO BE AT LEAST 100 FEET FROM WETLAND AREAS. STOCKPILES NOT TO BE REUSED WITHIN 14 DAYS ARE TO BE STABILIZED WITH SEED OR MULCH.
- POTENTIAL STOCK PILE AREA TO BE PROTECTED WITH EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL UTILIZE WATER TRUCK AS NEEDED FOR DUST CONTROL AND SHALL PROVIDE TEMPORARY PLANTINGS OR OTHER COVERINGS SUCH AS WOOD CHIPS TO MINIMIZE THE AMOUNT OF DUST LEAVING THE PREMISES.
- SUBSURFACE INFILTRATION SYSTEMS SHALL BE MAINTAINED OFF-LINE DURING CONSTRUCTION. SYSTEMS SHALL NOT BE UTILIZED UNTIL THE SITE IS FULLY STABILIZED. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY STORMWATER MANAGEMENT MEASURES FOR THE DURATION OF CONSTRUCTION.
- A DESIGNATED AREA FOR WASHING CONCRETE TRUCKS MUST BE POSTED AT THE SITE. THE DESIGNATED AREA SHALL CONSIST OF A BEST MANAGEMENT PRACTICE (BMP) FOR CONCRETE WASHOUT AND BE USED TO CONTAIN OR TREAT CONCRETE MATERIALS.

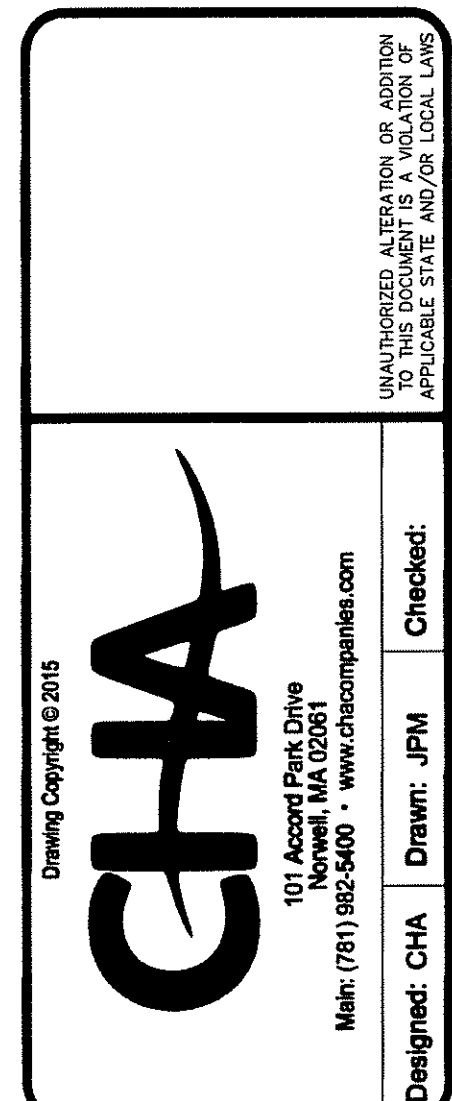
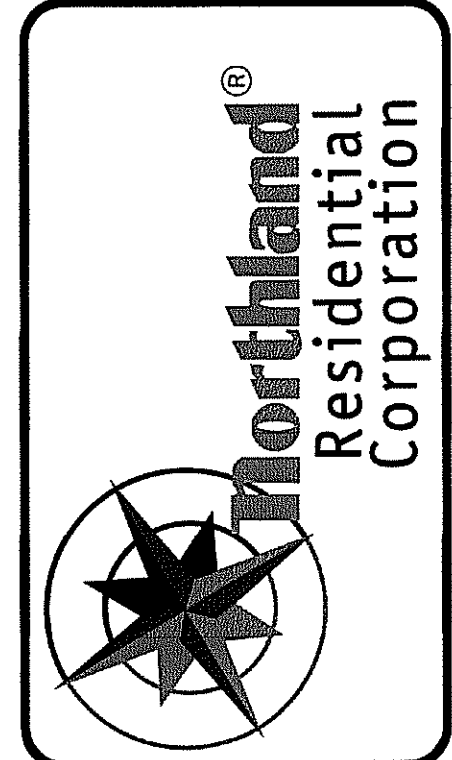
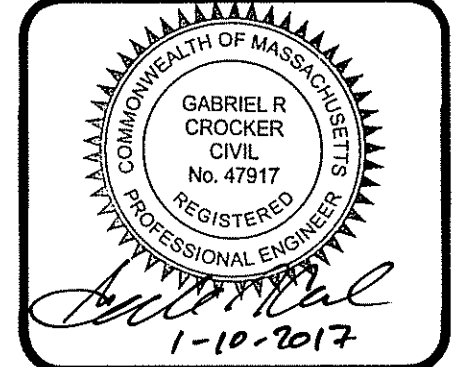
**SUBDIVISION PLAN OF LAND
IN
WELLESLEY, MASSACHUSETTS**

APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>[Signature]</i>	definitive application filed	7/2/2015
<i>[Signature]</i>	definitive plan filed	7/2/2015
<i>[Signature]</i>	public hearing date	OPEN 8/24/2015
	area regulation district	29-000
	project number	PB-15-F-1
	PB number	PB-15-F-1

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature] DATE: 1-10-2017

Date	By	App'd	Submittal / Revision
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01/01/17	GRG	JWPK	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS



135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS

SOIL EROSION AND SEDIMENT
CONTROL PLAN

Scale: 1"=40'

Issue Date: 07/01/15 Project No.: 29219

C-201
SHEET 9 OF 20 SHEETS

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Saved: 6/28/2017 10:02:00 AM Plotted: 7/13/2017 9:28:17 AM User: Rose, Donald LastSavedBy: 3276

APPROXIMATE BUILDING ELEVATIONS			
LOT NUMBER	FIRST FLOOR	GARAGE SLAB	BASEMENT
LOT 1	175.6	173.7	165.6
LOT 2	175.8	174.8	165.8
LOT 3	173.9	172.9	163.9
LOT 4	167.6	166.6	157.6
LOT 5	163.0	162.0	153.0
LOT 6	162.0	161.0	152.0
LOT 7	164.3	163.3	154.3
LOT 8	166.1	165.6	156.1
LOT 9	172.6	171.6	162.6
LOT 10	175.8	174.7	165.8
LOT 11	173.8	172.3	163.8
LOT 12	166.9	165.9	156.9

NOTES:

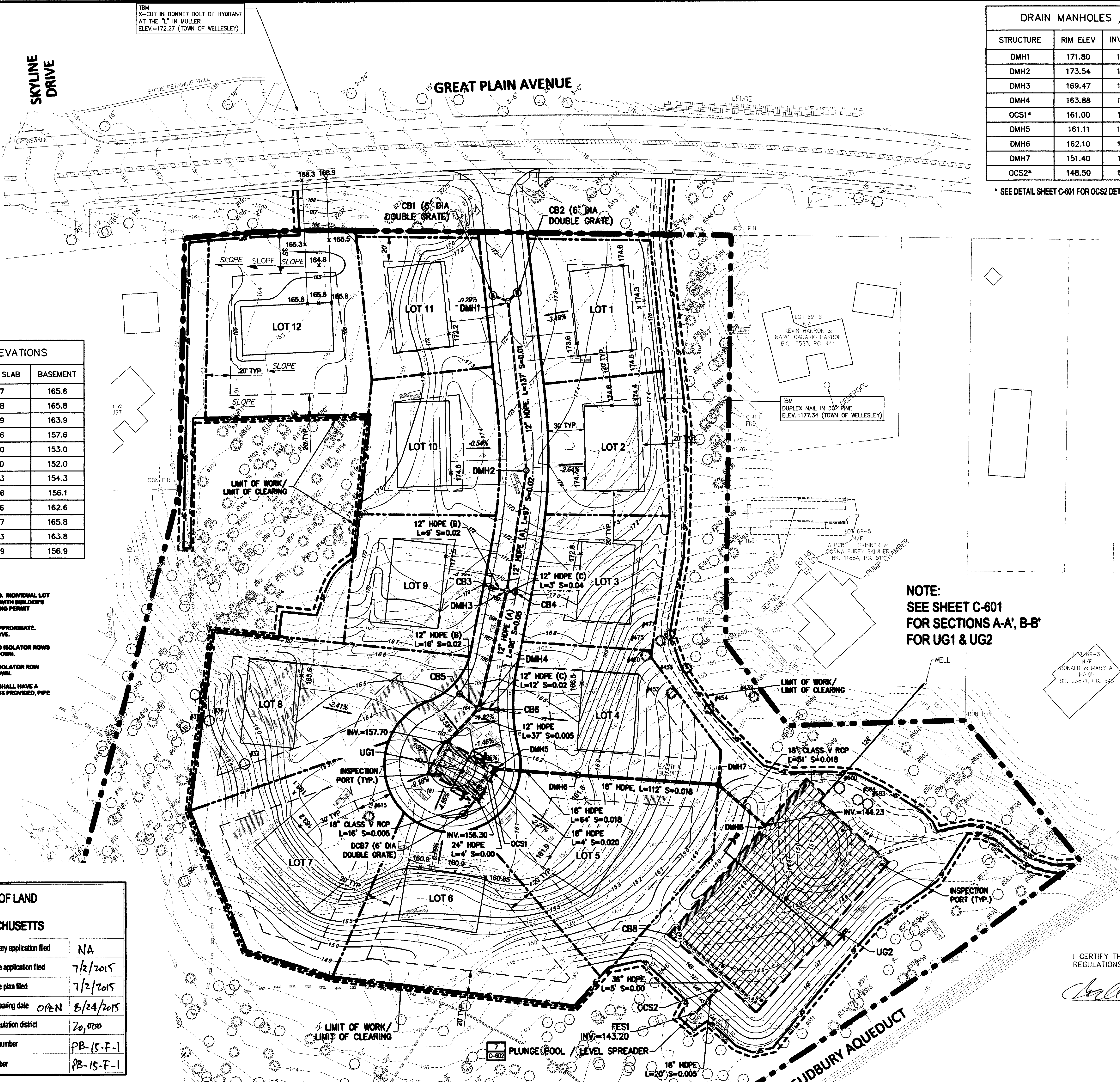
- GRADING SHOWN HEREIN IS PROPOSED SUBDIVISION GRADING. INDIVIDUAL LOT DESIGN AND GRADING WILL BE PERFORMED IN CONJUNCTION WITH BUILDER'S NEEDS AS LOTS ARE SOLD, AND IN ACCORDANCE WITH BUILDING PERMIT APPLICATIONS.
- BUILDINGS AND BUILDING ELEVATIONS SHOWN HEREIN ARE APPROXIMATE. INDIVIDUAL LOT DESIGNS WILL BE PERFORMED AS NOTED ABOVE.
- UNDERGROUND INFILTRATION SYSTEM (UG1) SHALL HAVE TWO ISOLATOR ROWS CONSISTING OF FIVE (5) STORMTECH SC-740 CHAMBERS AS SHOWN.
- UNDERGROUND DETENTION SYSTEM (UG2) SHALL HAVE ONE ISOLATOR ROW AND TWENTY-ONE (21) STORMTECH SC-740 CHAMBERS AS SHOWN.
- PROPOSED STORMWATER COLLECTION / CONVEYANCE MAINS SHALL HAVE A MINIMUM OF 4.0' OF COVER, WHERE LESS THAN 4.0' OF COVER IS PROVIDED, PIPE SHALL BE CLASS V RCP.

TYPICAL DETAILS

- PIPE TRENCH
- CATCH BASIN (CB)
- DOUBLE GRATE CATCH BASIN (DCB)
- DRAINAGE MANHOLE (DMH)
- OUTLET CONTROL STRUCTURE (OCS)
- UNDERGROUND STORM SYSTEM (UG)

8	C-602
1	C-602
2	C-602
3	C-602
2	C-601
1	C-601

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>[Signature]</i>	definitive application filed	7/2/2015
<i>[Signature]</i>	definitive plan filed	7/2/2015
<i>[Signature]</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20,000
DATE 1/17/2017	project number	PB-15-F-1
	PB number	PB-15-F-1



DRAIN MANHOLES / OUTLET CONTROL STRUCTURE					
STRUCTURE	RIM ELEV	INV IN (A)	INV IN (B)	INV IN (C)	INVERT OUT
DMH1	171.80	166.42	---	---	166.42
DMH2	173.54	165.05	---	---	165.05
DMH3	169.47	163.59	164.49	164.19	163.59
DMH4	163.88	158.95	159.36	158.44	158.44
OCS1*	161.00	156.13	---	---	155.50
DMH5	161.11	155.42	---	---	150.42
DMH6	162.10	149.27	---	---	147.17
DMH7	151.40	145.15	---	---	145.15
OCS2*	148.50	143.30	---	---	143.30

* SEE DETAIL SHEET C-601 FOR OCS2 DETAIL

CATCH BASINS		
STRUCTURE	RIM ELEV	INVERT OUT
DCB1	171.60	166.60
DCB2	171.60	166.60
CB3	169.81	164.81
CB4	169.31	164.31
CB5	164.68	159.68
CB6	163.50	158.50
DCB7	159.88	156.38
CB8	147.95	**

** CATCH BASIN #8 CONNECTS DIRECTLY INTO UNDERGROUND DETENTION SYSTEM (UG2).

UG1

32' X 40' (STONE)
6 ROWS OF 5 STORMTECH SC-740 CHAMBERS
STONE ELEVATION = 155.50
STONE DEPTH = 3.75'
CHAMBER INVERT = 156.0

*H2O RATED CHAMBERS

UG2

96.5' X 159' (STONE)
2 ROWS OF 21 STORMTECH SC-740 CHAMBERS
2 ROWS OF 23 STORMTECH SC-740 CHAMBERS
16 ROWS OF 22 STORMTECH SC-740 CHAMBERS
STONE ELEVATION = 143.30
STONE DEPTH = 3.5'
CHAMBER INVERT = 143.8

* SURROUNDED COMPLETELY BY IMPERVIOUS LINER, H2O RATED CHAMBERS

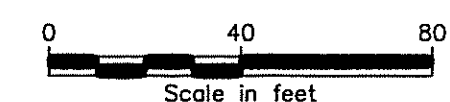
Proposed Volume

Base Surface	Existing Grade
Comparison Surface	Proposed Finish Grade
Cut Factor	1.200
Fill Factor	1.200
Cut volume (adjusted)	1,500 Cu. Yd.
Fill volume (adjusted)	14,890 Cu. Yd.
Net volume (adjusted)	13,390 Cu. Yd. <Fill>

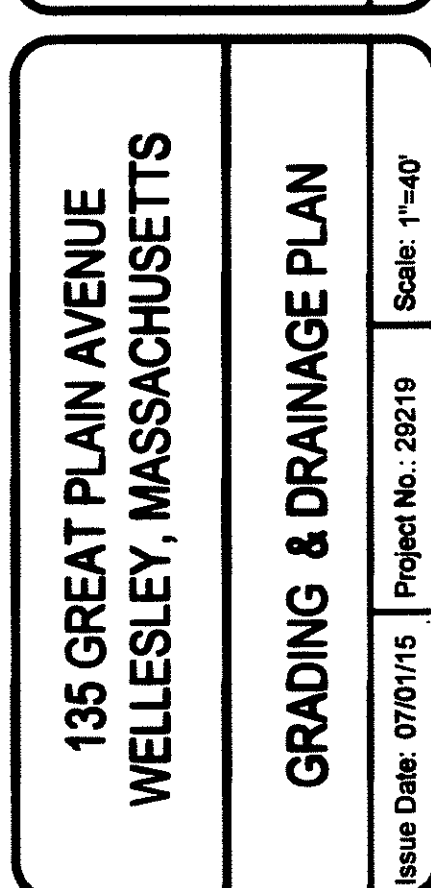
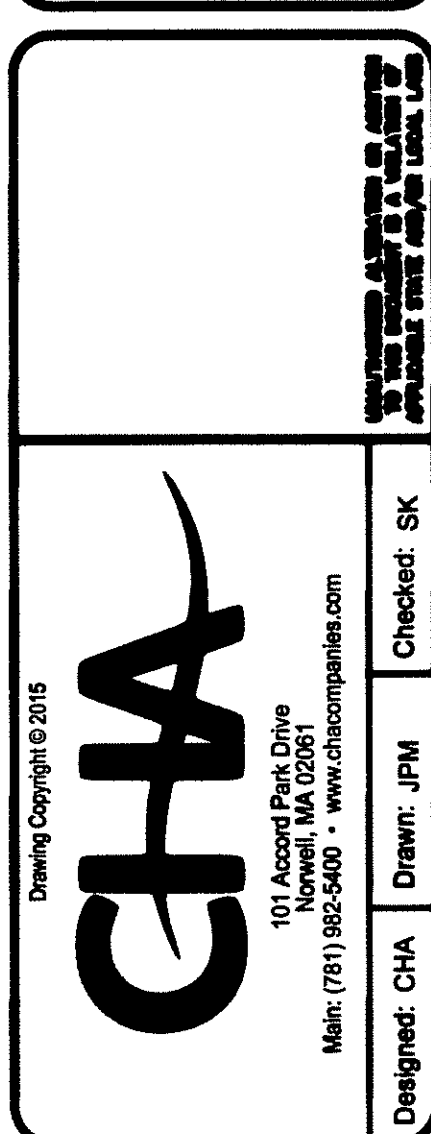
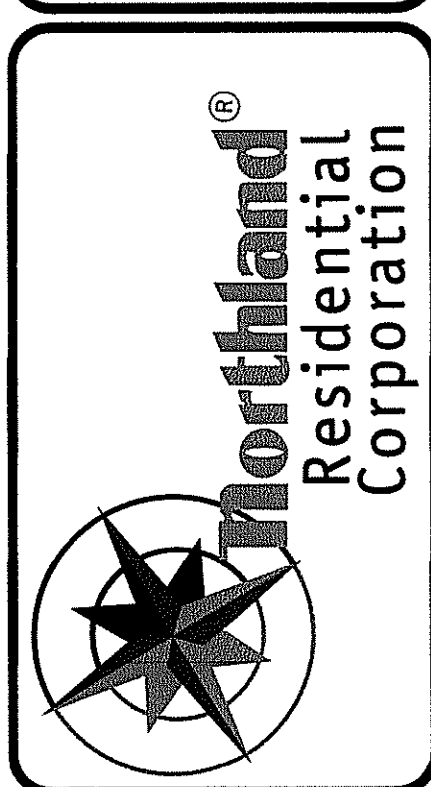
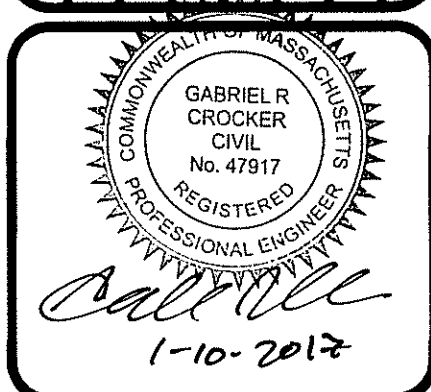
NOTE:
SEE SHEET C-601
FOR SECTIONS A-A', B-B'
FOR UG1 & UG2

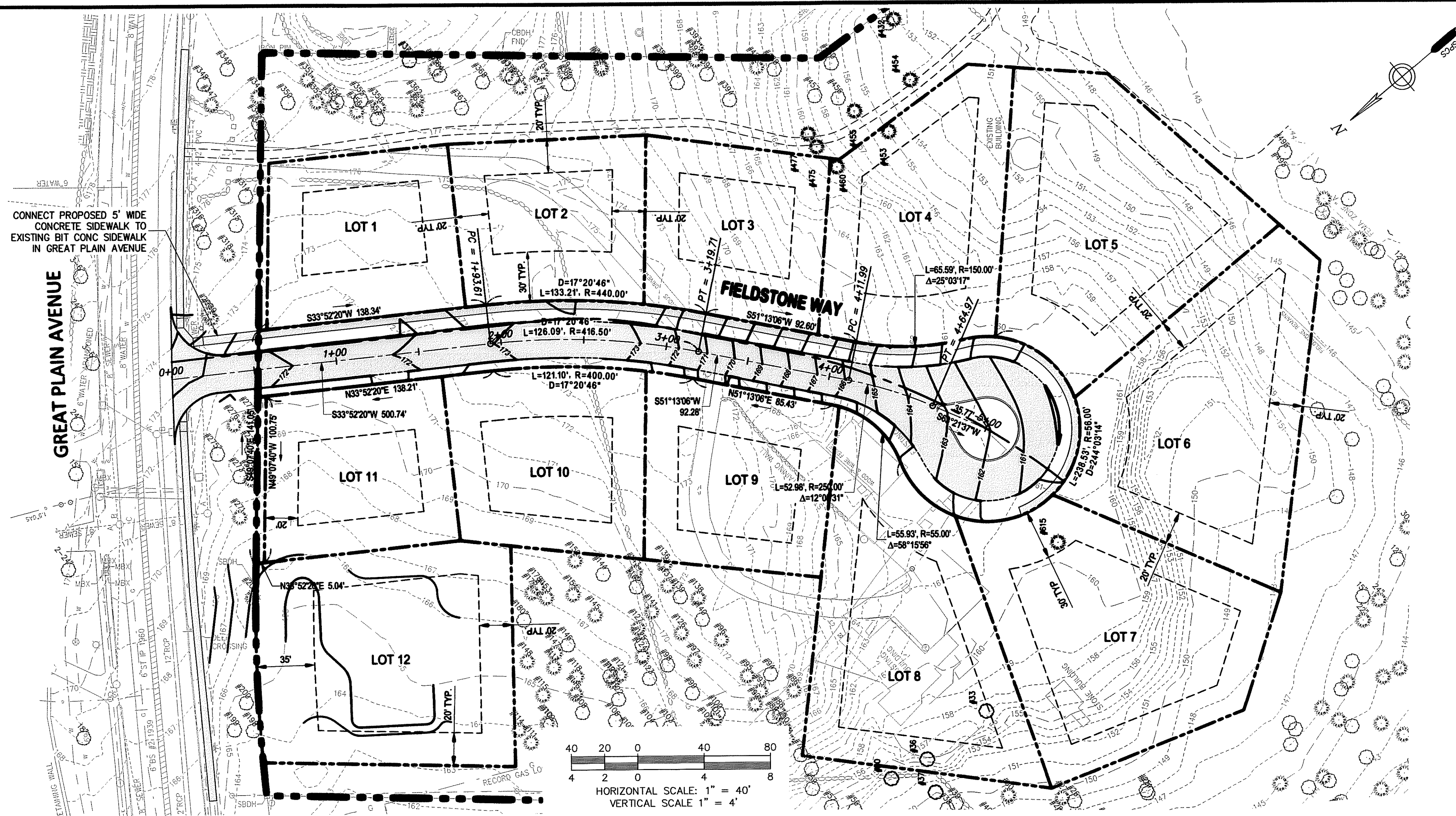
I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature] DATE: 1-10-2017



Date	By	App'd	Submitter / Revision
07/01/15	HD	GRC	DEFINITIVE SUBDIVISION SUBMITTAL
04/04/16	JPM	GRC	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS
11/28/16	JPM	GRC	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS
01/01/17	JPM	GRC	REVISED FOR DPM COMMENTS

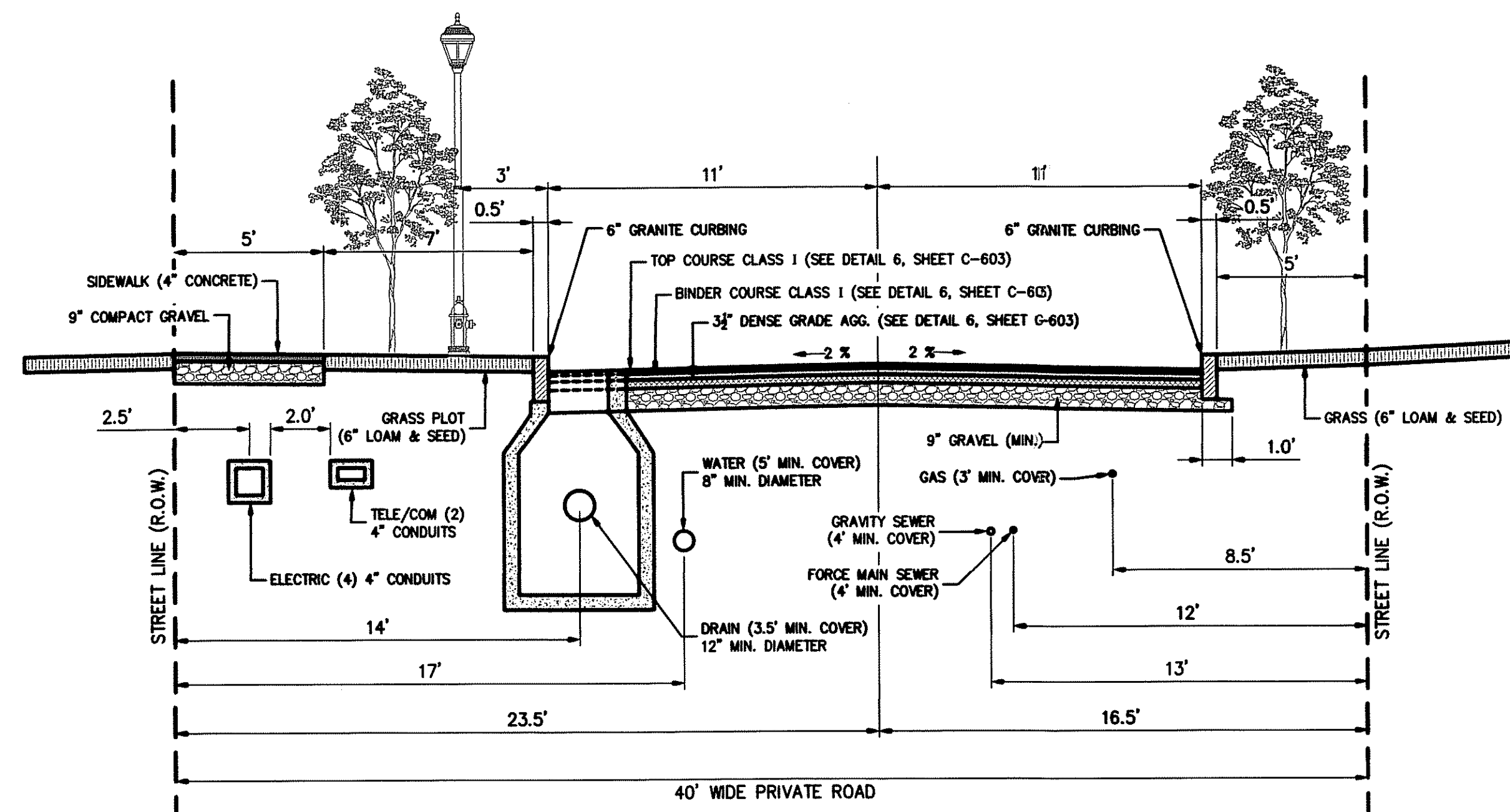
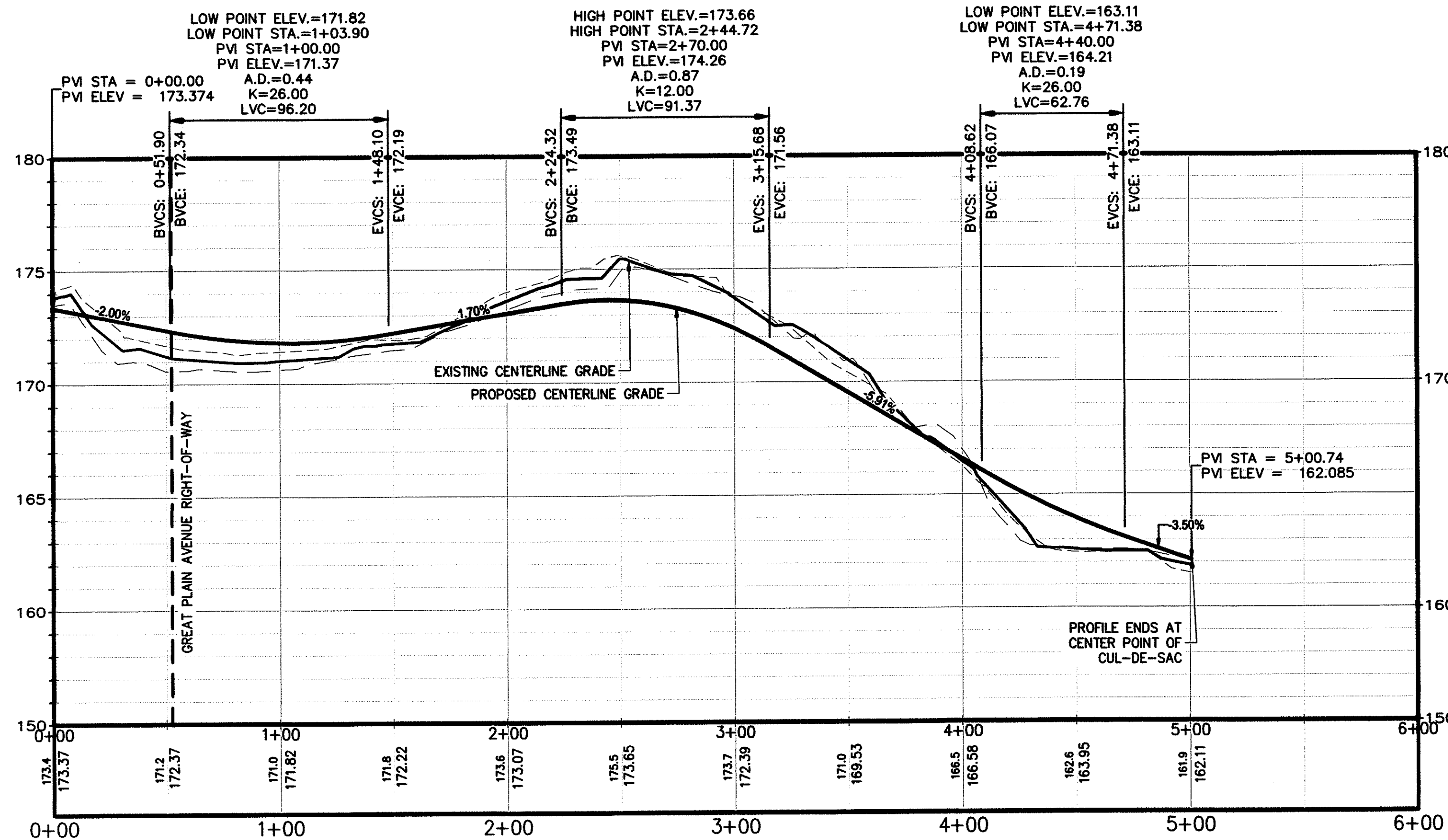




SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>James J. Danahan</i>	definitive application filed	7/2/2015
<i>Catherine J. Johnson</i>	definitive plan filed	7/2/2015
<i>Jan L. Rhee</i>	public hearing date	OPEN 8/24/2015
DATE 1/17/2017	area regulation district	20,600
	project number	PB-15-F-1
	PB number	PB-15-F-1

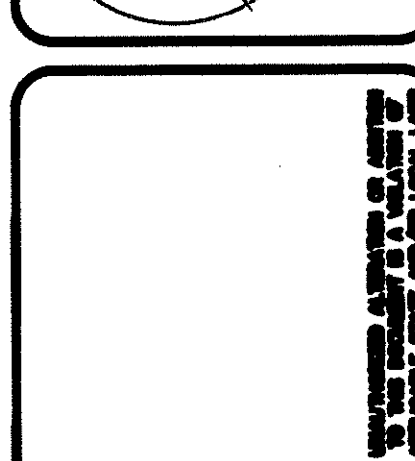
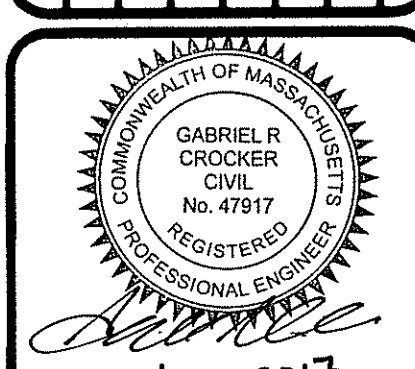
I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Paul Nale DATE: 1-10-2017



TYPICAL ROADWAY AND UTILITY SECTION
NOT TO SCALE

No.	Submitted / Revision	By	Date
0	DEFINITIVE SUBDIVISION SUBMITTAL	GRC	HD 07/01/15
1	REVISED SUBDIVISION LAYOUT RESPONSE TO COMMENTS	GRC	JPM 04/04/16
2	REVISED SUBDIVISION LAYOUT RESPONSE TO COMMENTS	GRC	JMPK 11/28/16
3	REVISED FOR DPW COMMENTS	GRC	JMPK 01/10/17



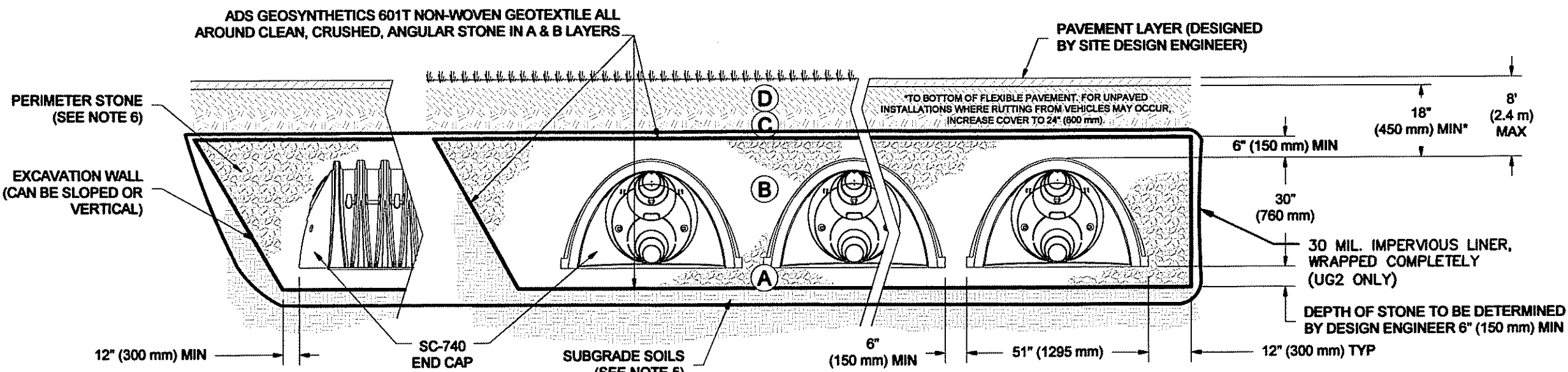
Checked: SK
Drawn: JPM
Design: CHA

135 GREAT PLAIN AVENUE WELLESLEY, MASSACHUSETTS
ROADWAY PLAN AND PROFILE
Issue Date: 07/01/15 Project No.: 29219 Scale: AS NOTED

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'C' LAYER.	AASHTO M145 A-1, A-2-4, A-3 OR AASHTO M43 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ²

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



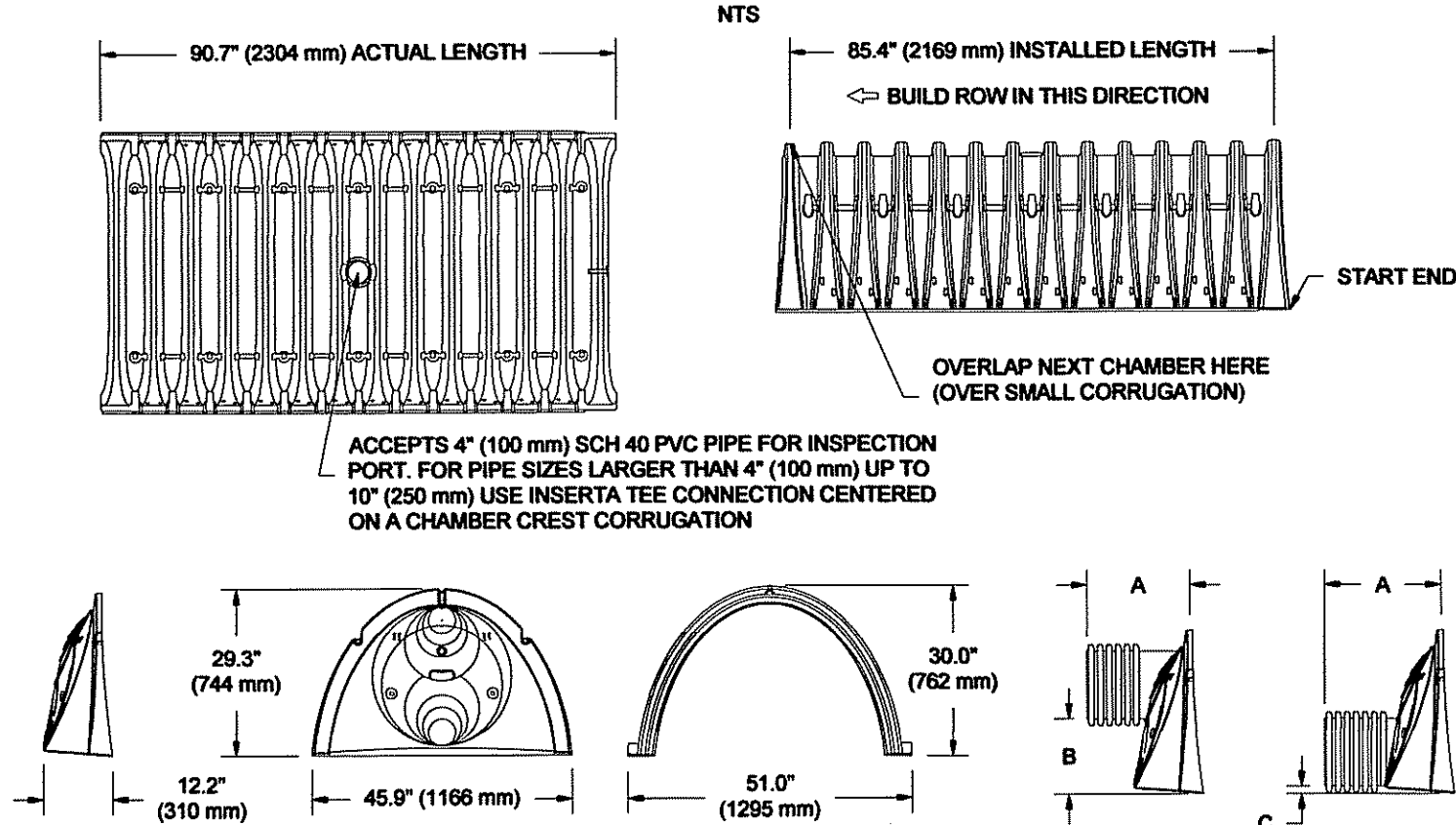
NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- STORMTECH SC-740 UNITS TO BE H20 RATED FOR VEHICLE LOADS.

1 STORMTECH SC-740 CHAMBER UNIT SYSTEM

SCALE: NO SCALE

SC-740 TECHNICAL SPECIFICATION



NOMINAL CHAMBER SPECIFICATIONS	SIZE (W X H X INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
51.0" X 30.0" X 85.4"	45.9 CUBIC FEET	74.9 CUBIC FEET	75.0 lbs.	(1.30 m³)
(1295 mm X 762 mm X 2169 mm)				(2.12 m³)
				(33.6 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

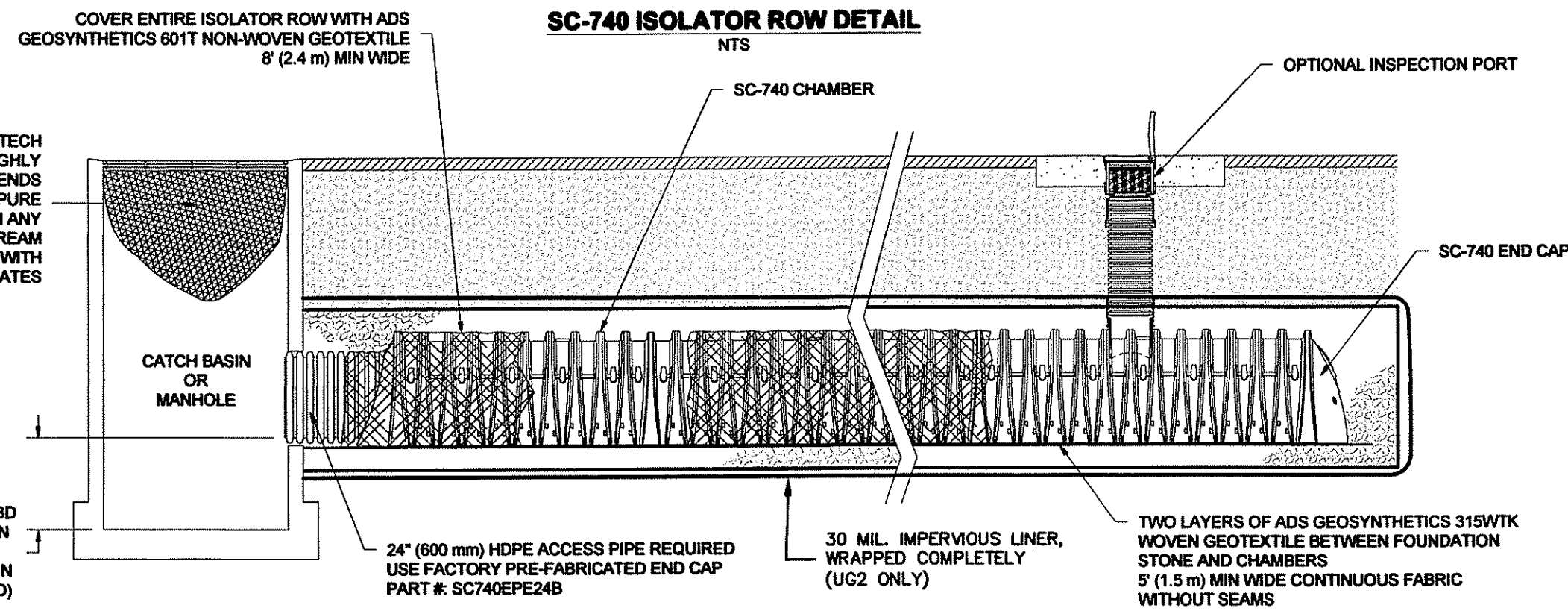
STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	A	B	C
SC740EPE06T / SC740EPE06TPC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	0.5" (13 mm)
SC740EPE08T / SC740EPE08TPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	0.6" (15 mm)
SC740EPE10T / SC740EPE10TPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	0.7" (18 mm)
SC740EPE12T / SC740EPE12TPC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	1.2" (30 mm)
SC740EPE14T / SC740EPE14TPC	14" (350 mm)	16.0" (406 mm)	9.0" (229 mm)	—
SC740EPE16T / SC740EPE16TPC	16" (400 mm)	17.3" (439 mm)	5.0" (127 mm)	1.3" (33 mm)
SC740EPE18T / SC740EPE18TPC	18" (450 mm)	18.6" (470 mm)	—	1.6" (41 mm)
SC740EPE20T / SC740EPE20TPC	20" (500 mm)	—	—	0.1" (3 mm)

ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL



INSPECTION & MAINTENANCE

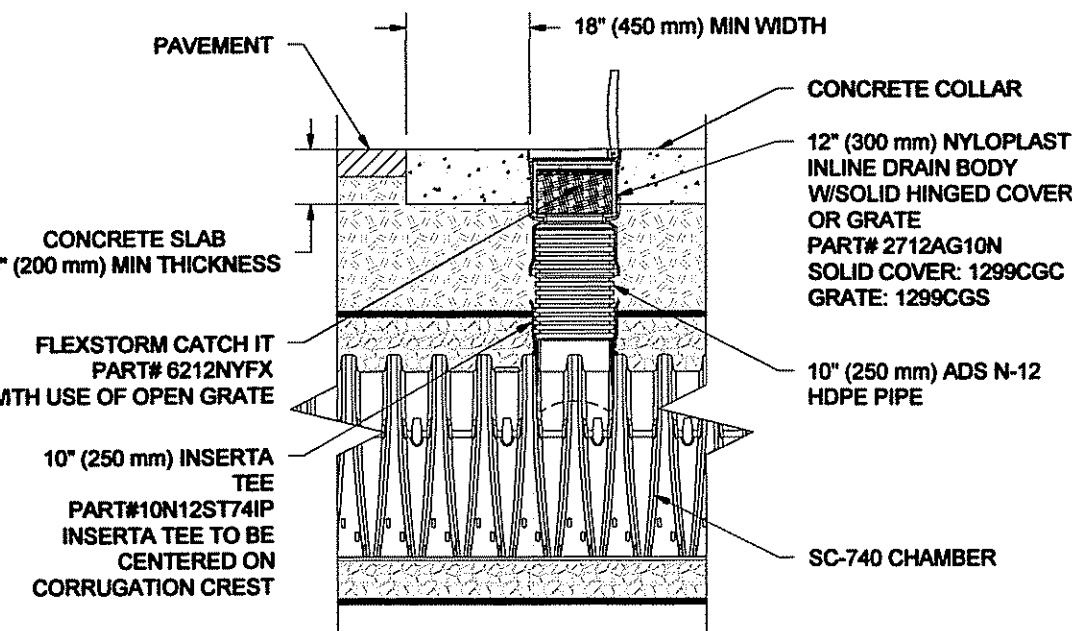
STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT

- INSPECTION PORTS (IF PRESENT)
- REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
- REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

- ALL ISOLATOR ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
- USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
- 2.1. MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- 2.2. FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

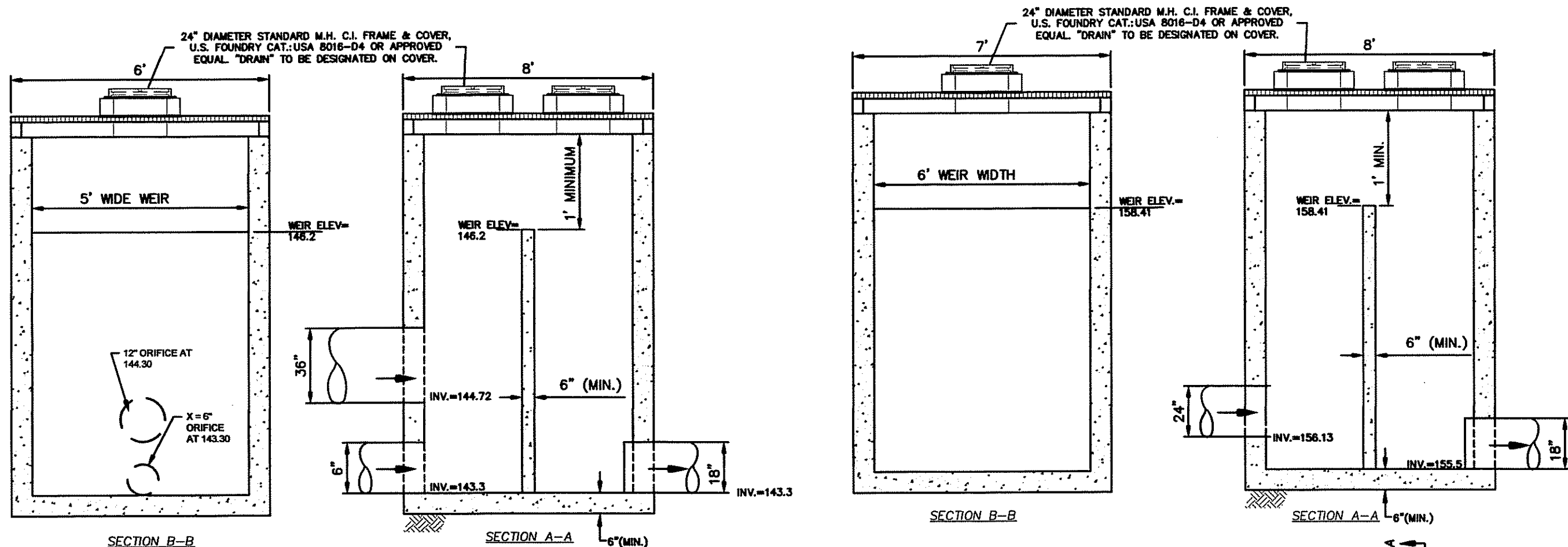
- CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
- APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- VACUUM STRUCTURE SUMP AS REQUIRED

- REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

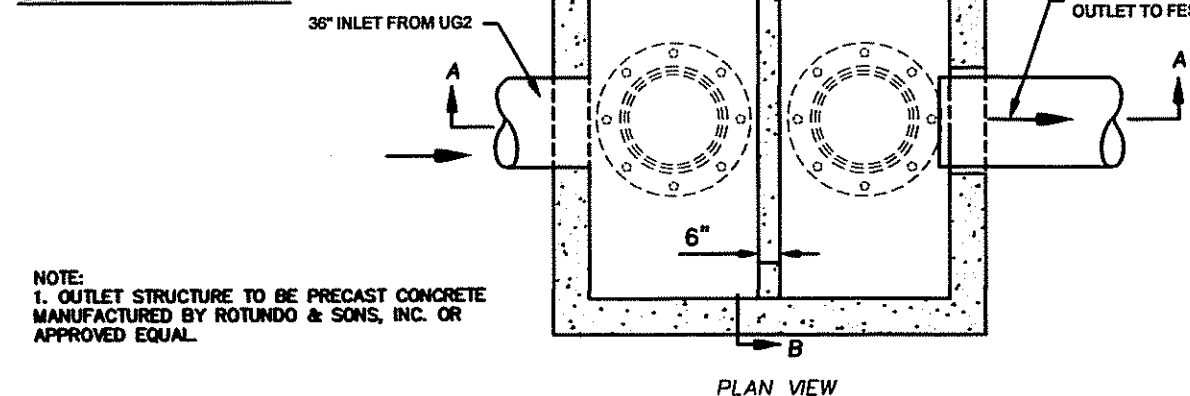


NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

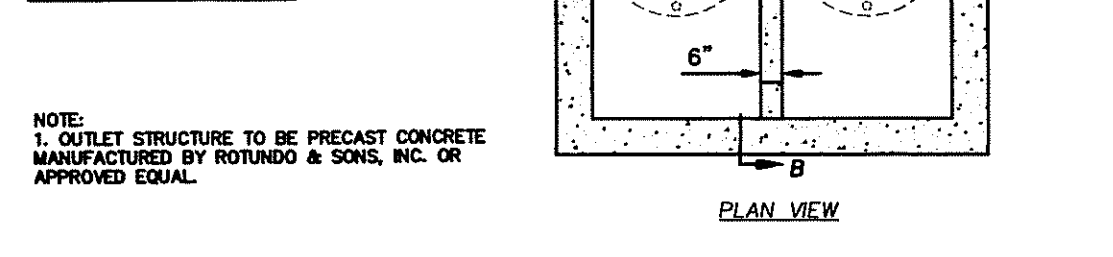


OCS 2 DETAIL



NOTE:
1. OUTLET STRUCTURE TO BE PRECAST CONCRETE MANUFACTURED BY ROTUNDO & SONS, INC. OR APPROVED EQUAL.

OCS 1 DETAIL



NOTE:
1. OUTLET STRUCTURE TO BE PRECAST CONCRETE MANUFACTURED BY ROTUNDO & SONS, INC. OR APPROVED EQUAL.

2 OUTLET CONTROL STRUCTURE DETAILS

SCALE: NO SCALE

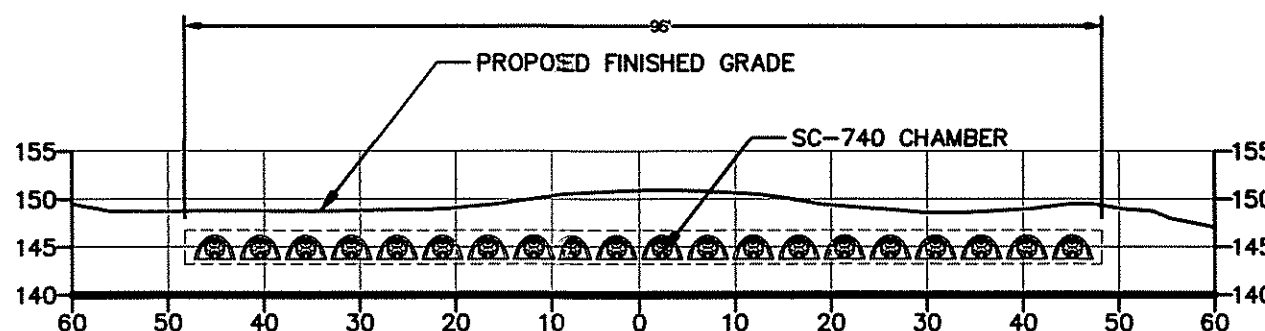
3 UG-1: SECTION A-A'

SCALE: NO SCALE

UG1

32' X 40' (STONE)
6 ROWS OF 5 STORMTECH SC-740 CHAMBERS
STONE ELEVATION = 155.50
STONE DEPTH = 3.75'
CHAMBER INVERT = 156.0

*H20 RATED CHAMBERS



4 UG-2: SECTION B-B'

SCALE: NO SCALE

UG2

96.5' X 159' (STONE)
2 ROWS OF 21 STORMTECH SC-740 CHAMBERS
2 ROWS OF 23 STORMTECH SC-740 CHAMBERS
16 ROWS OF 22 STORMTECH SC-740 CHAMBERS
STONE ELEVATION = 143.30
STONE DEPTH = 3.5'
CHAMBER INVERT = 143.8

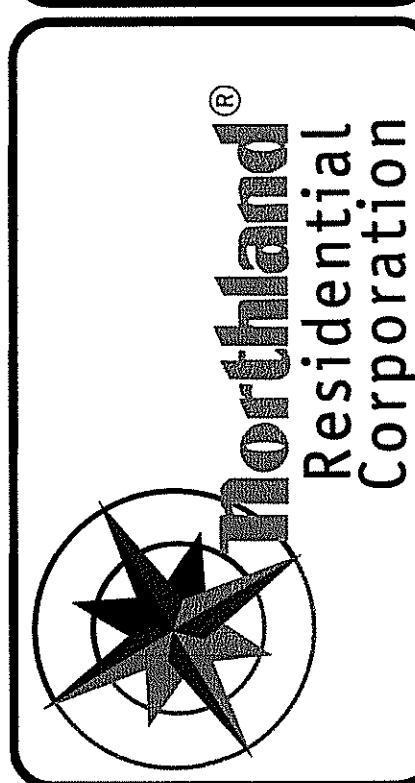
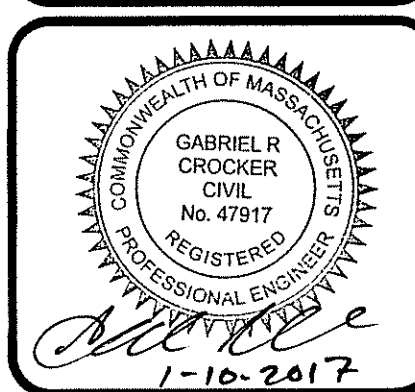
* SURROUNDED COMPLETELY BY IMPERVIOUS LINER, H20 RATED CHAMBERS

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

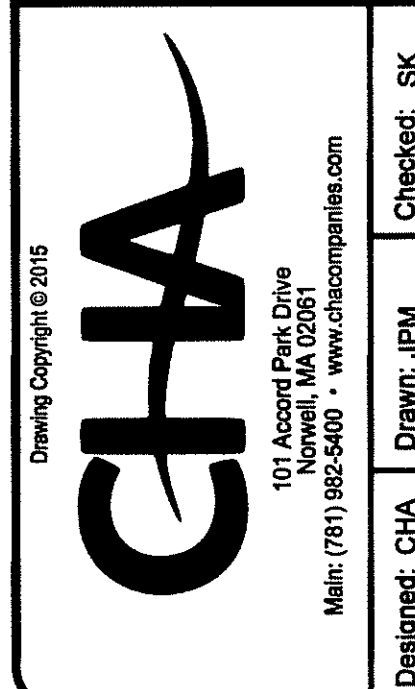
Shell Nalle DATE: 1-10-2017

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>[Signature]</i>	definitive application filed	7/2/2015
<i>[Signature]</i>	definitive plan filed	7/2/2015
<i>[Signature]</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20,000
	project number	PB-15-F-1
	PB number	PB-15-F-1
DATE 1/17/2017		

Date	By	App'd	Submittal / Revision
07/01/15	GRG	GRG	DEFINITIVE SUBMISSION
04/04/16	JPM	GRG	REVISD SUBMISSION LAYOUT / RESPONSE TO COMMENTS
11/28/16	JMPK	GRG	REVISD SUBMISSION LAYOUT / RESPONSE TO COMMENTS
01/10/17	JMPK	GRG	REVISD FOR DPM COMMENTS

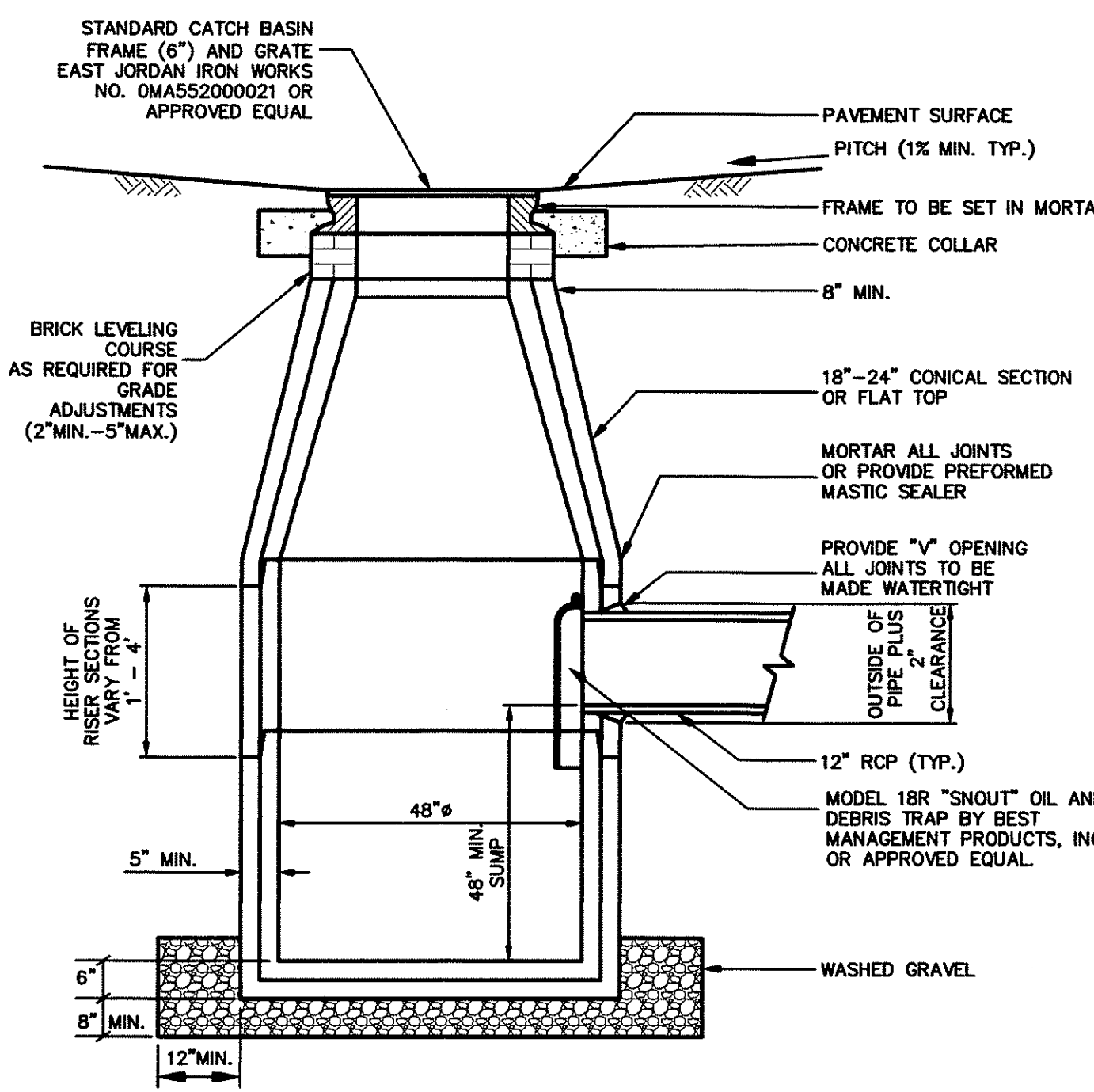


MAINTENANCE AND REPAIRS TO BE COMPLETED BY THE OWNER OR AN APPROVED CONTRACTOR. SEE SHEET C-202 FOR DETAILS.

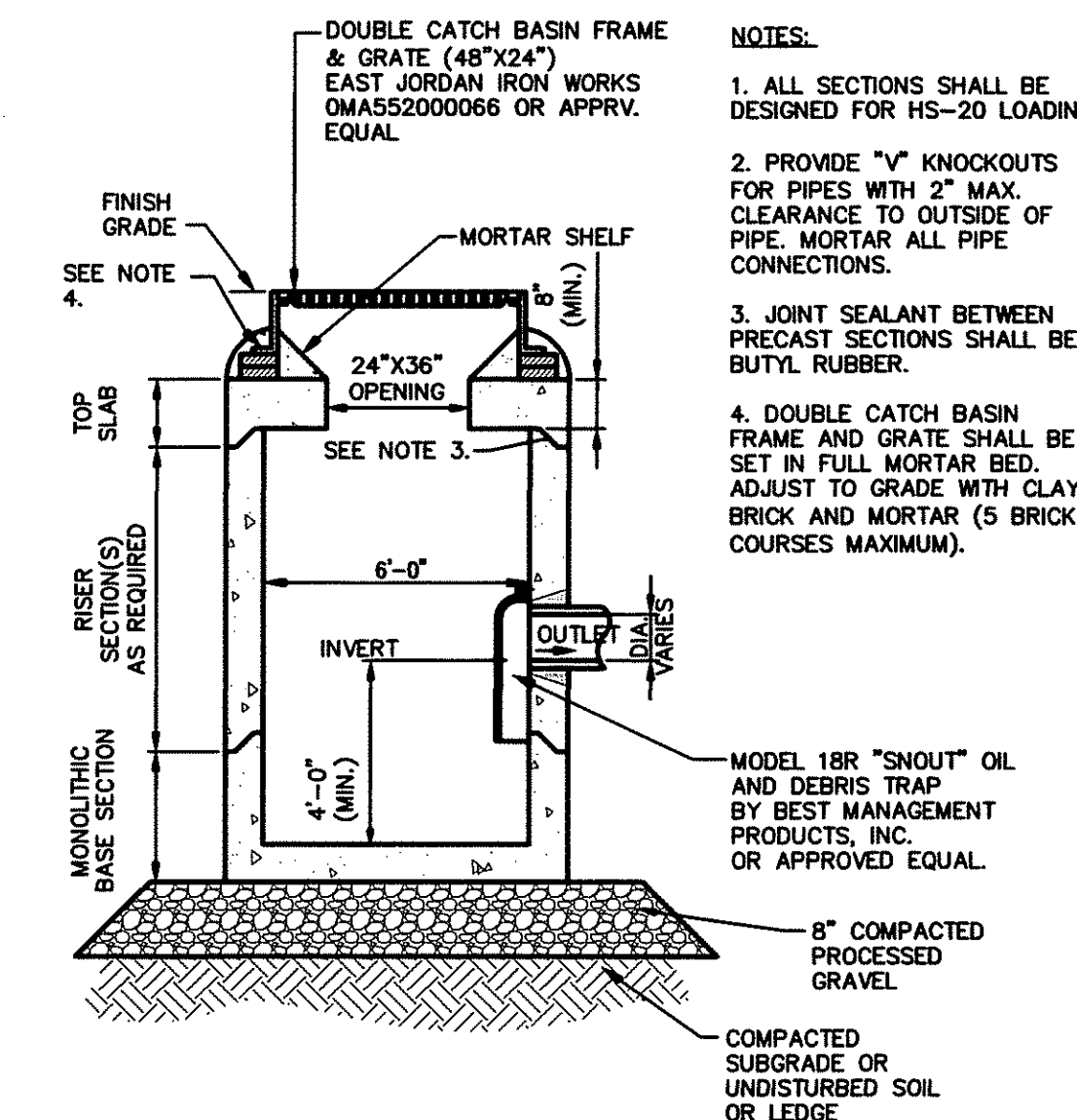


135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS
DETAILS
Project No. 28219
Scale: AS NOTED
Issue Date: 07/01/15

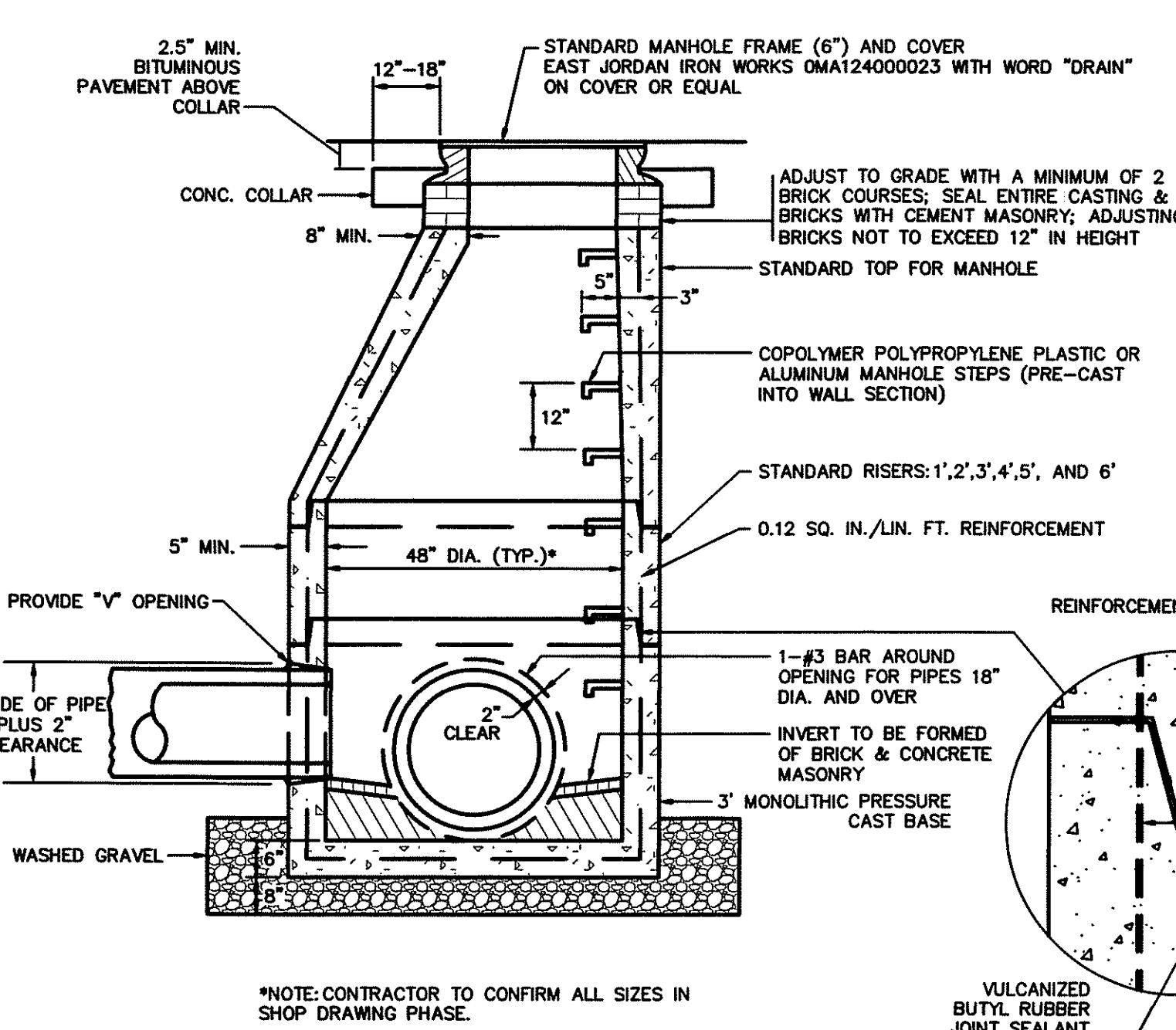
C-601
SHEET 14 OF 20 SHEETS



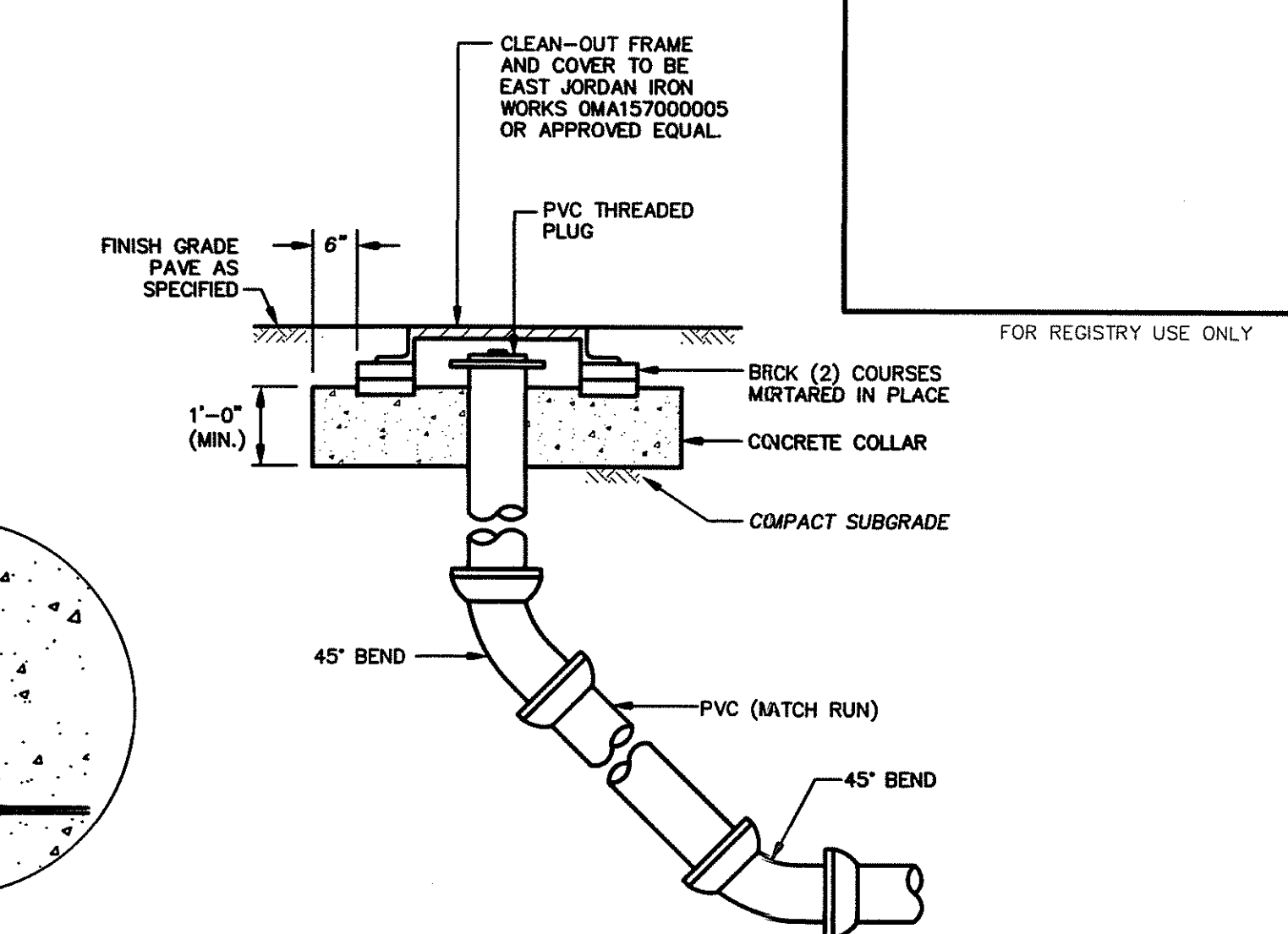
1 PRECAST CONCRETE SINGLE GRATE CATCH BASIN
SCALE: NO SCALE



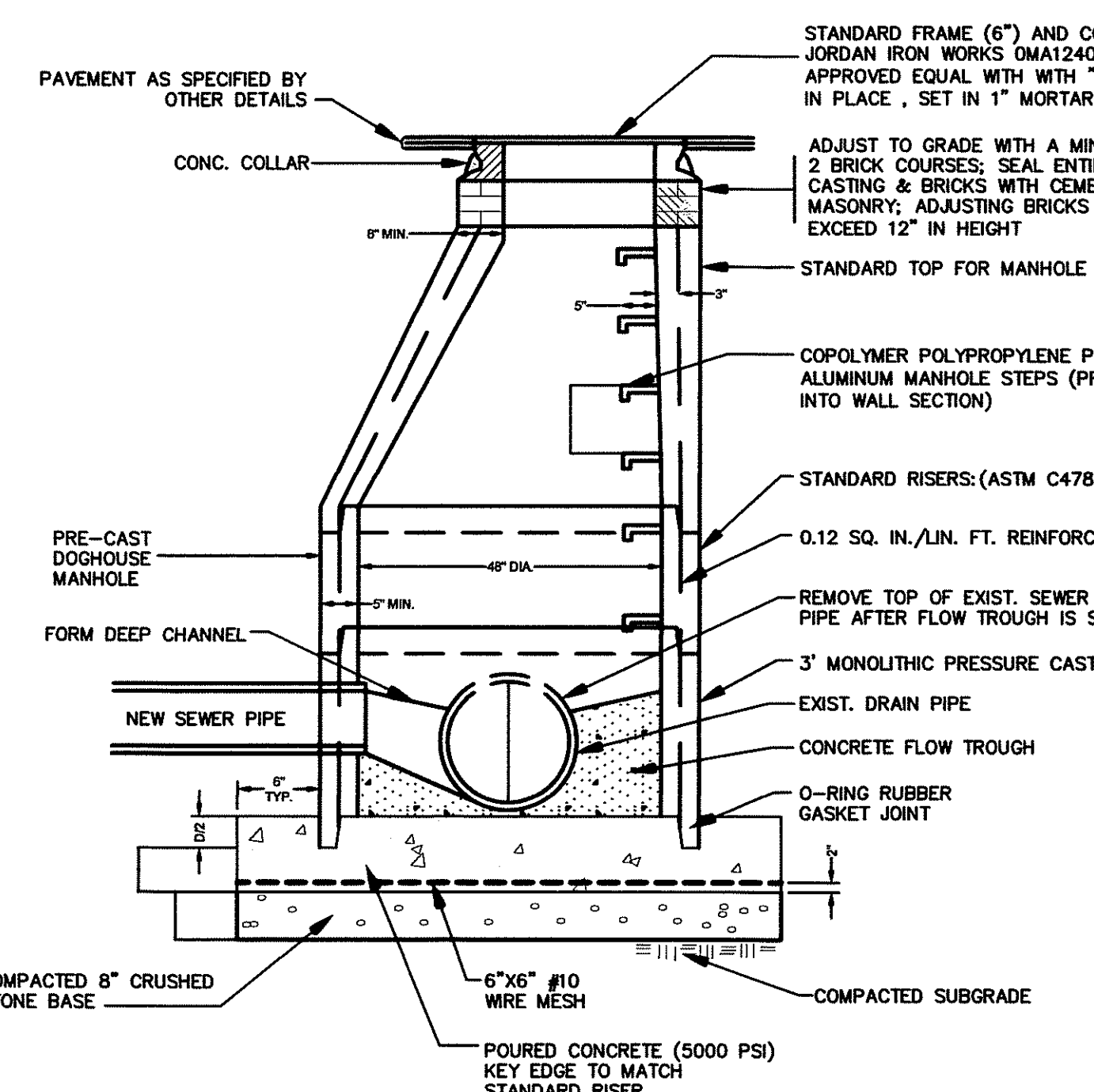
2 DOUBLE GRATE CATCH BASIN
SCALE: NO SCALE



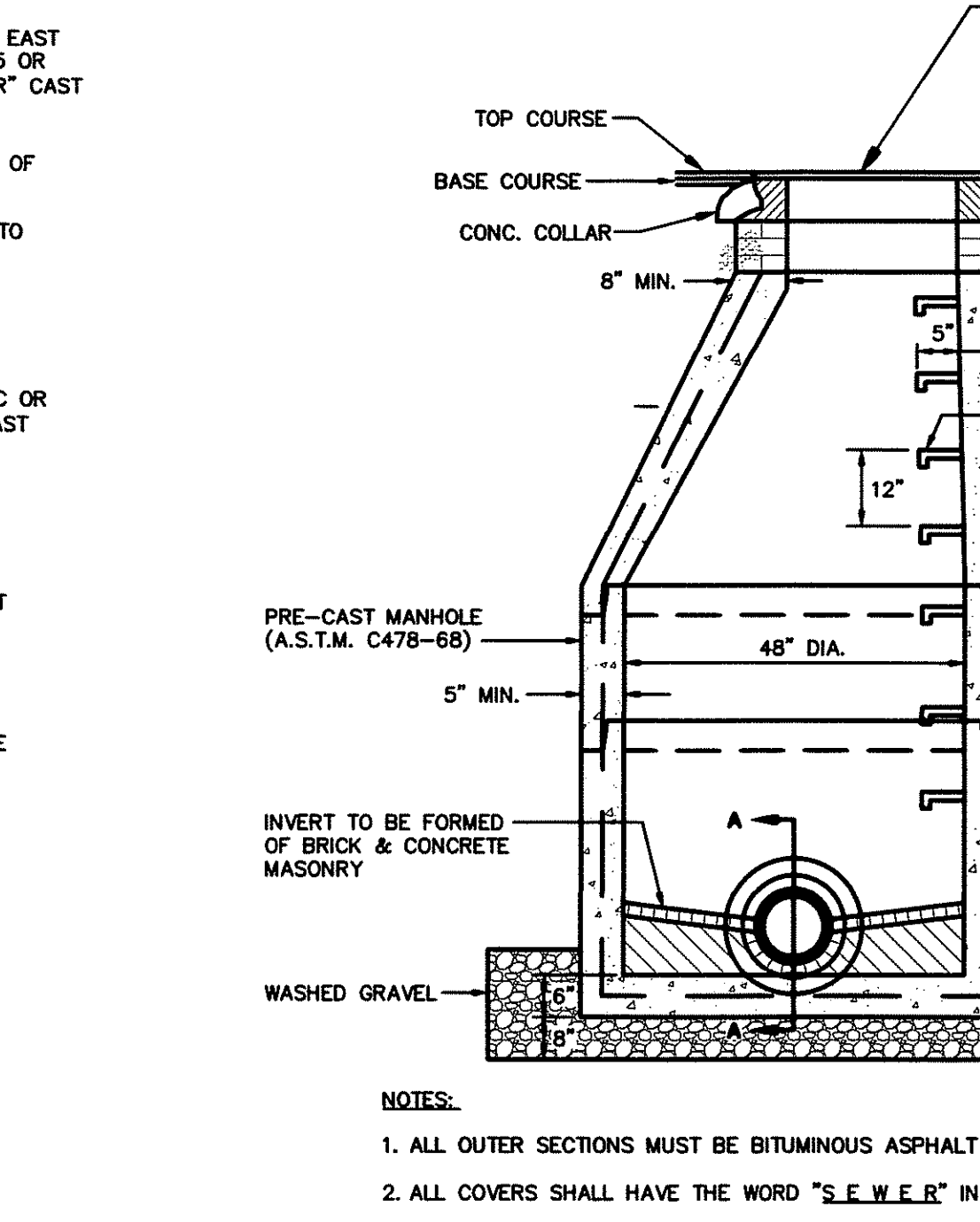
3 STANDARD PRE-CAST DRAIN MANHOLE
SCALE: NO SCALE



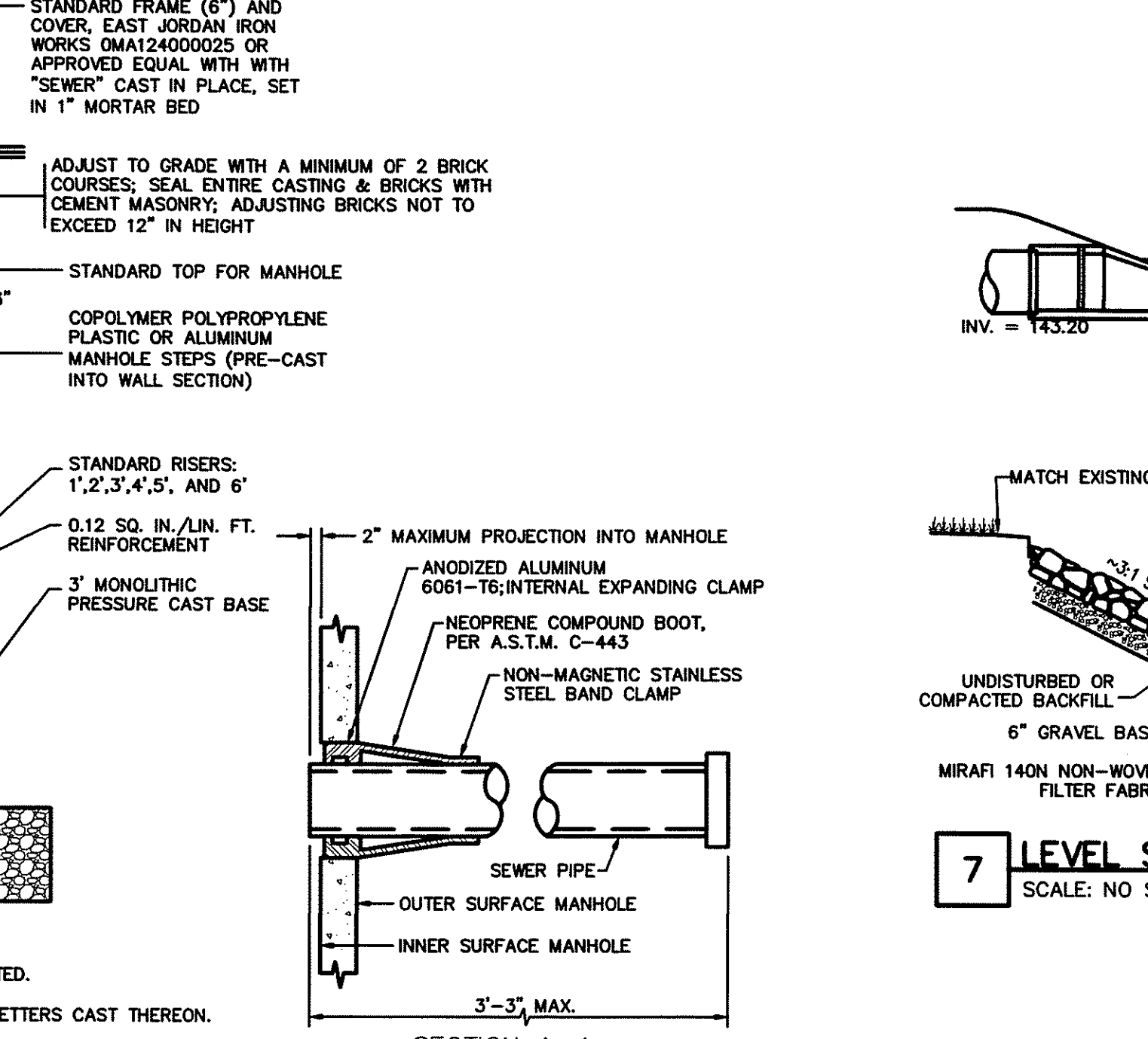
6 TYPICAL SEWER SERVICE CLEANOUT
SCALE: NO SCALE



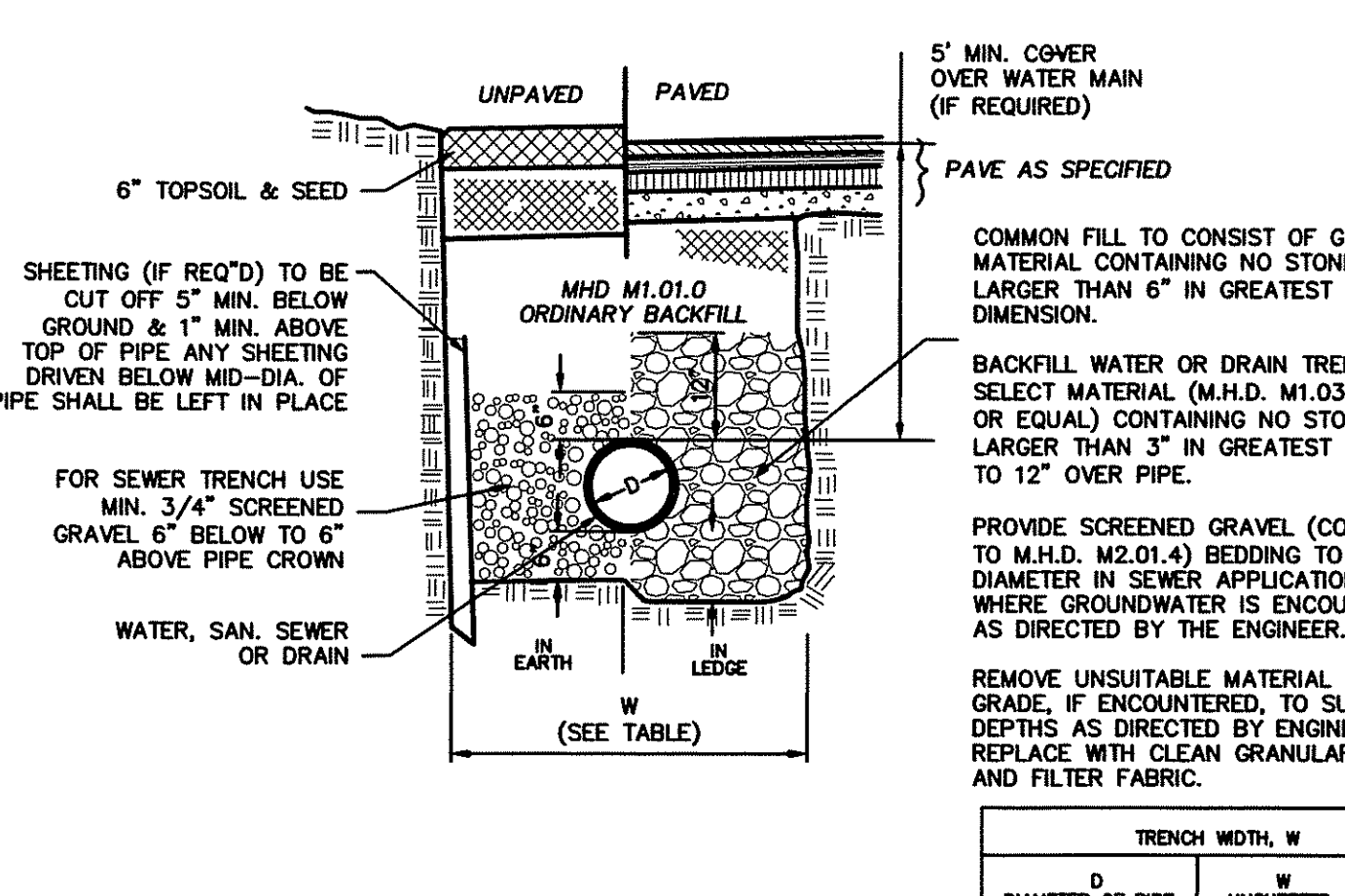
4 "DOGHOUSE" SEWER MANHOLE W/CAST IN PLACE BASE
SCALE: NO SCALE



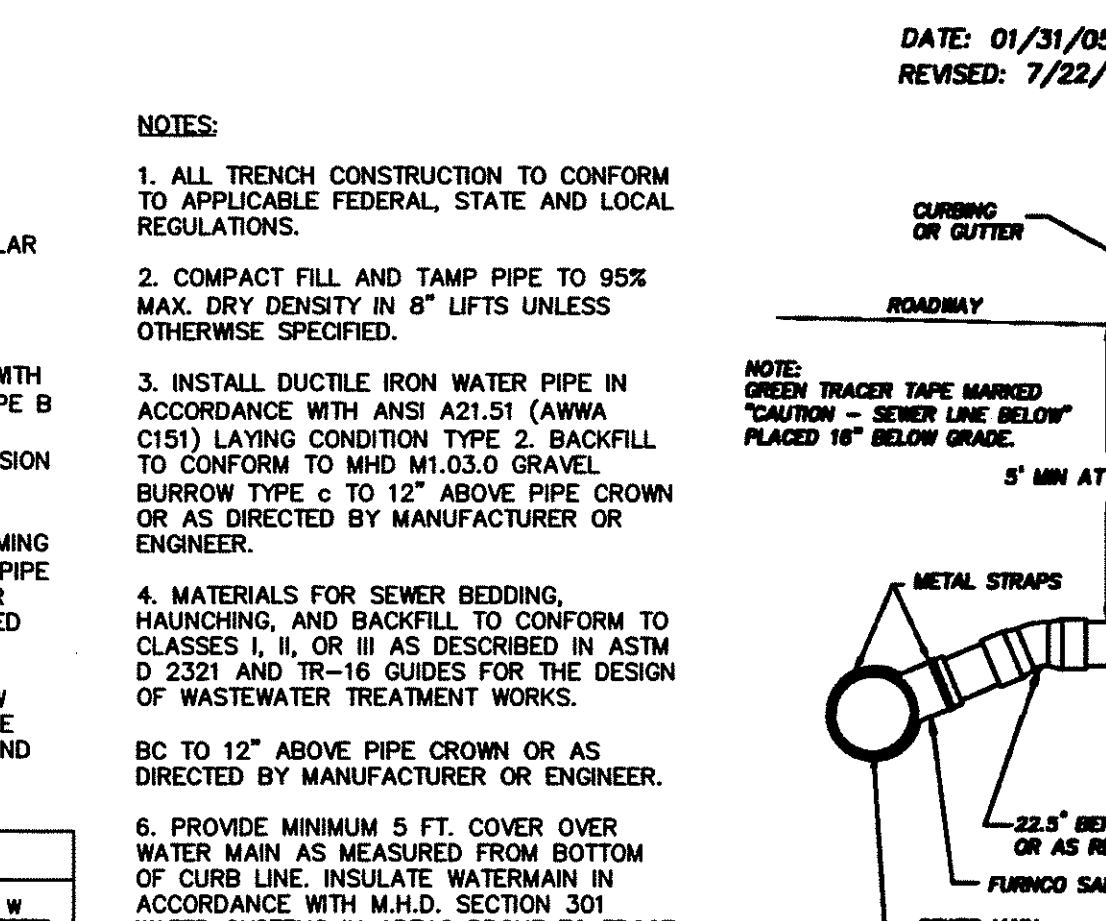
5 STANDARD PRE-CAST SEWER MANHOLE
SCALE: NO SCALE



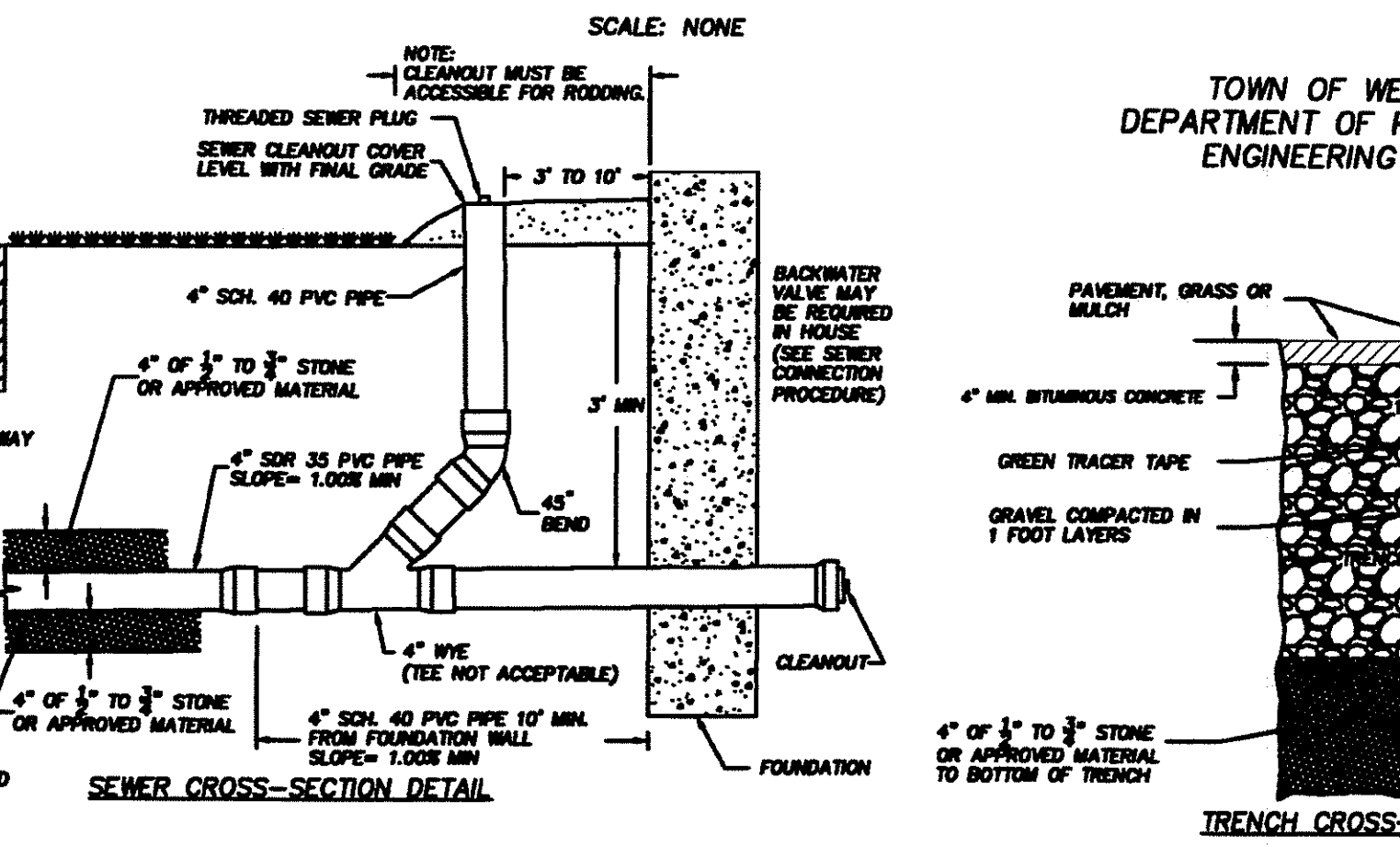
7 LEVEL SPREADER/PLUNGE POOL/ENERGY DISSIPATER
SCALE: NO SCALE



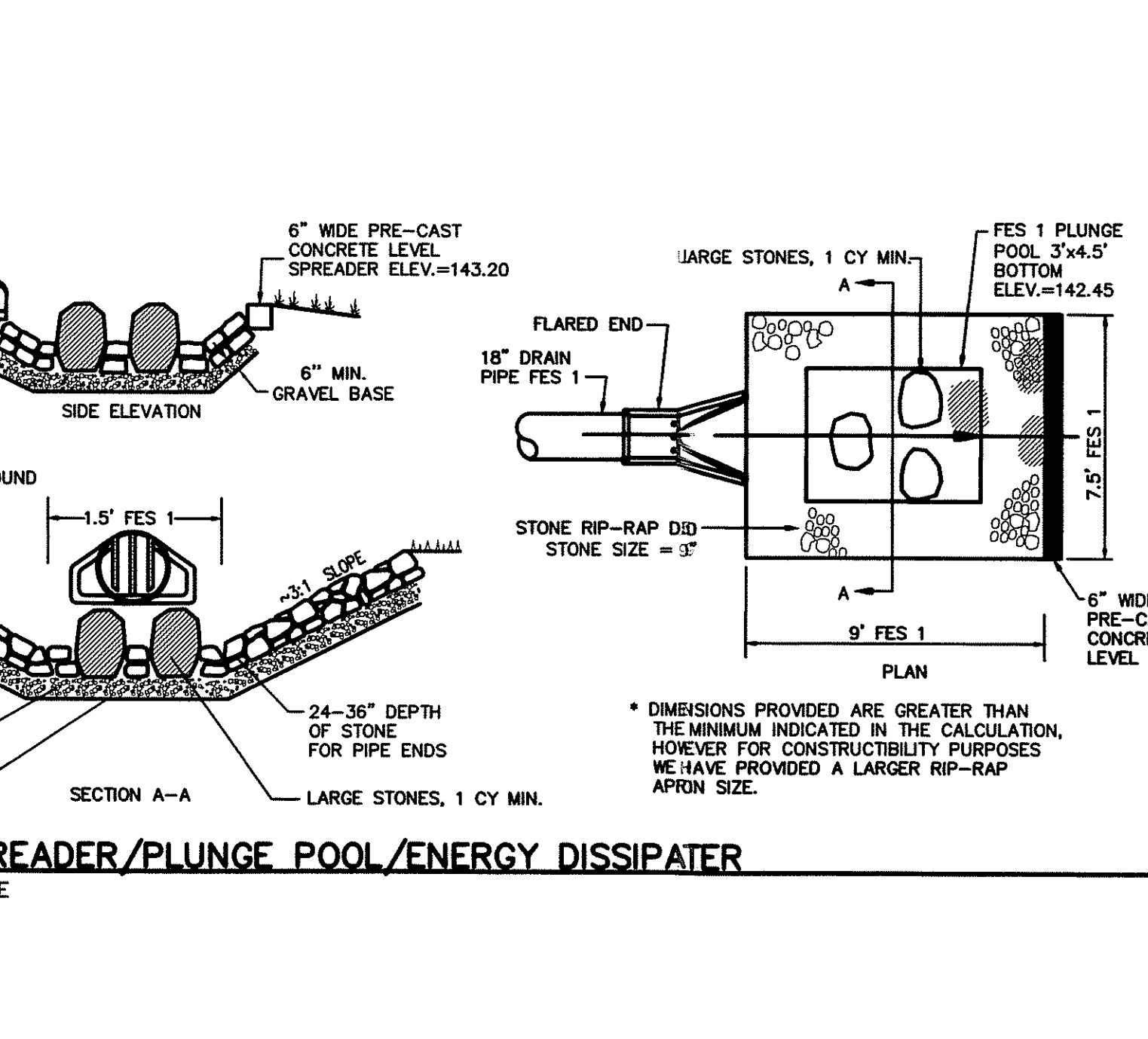
8 TYPICAL TRENCH SECTION
SCALE: NO SCALE



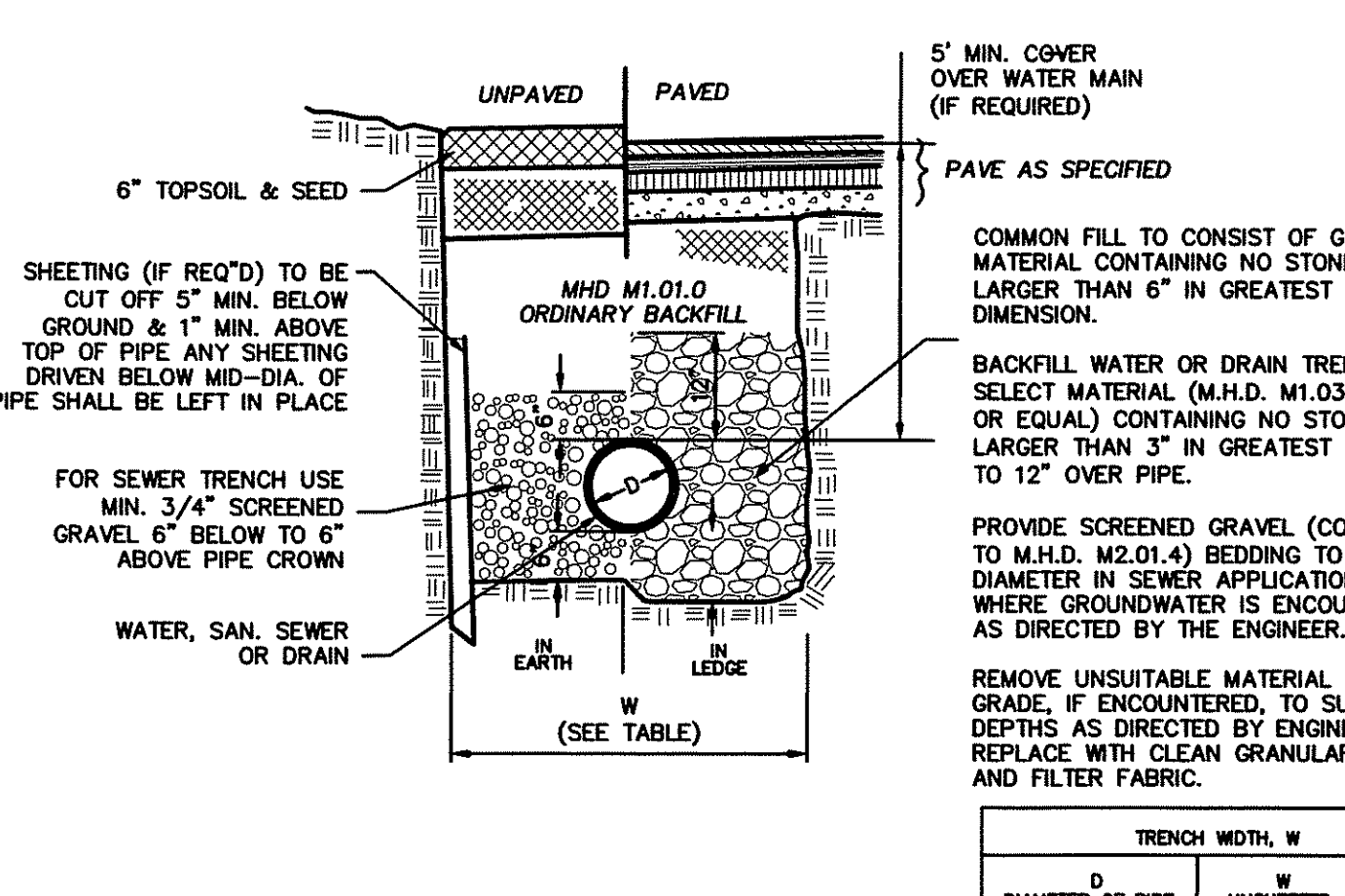
9 CLEANOUT FOR SANITARY SEWER HOUSE CONNECTION
SCALE: NO SCALE



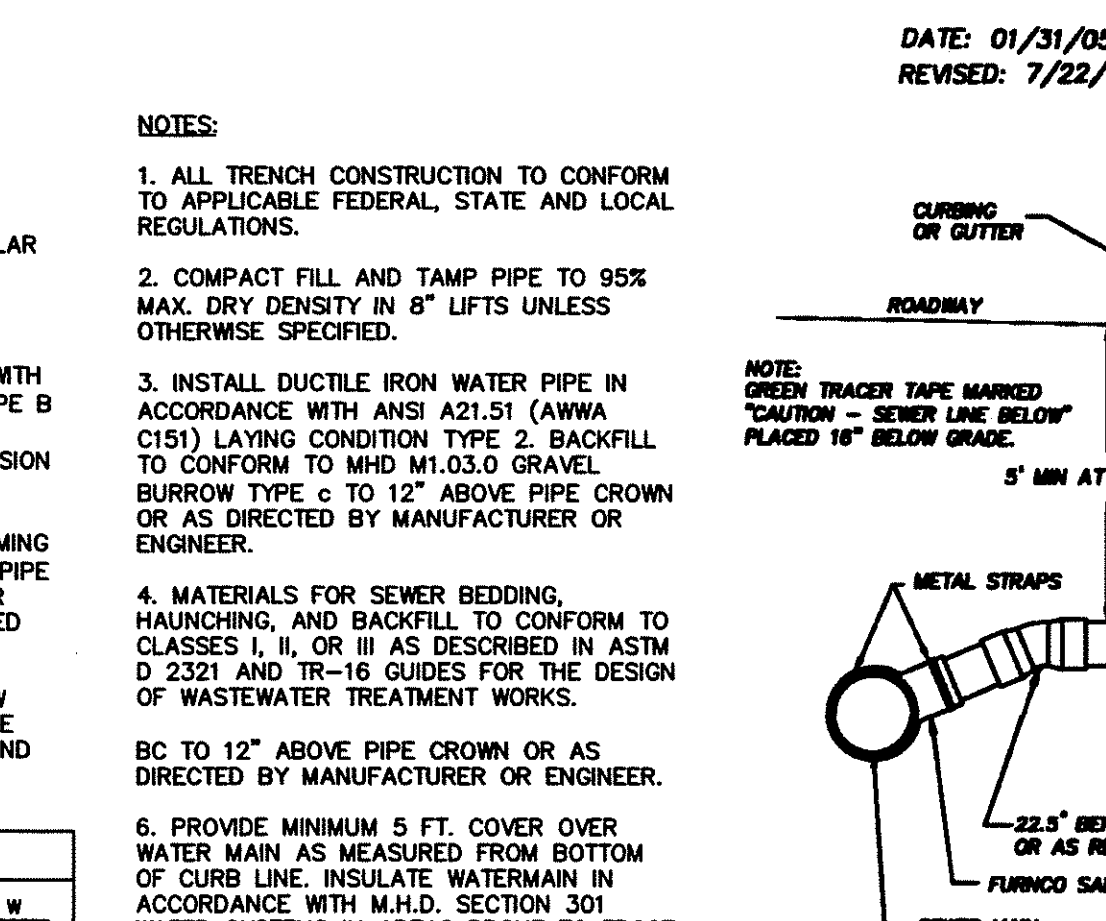
10 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



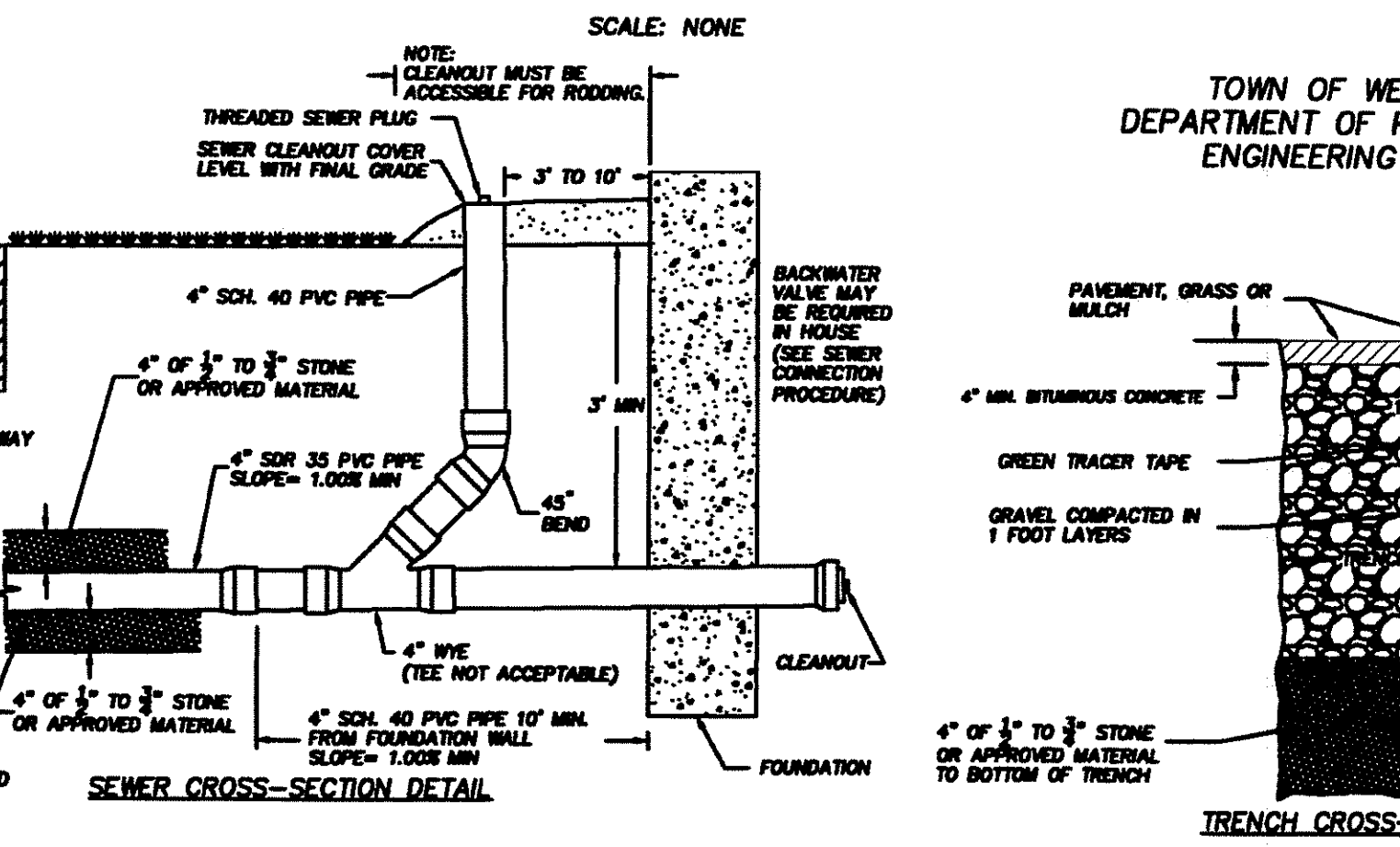
11 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



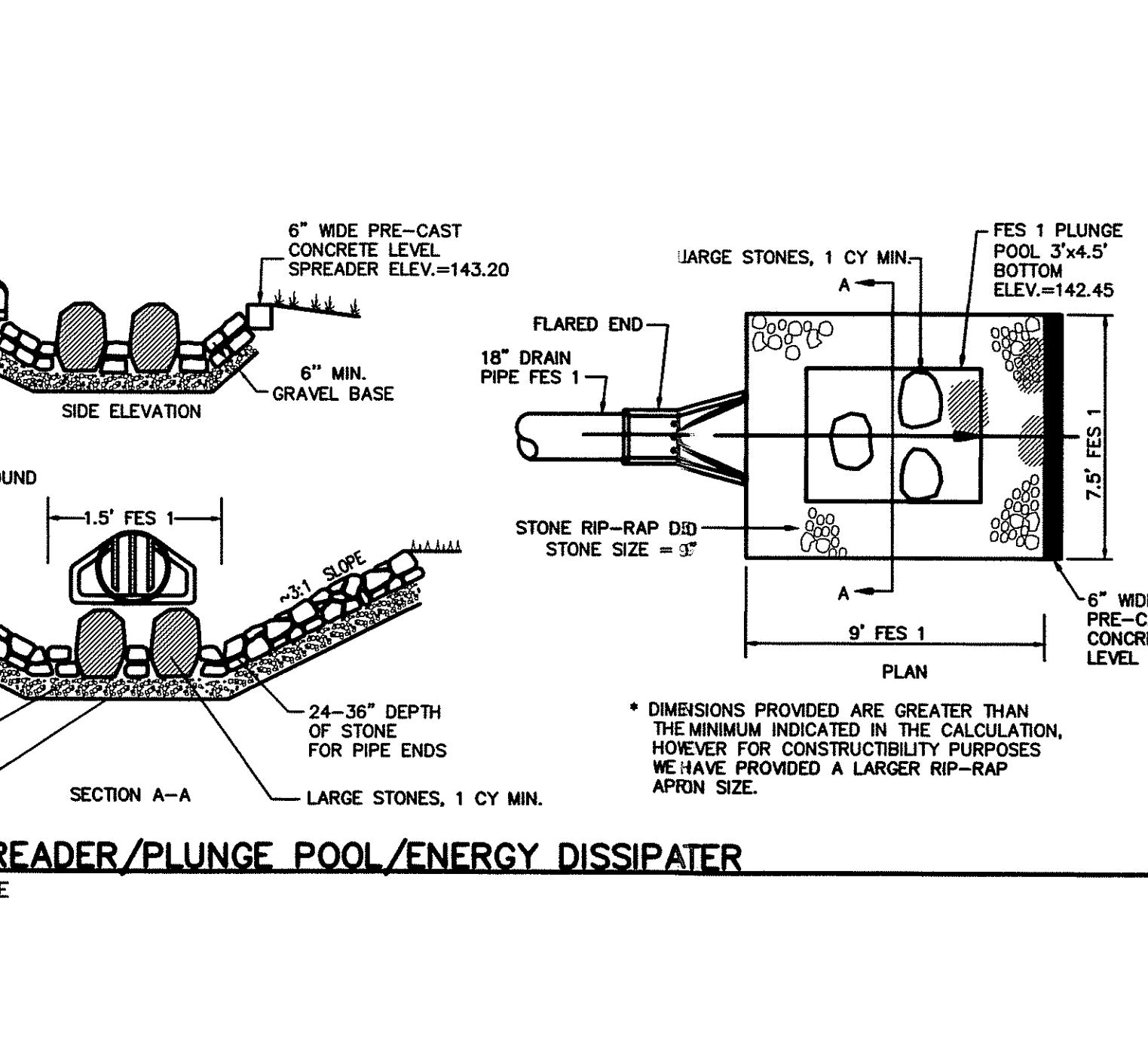
12 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



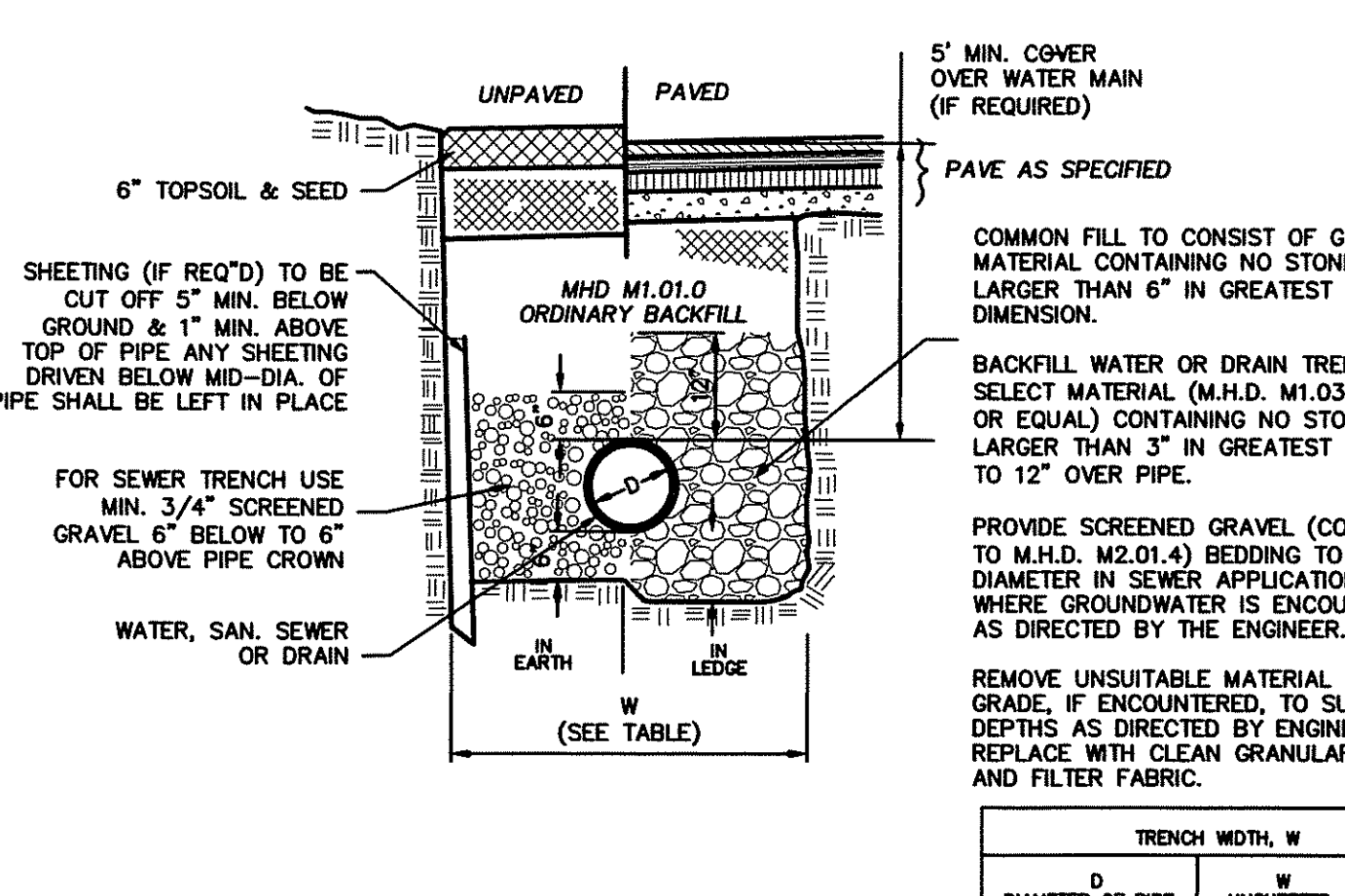
13 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



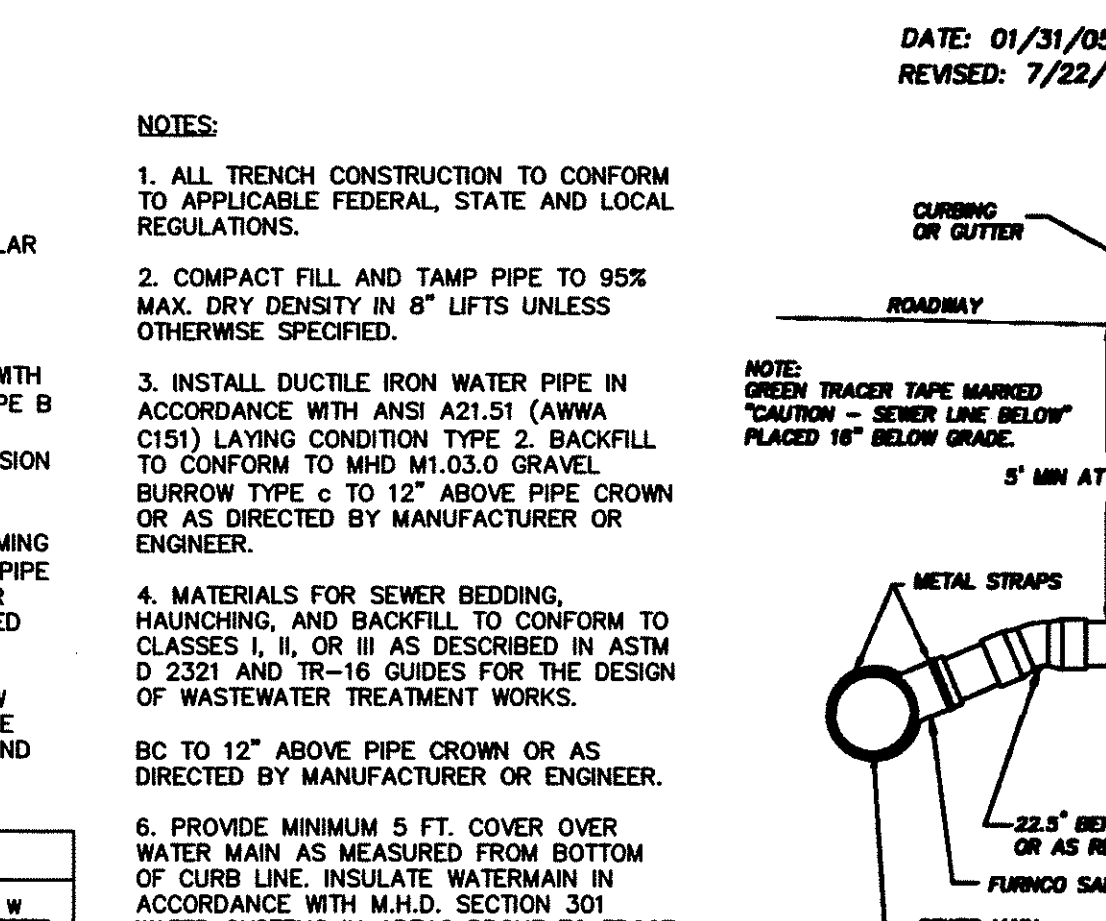
14 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



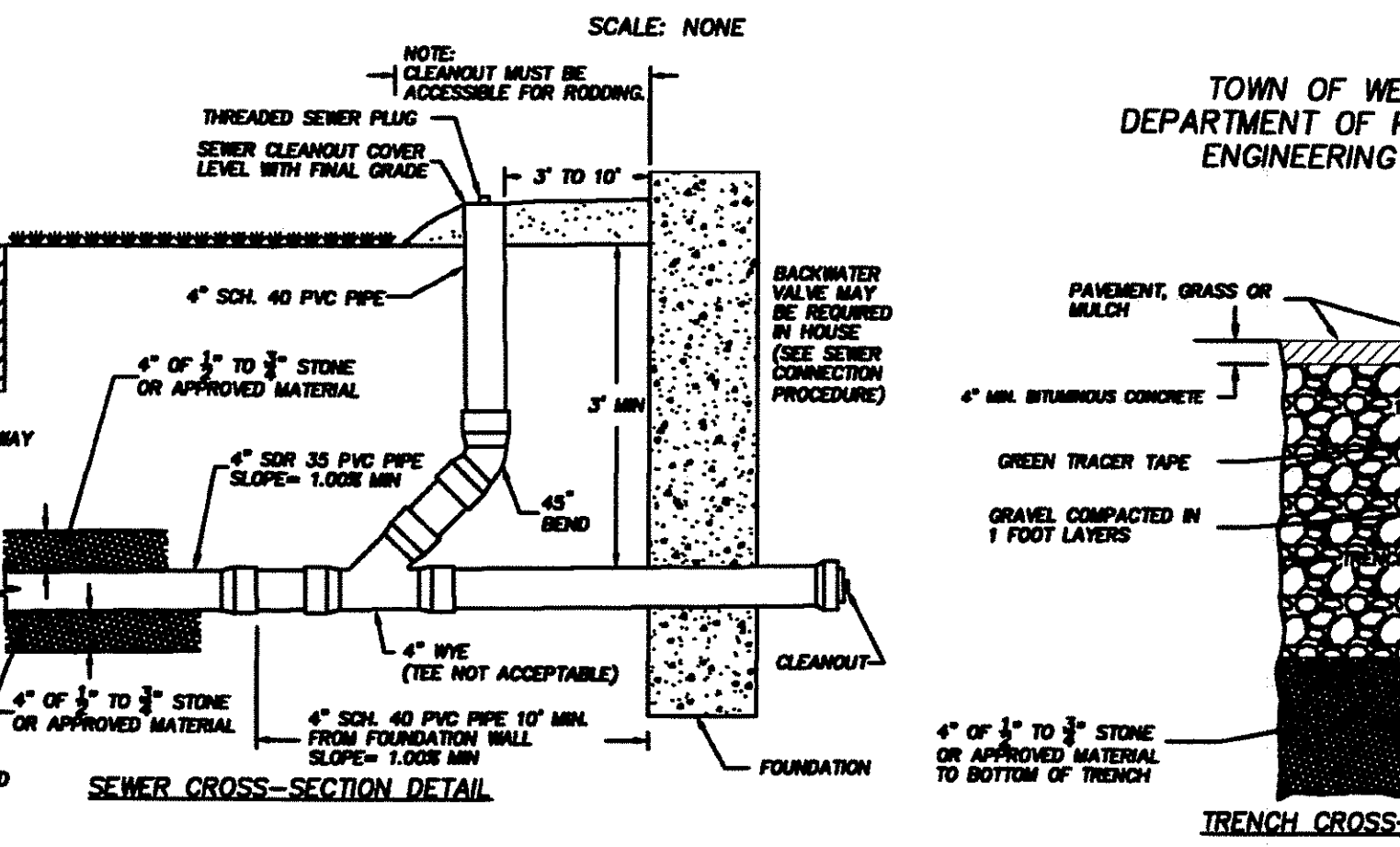
15 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



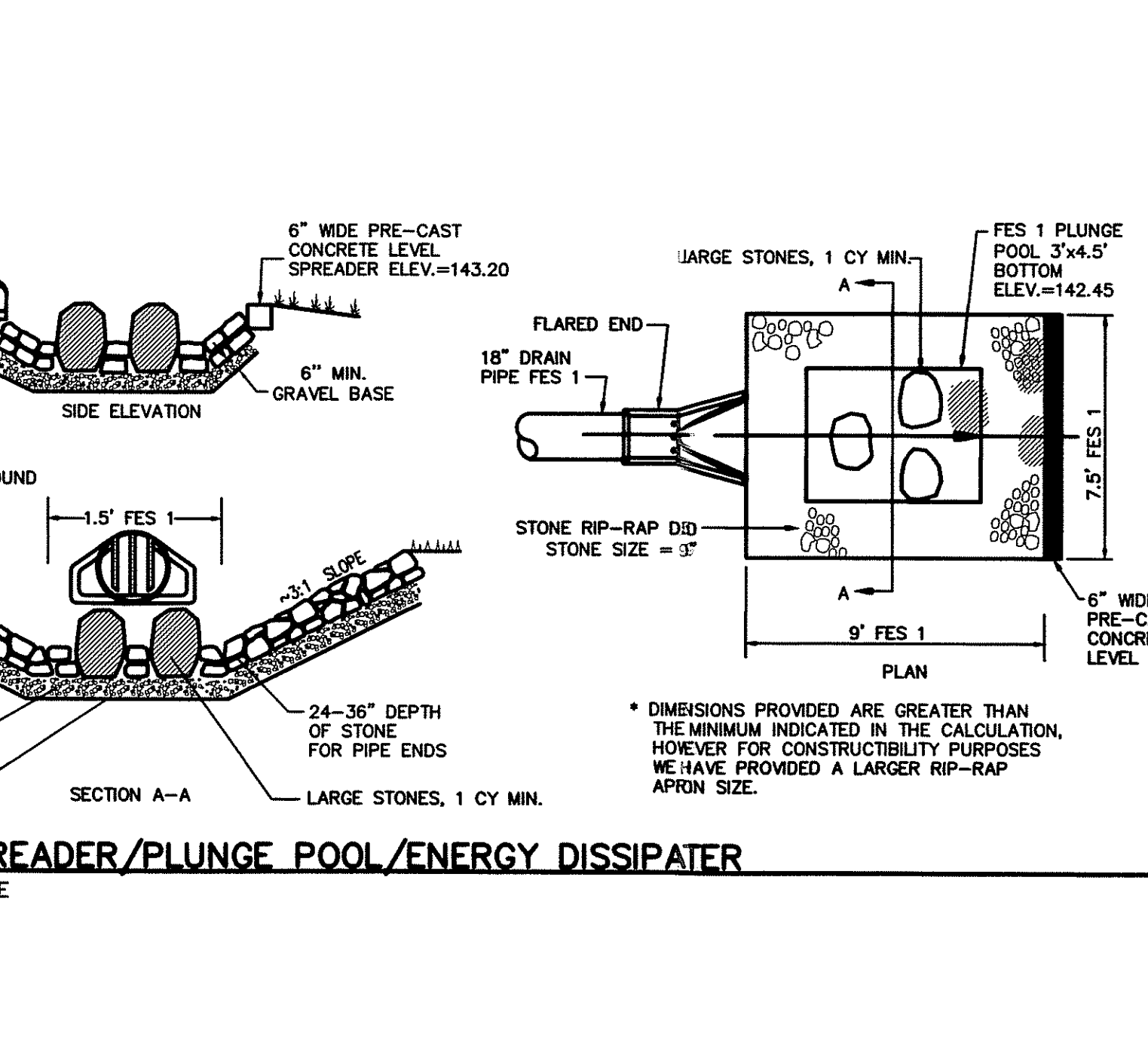
16 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



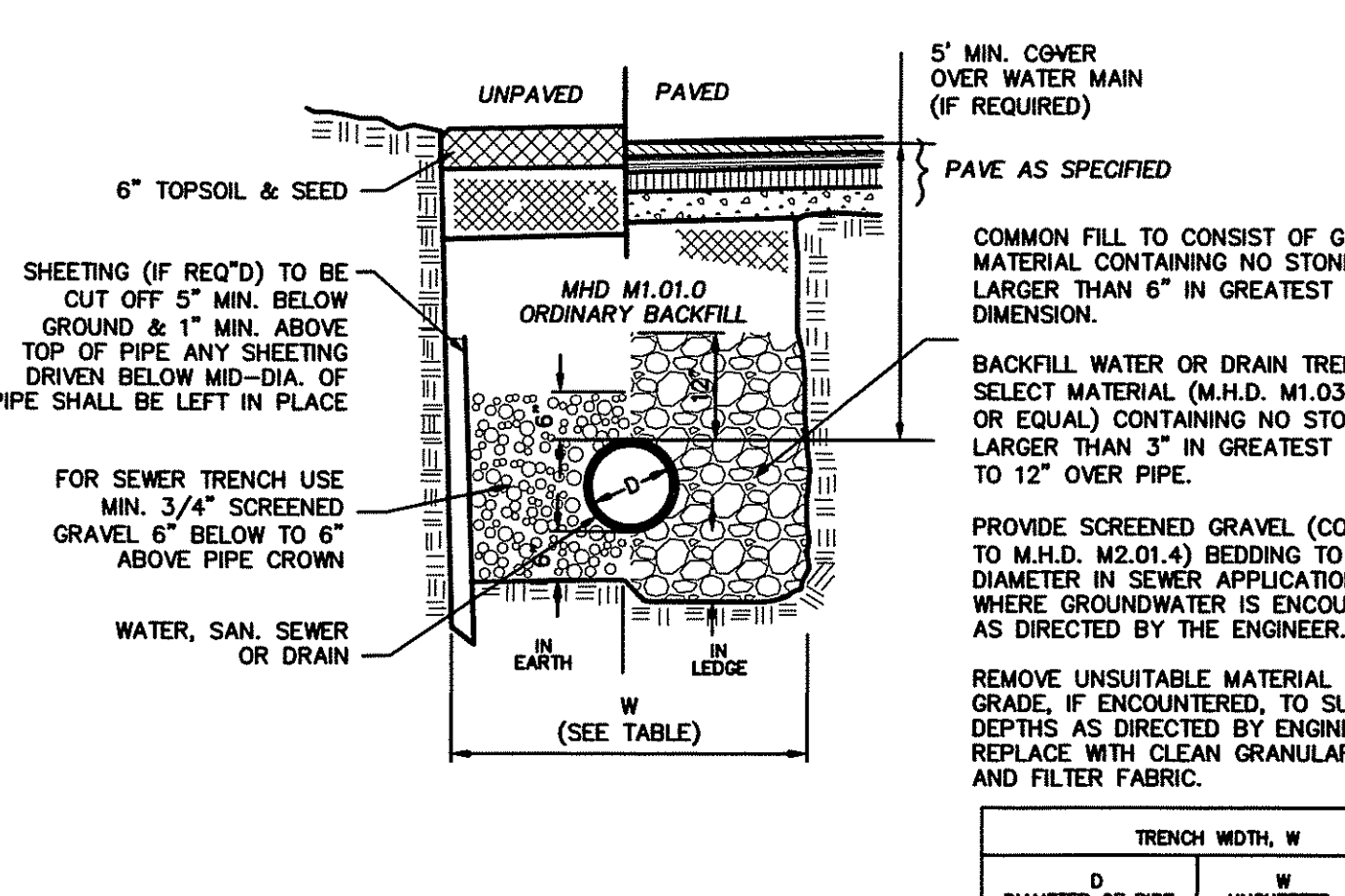
17 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



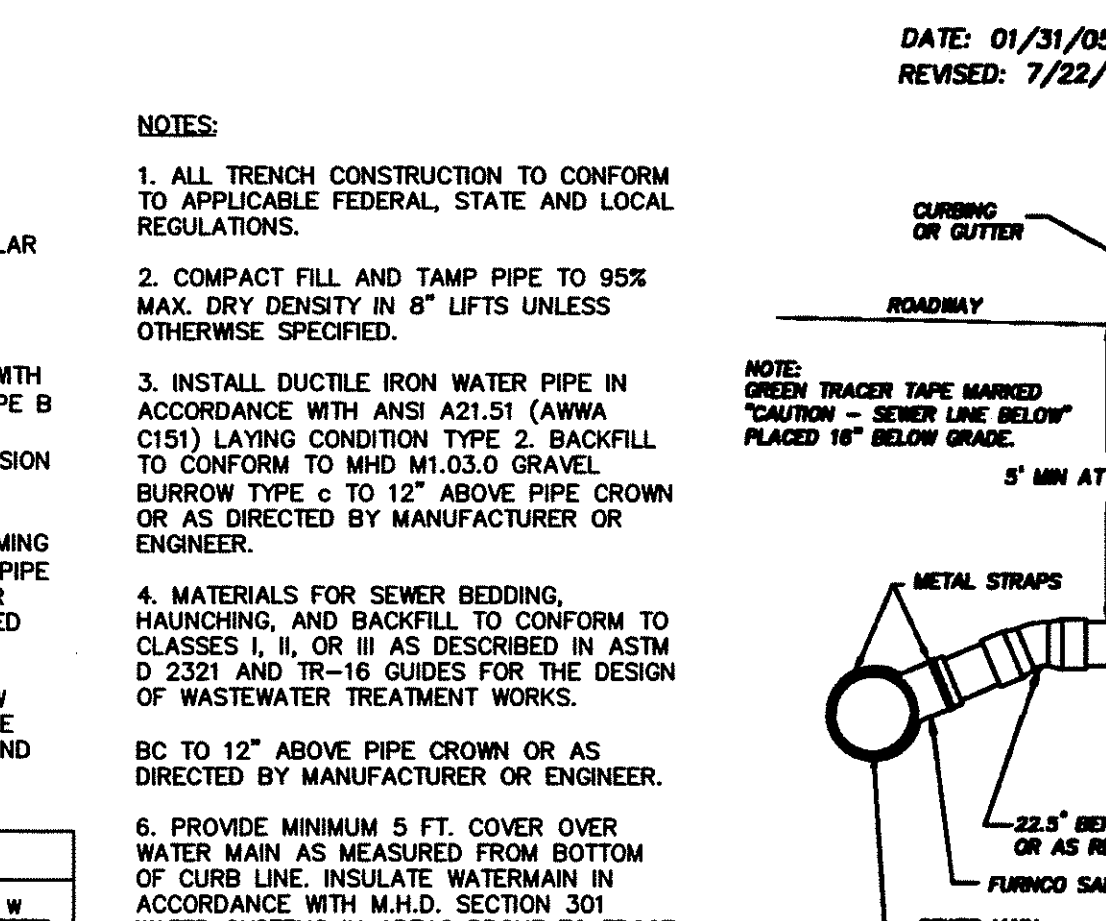
18 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



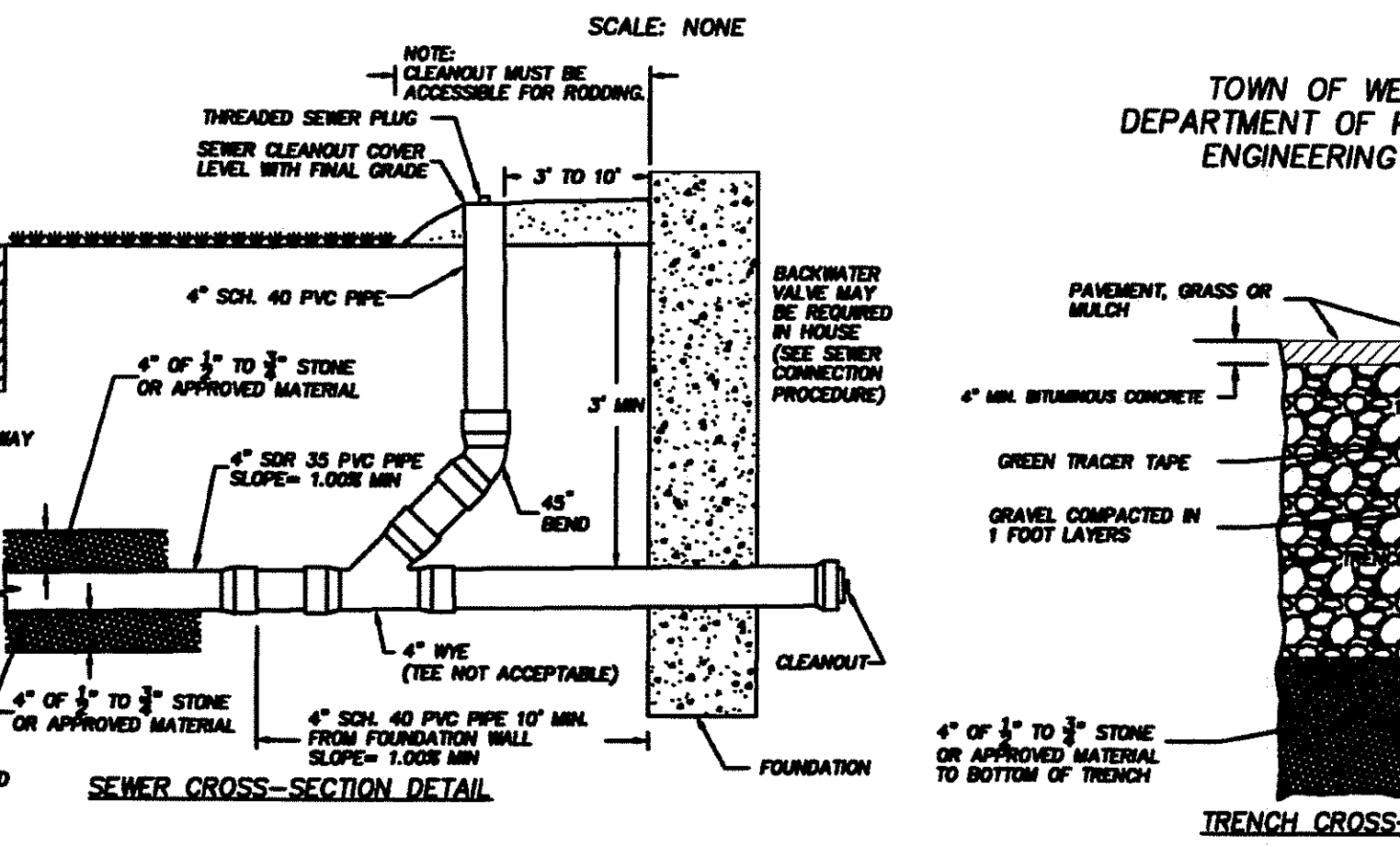
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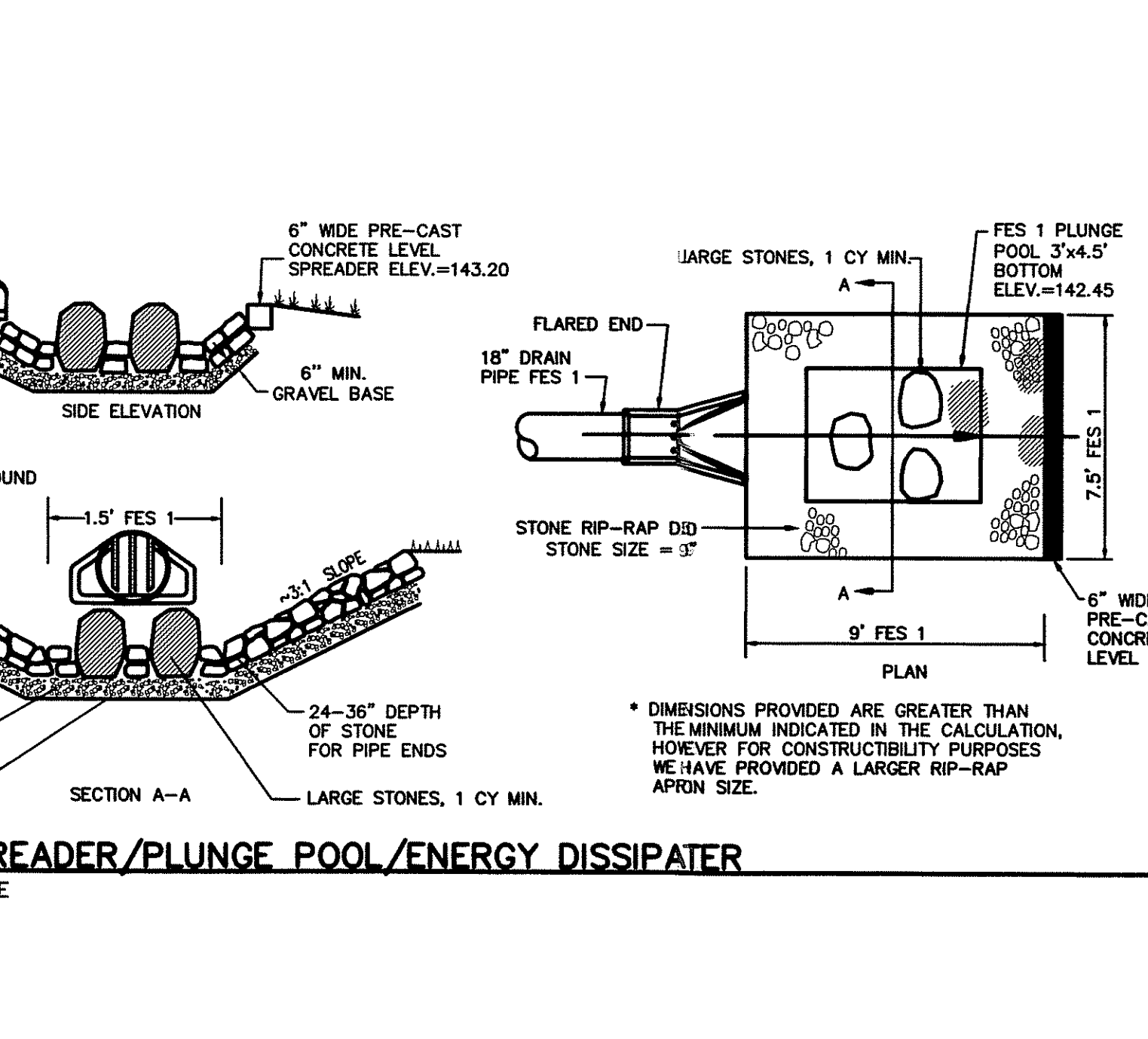
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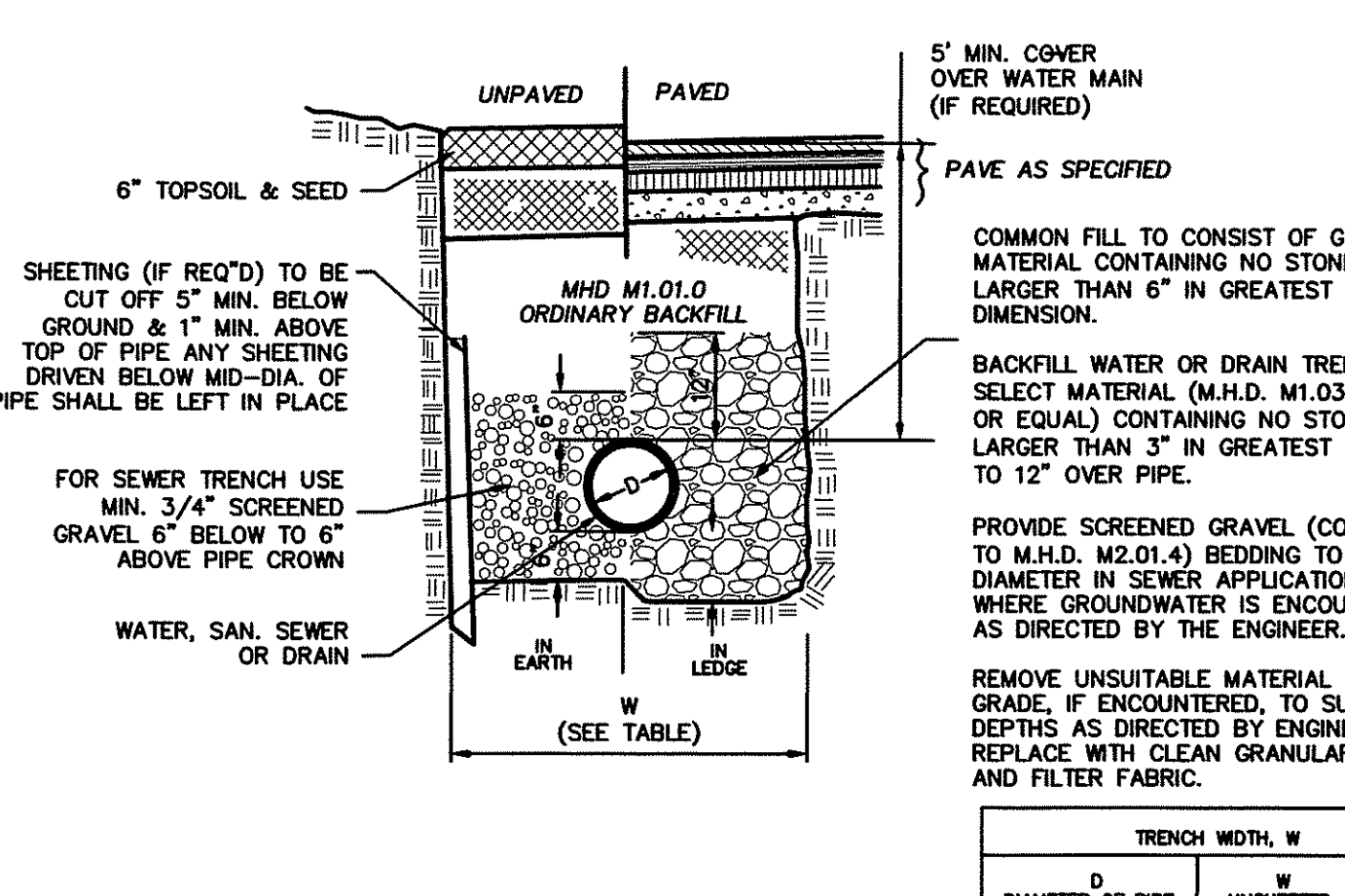
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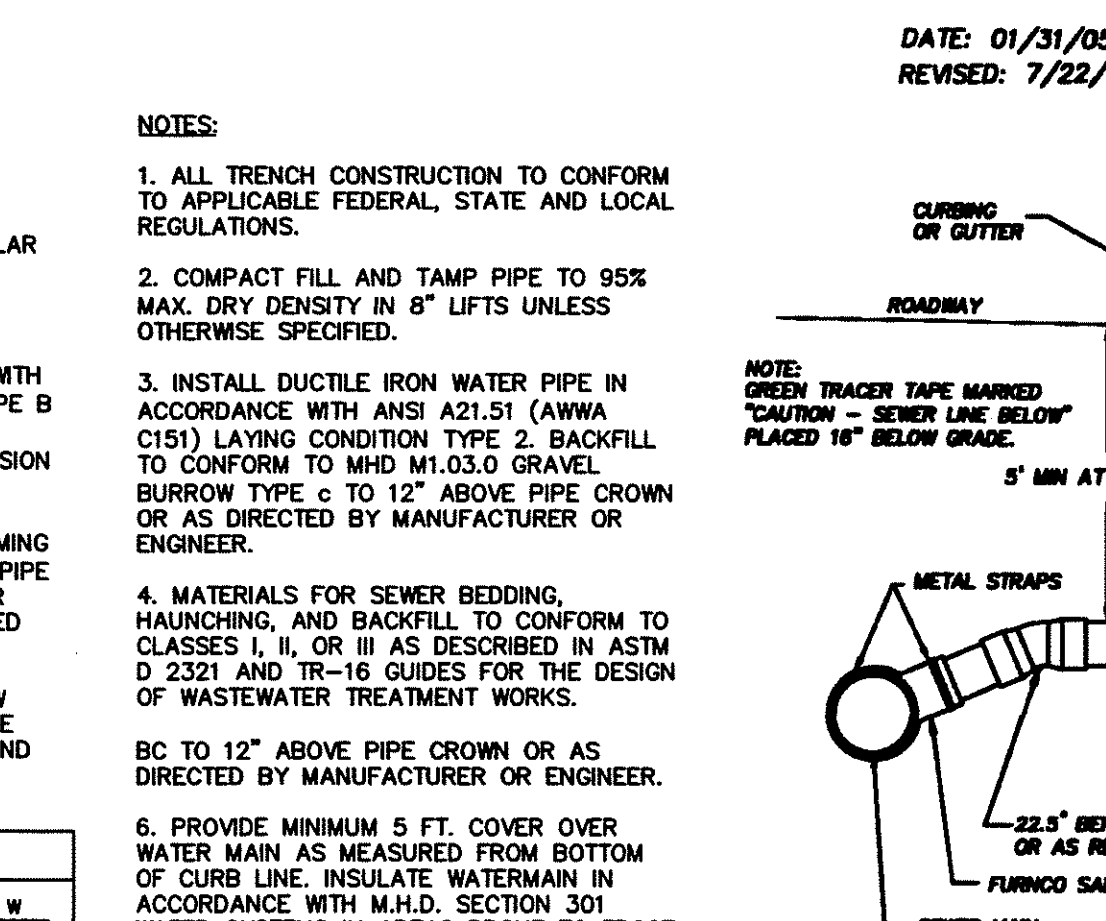
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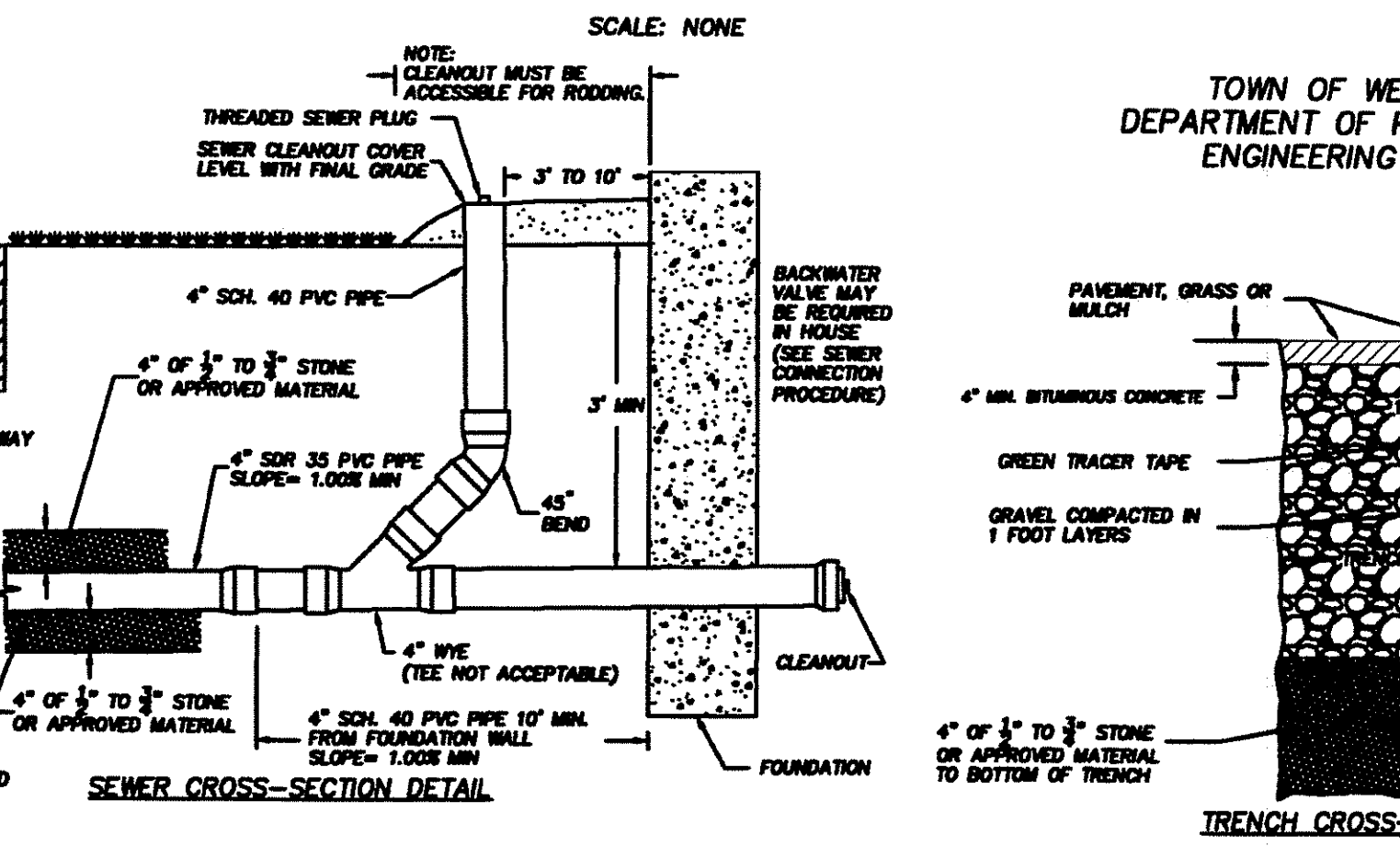
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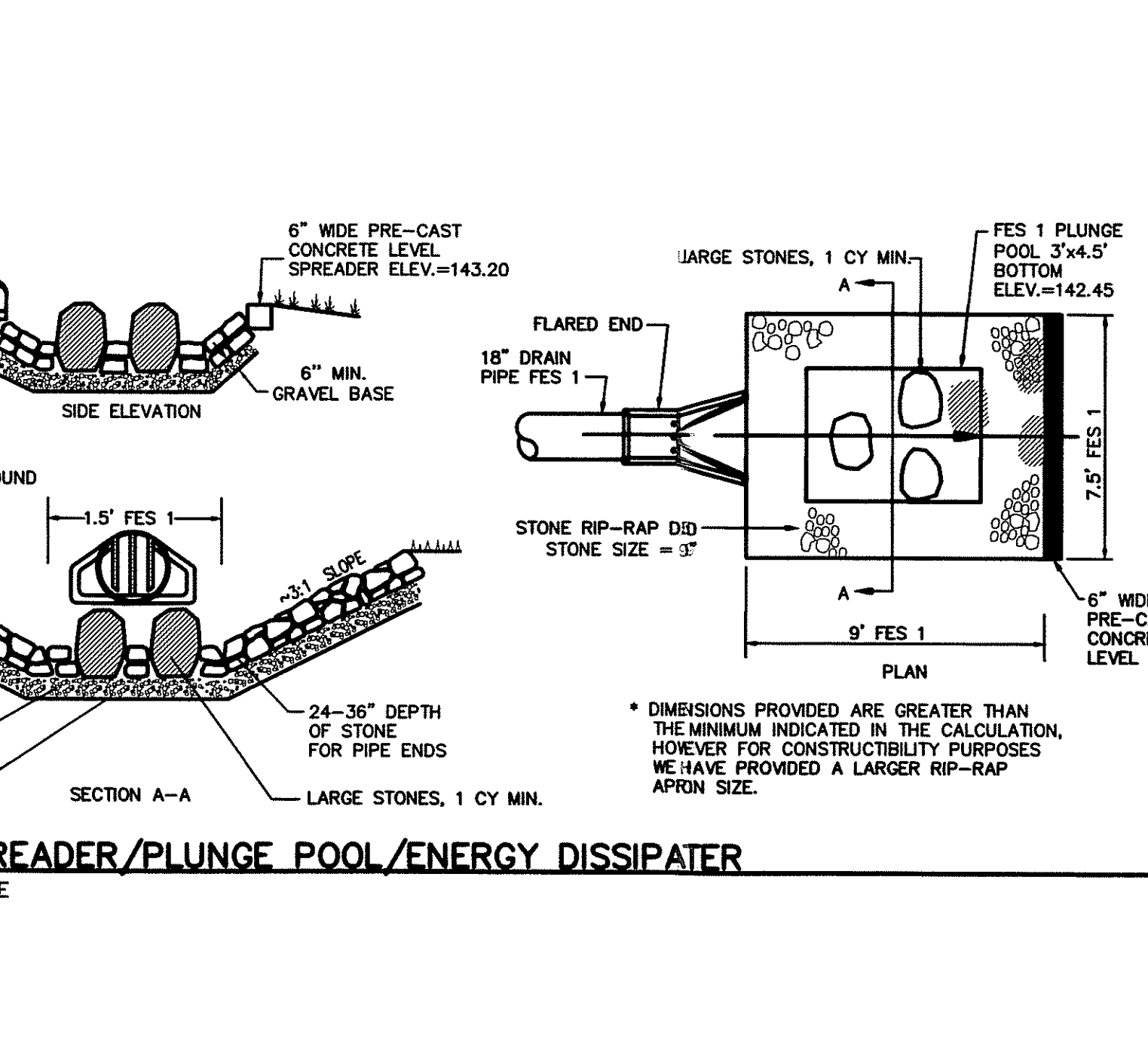
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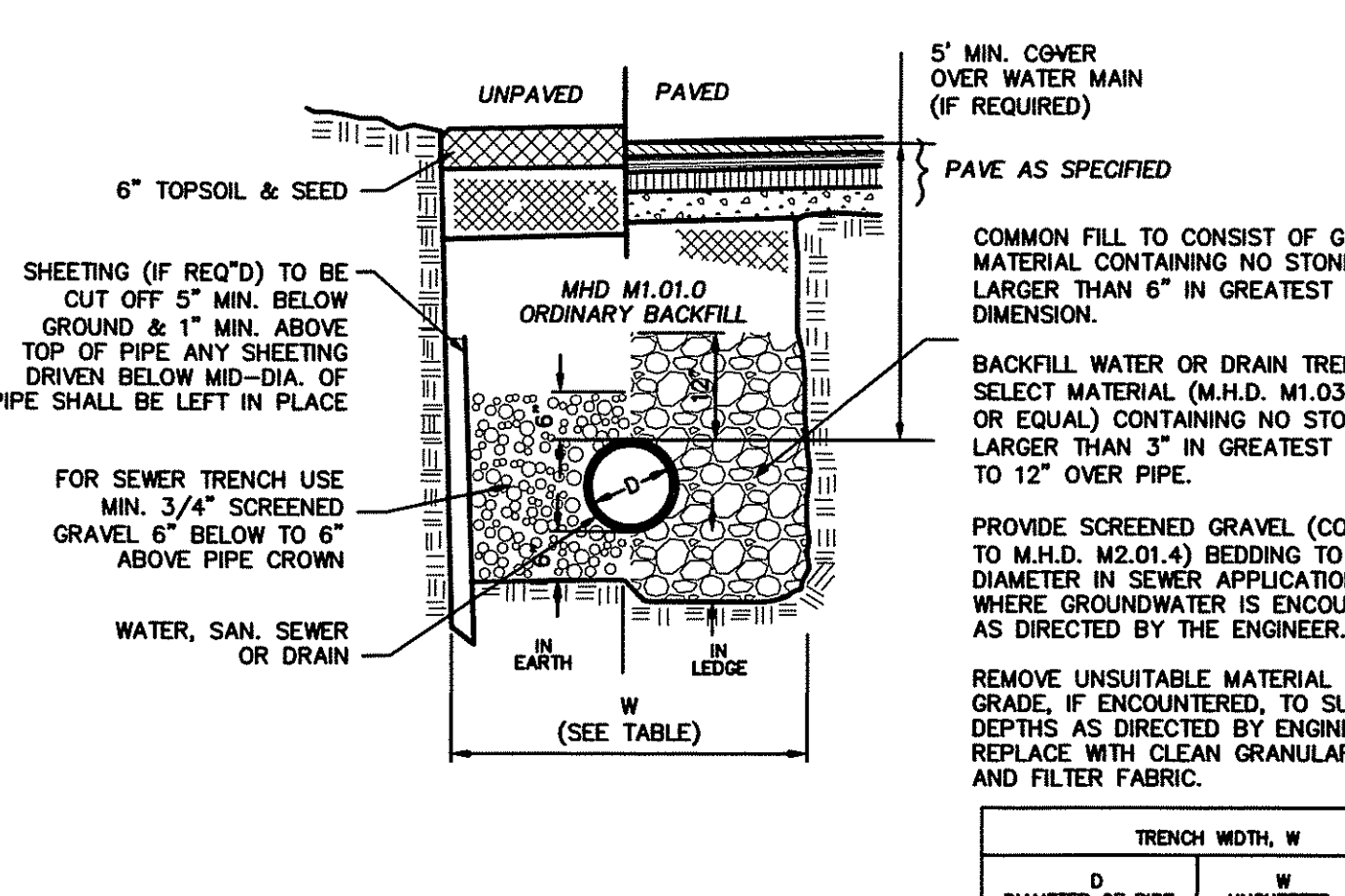
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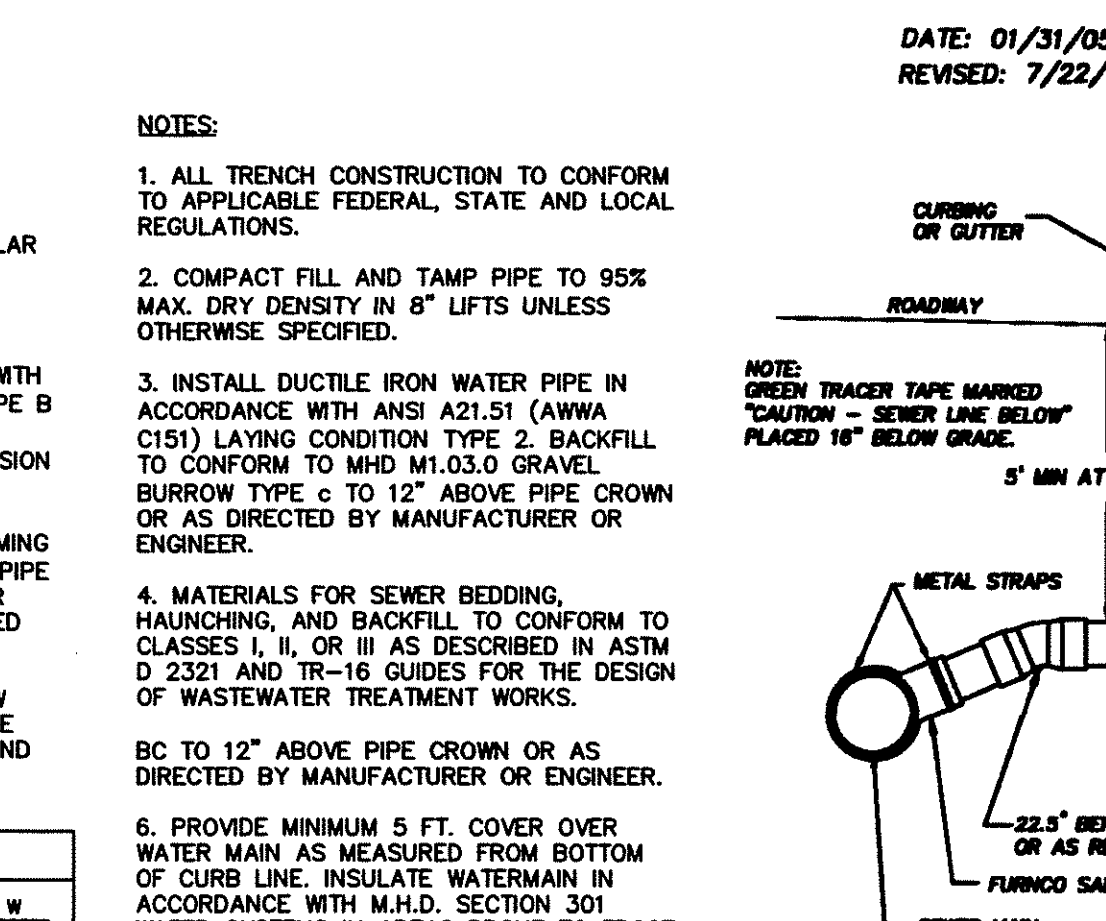
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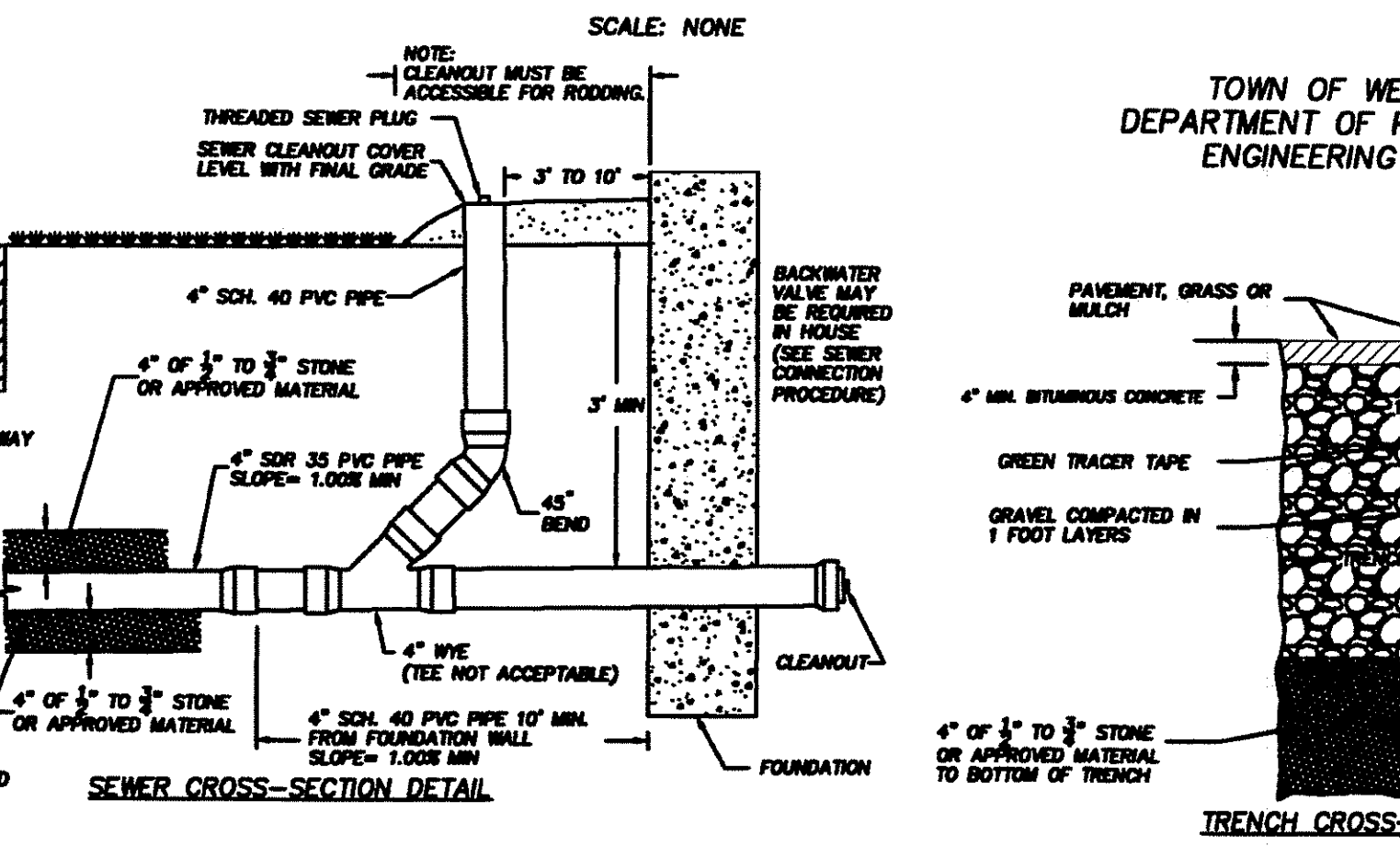
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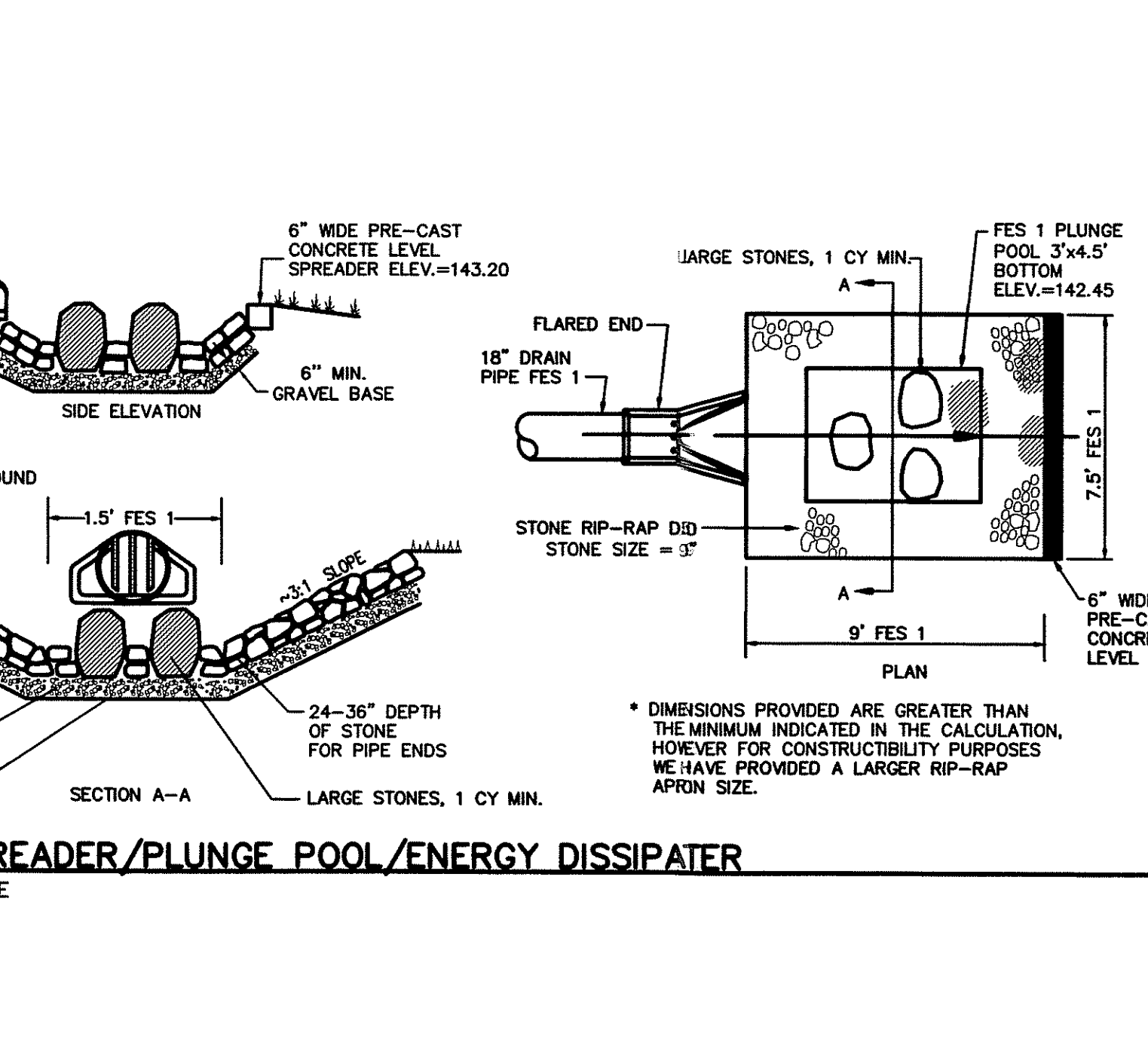
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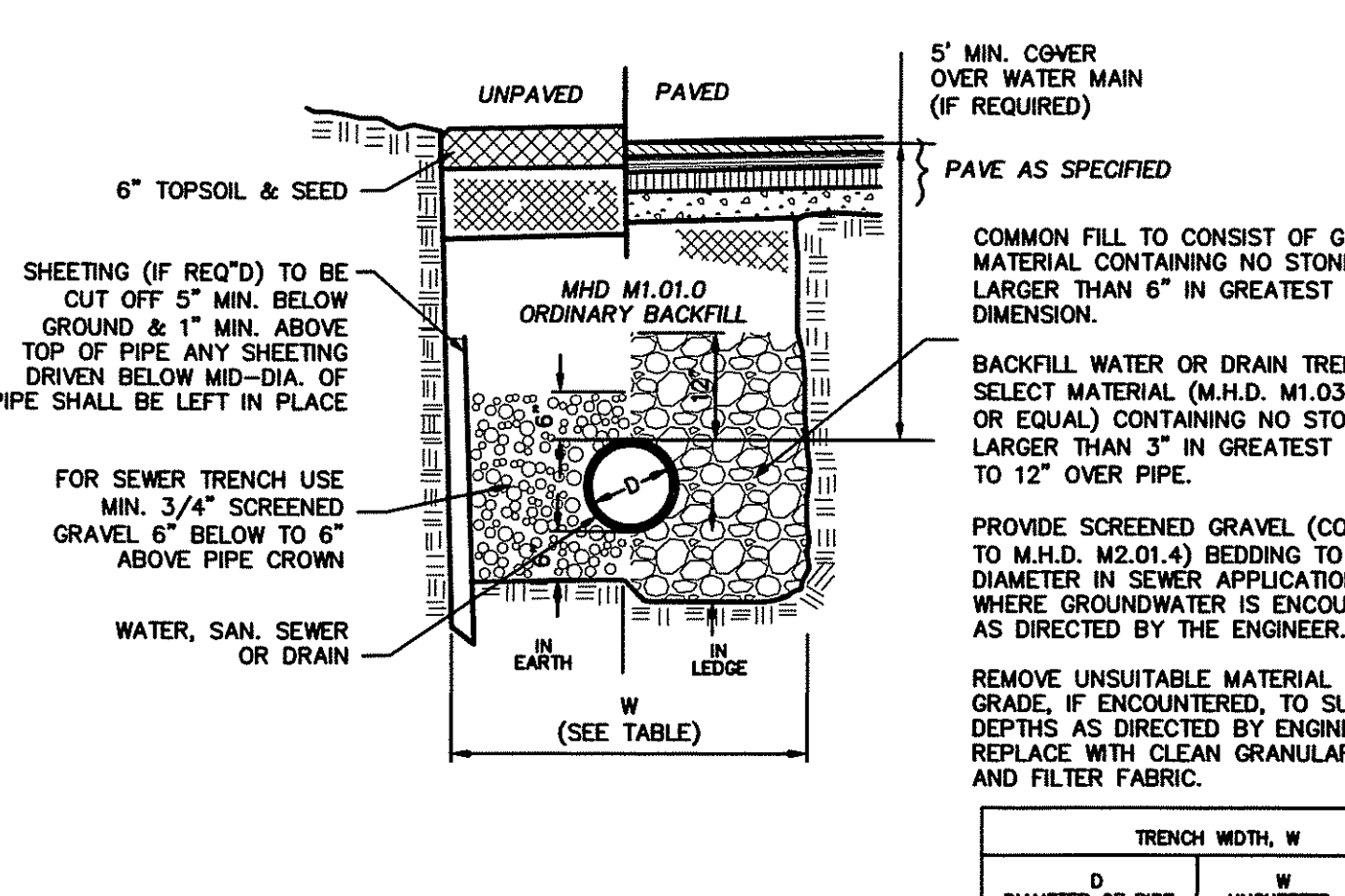
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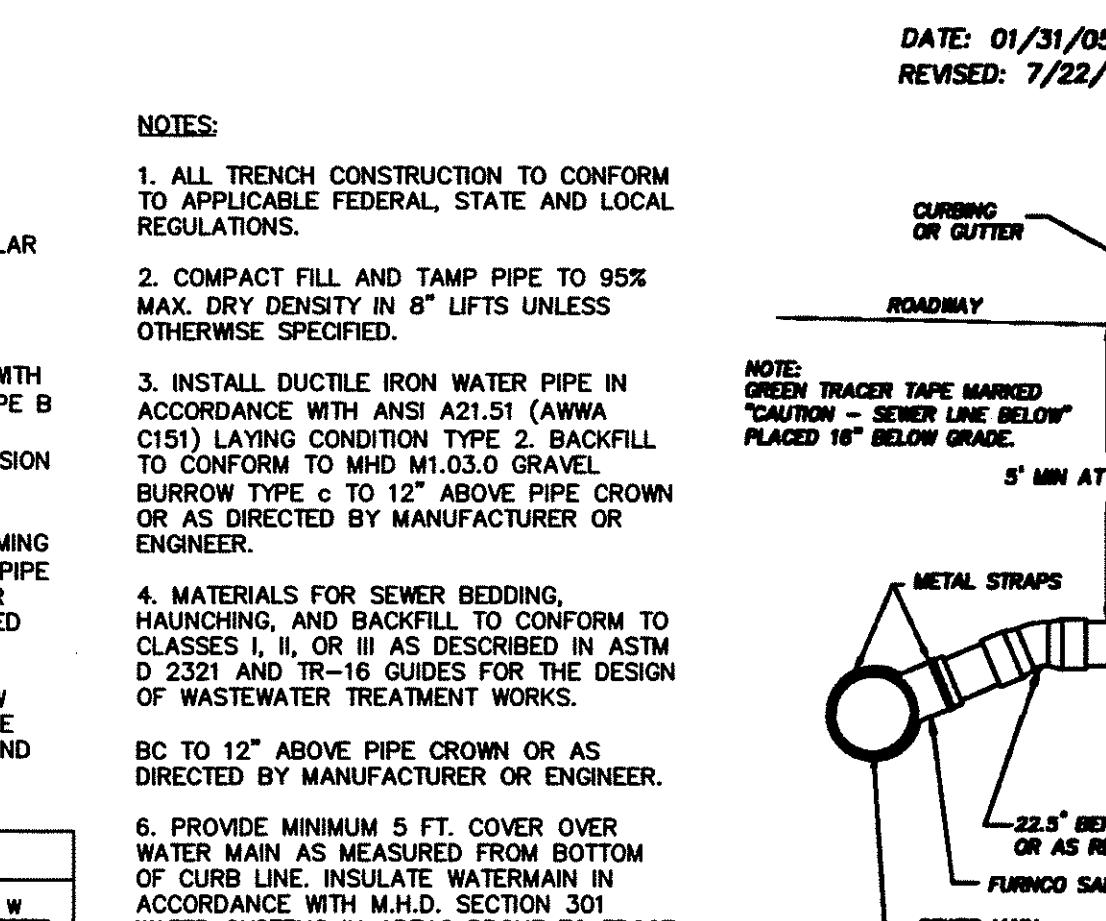
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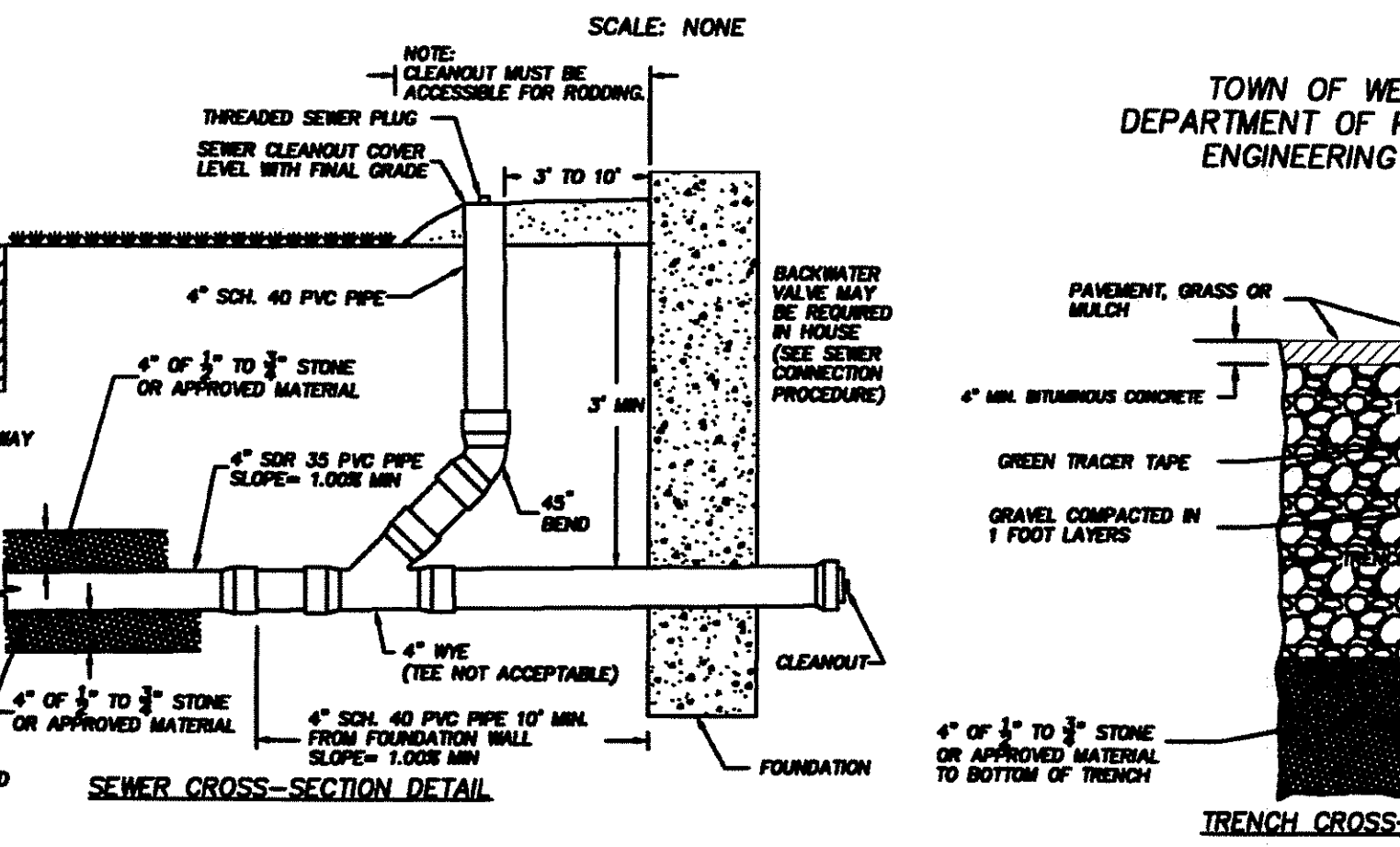
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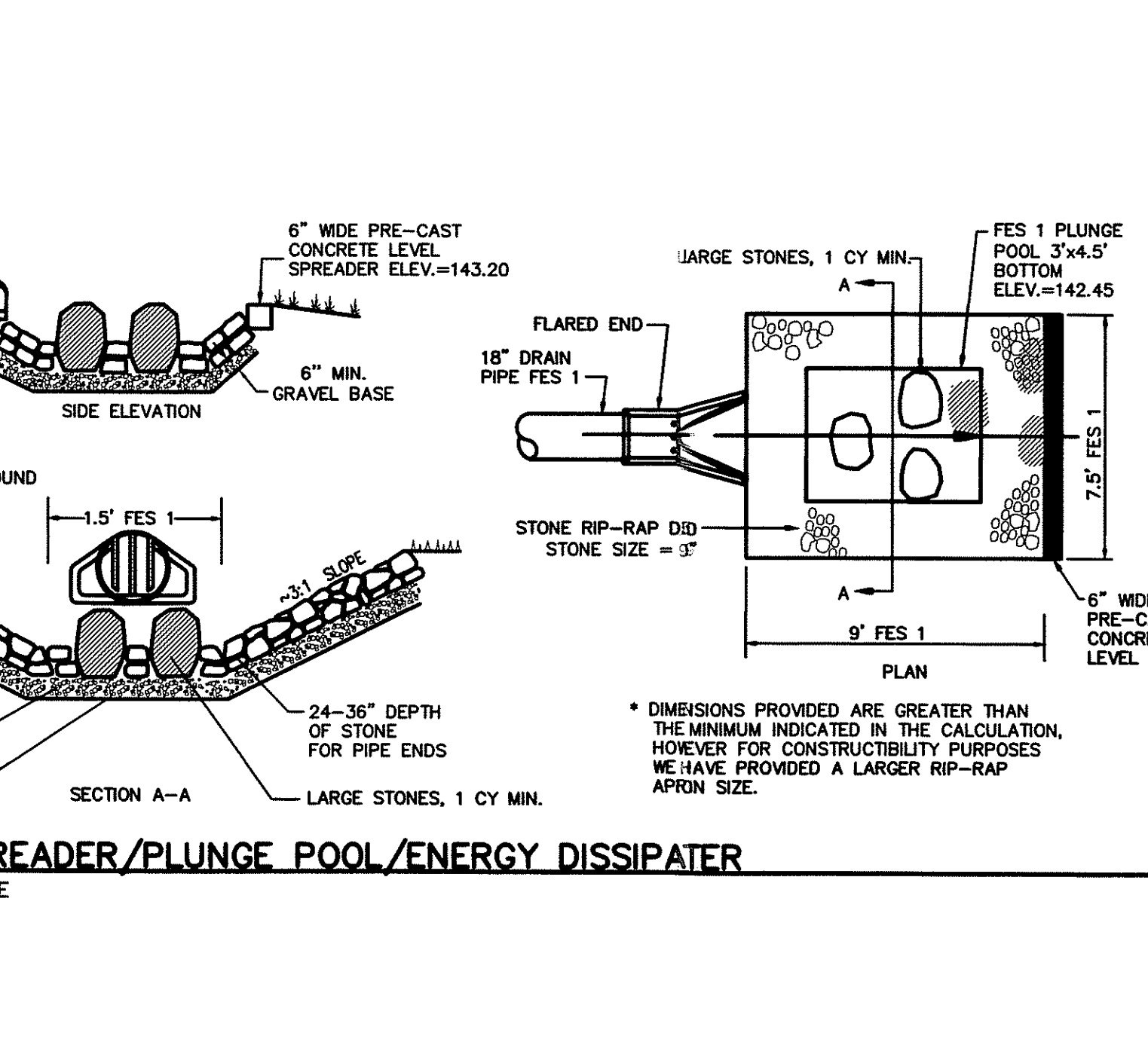
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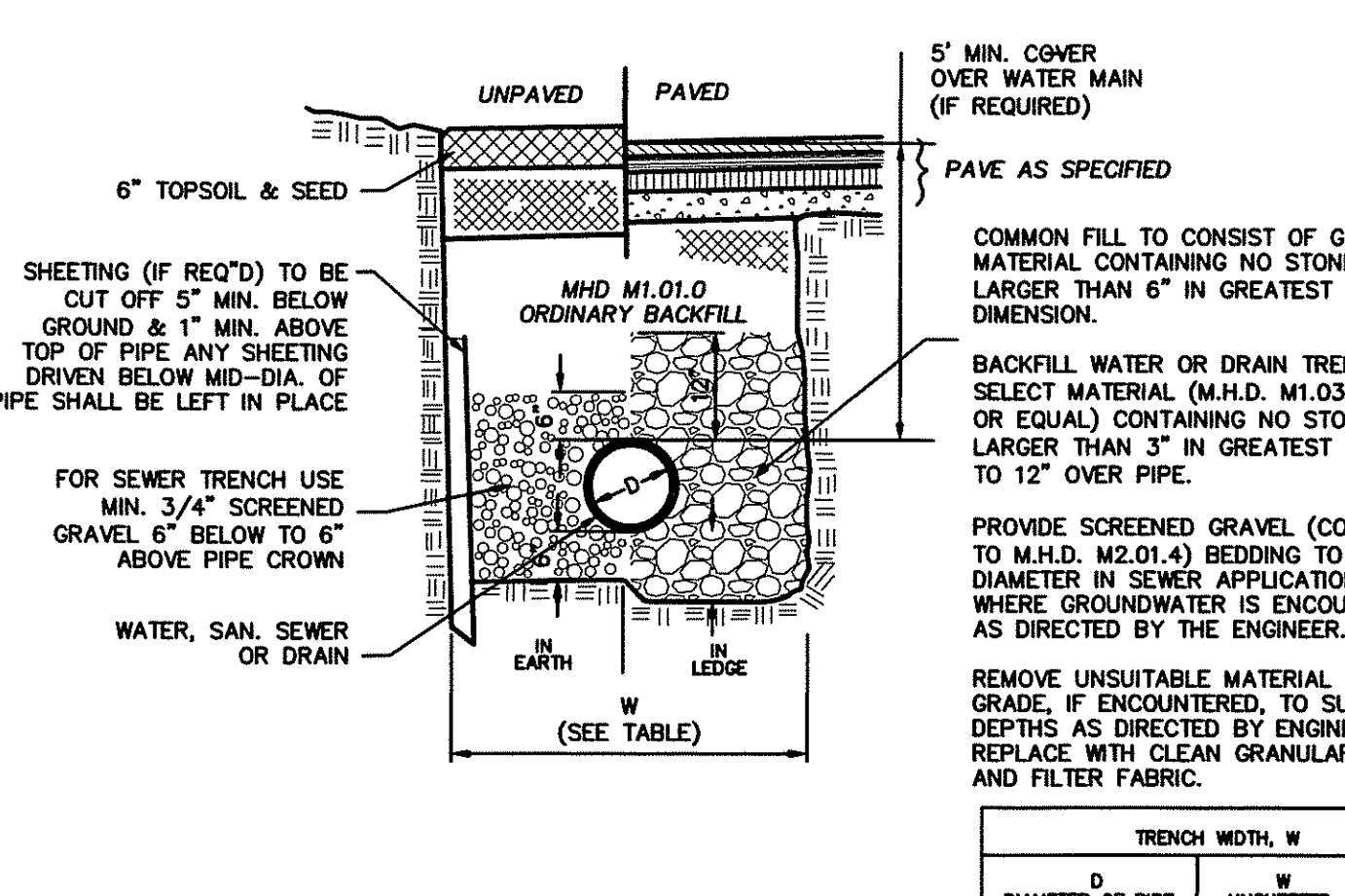
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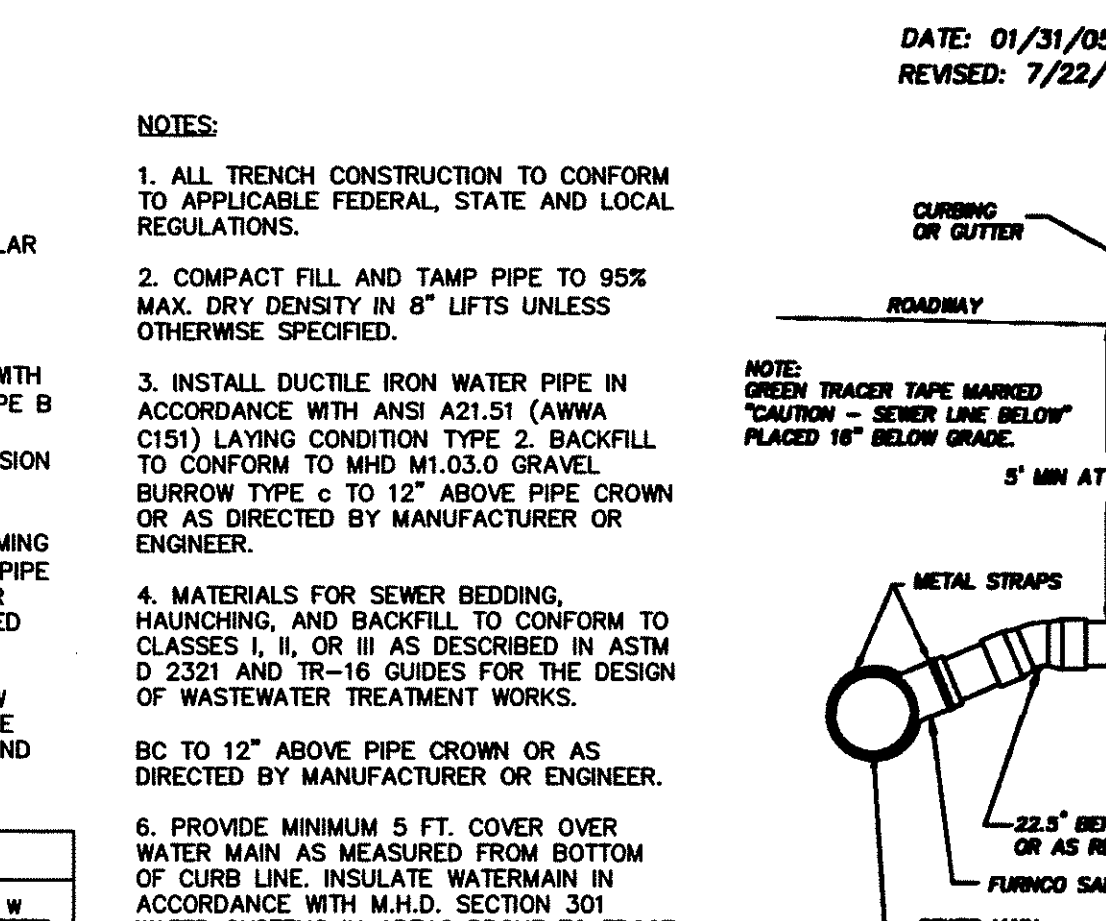
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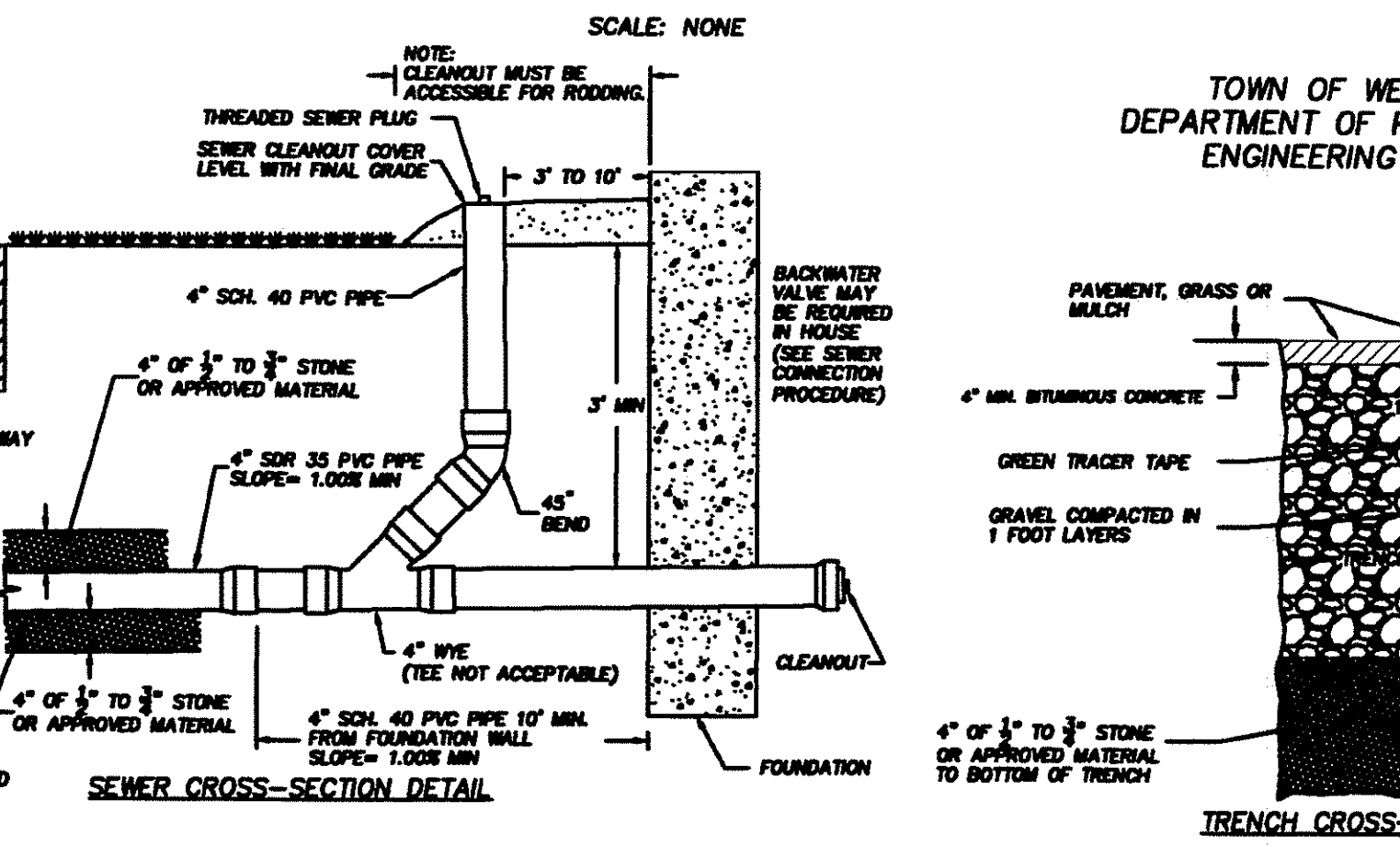
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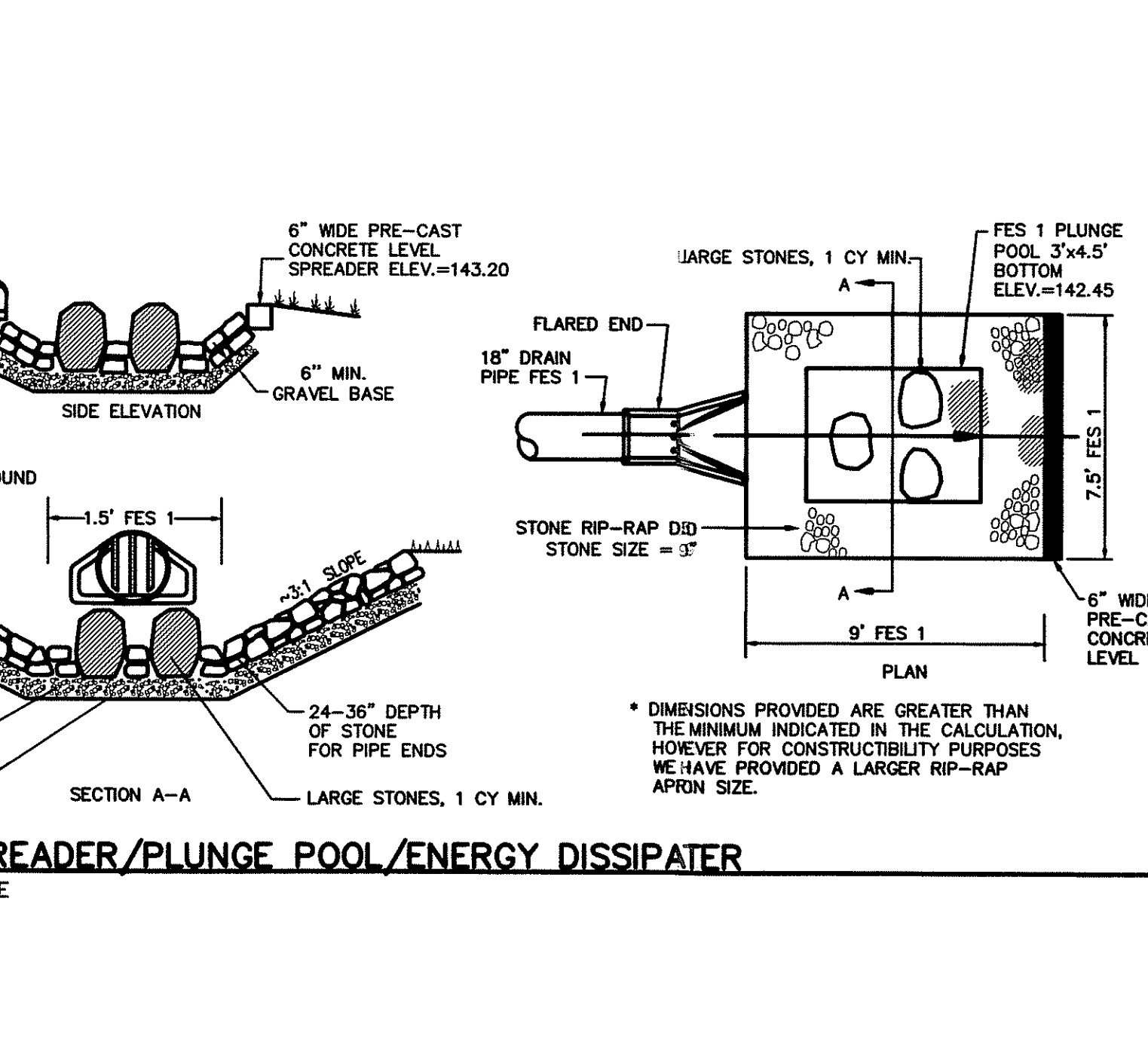
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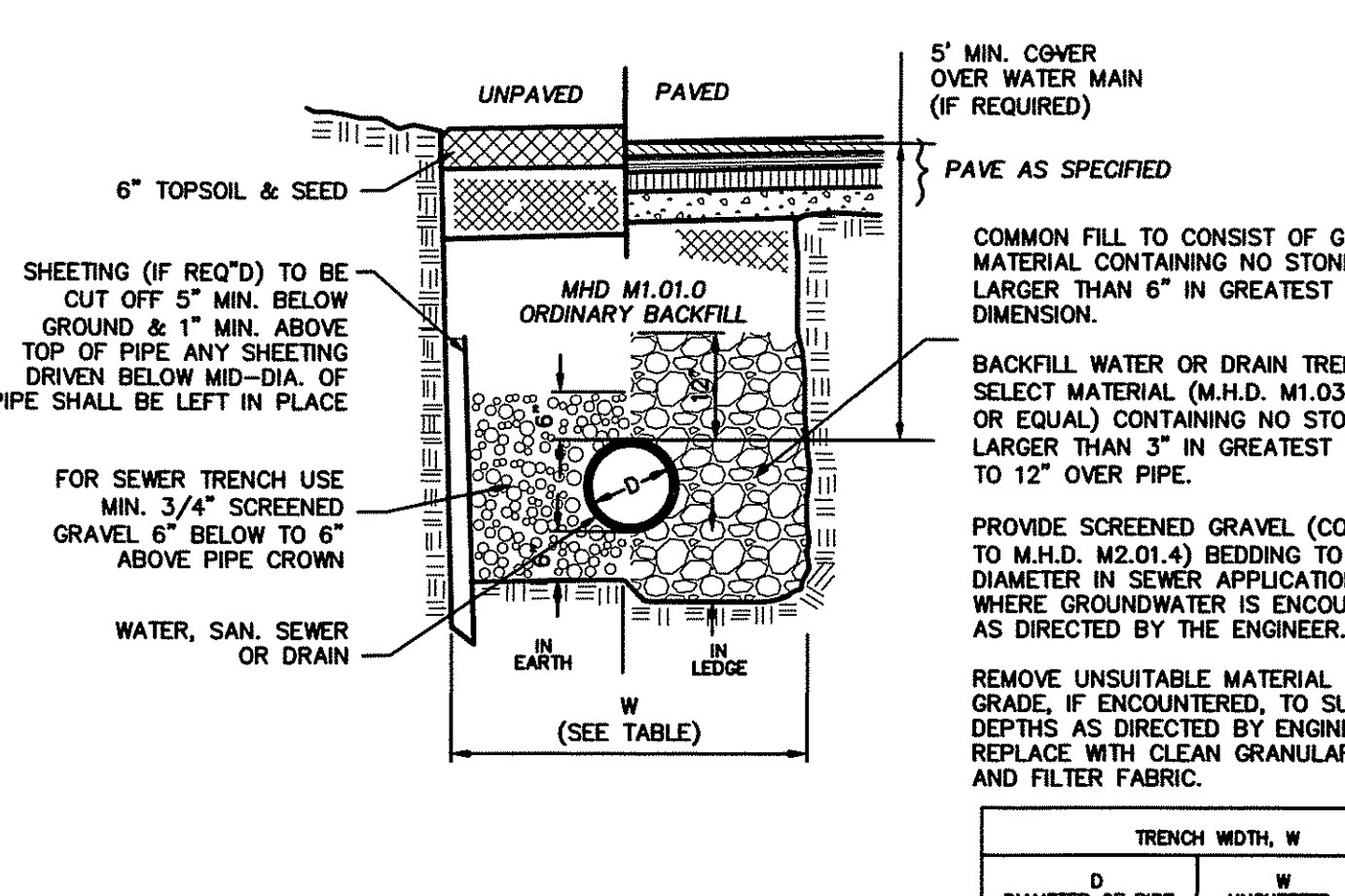
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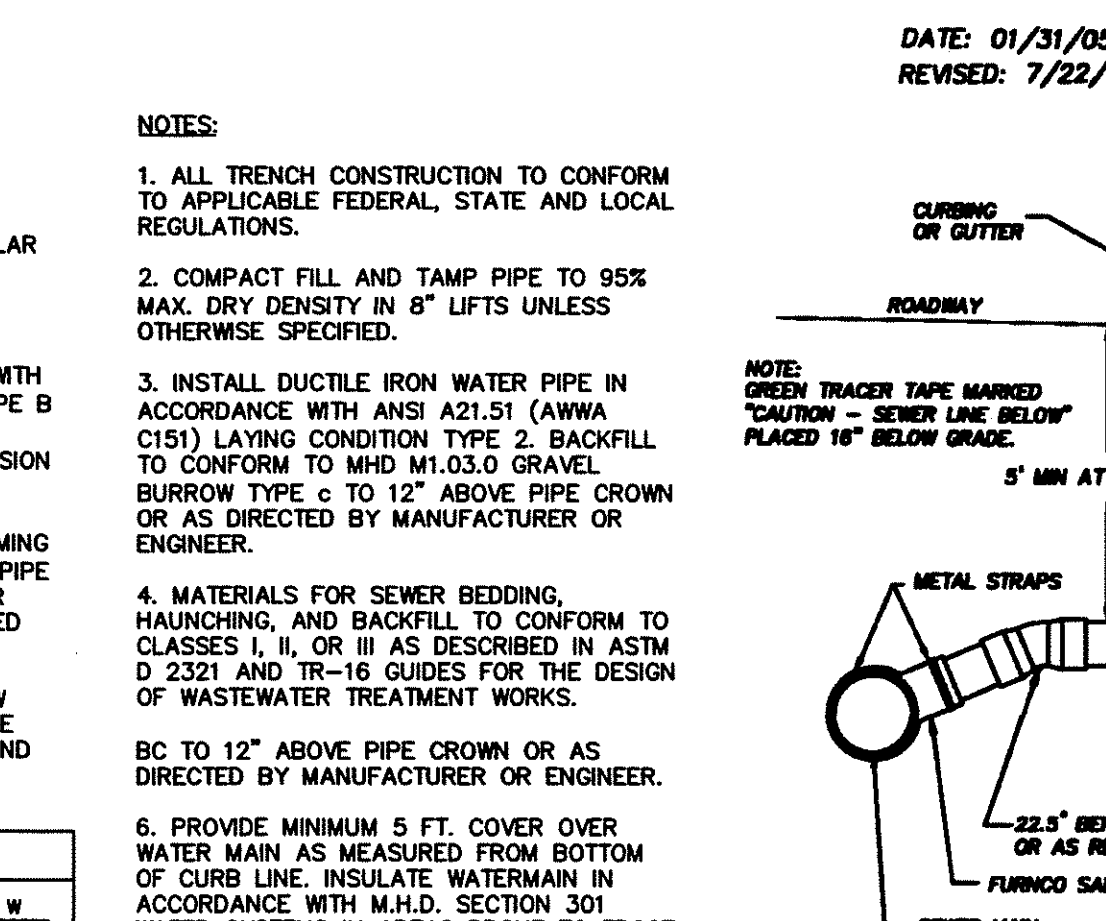
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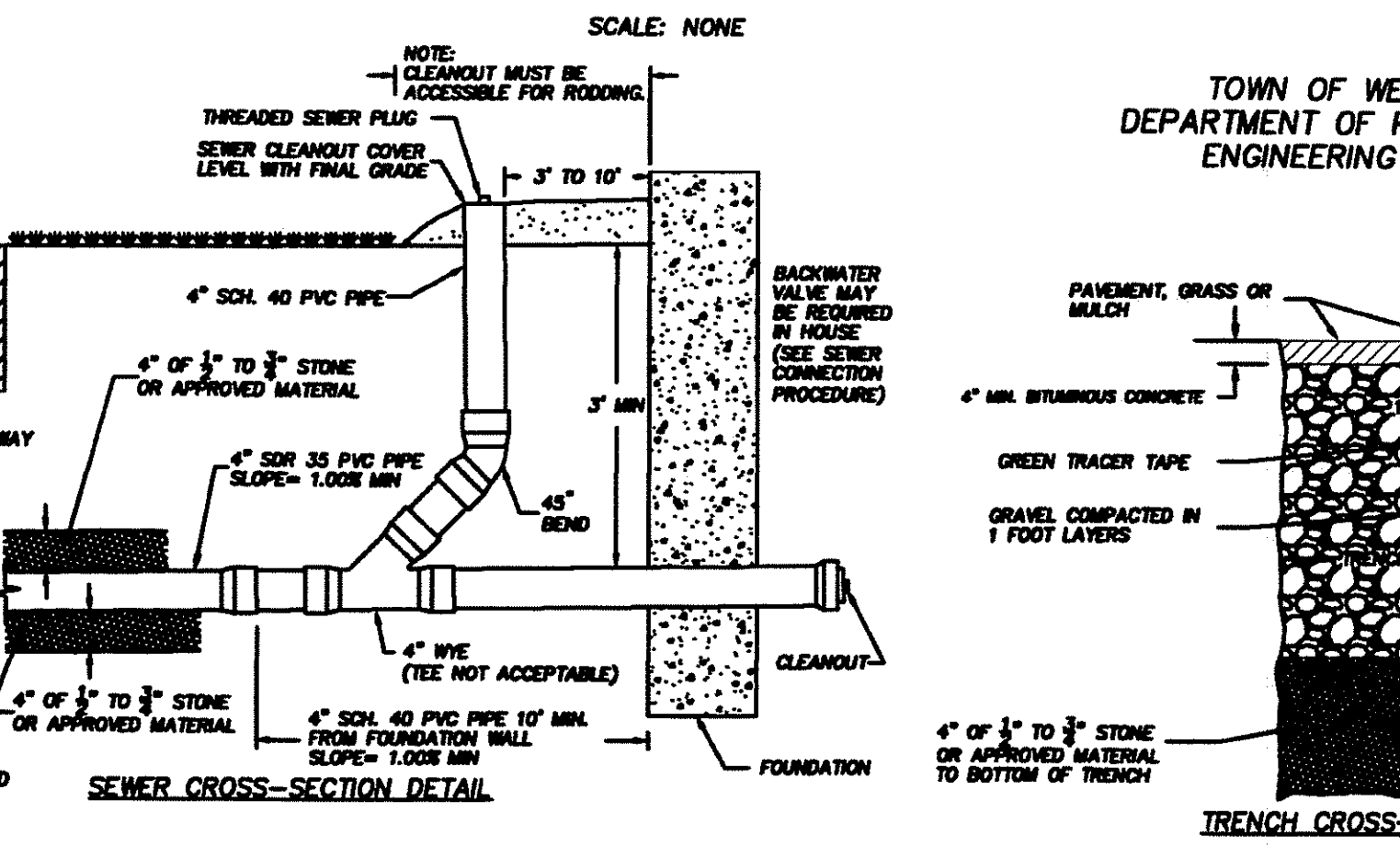
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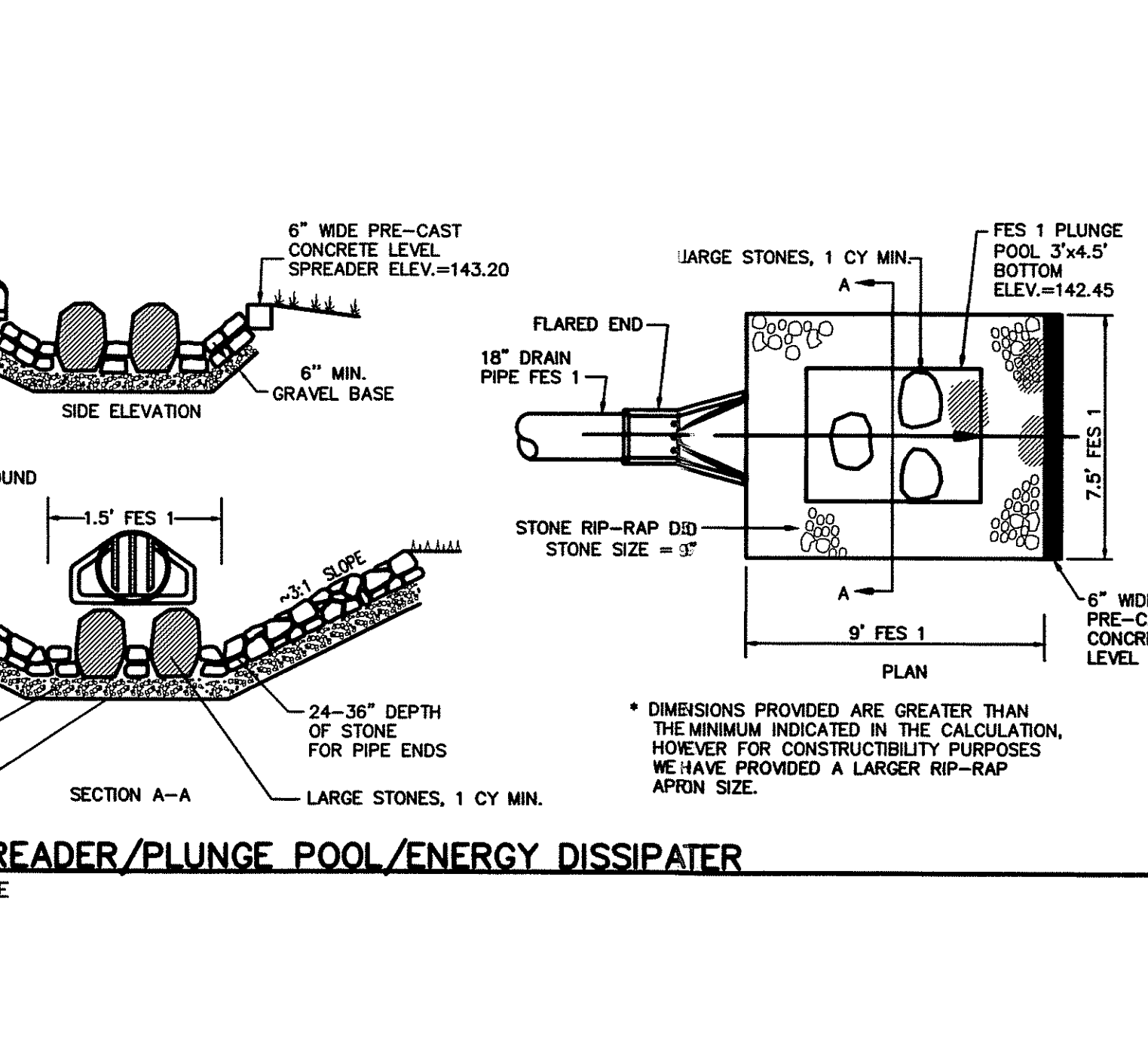
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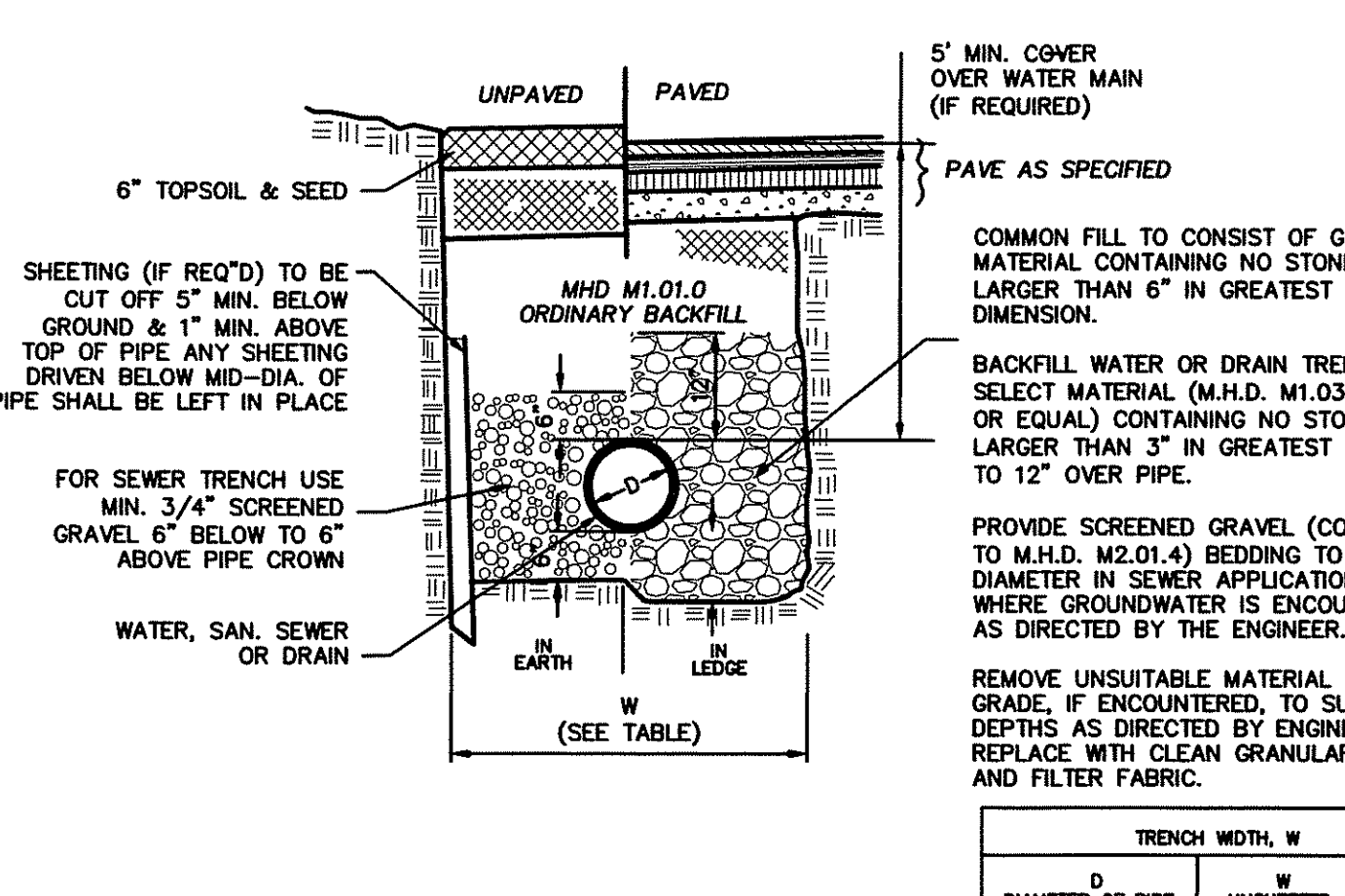
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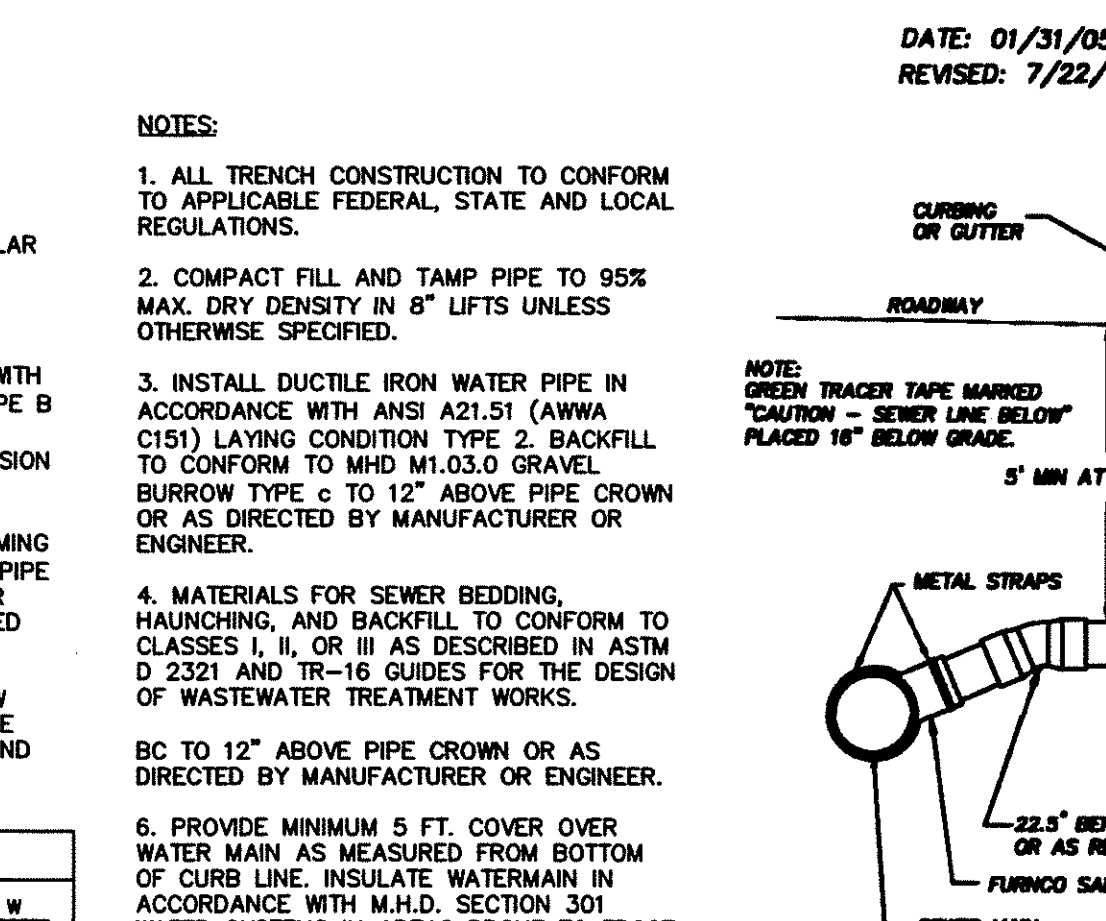
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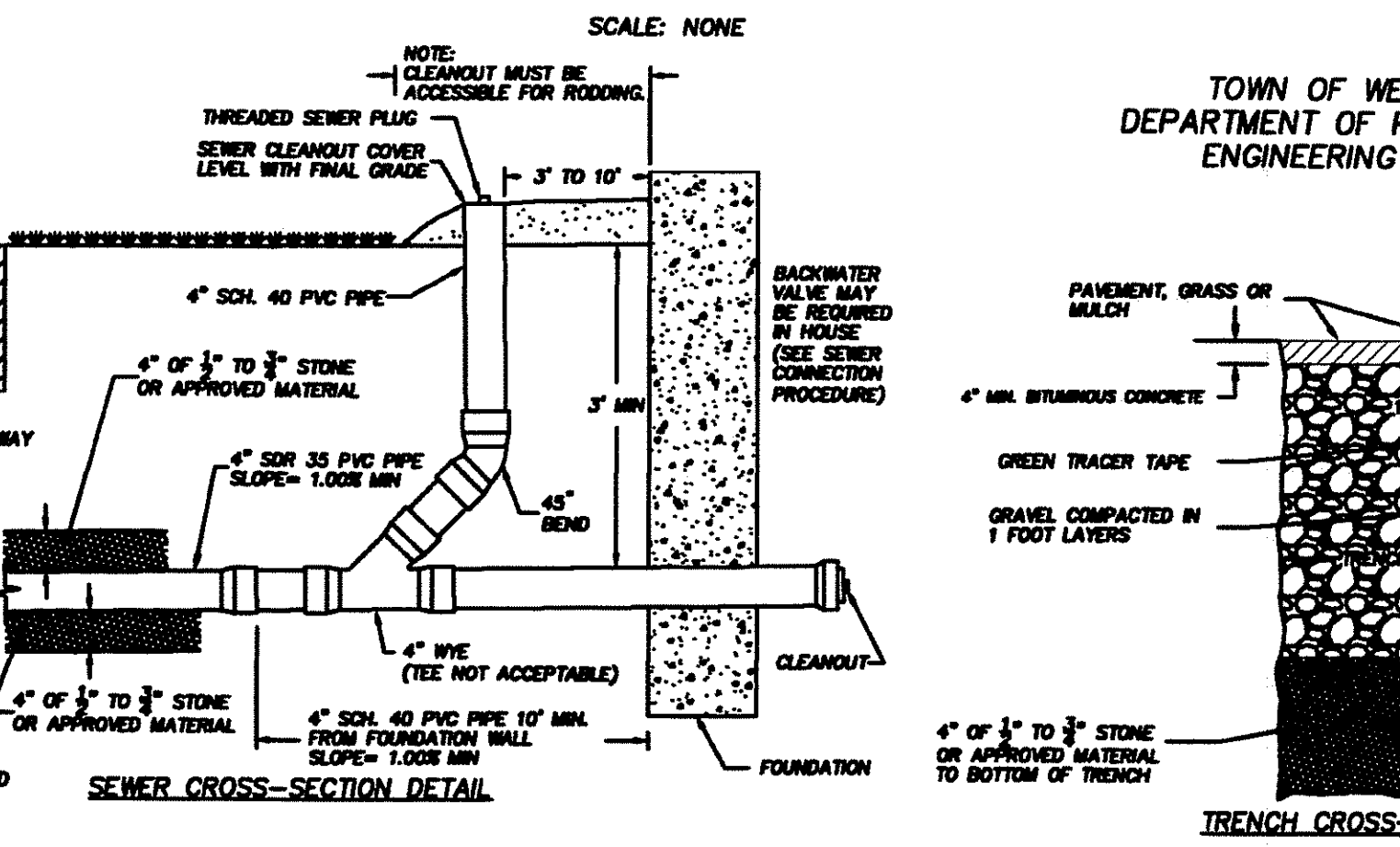
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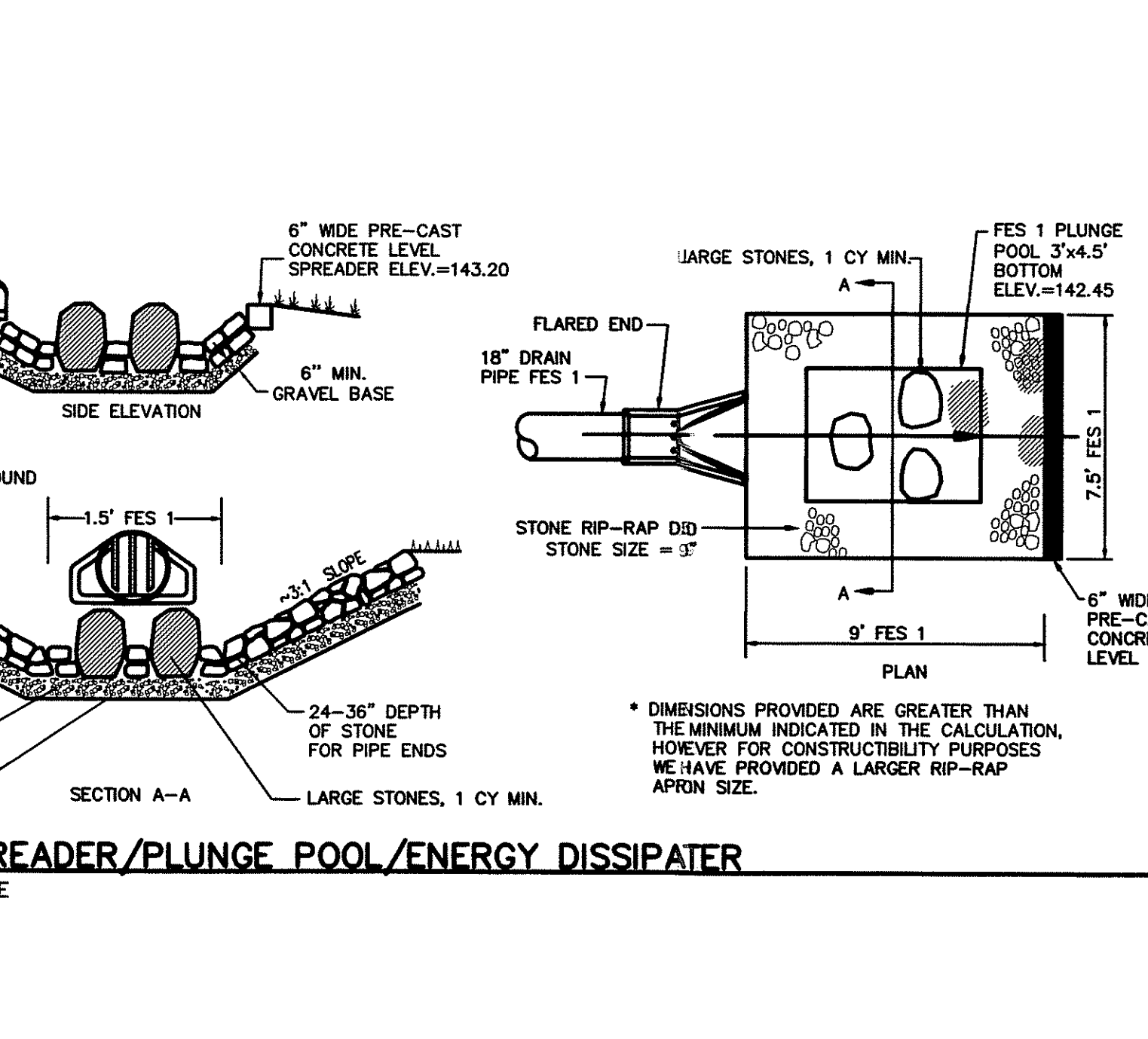
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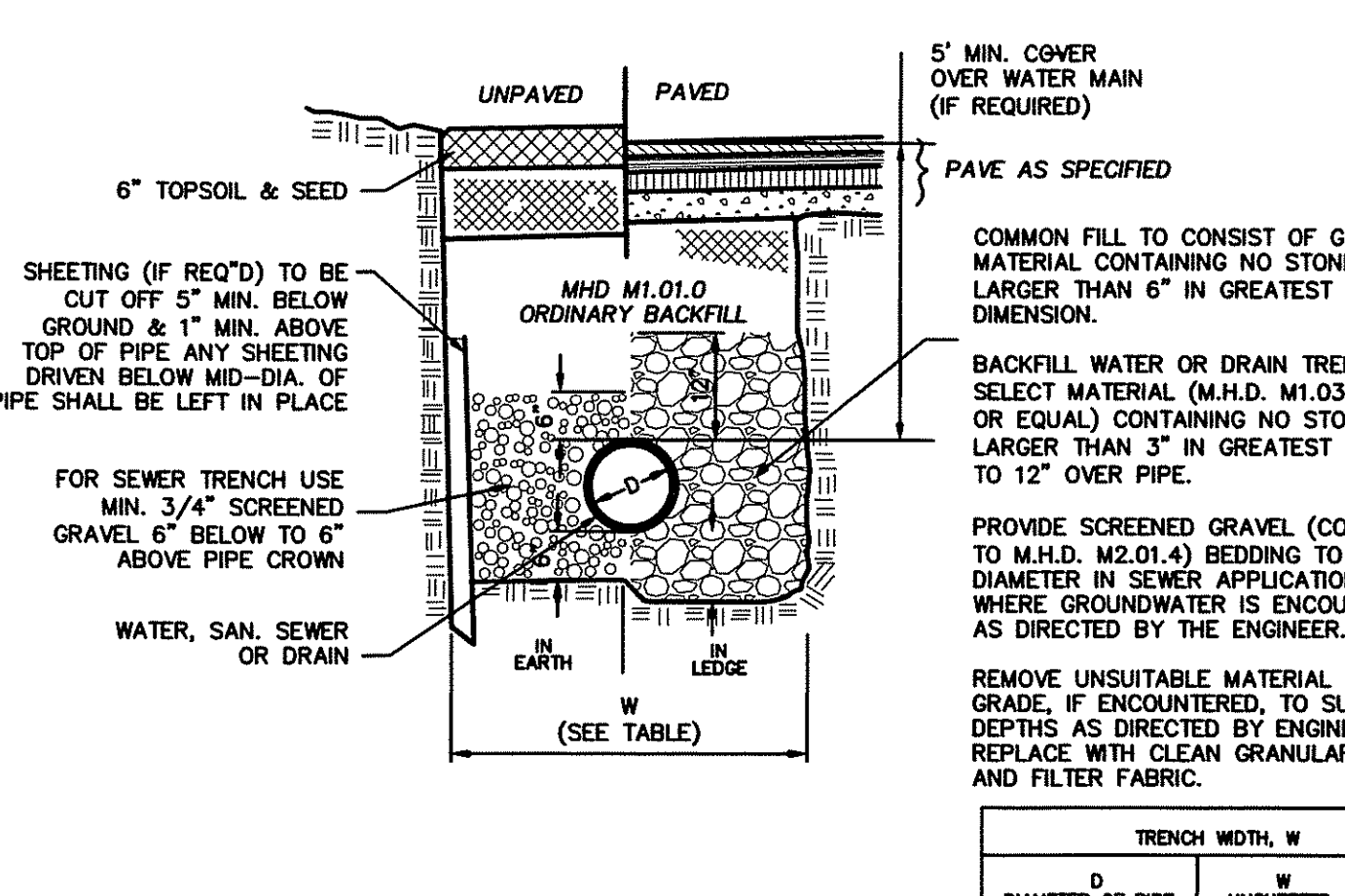
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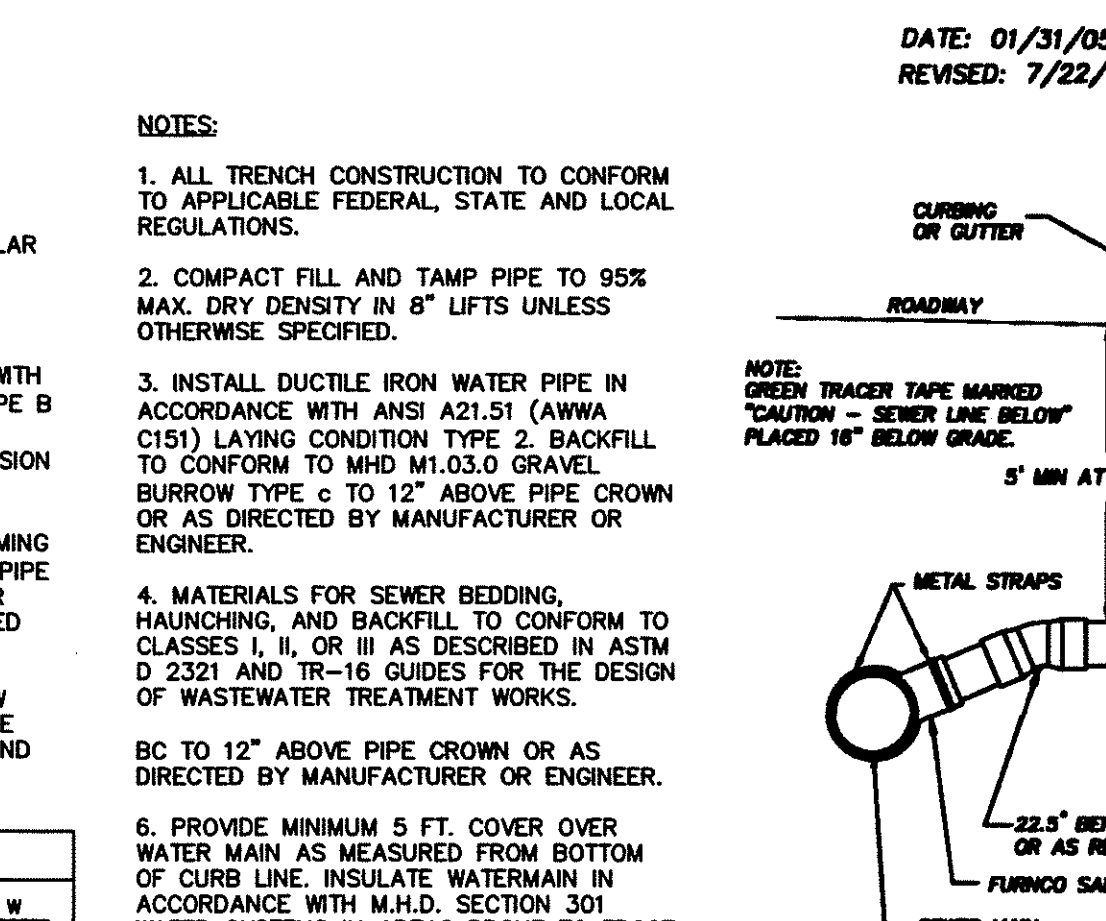
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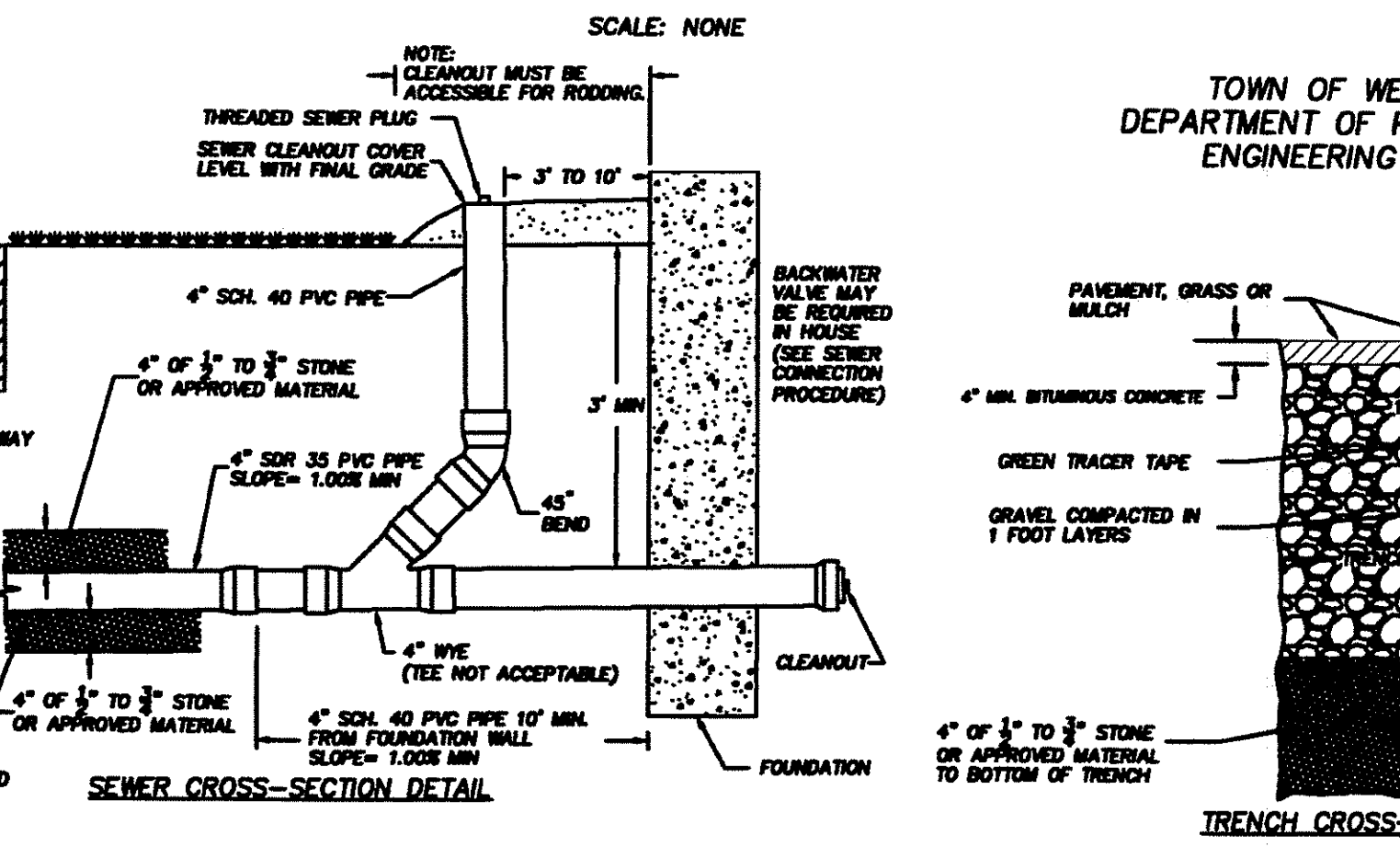
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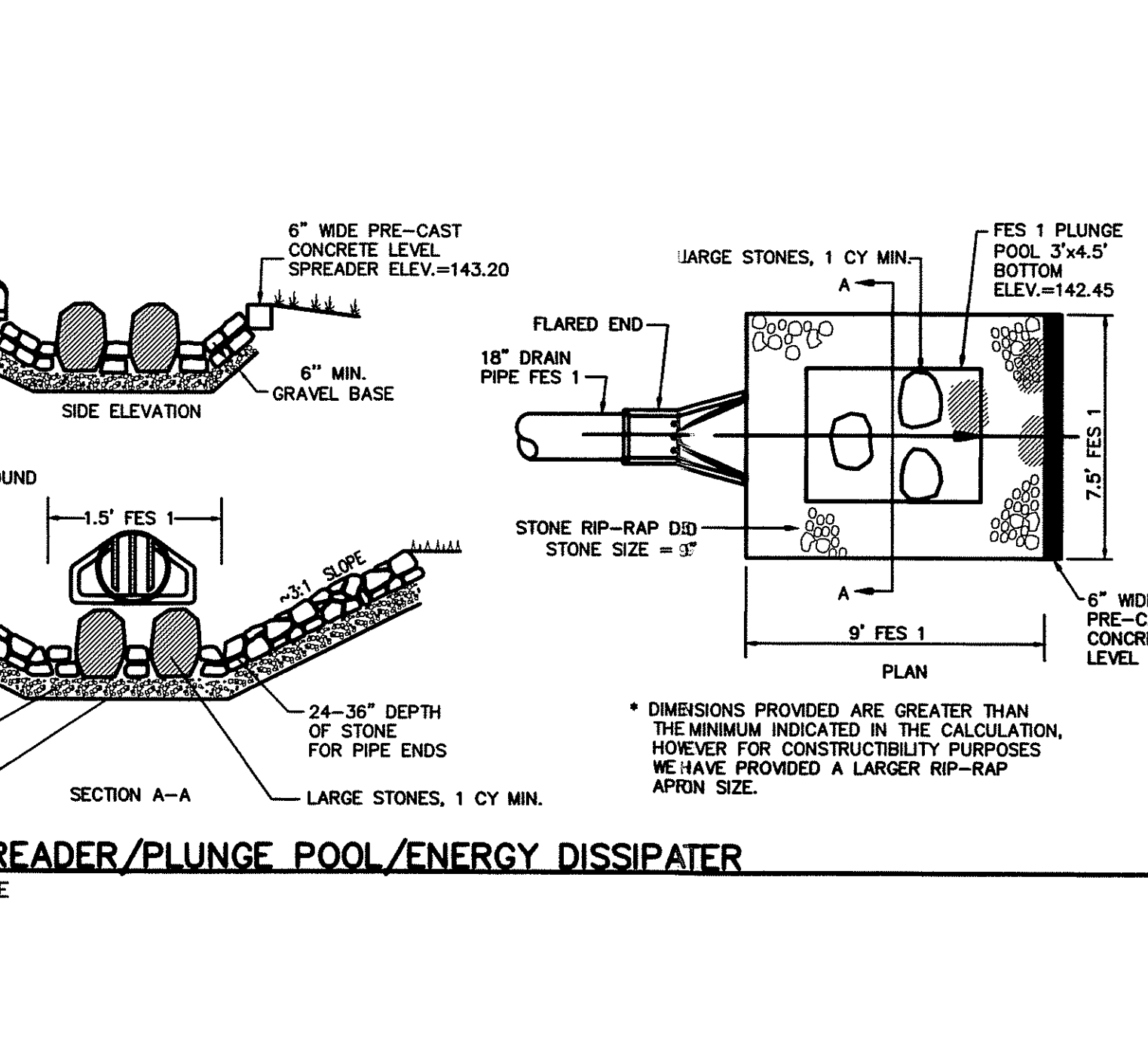
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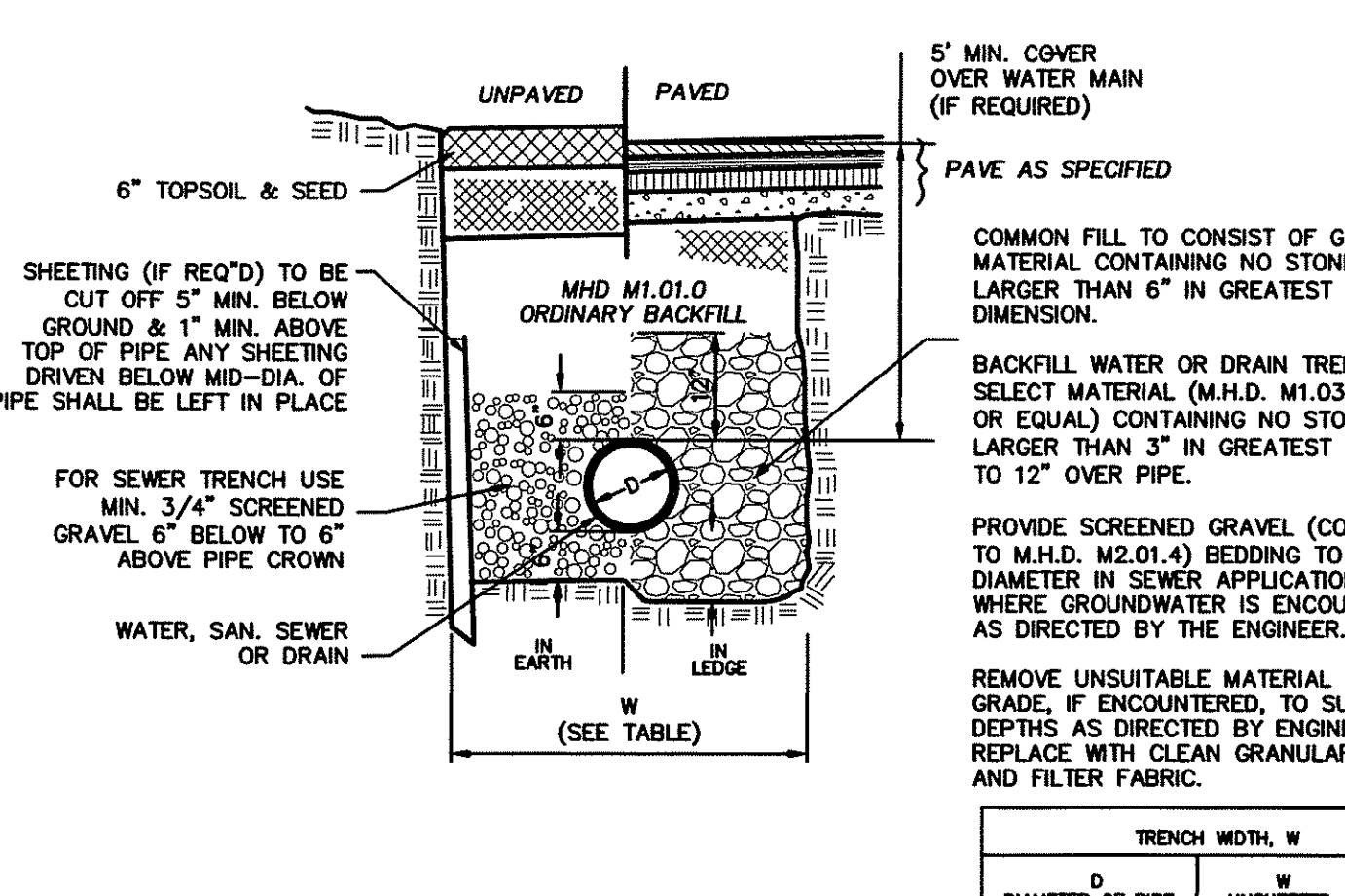
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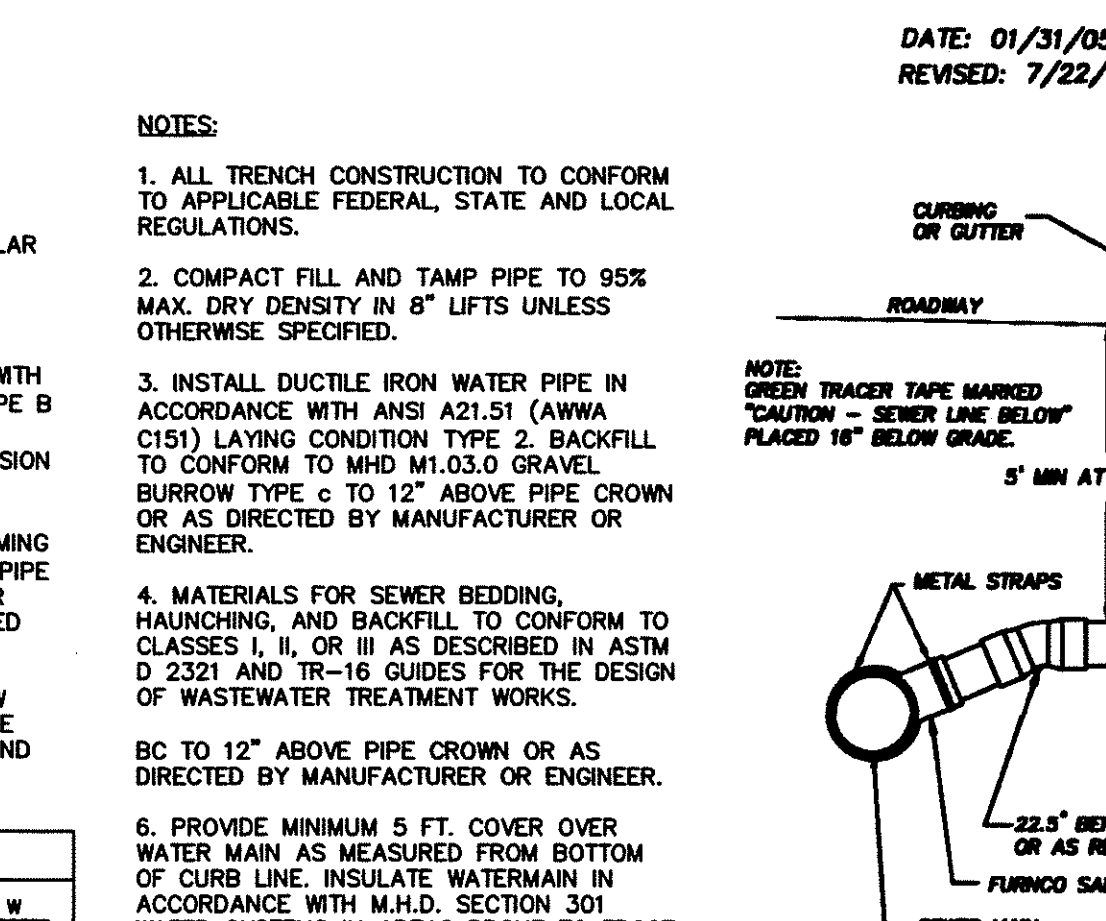
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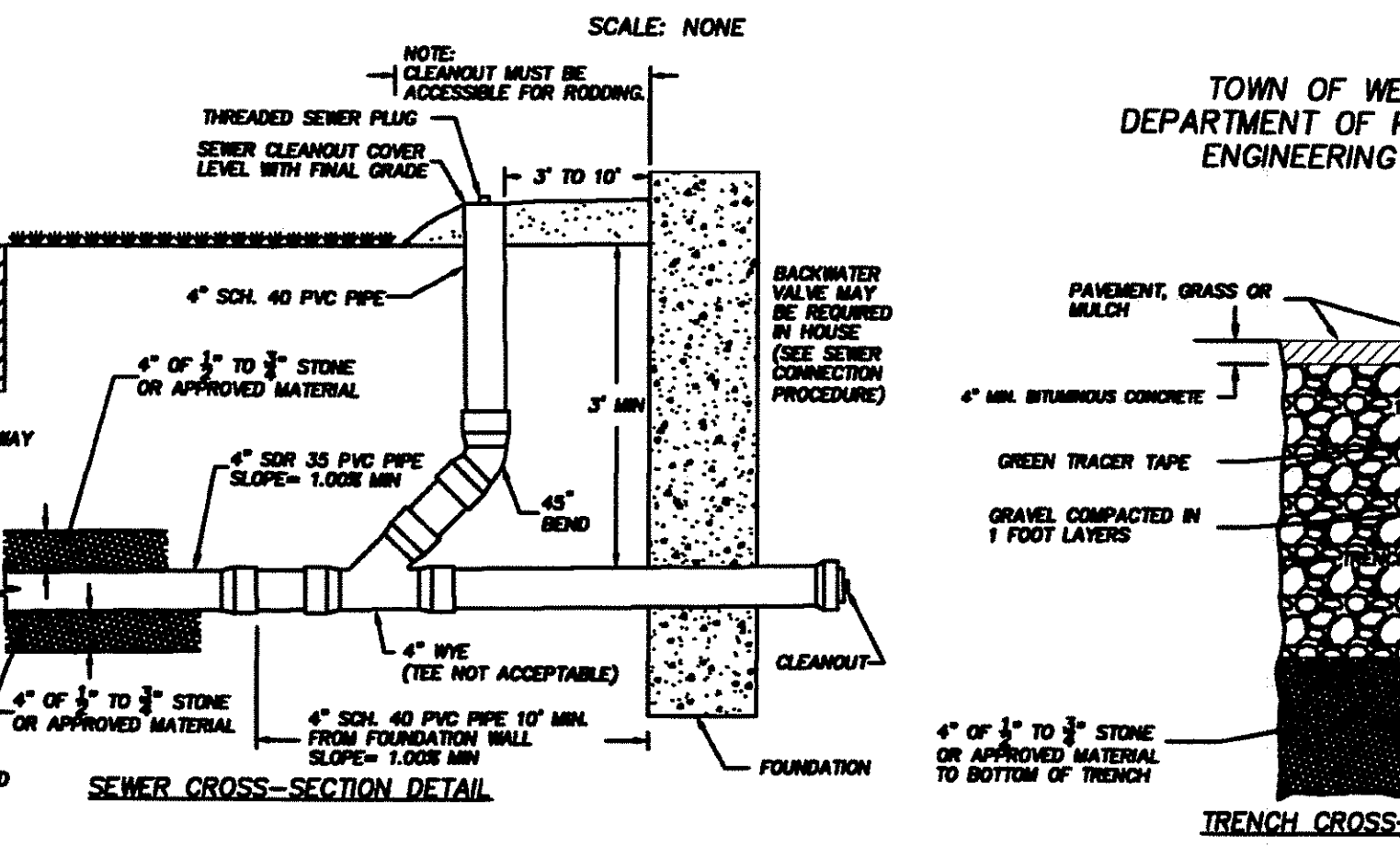
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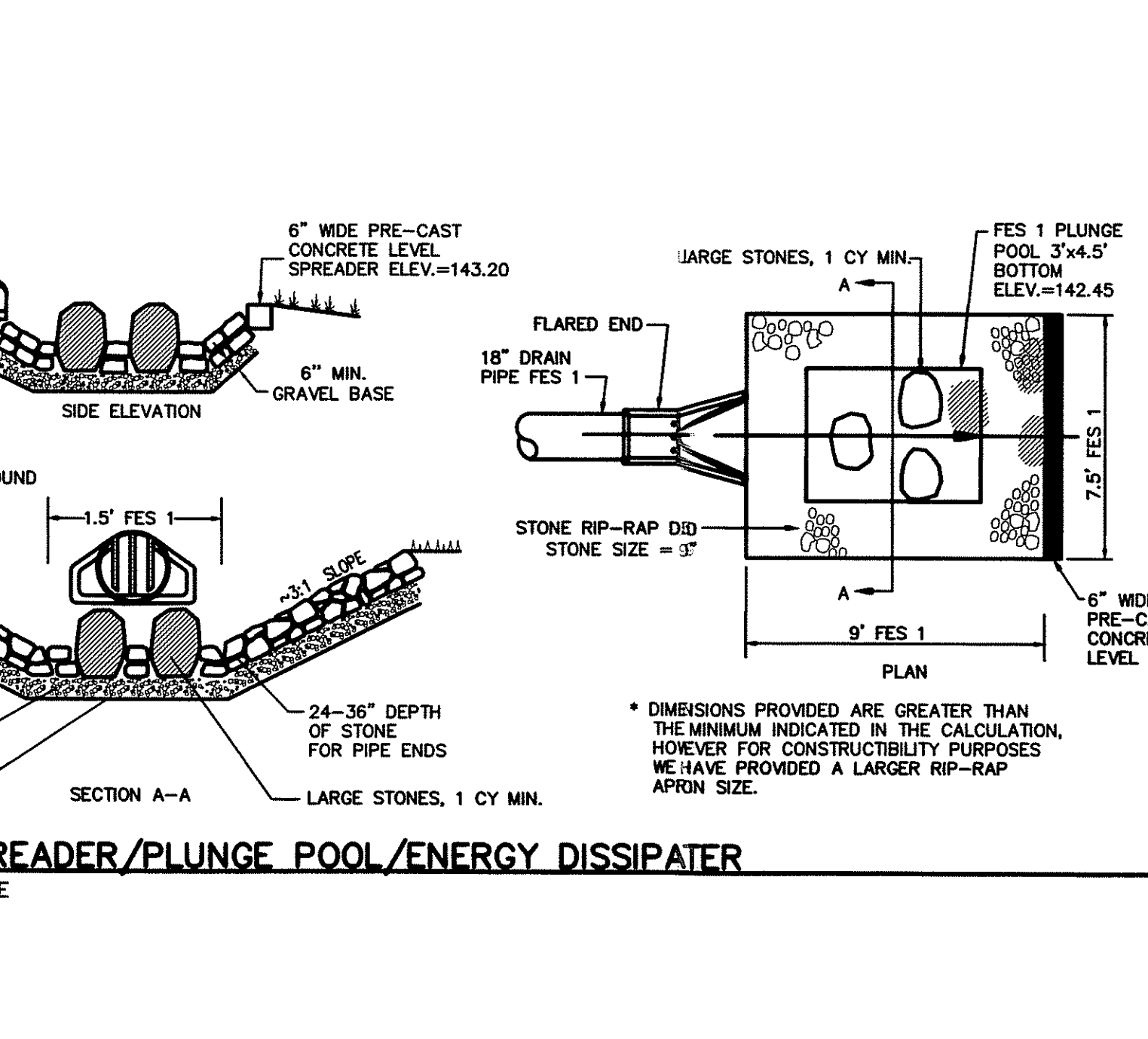
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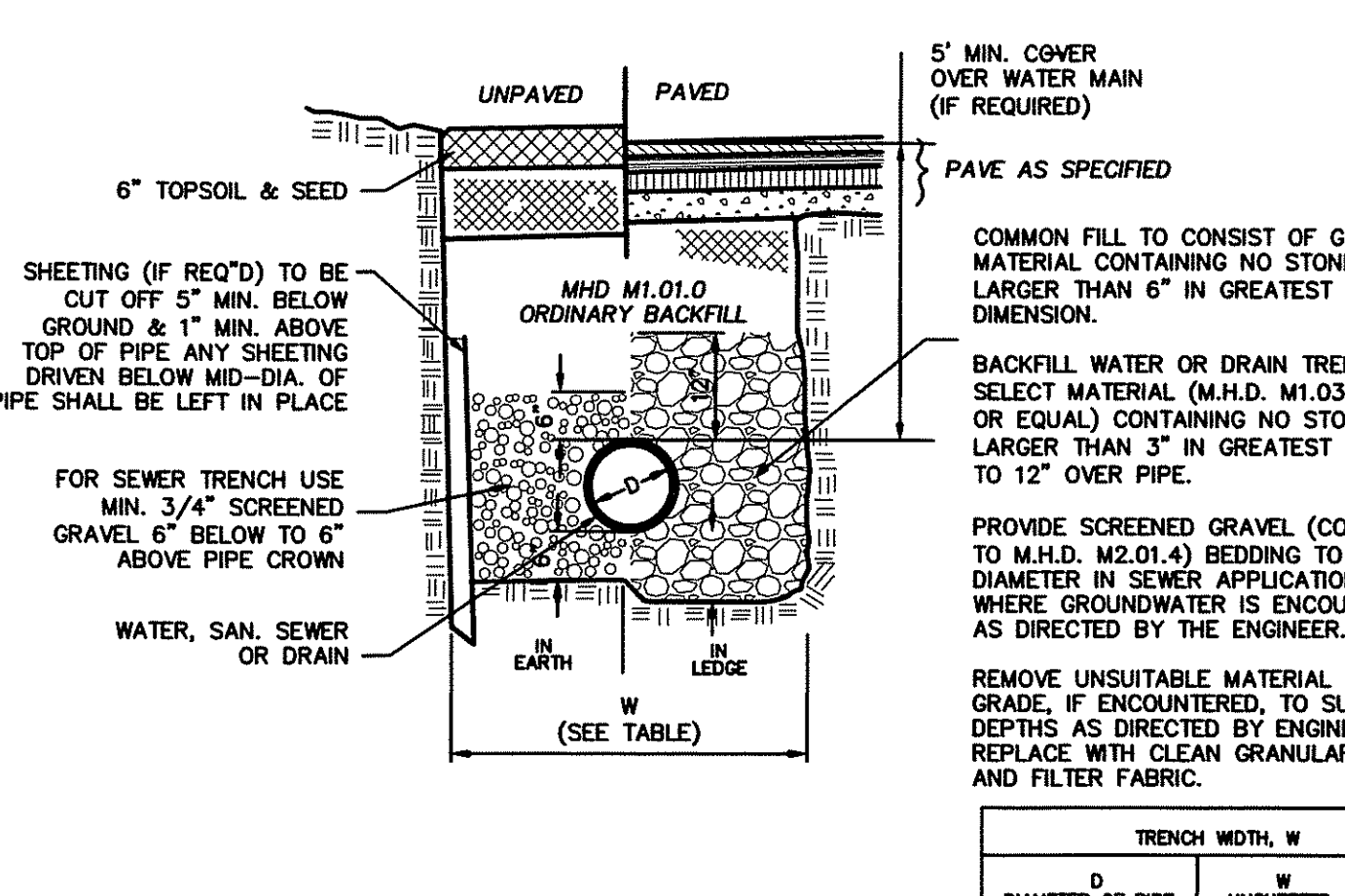
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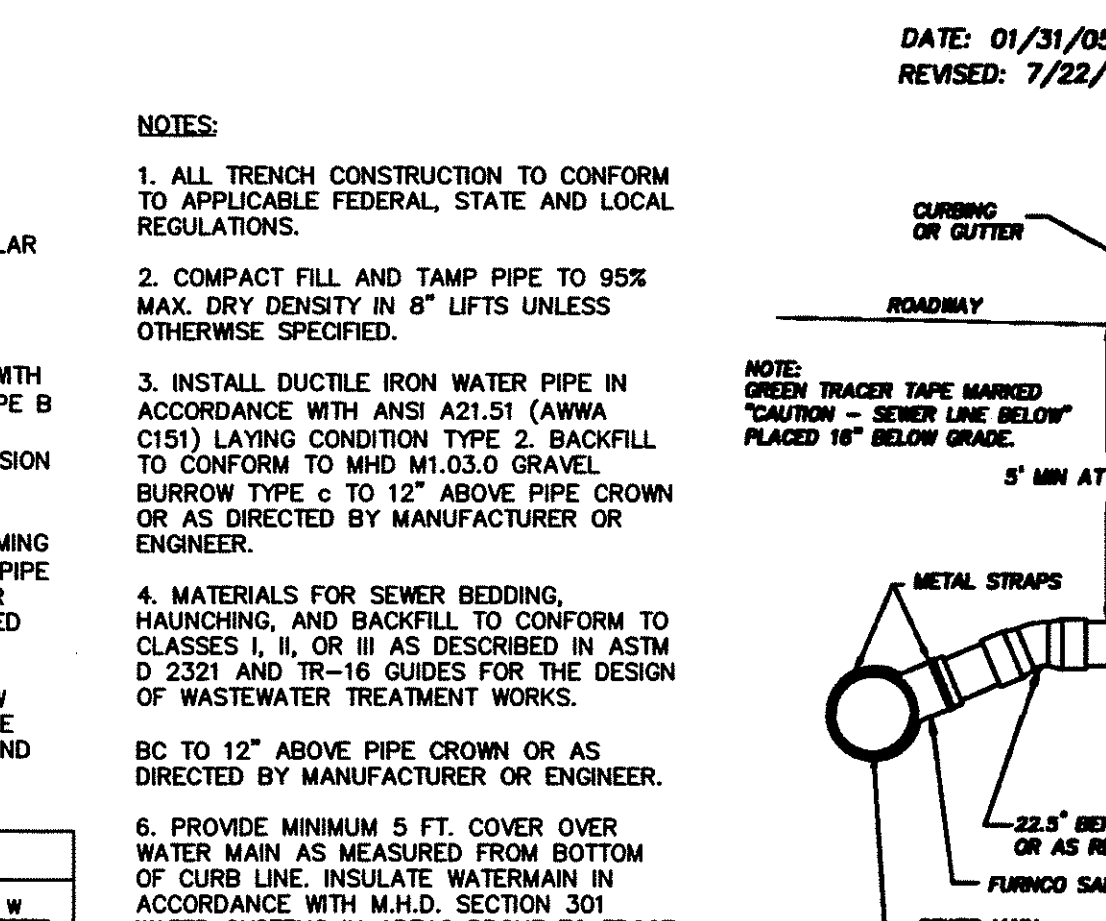
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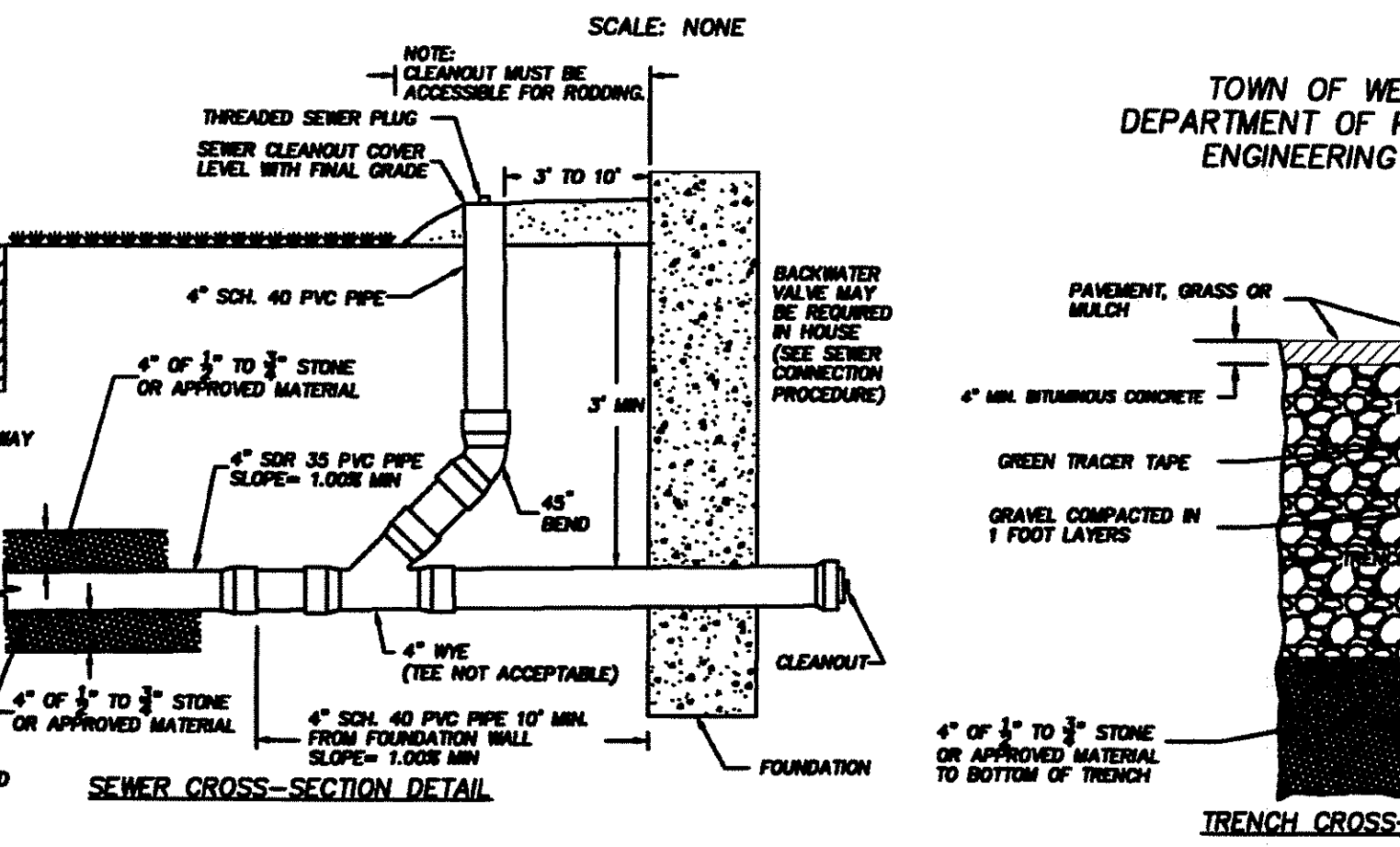
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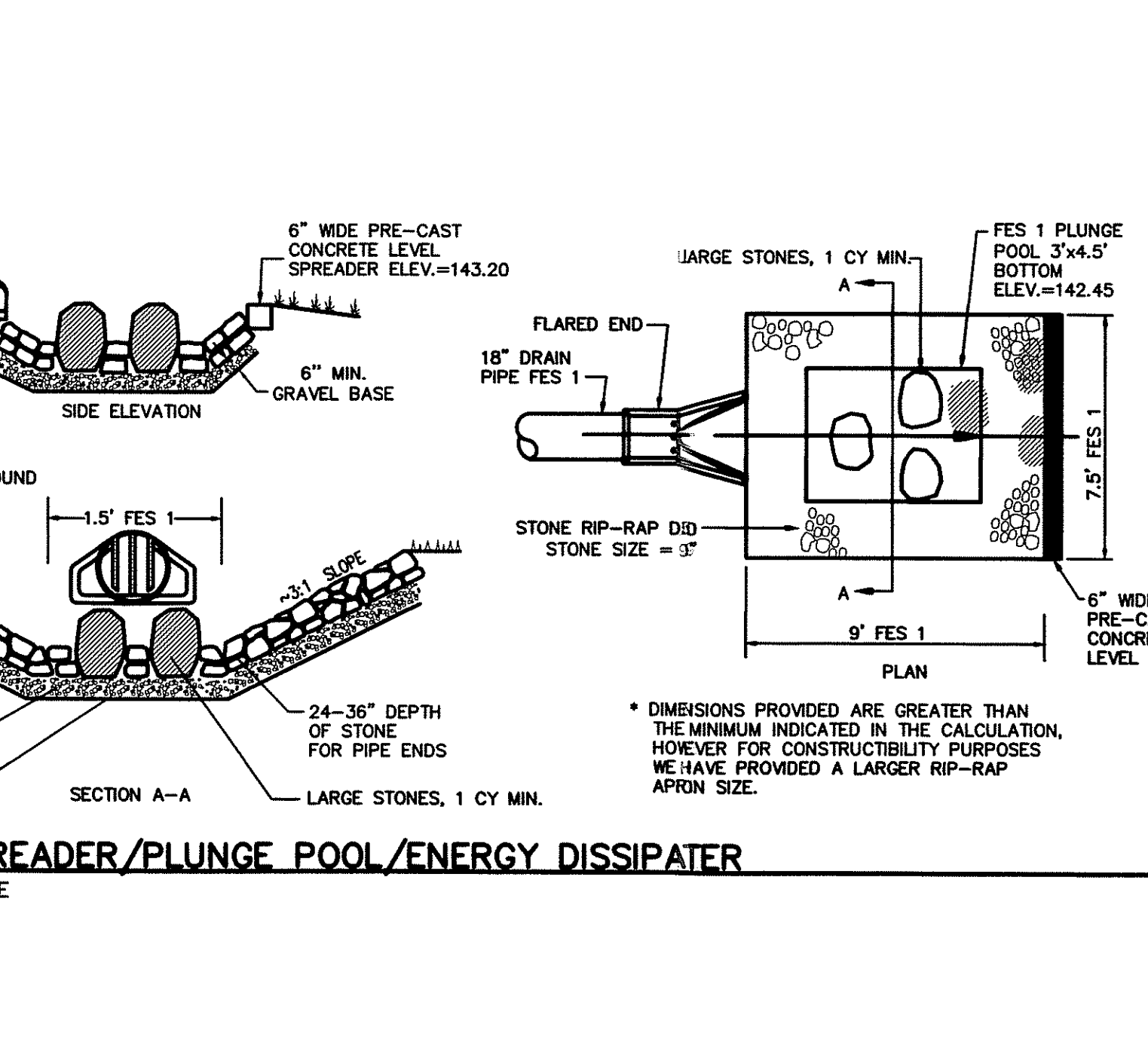
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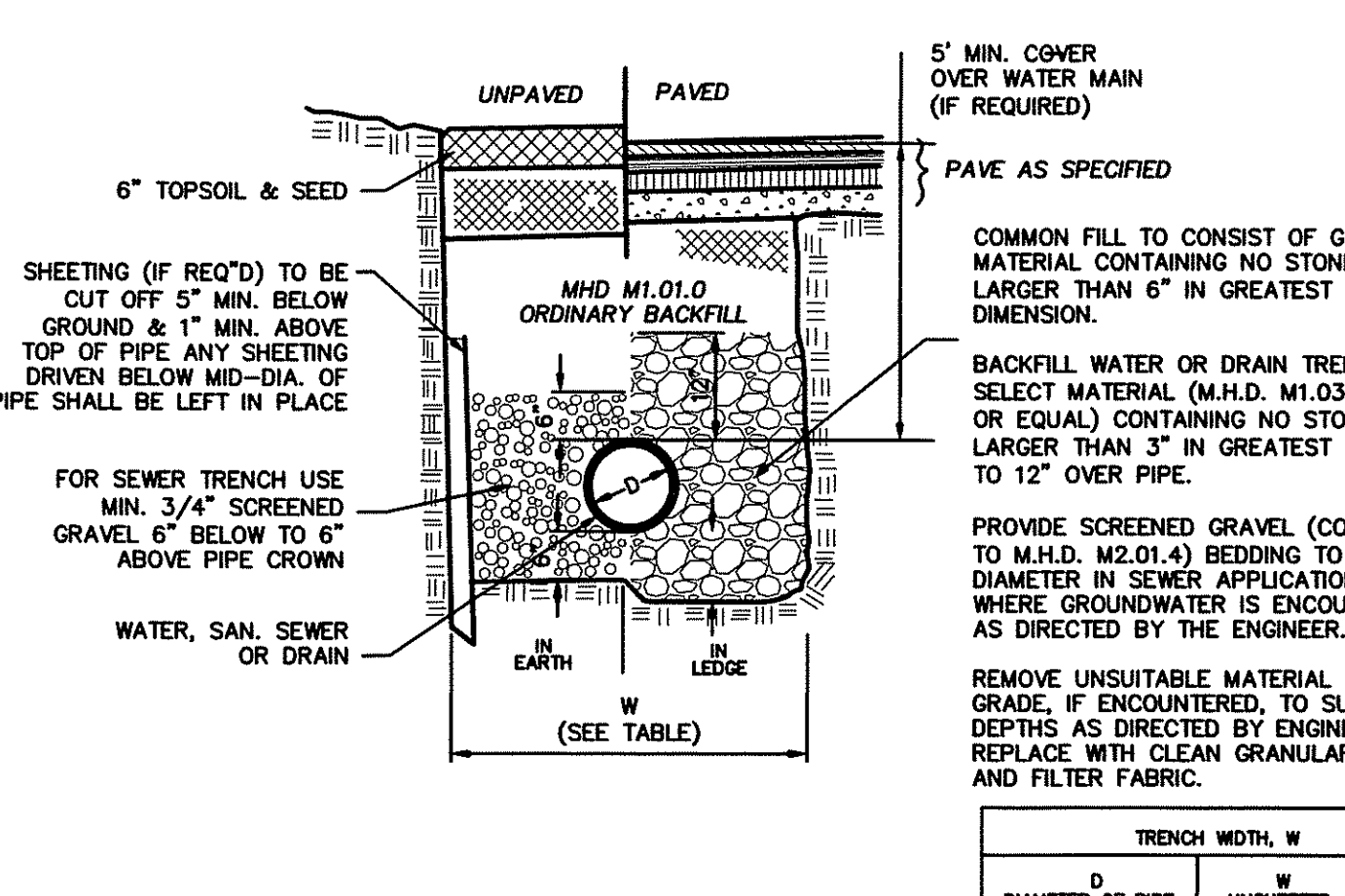
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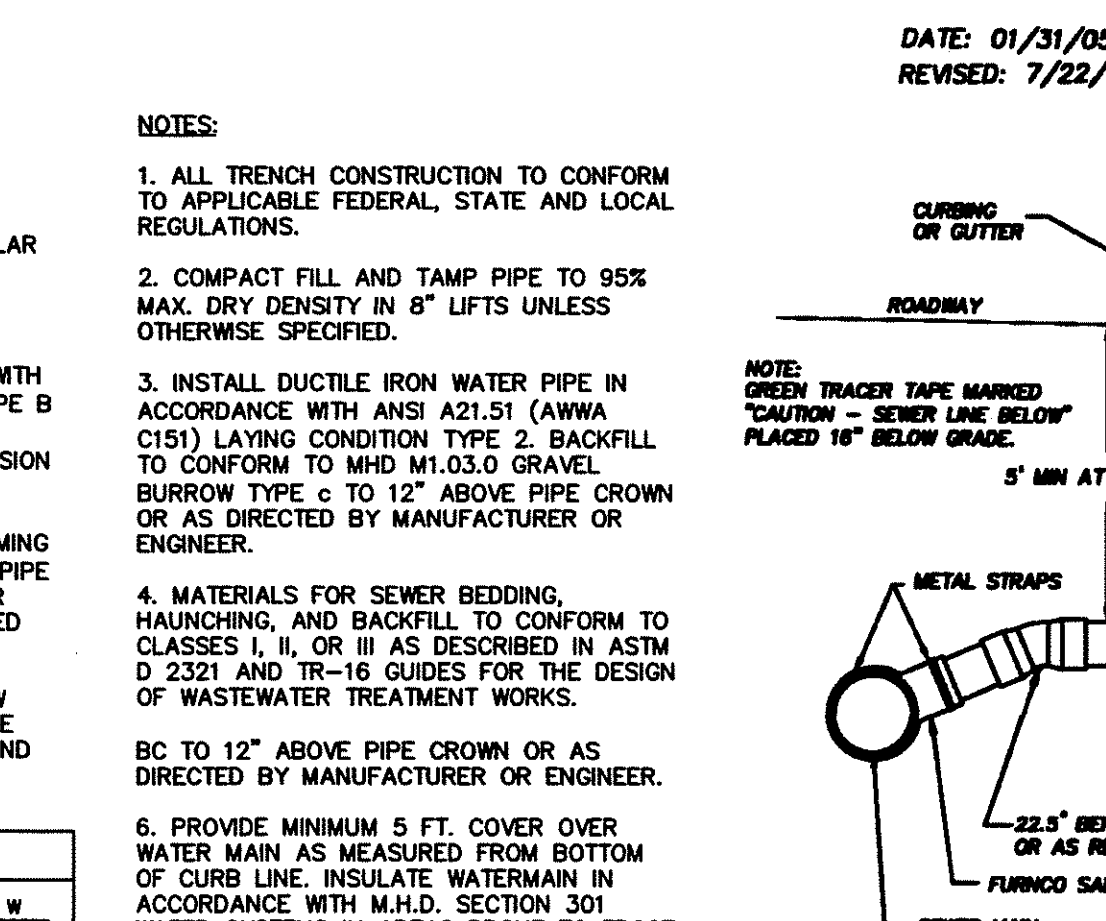
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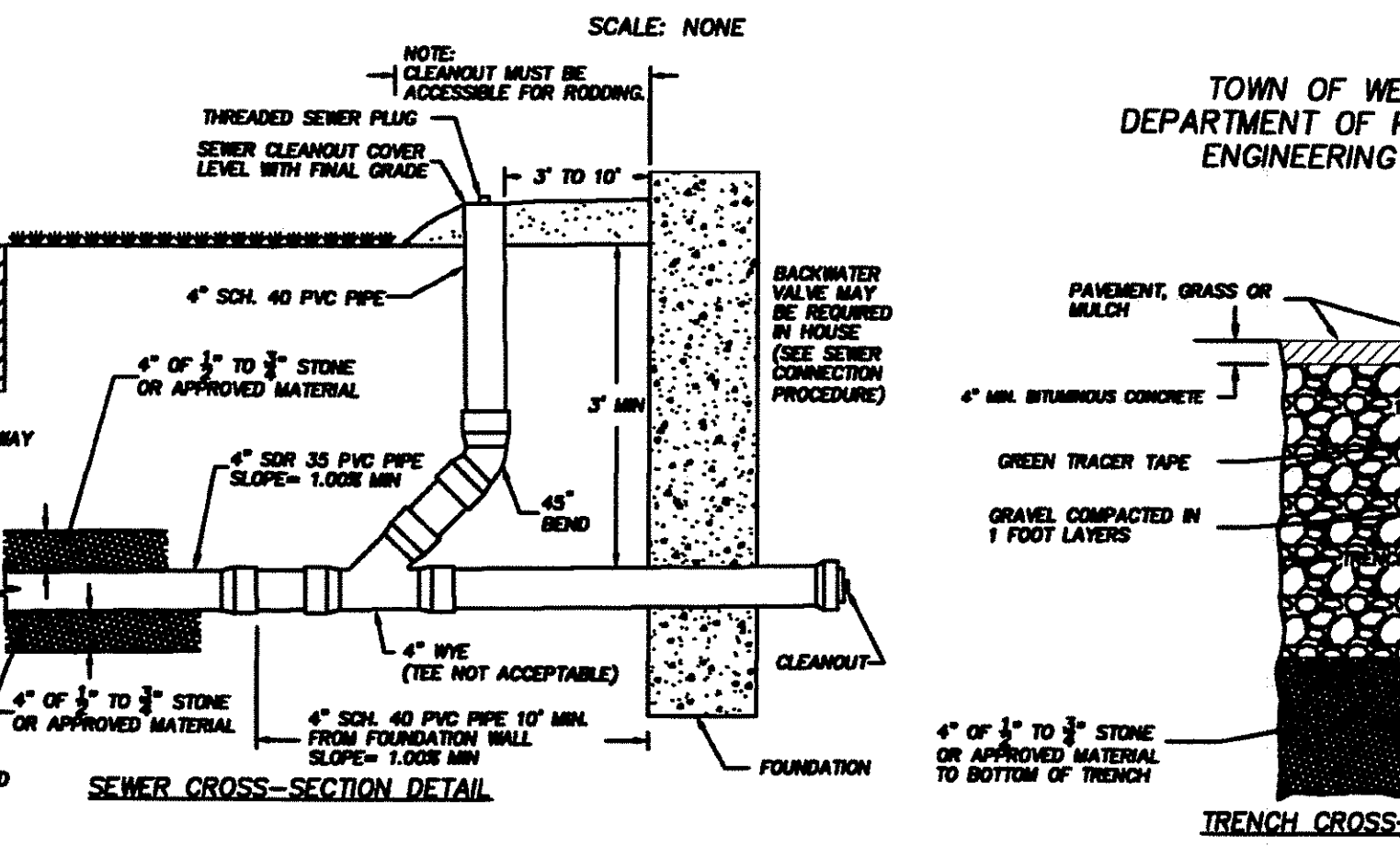
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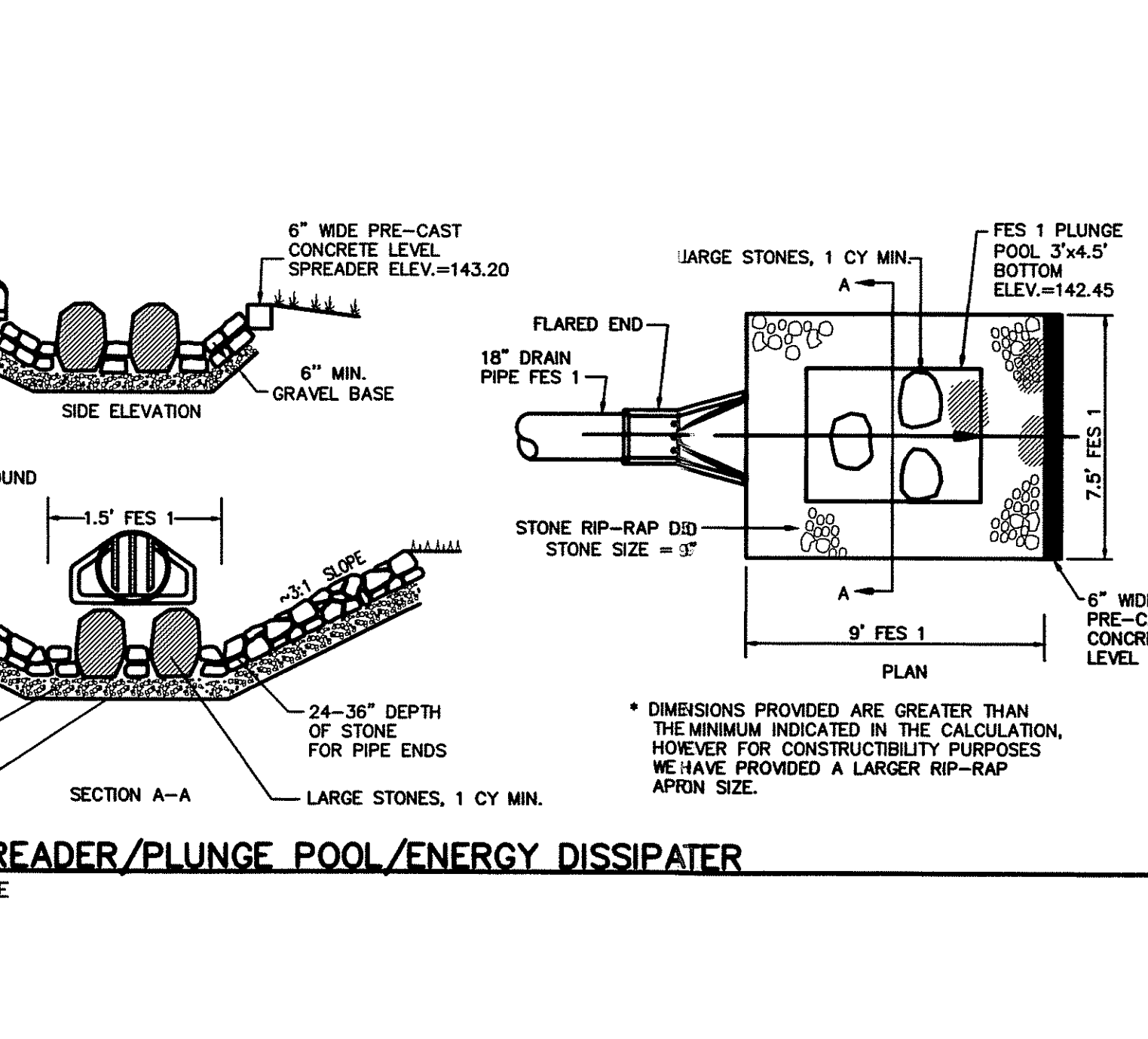
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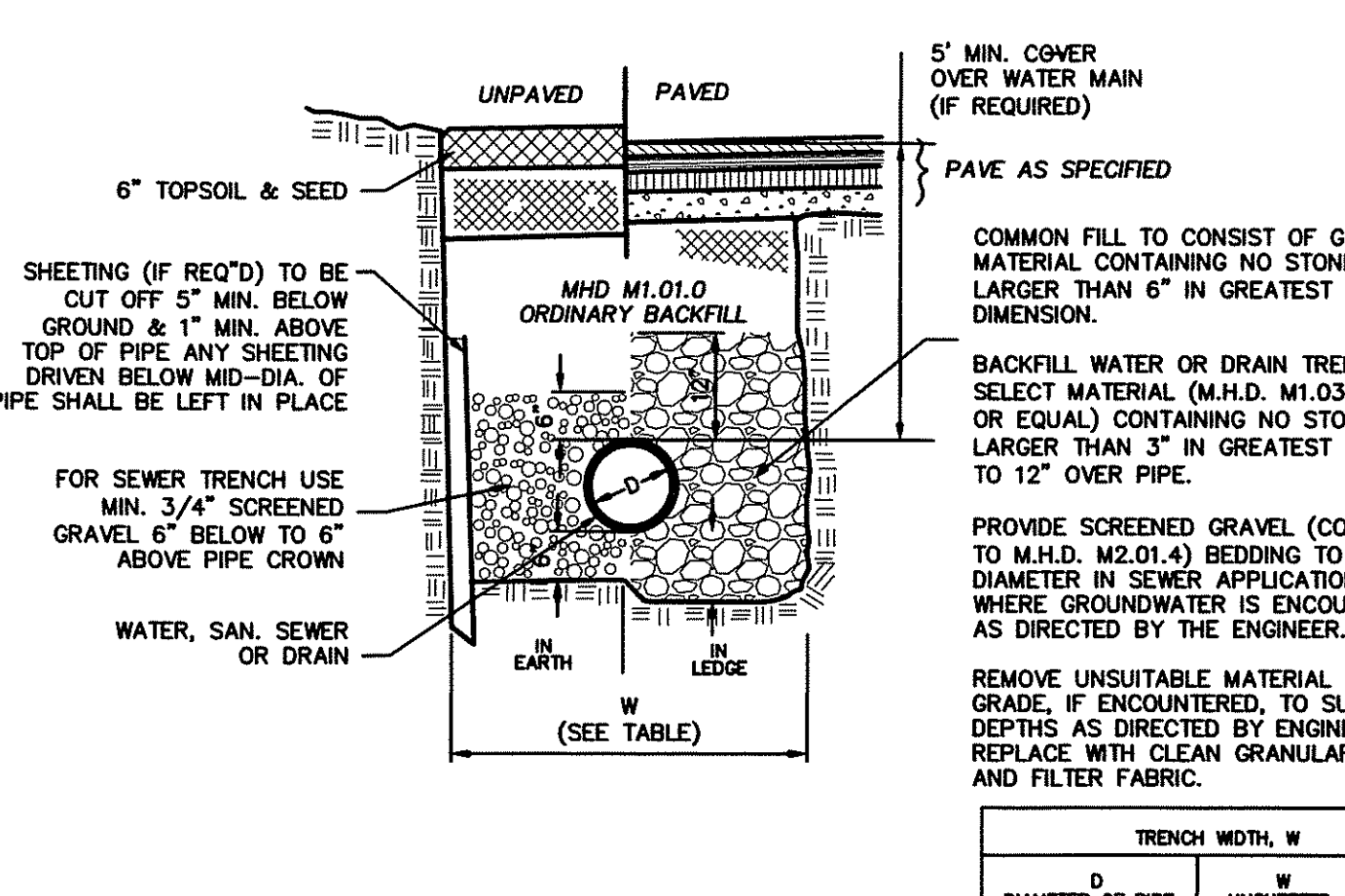
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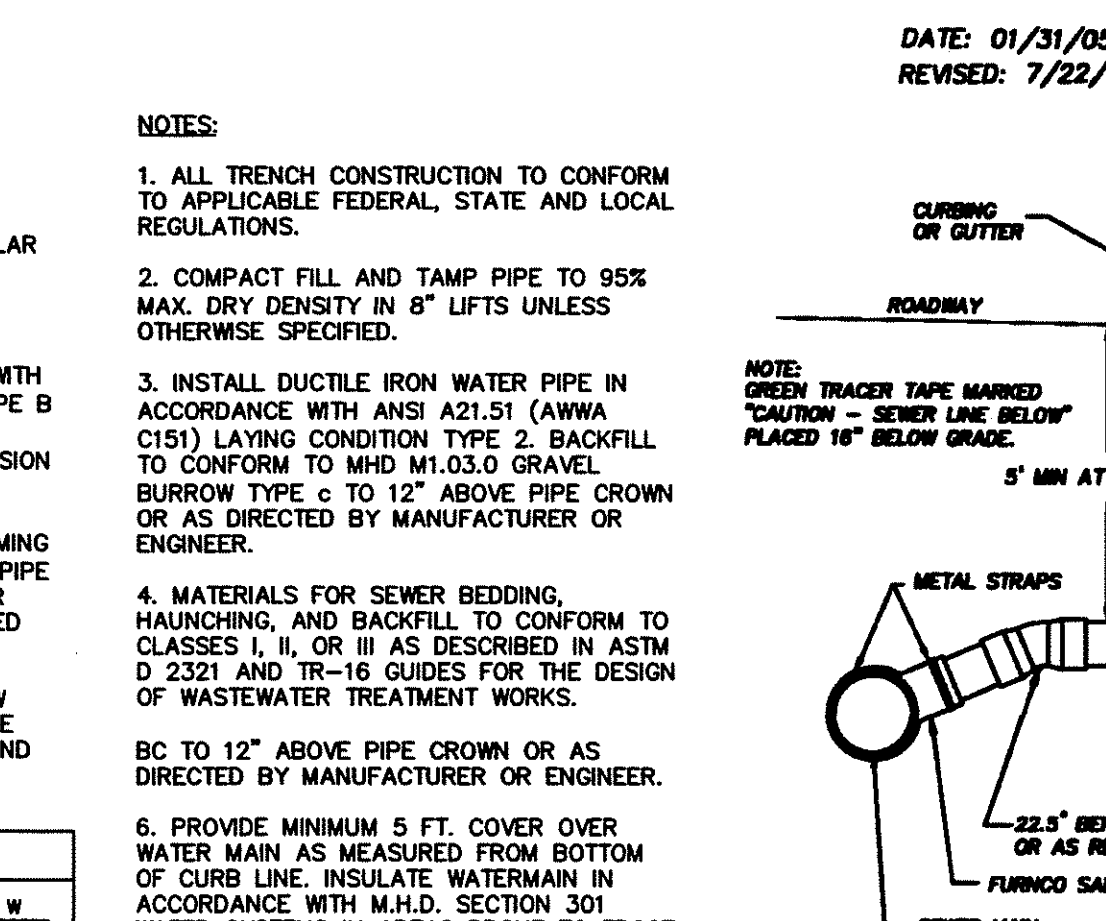
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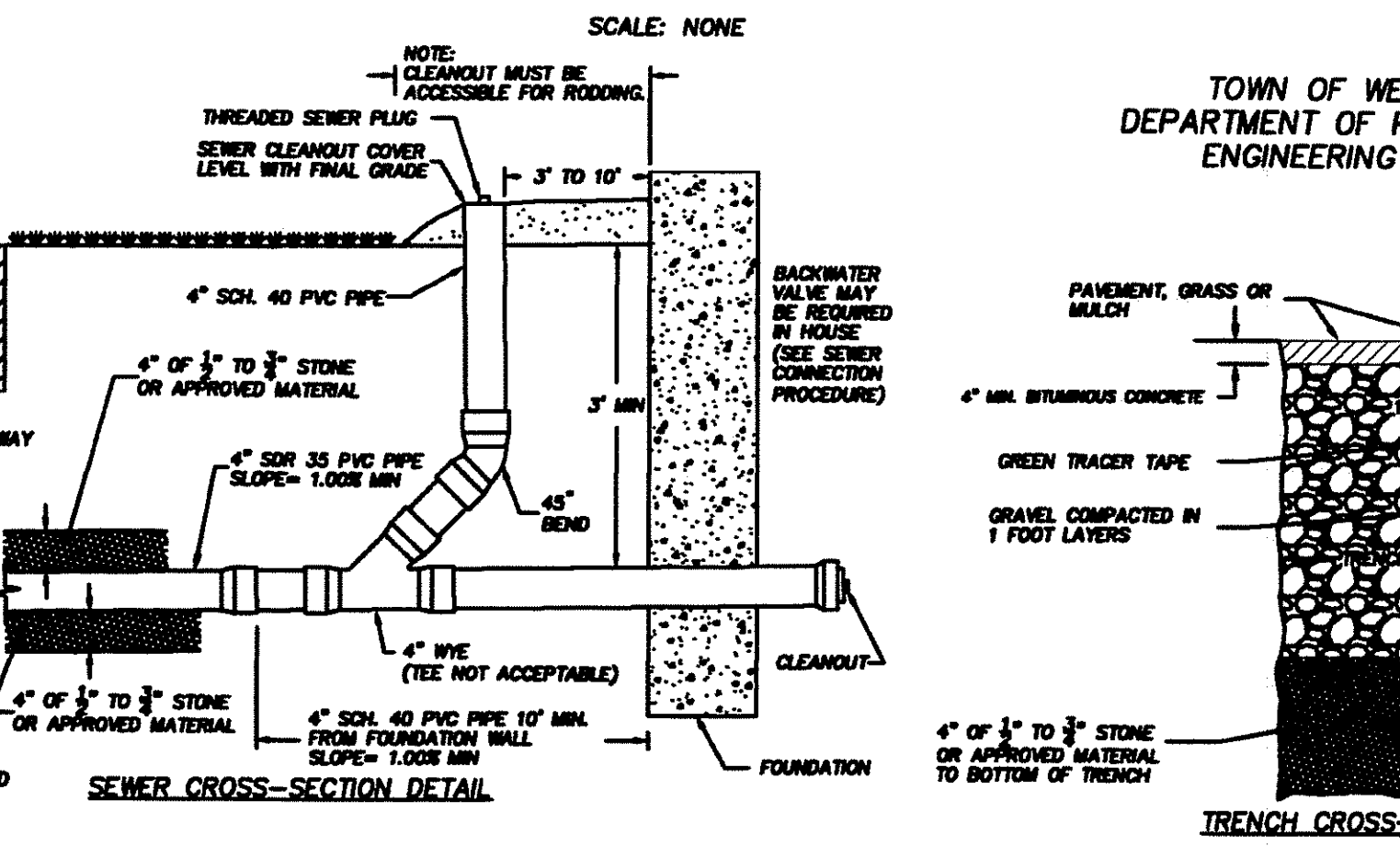
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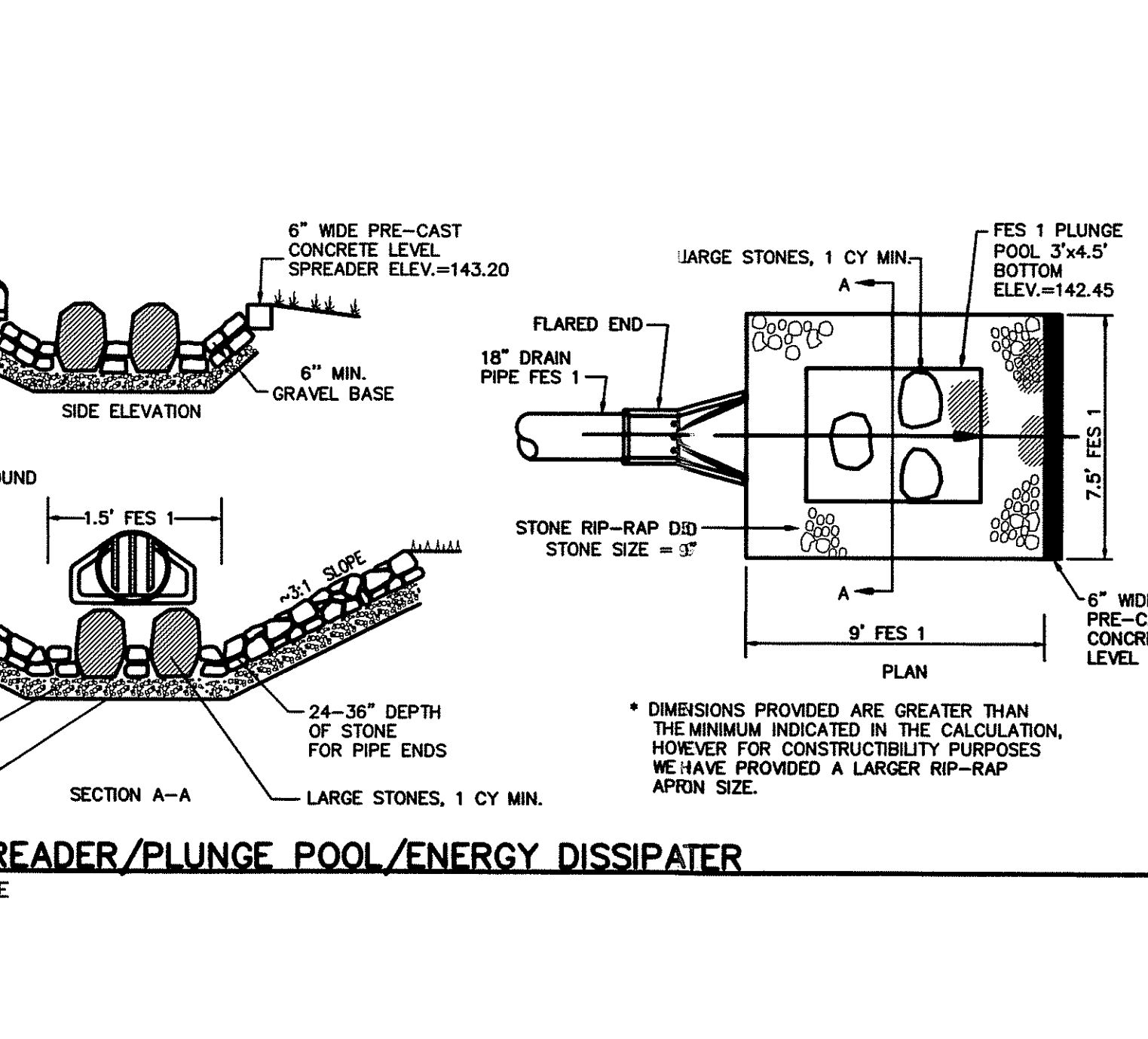
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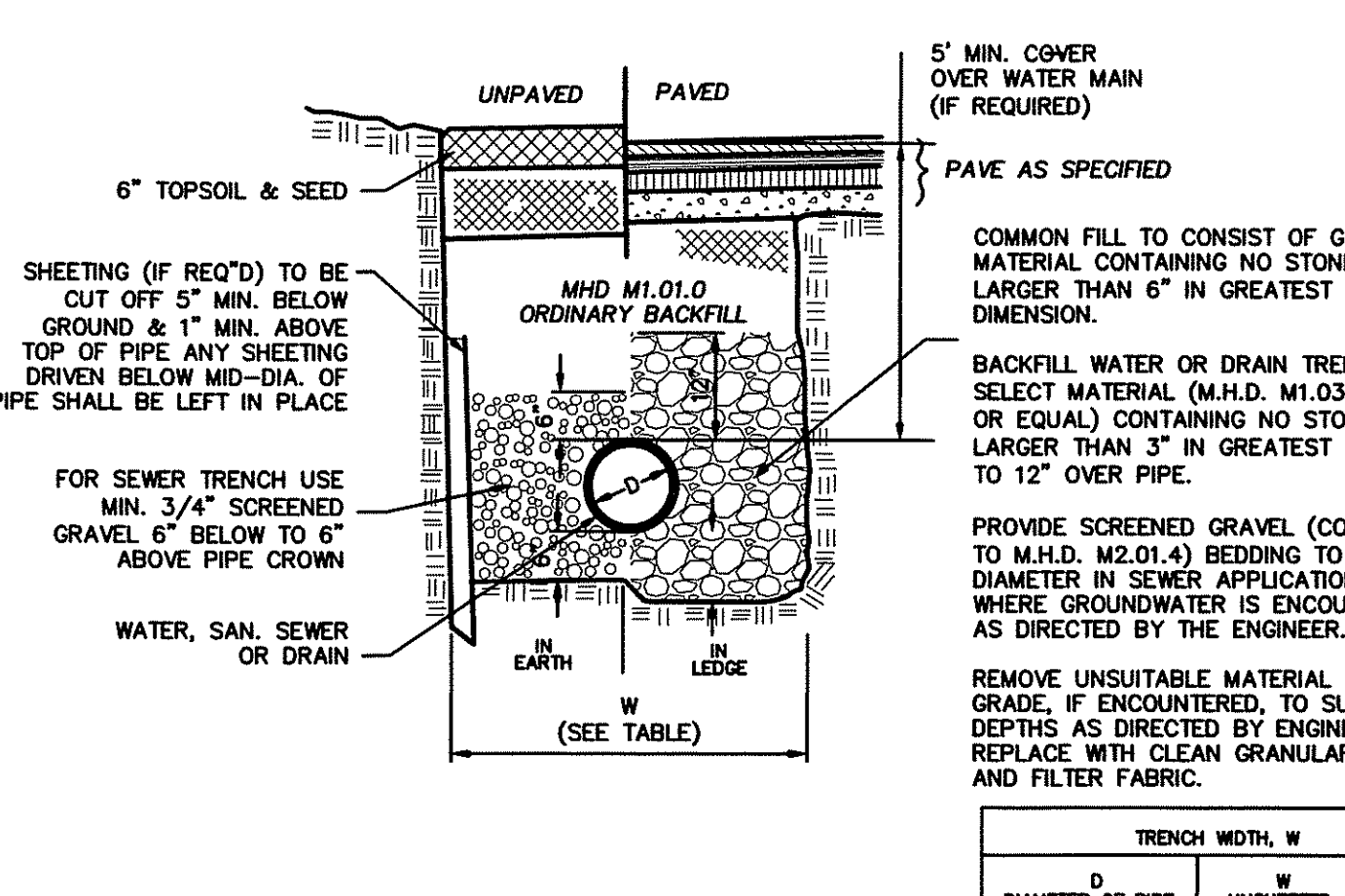
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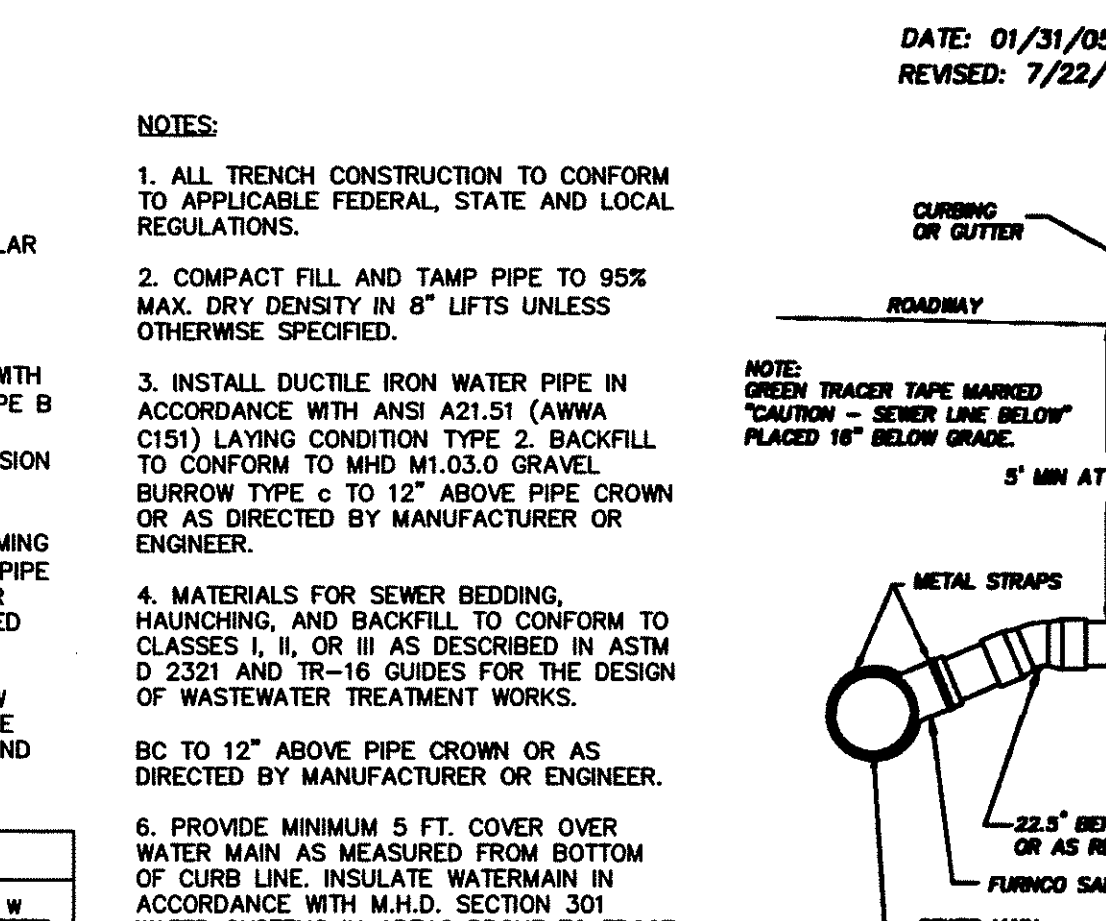
66 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



67 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



68 TRENCH CROSS-SECTION DETAIL
SCALE: NO SCALE



PUMP/TANK NOTES:

- THE TANK AND INSTALLATION IS IN COMPLIANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND IN ACCORDANCE WITH THE APPROVED PLANS.
- THE BOTTOM OF THE TANK INTERIOR HAS A CONCRETE FILLET SLOPED TOWARD THE PUMP.
- A 4-FLOAT SWITCH SYSTEM IS INSTALLED AS FOLLOWS FROM BOTTOM TO TOP: PUMP OFF/PUMP ON/LAG AND ALARM ON/ALARM
- THE STANDING WATER BELOW THE PUMP OFF SWITCH IS SET AT AN ELEVATION SUFFICIENT TO SUBMERGE 2/3 OF THE PUMP HOUSING (OR GREATER IF REQUIRED BY PUMP SPECIFICATIONS).
- THE ALARM SYSTEM INCLUDES AN AUDIO AND VISUAL SIGNAL WITH AMBER COLORED LIGHT.
- THE CONTROL/ALARM BOX IS LABELED WITH A DESCRIPTION AND EMERGENCY PHONE NUMBER TO CALL IN THE EVENT OF AN ALARM.
- THE CONTROL PANEL IS FITTED WITH A LOCK.

GENERAL NOTES:

- PUMP EQUIPMENT SHALL BE SUBMERSIBLE PUMP AS MANUFACTURED BY HOMA, OR APPROVED EQUAL. THE UNIT SHALL OPERATE FROM A 230 VOLT, 1 PHASE POWER SOURCE. PUMP SHALL BE APPROVED BY OWNER OR CHA CONSULTING, INC. BEFORE INSTALLATION.
- PUMP STATION WET WELL SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE STANDARD H2O LOADING, CONSTRUCTED OF REINFORCED CONCRETE FOR COMPRESSIVE STRENGTH TO A MINIMUM OF 5,000 PSI AND TO THE DIMENSIONS AS SHOWN ON THE DETAILS AND MANUFACTURED BY SHOREY PRECAST OR APPROVED EQUAL.
- ALL STEEL REINFORCEMENT SHALL CONFORM TO ASTM A 615-75 GRADE 60 WITH 1" MINIMUM COVER.
- THE SUBMERSIBLE PUMP SHALL BE INSTALLED WITH A HYDRAULICALLY SEALED SLIDE COUPLING ARRANGEMENT SO THAT THE PUMPS CAN BE REMOVED FROM THE WET WELL FOR SERVICE AND INSPECTION AND THEN RETURNED TO SERVICE WITHOUT ENTERING THE WET WELL BASIN TO UNBOLT OR UNLOCK THE CONNECTION BETWEEN THE PUMP AND PIPING.
- THE SUBMERSIBLE PUMP SHALL BE EQUIPPED WITH POWER CABLE WITH EPOXY SEALED HOUSING WITH SECONDARY PRESSURE GROMMET FOR SEALING AND STRAIN RELIEF OF ADEQUATE LENGTH TO COMPLY WITH OWNER'S REQUIREMENTS AND ALL REGULATIONS. ALL INCOMING LEAD WIRES SHALL BE SPICED IN THE MOTOR TERMINAL HOUSING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THE JUNCTION DISCONNECT AND CONTROL PANEL WITH THE OWNER PRIOR TO CONSTRUCTION. ALARM PANEL SHALL BE CLEARLY VISIBLE.
- THE CONTRACTOR SHALL FURNISH AND INSTALL FOUR (4) NON-MERCURY LIQUID LEVEL SENSORS WITH SUFFICIENT LENGTH OF CABLE FOR THE PUMP STATION. SUSPENDED TYPE OF LEVEL SENSORS SHALL BE MOUNTED IN A CORROSION RESISTANT POLYPROPYLENE HOUSING, AND MOUNTED TO TANK INTERIOR BY A DETACHABLE BRACKET.
- ELECTRICAL SUPPLY AND CONTROL CIRCUITS SHALL BE DESIGNED TO ALLOW DISCONNECTION AT CONTROL PANEL LOCATION SHALL BE COORDINATED WITH BUILDING OWNER. SUPPLY AND CONTROL WIRING SHALL BE PLACED IN SEPARATE CONDUIT.
- THE PUMP MOTOR SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE FOR CLASS 1, DIVISION 2 LOCATIONS.
- ALL INLET AND OUTLET PIPING CONNECTIONS AT THE WET WELL SHALL BE MADE WATERTIGHT.
- DISCHARGE PIPING WITHIN WET WELL AND VALVE CHAMBER SHALL BE PVC, SCHEDULE 80. PIPING BEYOND VALVE CHAMBERS SHALL BE PVC, SDR 21.
- PROVIDE THRUST BLOCKING FOR ALL FITTINGS AND BENDS ETC. IN THE FORCEMAIN.
- ALL PRE-CAST CONCRETE STRUCTURES TO BE WATERTIGHT, WATERPROOF, WITHSTAND H-20 LOADING, SEAL JOINTS WITH WATERPROOFING MEMBRANE - TREMPROOF 60 OR APPROVED EQUAL, AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. SEAL JOINTS ARE REQUIRED TO HAVE SECONDARY PROTECTION IN THE FORM OF AN EPOXY SPRAY SYSTEM, AS APPROVED BY THE ENGINEER.
- CONTRACTOR TO PROVIDE SAFETY NET FOR RECTANGULAR HATCH OPENING.
- ALL STRUCTURES SHALL BE DESIGNED, MANUFACTURED, AND INSTALLED TO WITHSTAND DEPTH OF COVER REQUIRED.
- THE ACCESS COVERS SHALL BE 1/4" THICK ALUMINUM TO THE CLEAR DIMENSIONS AS SHOWN ON THE DETAILS SUITABLE FOR H2O LOADING. PER SQUARE FOOT. THE ACCESS COVERS SHALL HAVE HEAVY FORGED ALUMINUM HINGES FITTED WITH STAINLESS STEEL PINS, A FLUSH SPRING LOADED SNAP LOCK OPERABLE FROM THE OUTSIDE BY A REMOVABLE HANDLE AND FROM THE INSIDE BY A FIXED HANDLE.
- ALL PUMP HATCH AND MANHOLE COVERS SHALL BE GASKETED TO PREVENT THE RELEASE OF ODORS AND INFLOW OF STORMWATER. ALL HATCH AND MANHOLE COVERS SHALL BE EQUIPPED WITH LOCKING DEVICES. ALL MANHOLES SHALL BE EQUIPPED WITH RECESSED PADLOCK HASPS. ALL MANHOLES SHALL BE PROVIDED WITH YALE#112 CYLINDER LOCKS.
- LANDSCAPE SCREENING SHALL BE PROVIDED FOR THE SEWER PUMP STATION, TO BE SEPARATELY DESIGNED, AND APPROVED BY THE PLANNING DIRECTOR.
- THE EMERGENCY GENERATOR FOR THE SEWER PUMP STATION WILL USE NATURAL GAS AND THE MANUFACTURER'S INFORMATION WILL BE PROVIDED TO THE DEPARTMENT OF PUBLIC WORKS PRIOR TO INSTALLATION.

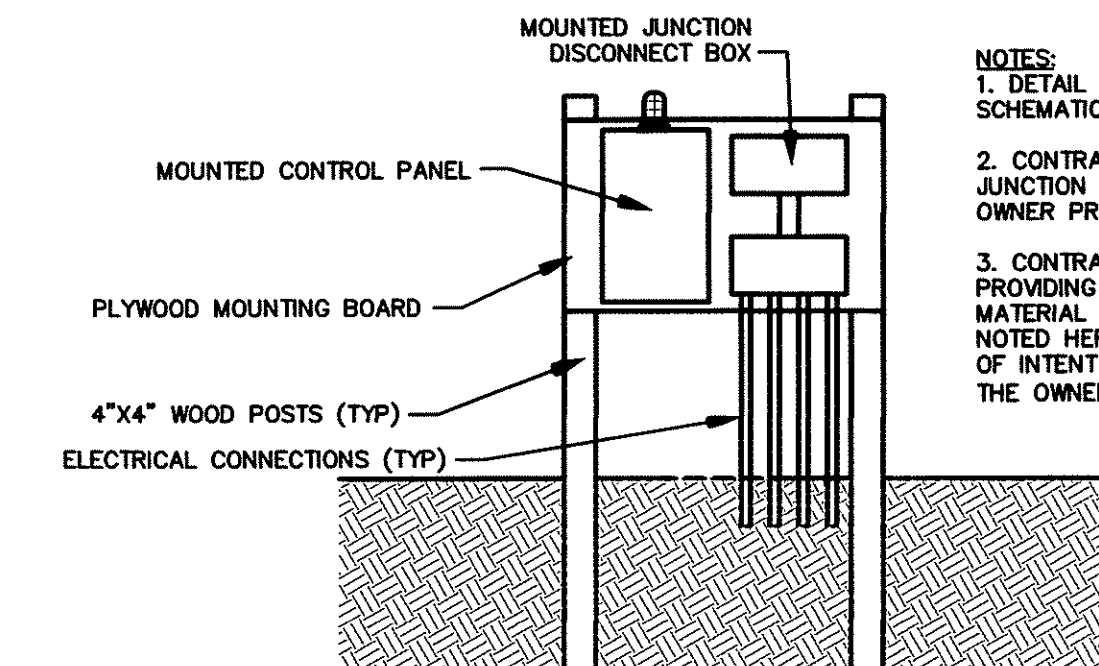
CONTROL PANEL FEATURES:

THE CONTROL PANEL SHALL BE EQUIPPED WITH THE FOLLOWING ADDITIONAL FEATURES:

- SEAL-LEAK INDICATING LIGHTS.
- ALARM LIGHT AND HORN
- ELAPSED-TIME METERS FOR PUMPS.
- AUTO DIALER UNITED SECURITIES MODEL AD 2001
- DEAD-FRONT LOCKABLE ENCLOSURE.

MOTOR CONTROL PANEL NOTES:

- PROVIDE CONTROL PANEL INSTALLED WITHIN A NEMA 4X DEAD FRONT ENCLOSURE SUITABLE FOR POST MOUNTING AS INDICATED ON DRAWINGS.
- ELECTRICAL CONTROLS TO INCLUDE MAGNETIC STARTERS, RUN LIGHTS, H-O-A (HAND-OFF-AUTOMATIC) SWITCHES, HOLD/ALTERNATE CAPABILITY, CIRCUIT BREAKERS, AND CONTROL RELAYS NECESSARY TO CONTROL ELECTRICAL DEVICES ON PUMP STATION SYSTEM.
 - PUMP MOTOR CONTROLLED BY H-O-A SWITCHES AND MAGNETIC STARTERS IN CONJUNCTION WITH LIQUID LEVEL SENSORS.
 - ELECTRICAL EQUIPMENT AND CIRCUITRY TO BE PROTECTED BY PROPERLY-SIZED CIRCUIT BREAKERS OR FUSES.
 - DUPLEX OR STANDBY EQUIPMENT SHALL BE DESIGNED TO BE OPERATED BY DEVICES WITHIN THE CONTROL SYSTEM.



JUNCTION DISCONNECT AND CONTROL PANEL

NOT TO SCALE

1 SEWER PUMP STATION, VALVE CHAMBER & JUNCTION BOX

SCALE: NO SCALE

BUOYANCY CALCS:

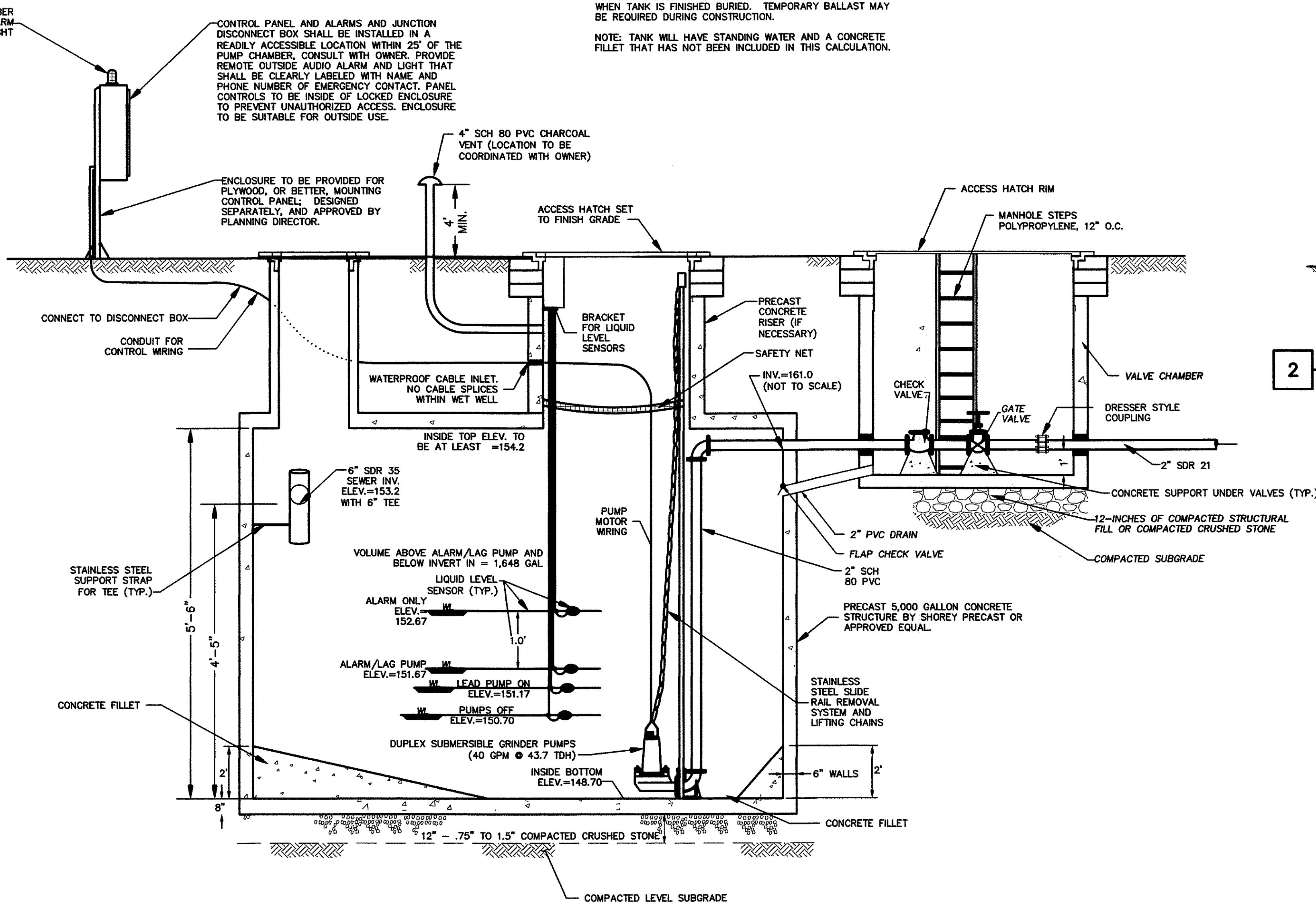
SEWER PUMP STATION

STRUCTURE ASSUMED TO BE FULLY SUBMERGED IN GROUNDWATER.

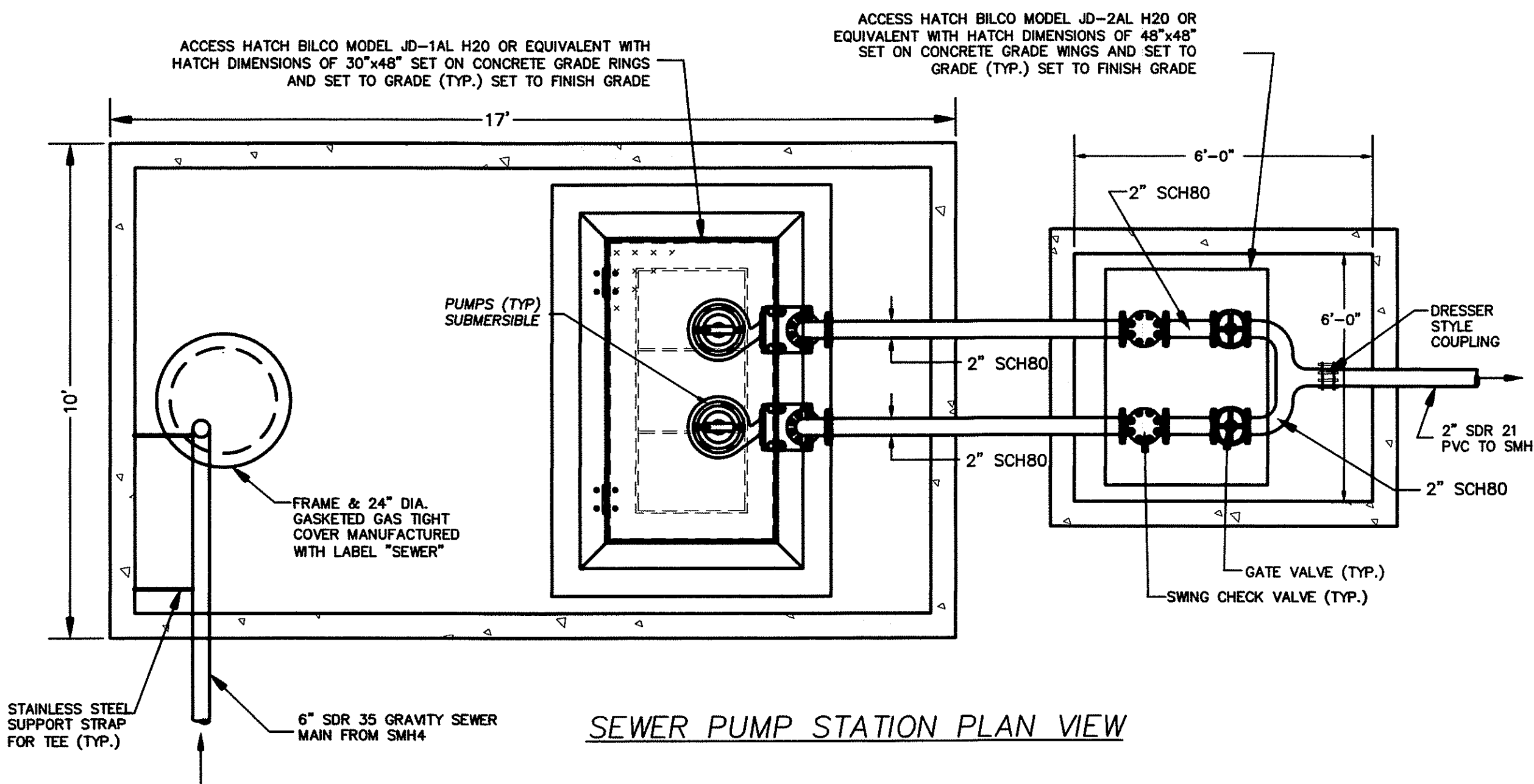
BUOYANT FORCE, $F_b = 77,800$
WEIGHT OF SOIL, $LB = 144,000$
WEIGHT OF TANK, $LB = 51,200$

ADDITIONAL BALLAST IS NOT ANTICIPATED TO BE REQUIRED WHEN TANK IS FINISHED BURIED. TEMPORARY BALLAST MAY BE REQUIRED DURING CONSTRUCTION.

NOTE: TANK WILL HAVE STANDING WATER AND A CONCRETE FILLET THAT HAS NOT BEEN INCLUDED IN THIS CALCULATION.



SEWER PUMP STATION ELEVATION VIEW



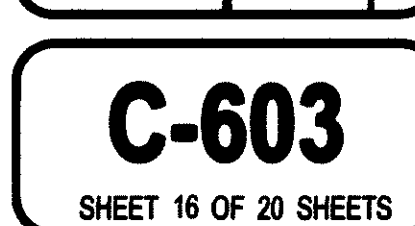
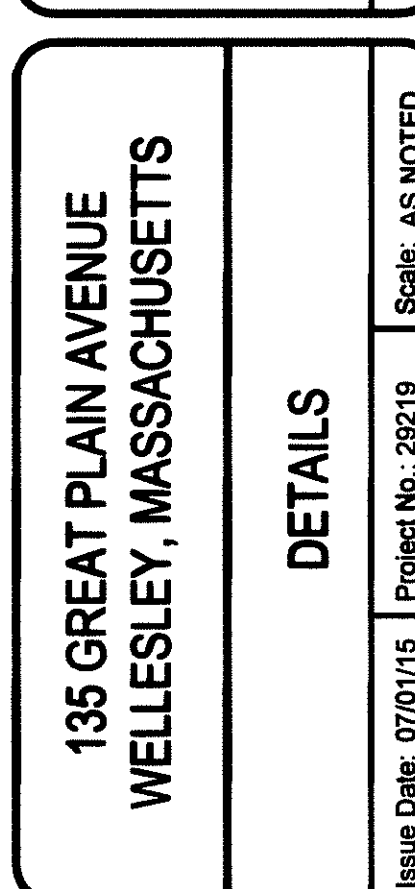
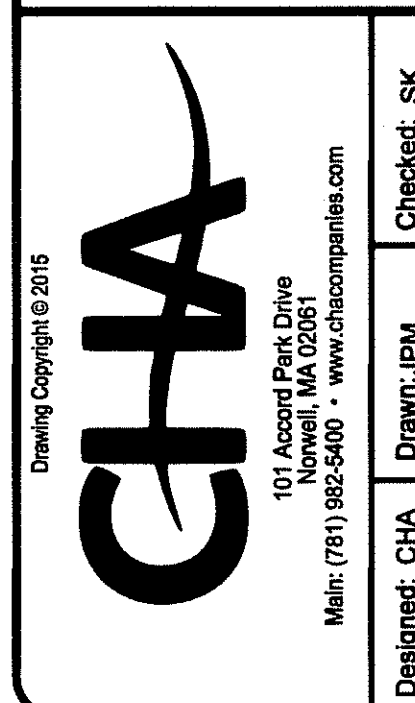
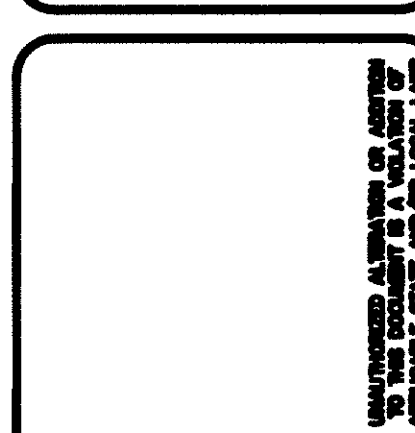
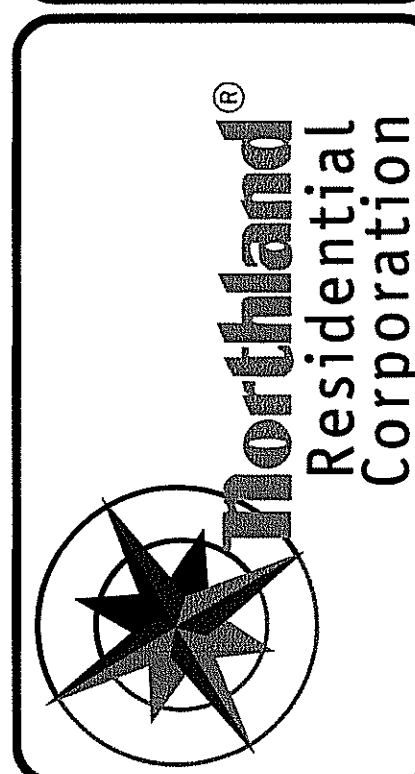
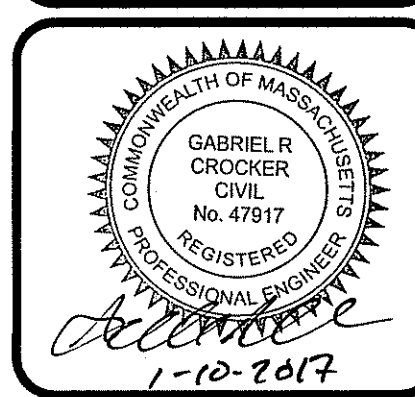
SEWER PUMP STATION PLAN VIEW

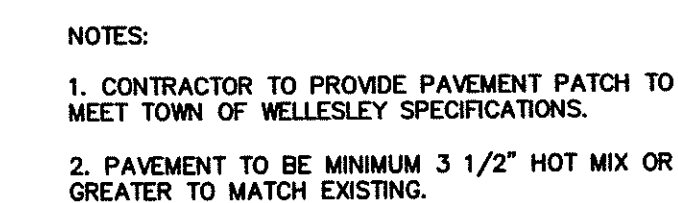
I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Sub N. Calc DATE: 1-10-2017

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>[Signature]</i>	definitive application filed	7/2/2015
<i>[Signature]</i>	definitive plan filed	7/2/2015
<i>[Signature]</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20, 000
DATE 1/17/2017	project number	AB-15-F-1
	PB number	AB-15-F-1

Date	By	App'd	Submitted / Revision	07/01/15	07/01/15	07/01/15	07/01/15	07/01/15	07/01/15

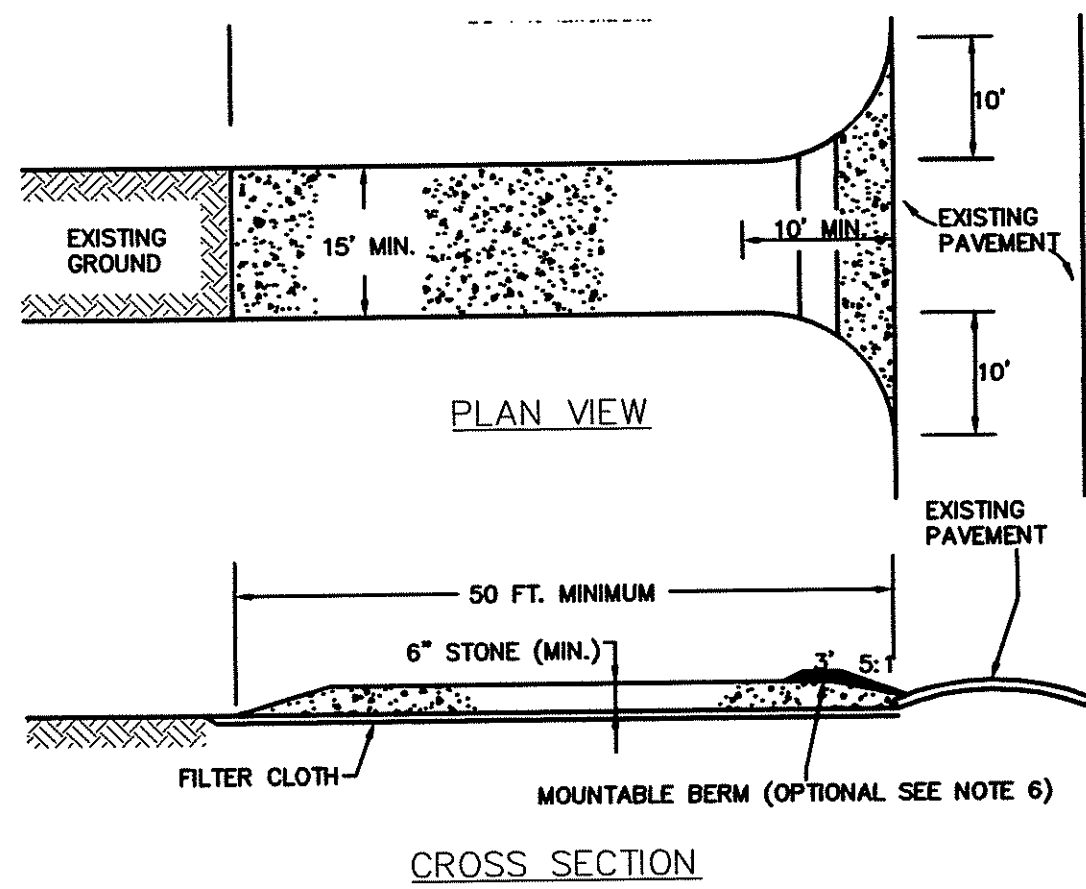




8 PAVEMENT PATCH DETAIL FOR TRENCH SECTIONS



**135 GREAT PLAIN AVENUE
WELLESLEY, MASSACHUSETTS**

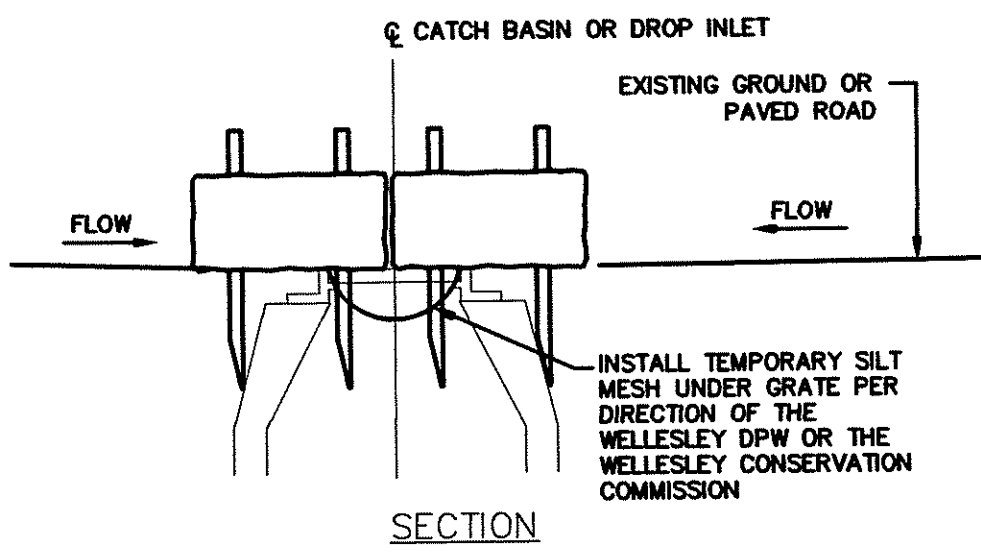
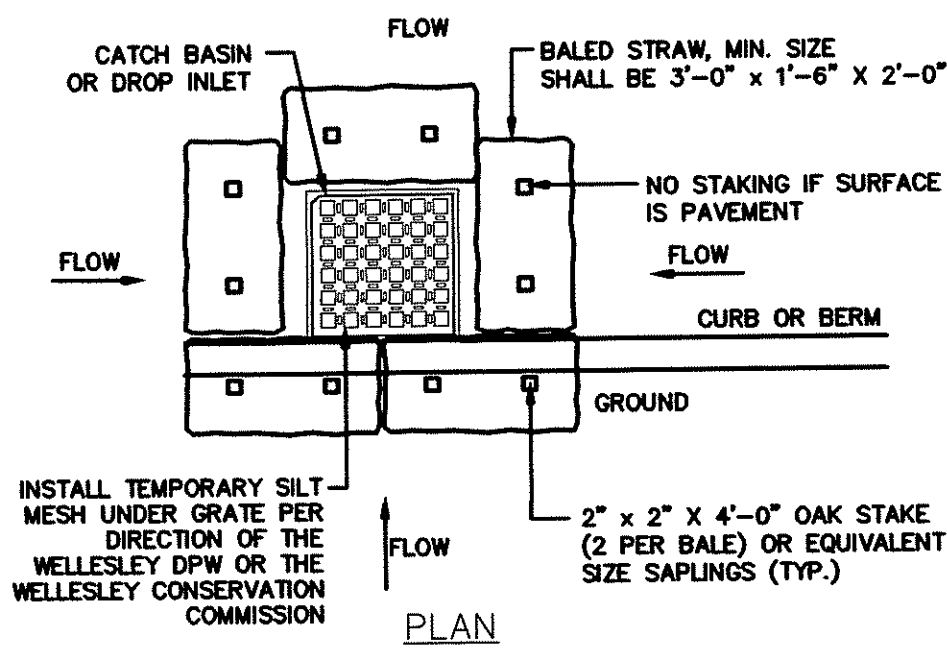


CONSTRUCTION SPECIFICATIONS:

- STONE SIZE—USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH—RECOMMEND GREATER THAN OR EQUAL TO 50 FEET WHERE SOILS ARE SANDS AND GRAVELS AND 100 FEET IN SILTS AND CLAYS.
- THICKNESS—NOT LESS THAN SIX (6) INCHES.
- WIDTH—FIFTEEN (15) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OF EGRESS OCCURS.
- FILTER CLOTH—SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER—ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHALL BE INSTALLED.
- MAINTENANCE—THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.

1 STABILIZED CONSTRUCTION ENTRANCE

SCALE: NO SCALE

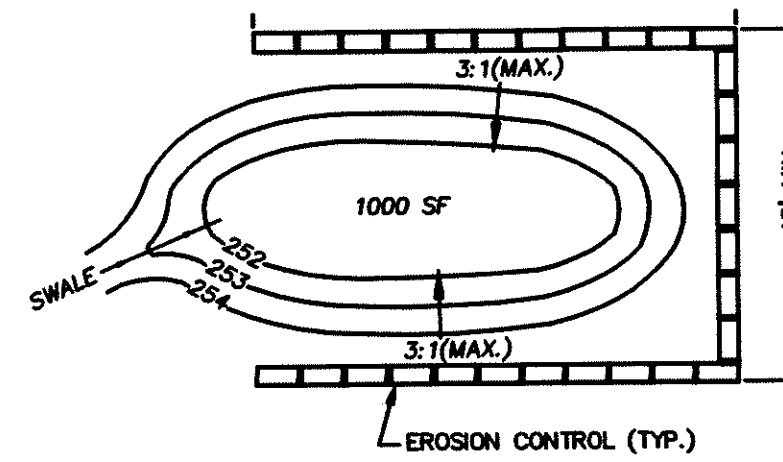


3 SOIL STOCKPILE

SCALE: NO SCALE

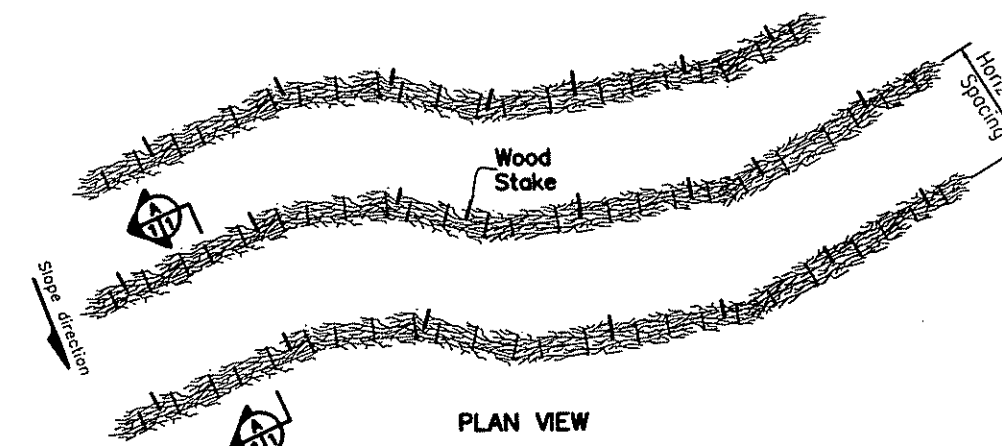
5 STRAWBALE SILT FENCE

SCALE: NO SCALE



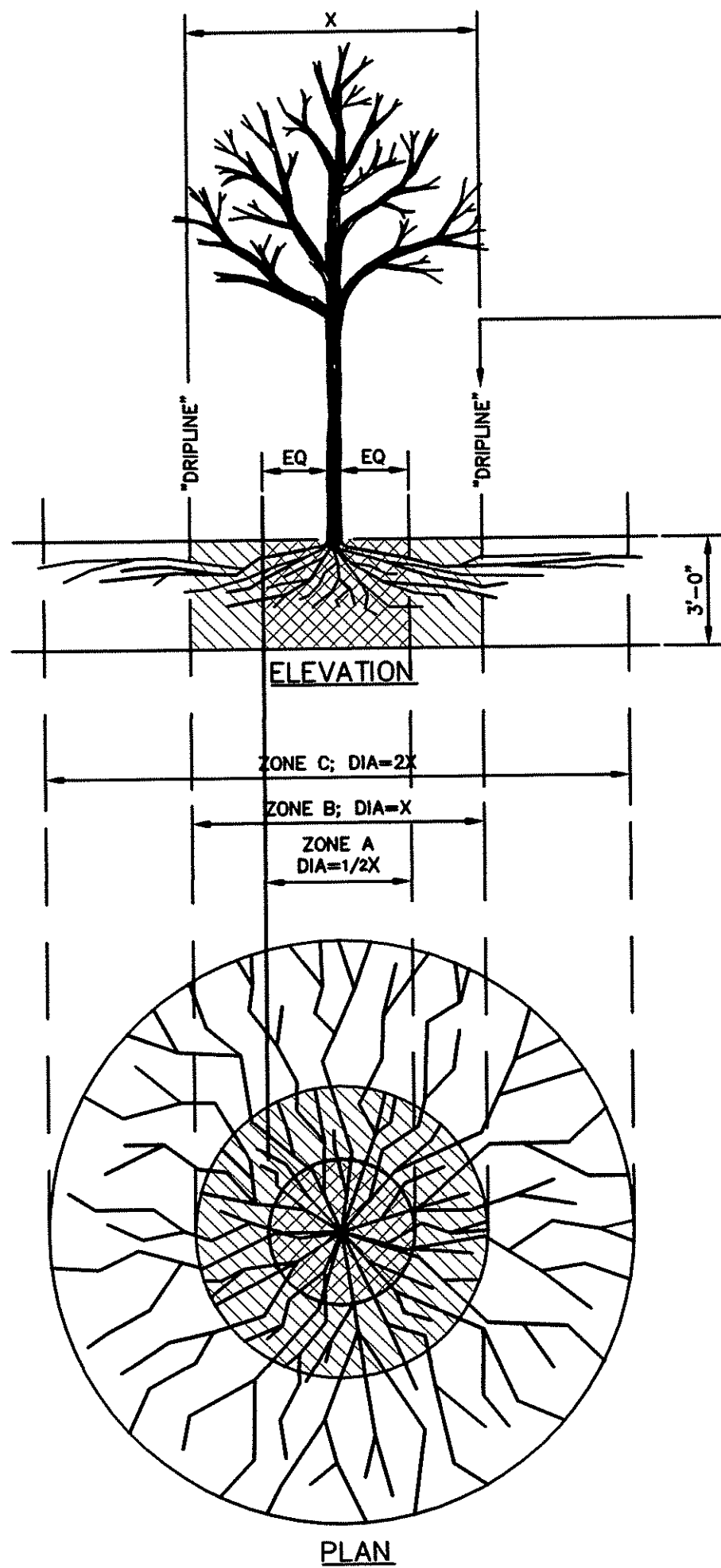
4 TEMPORARY SEDIMENTATION BASIN

SCALE: NO SCALE



6 18" FILTER SOCK

SCALE: NO SCALE



7 TREE PROTECTION DURING CONSTRUCTION

SCALE: NO SCALE

FENCING/ROOT PROTECTION

CHAIN LINK FENCING TO BE PROVIDED AND MAINTAINED AT DRIPLINE

ENGINEER'S APPROVAL REQUIRED FOR USE/ACCESS WITHIN ZONE B. PERMISSION FOR USE/ACCESS REQUIRES SURFACE PROTECTION FOR ALL UNFENCED, UNPAVED SURFACES WITHIN ZONE B

* SURFACE PROTECTION MEASURES

- MULCH LAYER, 6"-8" DEPTH
- 3/4" PLYWOOD
- STEEL PLATES

TRENCHING/EXCAVATION

ZONE A (CRITICAL ROOT ZONE)

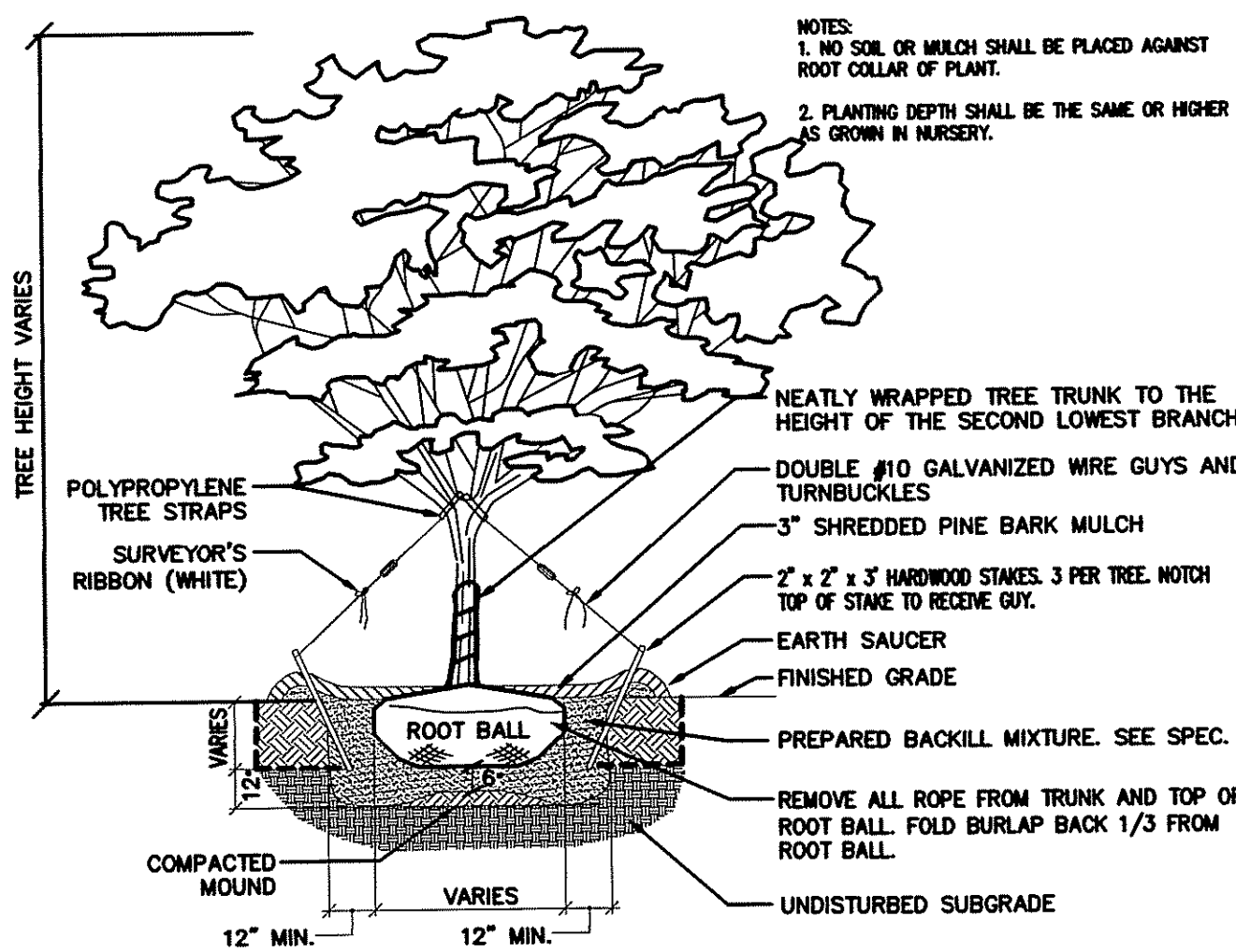
- NO DISTURBANCE ALLOWED WITHOUT SITE-SPECIFIC INSPECTION AND APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE
- SEVERANCE OF ROOTS LARGER THAN 2" DIA REQUIRES ENGINEER'S APPROVAL
- TUNNELING REQUIRED TO INSTALL LINES 3'-0" BELOW GRADE OR DEEPER

ZONE B (DRIPLINE)

- OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEER'S APPROVAL. SURFACE PROTECTION* MEASURES REQUIRED
- TRENCHING ALLOWED AS FOLLOWS:
 - EXCAVATION BY HAND OR WITH HAND-DRIVEN TRENCHER MAY BE REQUIRED
 - LIMIT TRENCH WIDTH. DO NOT DISTURB ZONE A
 - MAINTAIN 2/3 OR MORE OF ZONE B IN UNDISTURBED CONDITION
- TUNNELING MAY BE REQUIRED FOR TRENCHES DEEPER THAN 3'-0"

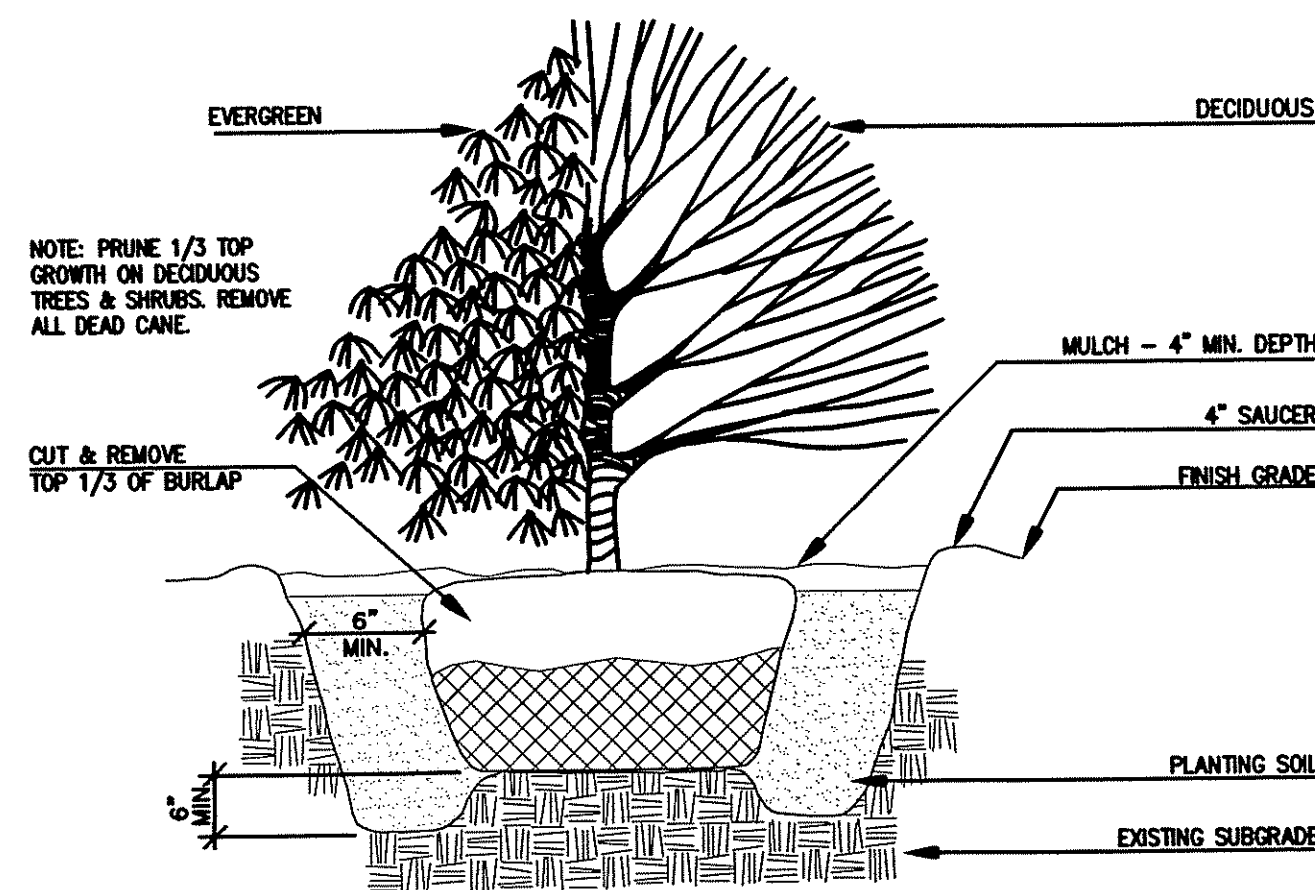
ZONE C (FEEDER ROOT ZONE)

- OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEER'S APPROVAL. SURFACE PROTECTION* MEASURES MAY BE REQUIRED
- TRENCHING WITH HEAVY EQUIPMENT ALLOWED AS FOLLOWS:
 - MINIMIZE TRENCH WIDTH
 - MAINTAIN 2/3 OR MORE OF ZONE C IN UNDISTURBED CONDITION



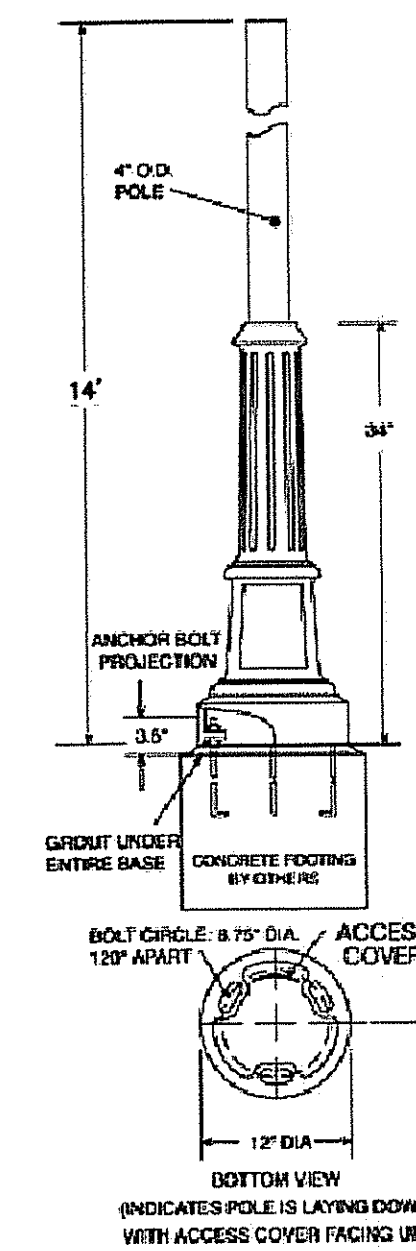
8 DECIDUOUS TREE PLANTING DETAIL

SCALE: NO SCALE



9 SHRUB PLANTING DETAIL

SCALE: NO SCALE



10 ARCHITECTURAL AREA LIGHTING 4" FLUTED DECORATIVE BASE

SCALE: NO SCALE

- Diameter: 18.7" / 475 mm
- Height: 31.5" / 800 mm
- Weight: 29 lbs
- EPA: 0.96
- IP Rating: 65

Providence® MicroCore™ - Medium Housing PROV

NOTE:

STREET LIGHTING SHALL BE IN ACCORDANCE WITH WELLESLEY MUNICIPAL LIGHT AND POWER REQUIREMENTS.

11 PROVIDENCE MICRO-CORE (MEDIUM)

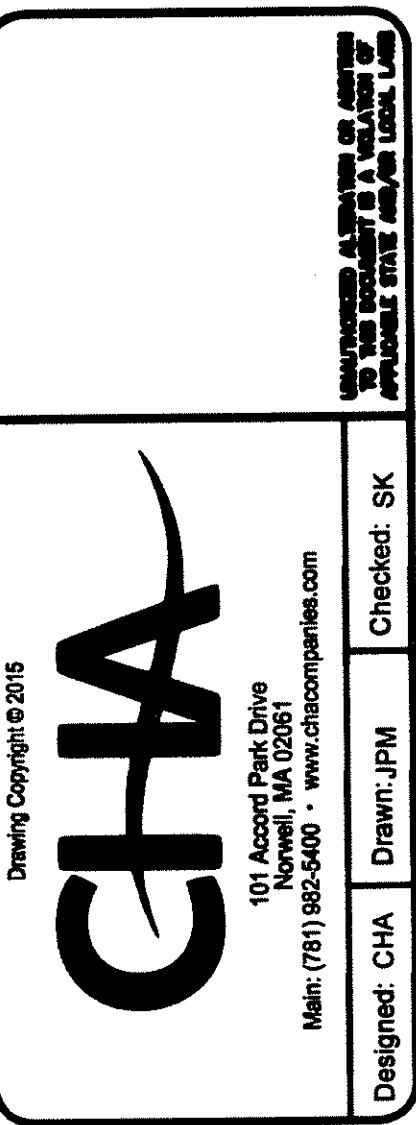
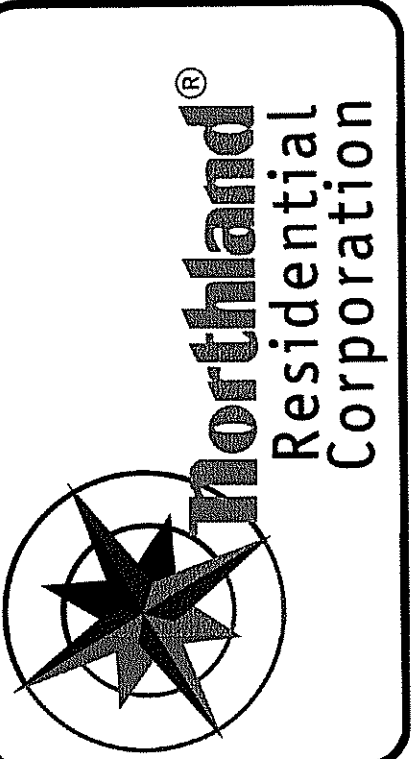
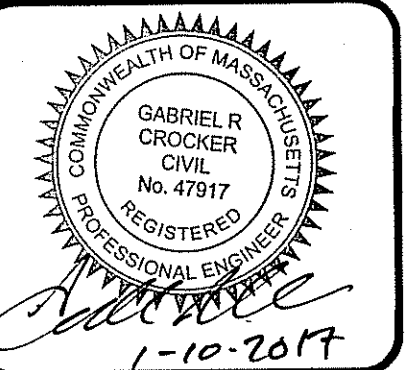
SCALE: NO SCALE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Debbie A. Bal... DATE: 1-10-2015

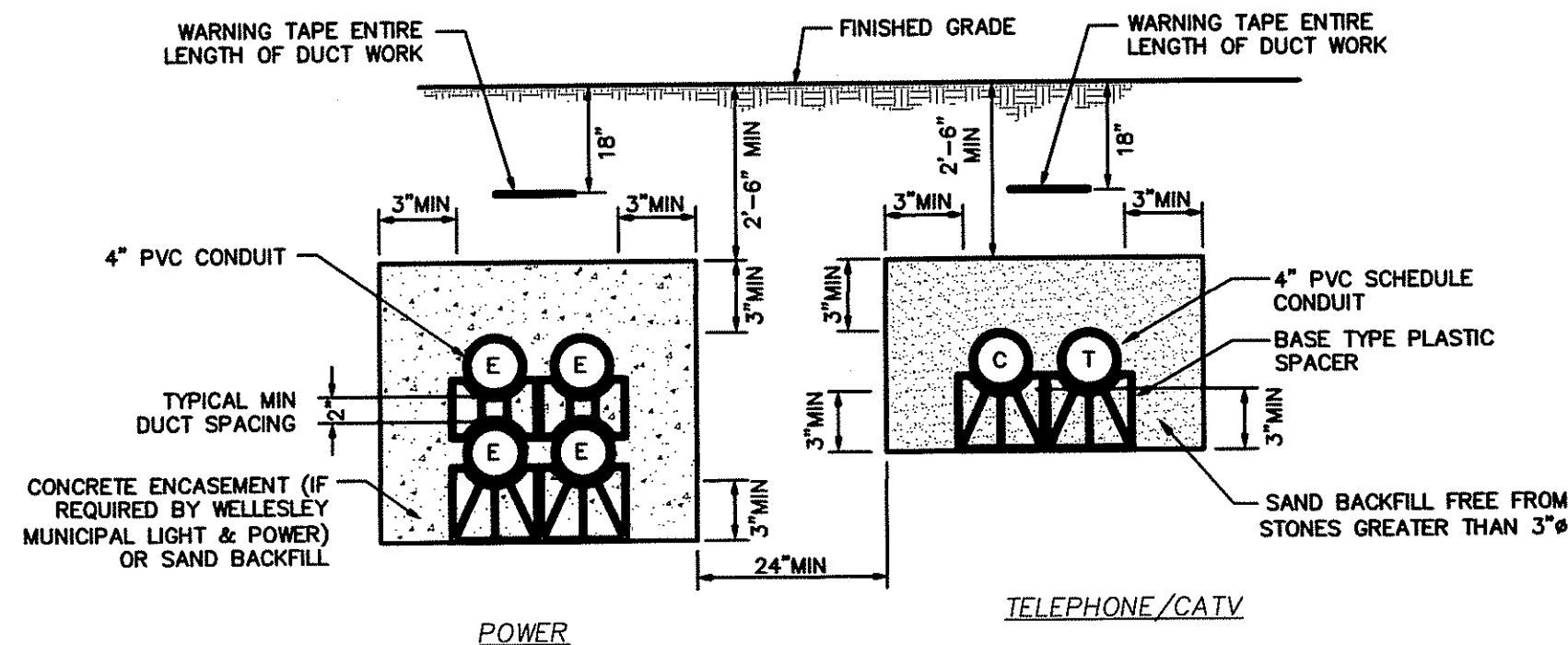
SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>Handwritten Signature</i>	definitive application filed	7/2/2015
<i>Handwritten Signature</i>	definitive plan filed	7/2/2015
<i>Handwritten Signature</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20,000
DATE 1/17/2017	project number	PB-15-F-1
	PB number	PB-15-F-1

Date	By	Appd	Submittal / Revision
07/01/15	GRC	ND	DEFINITIVE SUBDIVISION SUBMITTAL
04/09/16	GRC	JPM	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS
11/29/16	GRC	JPM	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS
01/10/17	GRC	JPM	REVISED FOR DPW COMMENTS



135 GREAT PLAIN AVENUE WELLESLEY, MASSACHUSETTS	Scale: AS NOTED
DETAILS	Project No.: 28219
	Issue Date: 07/01/15

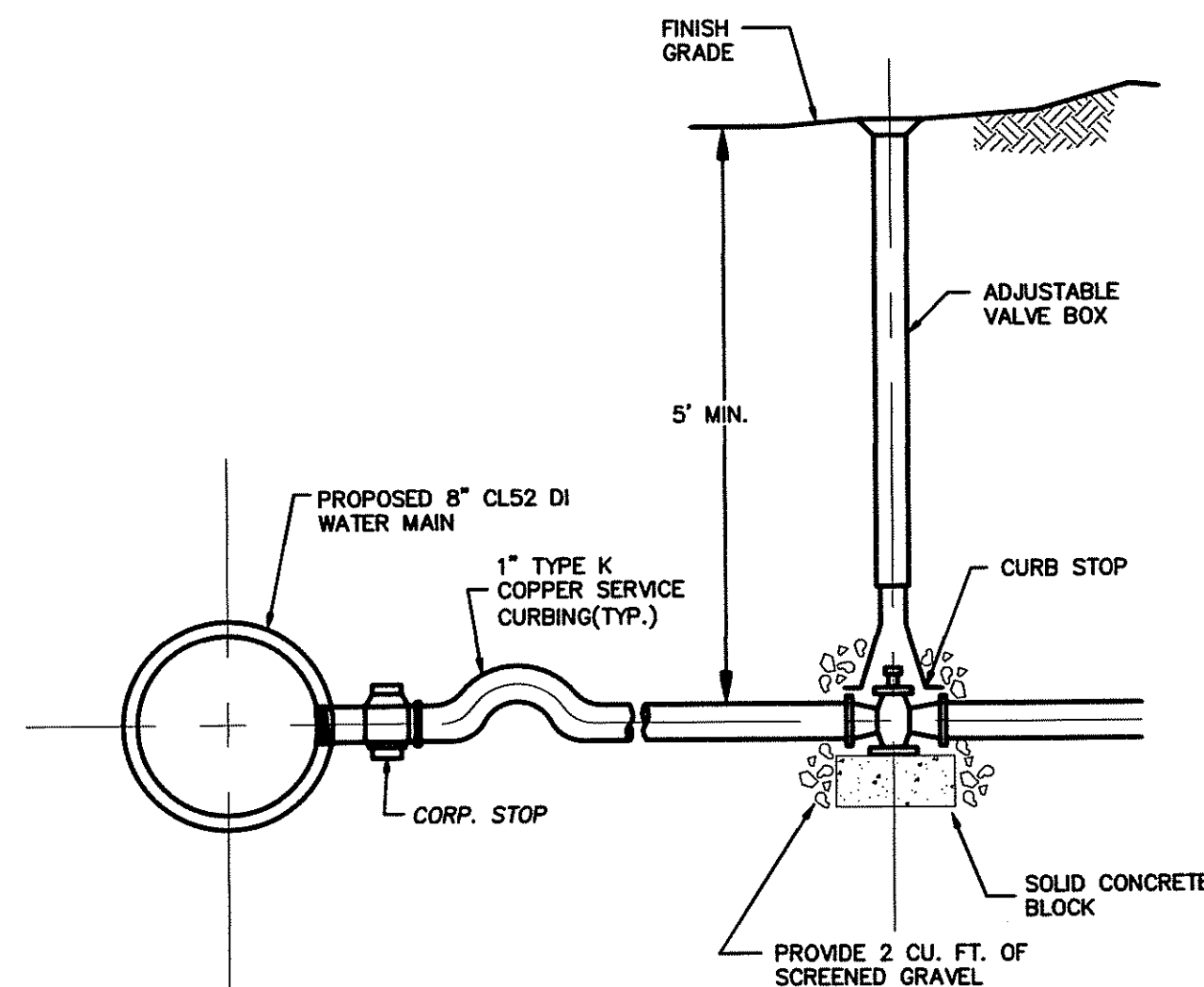
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Sheet: 6/13/2017 10:06:48 AM Plotted: 7/13/2017 10:45:46 AM User: Rose, Donald LastSavedBy: 3276



- NOTES:
1. CONTRACTOR TO COORDINATE INSTALLATION OF UTILITIES WITH RESPECTIVE PURVEYORS.
 2. UTILITIES TO BE INSTALLED PER UTILITY PURVEYOR'S DETAILS AND SPECIFICATIONS.
 3. MAINTAIN A MINIMUM OF 2' SPACING BETWEEN ELECTRICAL AND TELEPHONE/CABLE.

1 UTILITY / ELECTRICAL DUCTBANK

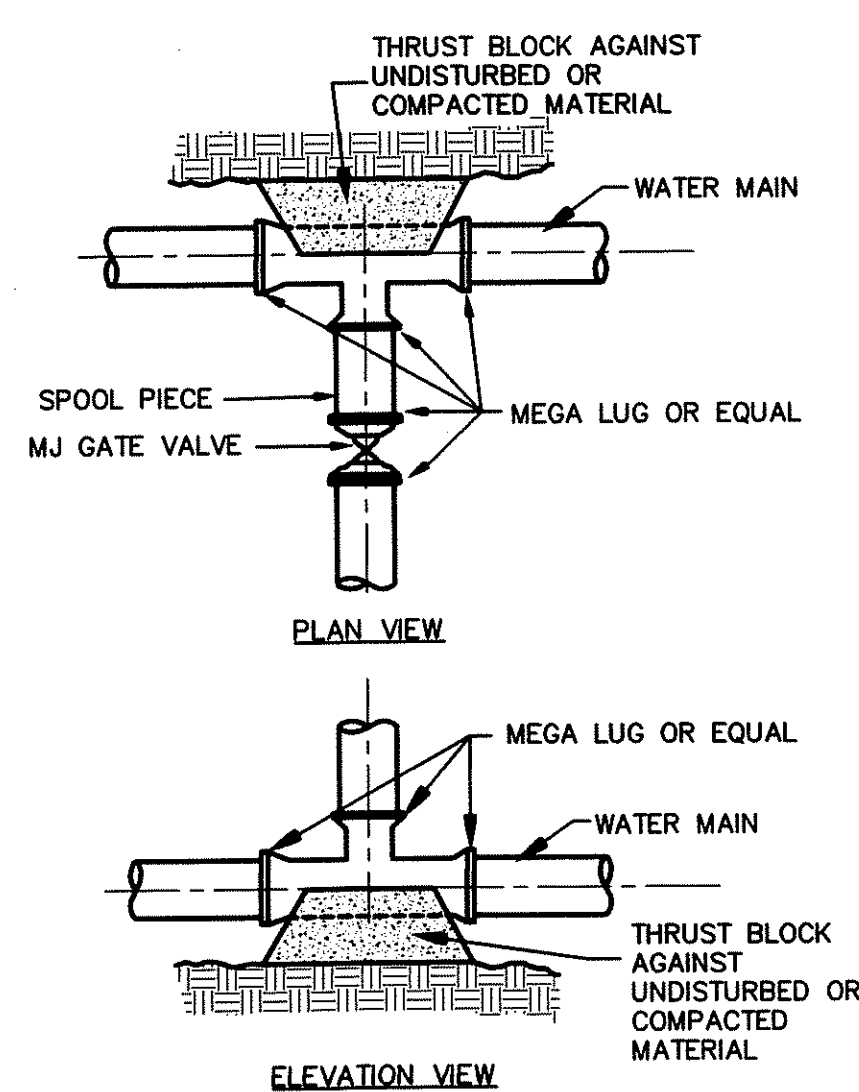
SCALE: NO SCALE



- NOTE:
1. CONTRACTOR TO PROVIDE CATALOG CUTS OF ALL BRASS AND WATER VALVE COMPONENTS IN ACCORDANCE WITH LOCAL PREFERENCES.

2 WATER SERVICE CONNECTION

SCALE: NO SCALE



3 RESTRAINED JOINT TEE AND VALVE DETAIL

SCALE: NO SCALE

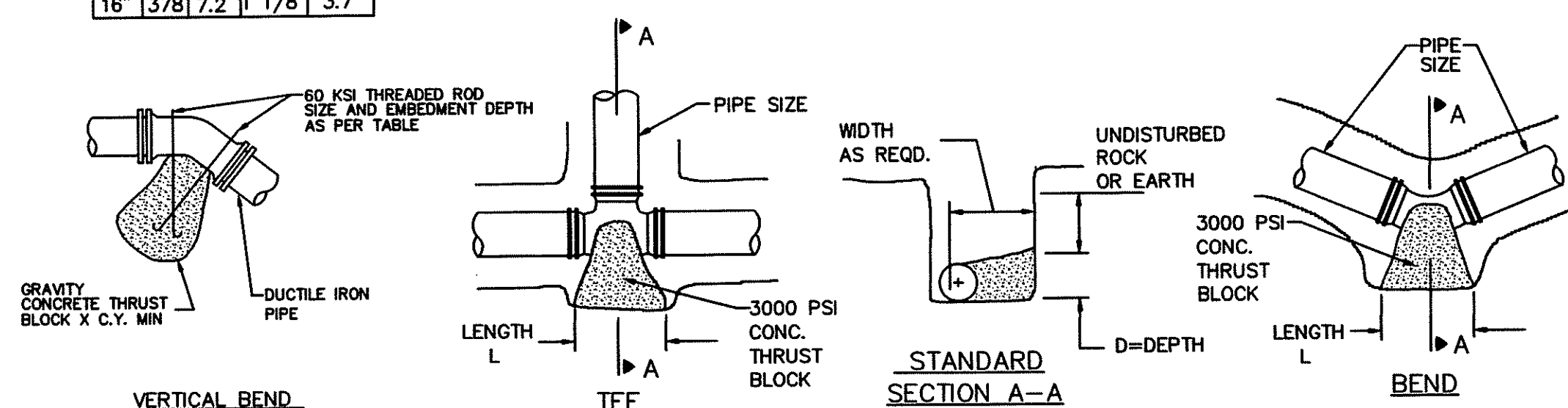
TYPE A BLOCKING FOR 11 1/4" & 22 1/2" VERT BENDS					
PIPE SIZE NOM DIA (INCHES)	VERTICAL BEND DEGREES	NO. OF CUBIC FT. OF CONC. BLOCKING	SIDE OF CUBE (FEET)	DIA OF SHACKLE RODS (INCHES)	DEPTH OF RODS IN CONC. (FEET)
4"	11 1/4"	8	2.0	3/4"	1.6
	22 1/2"	16	2.5		
6"	11 1/4"	16	2.5	3/4"	1.6
	22 1/2"	32	3.2		
8"	11 1/4"	28	3.0	3/4"	1.6
	22 1/2"	55	3.8		
10"	11 1/4"	42	3.5	3/4"	1.6
	22 1/2"	83	4.4		
12"	11 1/4"	60	3.9	3/4"	1.6
	22 1/2"	118	4.9	7/8"	2.2
14"	11 1/4"	104	4.7	7/8"	2.2
	22 1/2"	205	5.9	1 1/8"	3.7

THRUST BLOCK NOTES

1. FOR REQUIRED BEARING AREA DIMENSIONS D & L SEE TABLE. DIMENSIONS OF D & L OTHER THAN THOSE SHOWN IN THE TABLE MAY BE USED PROVIDED THEY YIELD A BEARING AREA EQUAL TO OR LARGER THAN THAT REQUIRED.
2. CONCRETE NOT TO OVERLAP ANY JOINT.
3. CONCRETE TO BE PLACED SO AS NOT TO INTERFERE WITH REMOVING OR INSTALLING ANY OF THE JOINTING HARDWARE.
4. APPROXIMATE VOLUME OF CONCRETE THRUST BLOCK:
$$V = \frac{LD(W+ID) - ID^3}{81}$$

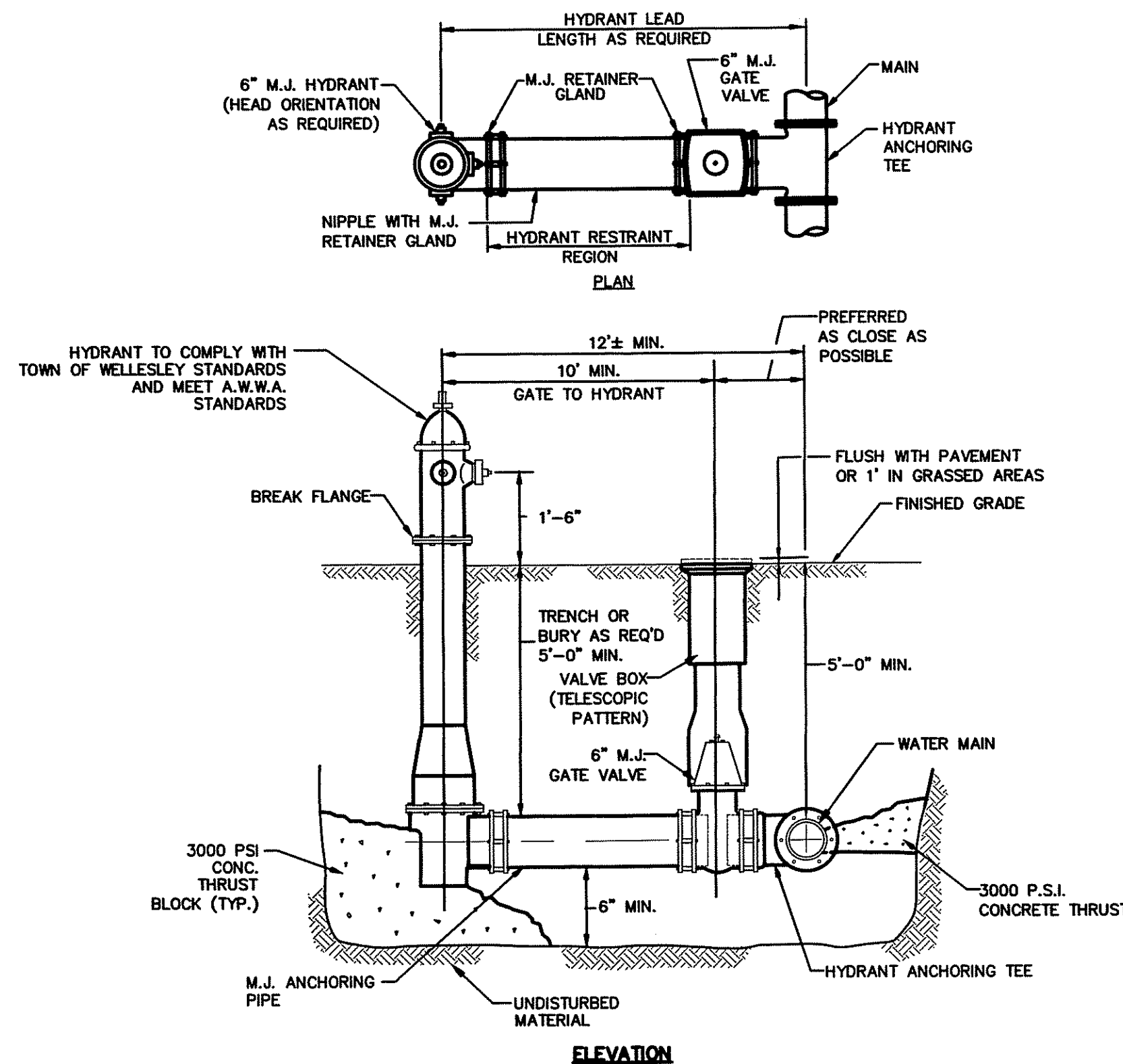
WHERE:
V = VOLUME IN CUBIC YARDS
L = LENGTH OF BLOCK IN FEET
D = DEPTH OF BLOCK IN FEET
W = WIDTH OF BLOCK IN FEET
ID = INSIDE DIAMETER OF PIPE IN FEET
5. VALUES FOR TEE ALSO APPLY TO END PLUGS, CAPS, AND TAPPING SLEEVES.
6. REQUIRED BEARING AREAS ARE DUE TO THRUSTS CAUSED BY 150 PSI WORKING PRESSURE PLUS 50%(75 PSI) SURGE ALLOWANCE RESULTING IN 225 PSI TOTAL INTERNAL PRESSURE. NORMAL PIPE DIAMETER USED.
7. REQUIRED BEARING AREAS ARE BASED ON ALLOWABLE SOIL BEARING CAPACITY OF 2000 LBS. PER SQUARE FOOT FOR SAND. DUE TO OTHER SOIL CONDITIONS ENCOUNTERED, BEARING AREAS MAY BE MODIFIED BY THE ENGINEER.
8. IN MUCK, PEAT, OR RECENTLY PLACED FILL ALL THRUST SHALL BE RESISTED BY PILES OR TIE RODS TO SOLID FOUNDATIONS, OR BY REMOVAL OF SUCH UNSTABLE MATERIAL AND REPLACEMENT WITH BALLAST OF SUFFICIENT STABILITY TO RESIST THE THRUSTS, ALL AS REQUIRED BY THE ENGINEER.

REQUIRED BEARING AREAS & DIMENSIONS FOR CONCRETE THRUST BLOCKS											
PIPE SIZE (IN.)	TEE (See Note 5)		90°(1/4) BEND		45°(1/8) BEND		22-1/2°(1/16) BEND		11-1/4°(1/32) BEND		AREA Sq.Ft. D x L
	AREA Sq.Ft.	Dimen. D x L	AREA Sq.Ft.	Dimen. D x L	AREA Sq.Ft.	Dimen. D x L	AREA Sq.Ft.	Dimen. D x L	AREA Sq.Ft.	Dimen. D x L	
3 & 4	1.4	1.0 x 1.5	2.0	1.0 x 2.0	1.1	1.0 x 1.5	0.6	0.5 x 1.5	0.3	0.5 x 1.0	
6	3.2	1.5 x 2.5	4.5	2.0 x 2.5	2.4	1.5 x 2.0	1.2	1.0 x 1.5	0.6	1.5 x 1.5	
8	5.7	2.0 x 3.0	8.0	2.0 x 4.0	4.3	2.0 x 2.5	2.2	1.5 x 1.5	1.1	1.0 x 1.5	
12	12.7	3.5 x 3.5	18.0	4.0 x 4.5	9.7	2.5 x 4.0	5.0	2.0 x 2.5	2.5	1.5 x 2.0	
16	50.0	6.0 x 8.5	50.0	6.0 x 8.5	27.0	5.0 x 5.5	13.8	3.5 x 4.0	6.9	2.5 x 3.0	



5 THRUST BLOCK DETAILS

SCALE: NO SCALE



- NOTES:
1. HYDRANT TO BE INSTALLED WITHIN RIGHT-OF-WAY OR AS SHOWN ON THE PLANS.
 2. ALL MATERIALS AND INSTALLATION TO CONFORM WITH TOWN OF WELLESLEY SPECIFICATIONS.

6 HYDRANT AND VALVE ASSEMBLY INSTALLATION DETAIL

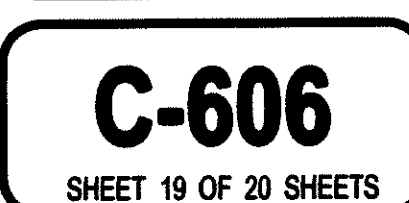
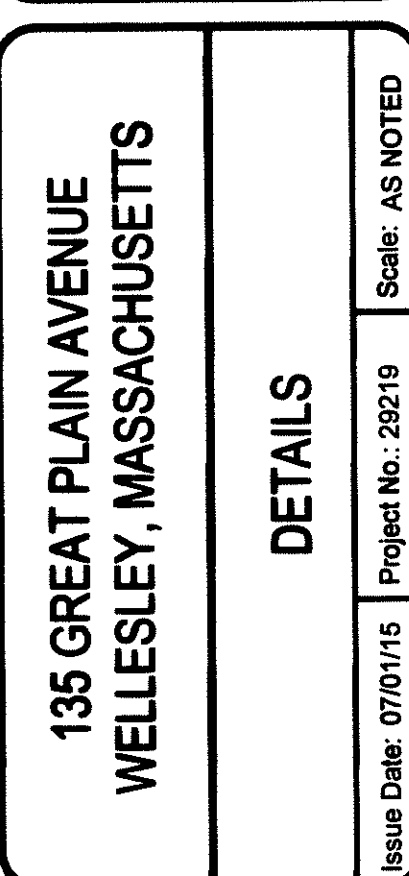
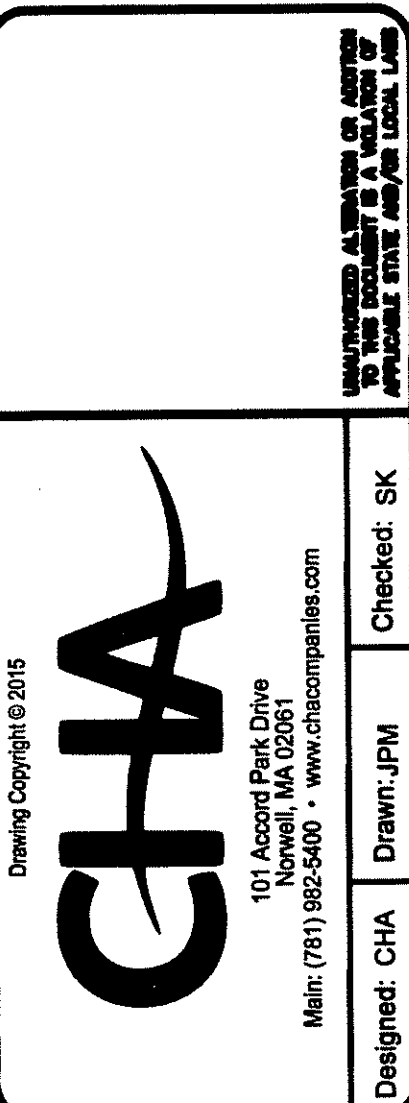
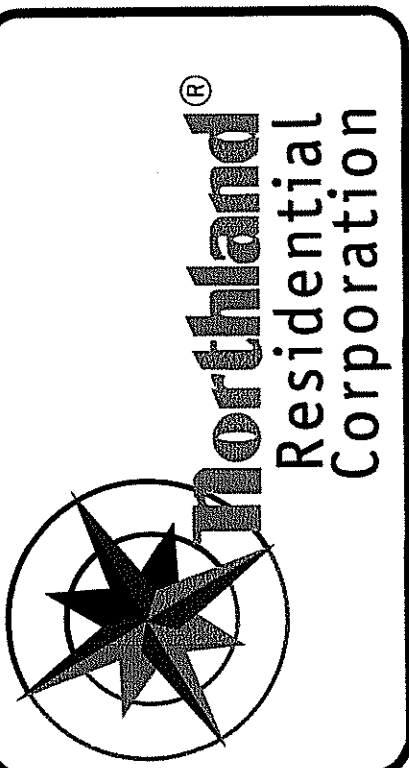
SCALE: NO SCALE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Donald Rose DATE: 1-10-2017

SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>Handwritten Signature</i>	definitive application filed	7/2/2015
<i>Handwritten Signature</i>	definitive plan filed	7/2/2015
<i>Handwritten Signature</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20,000
	project number	PB-15-F-1
	PB number	PB-15-F-1
DATE 1/17/2017		

Submittal / Revision	By	Date
DEFINITIVE SUBDIVISION SUBMITTAL	GRC	07/01/15
1 REVISED SUBDIVISION LAYOUT RESPONSE TO COMMENTS	GRC	04/04/16
2 REVISED SUBDIVISION LAYOUT RESPONSE TO COMMENTS	GRC	12/28/16
3 REVISED FOR DPW COMMENTS	GRC	07/01/17



PUMP/TANK NOTES:

1. THE TANK AND INSTALLATION IS IN COMPLIANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND IN ACCORDANCE WITH THE APPROVED PLANS.
2. THE BOTTOM OF THE TANK INTERIOR HAS A CONCRETE FILLET SLOPED TOWARD THE PUMP.
3. A 4-FLOAT SWITCH SYSTEM IS INSTALLED AS FOLLOWS FROM BOTTOM TO TOP: PUMP OFF/PUMP ON/LAG AND ALARM ON/ ALARM
4. THE STANDING WATER BELOW THE PUMP OFF SWITCH IS SET AT AN ELEVATION SUFFICIENT TO SUBMERGE 2/3 OF THE PUMP HOUSING (OR GREATER IF REQUIRED BY PUMP SPECIFICATIONS).
5. THE ALARM SYSTEM INCLUDES AN AUDIO AND VISUAL SIGNAL WITH AMBER COLORED LIGHT.
6. THE CONTROL/ALARM BOX IS LABELED WITH A DESCRIPTION AND EMERGENCY PHONE NUMBER TO CALL IN THE EVENT OF AN ALARM.
7. THE CONTROL PANEL IS FITTED WITH A LOCK.

GENERAL NOTES:

1. PUMP EQUIPMENT SHALL BE SUBMERSIBLE PUMP AS MANUFACTURED BY HOMA, OR APPROVED EQUAL. THE UNIT SHALL OPERATE FROM A 230 VOLT, 1 PHASE POWER SOURCE. PUMP SHALL BE APPROVED BY OWNER OR CHA CONSULTING, INC. BEFORE INSTALLATION.
2. PUMP STATION WET WELL SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE STANDARD H2O LOADING, CONSTRUCTED OF REINFORCED CONCRETE FOR COMPRESSIVE STRENGTH TO A MINIMUM OF 5,000 PSI AND TO THE DIMENSIONS AS SHOWN ON THE DETAILS AND MANUFACTURED BY SHOREY PRECAST OR APPROVED EQUAL.
3. ALL STEEL REINFORCEMENT SHALL CONFORM TO ASTM A 615-75 GRADE 60 WITH 1" MINIMUM COVER.
4. THE SUBMERSIBLE PUMP SHALL BE INSTALLED WITH A HYDRAULICALLY SEALED SLIDE COUPLING ARRANGEMENT SO THAT THE PUMPS CAN BE REMOVED FROM THE WET WELL FOR SERVICE AND INSPECTION AND THEN RETURNED TO SERVICE WITHOUT ENTERING THE WET WELL BASIN TO UNBOLT OR UNLOCK THE CONNECTION BETWEEN THE PUMP AND PIPING.
5. THE SUBMERSIBLE PUMP SHALL BE EQUIPPED WITH POWER CABLE WITH EPOXY SEALED HOUSING WITH SECONDARY PRESSURE GROMMET FOR SEALING AND STRAIN RELIEF OF ADEQUATE LENGTH TO COMPLY WITH OWNER'S REQUIREMENTS AND ALL REGULATIONS. ALL INCOMING LEAD WIRES SHALL BE SPLICED IN THE MOTOR TERMINAL HOUSING.
6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THE JUNCTION DISCONNECT AND CONTROL PANEL WITH THE OWNER PRIOR TO CONSTRUCTION. ALARM PANEL SHALL BE CLEARLY VISIBLE.
7. THE CONTRACTOR SHALL FURNISH AND INSTALL FOUR (4) NON-MERCURY LIQUID LEVEL SENSORS WITH SUFFICIENT LENGTH OF CABLE FOR THE PUMP STATION. SUSPENDED TYPE OF LEVEL SENSORS SHALL BE MOUNTED IN A CORROSION RESISTANT POLYPROPYLENE HOUSING, AND MOUNTED TO TANK INTERIOR BY A DETACHABLE BRACKET.
8. ELECTRICAL SUPPLY AND CONTROL CIRCUITS SHALL BE DESIGNED TO ALLOW DISCONNECTION AT CONTROL PANEL LOCATION SHALL BE COORDINATED WITH BUILDING OWNER. SUPPLY AND CONTROL WIRING SHALL BE PLACED IN SEPARATE CONDUIT.
9. THE PUMP MOTOR SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE FOR CLASS 1, DIVISION 2 LOCATIONS.
10. ALL INLET AND OUTLET PIPING CONNECTIONS AT THE WET WELL SHALL BE MADE WATERTIGHT.
11. DISCHARGE PIPING WITHIN WET WELL AND VALVE CHAMBER SHALL BE PVC, SCHEDULE 80. PIPING BEYOND VALVE CHAMBERS SHALL BE PVC, SDR 21.
12. PROVIDE THRUST BLOCKING FOR ALL FITTINGS AND BENDS ETC. IN THE FORCEMAIN.
13. ALL PRE-CAST CONCRETE STRUCTURES TO BE WATERTIGHT, WATERPROOF, WITHSTAND H-20 LOADING, SEAL JOINTS WITH WATERPROOFING MEMBRANE - TREMPROOF 60 OR APPROVED EQUAL, AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. SEAL JOINTS ARE REQUIRED TO HAVE SECONDARY PROTECTION IN THE FORM OF AN EPOXY SPRAY SYSTEM, AS APPROVED BY THE ENGINEER.
14. CONTRACTOR TO PROVIDE SAFETY NET FOR RECTANGULAR HATCH OPENING.
15. ALL STRUCTURES SHALL BE DESIGNED, MANUFACTURED, AND INSTALLED TO WITHSTAND DEPTH OF COVER REQUIRED.
16. THE ACCESS COVERS SHALL BE 1/4" THICK ALUMINUM TO THE CLEAR DIMENSIONS AS SHOWN ON THE DETAILS SUITABLE FOR H20 LOADING, PER SQUARE FOOT. THE ACCESS COVERS SHALL HAVE HEAVY FORGED ALUMINUM HINGES FITTED WITH STAINLESS STEEL PINS, A FLUSH SPRING LOADED SNAP LOCK OPERABLE FROM THE OUTSIDE BY A REMOVABLE HANDLE AND FROM THE INSIDE BY A FIXED HANDLE.
17. ALL PUMP HATCH AND MANHOLE COVERS SHALL BE GASKETED TO PREVENT THE RELEASE OF ODORS AND INFLOW OF STORMWATER. ALL HATCH AND MANHOLE COVERS SHALL BE EQUIPPED WITH LOCKING DEVICES. ALL MANHOLES SHALL BE EQUIPPED WITH RECESSED PADLOCK HASPS. ALL MANHOLES SHALL BE PROVIDED WITH YALE#112 CYLINDER LOCKS.

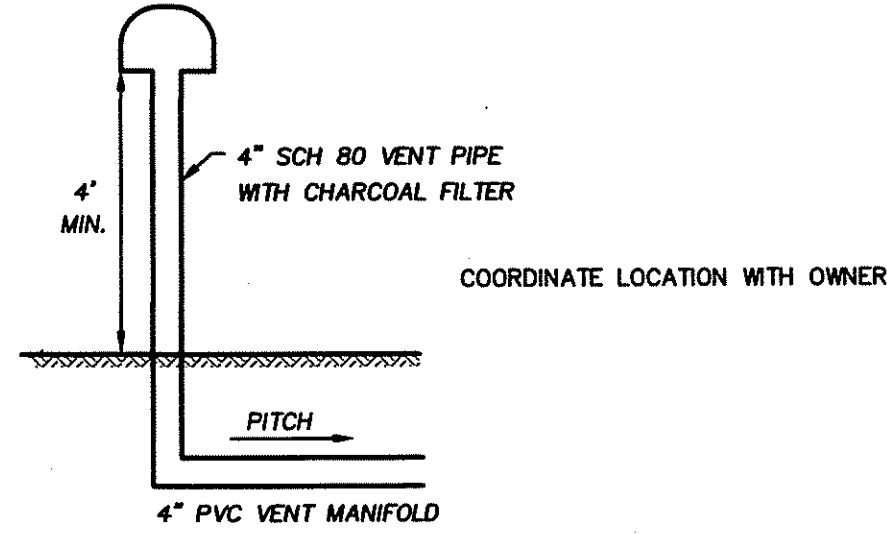
CONTROL PANEL FEATURES:

THE CONTROL PANEL SHALL BE EQUIPPED WITH THE FOLLOWING ADDITIONAL FEATURES:

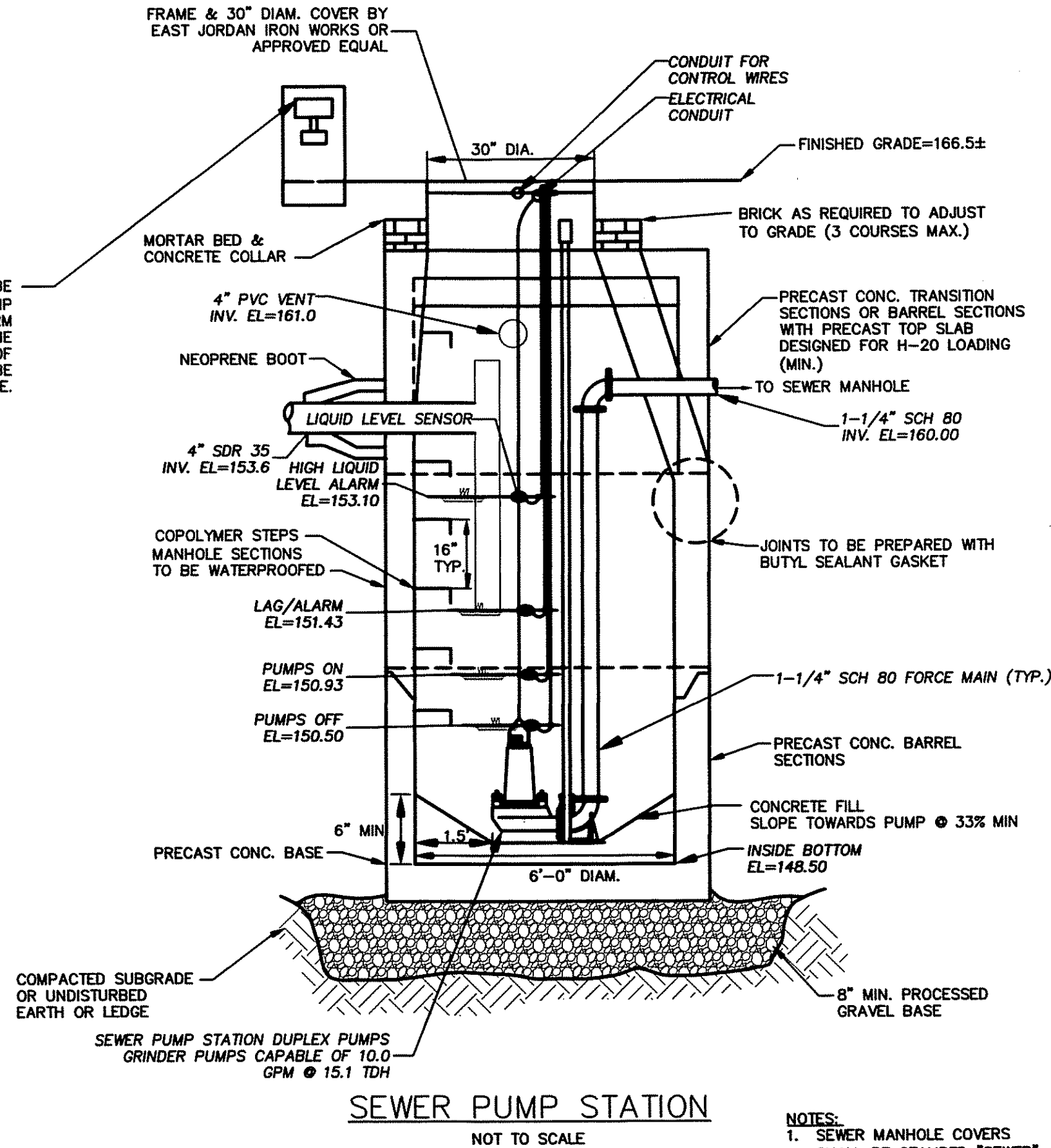
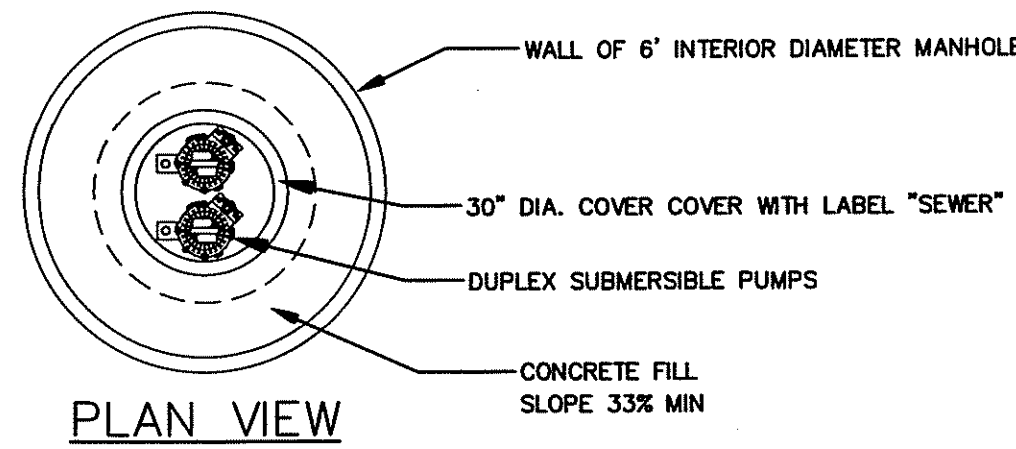
1. SEAL-LEAK INDICATING LIGHTS.
2. ALARM LIGHT AND HORN
3. ELAPSED-TIME METERS FOR PUMPS.
4. AUTO DIALER UNITED SECURITIES MODEL AD 2001
5. DEAD-FRONT LOCKABLE ENCLOSURE.

MOTOR CONTROL PANEL NOTES:

1. PROVIDE CONTROL PANEL INSTALLED WITHIN A NEMA 4X DEAD FRONT ENCLOSURE SUITABLE FOR POST MOUNTING AS INDICATED ON DRAWINGS.
2. ELECTRICAL CONTROLS TO INCLUDE MAGNETIC STARTERS, RUN LIGHTS, H-O-A (HAND-OFF-AUTOMATIC) SWITCHES, HOLD/ALTERNATE CAPABILITY, CIRCUIT BREAKERS, AND CONTROL RELAYS NECESSARY TO CONTROL ELECTRICAL DEVICES ON PUMP STATION SYSTEM.
 - A. PUMP MOTOR CONTROLLED BY H-O-A SWITCHES AND MAGNETIC STARTERS IN CONJUNCTION WITH LIQUID LEVEL SENSORS.
 - B. ELECTRICAL EQUIPMENT AND CIRCUITRY TO BE PROTECTED BY PROPERLY-SIZED CIRCUIT BREAKERS OR FUSES.
 - C. DUPLEX OR STANDBY EQUIPMENT SHALL BE DESIGNED TO BE OPERATED BY DEVICES WITHIN THE CONTROL SYSTEM.

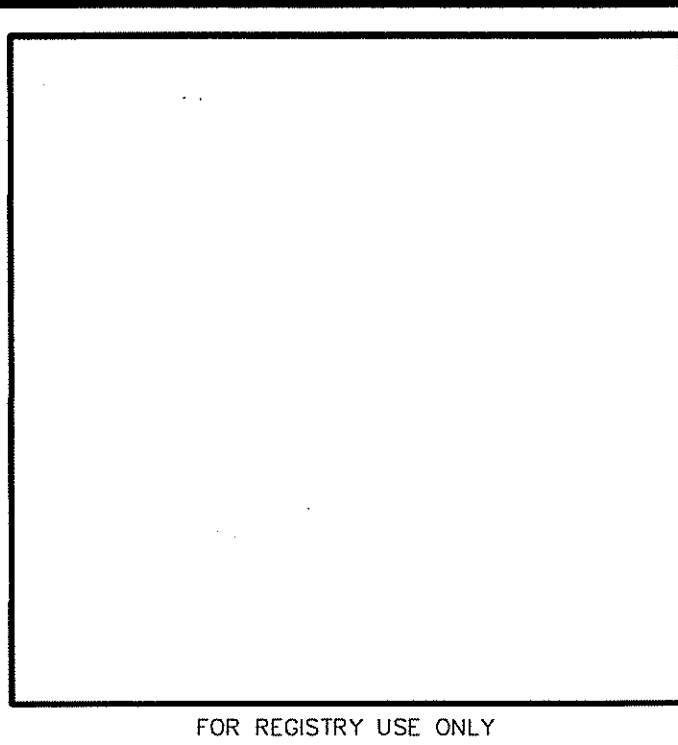


2 VENT PIPE
SCALE: NO SCALE

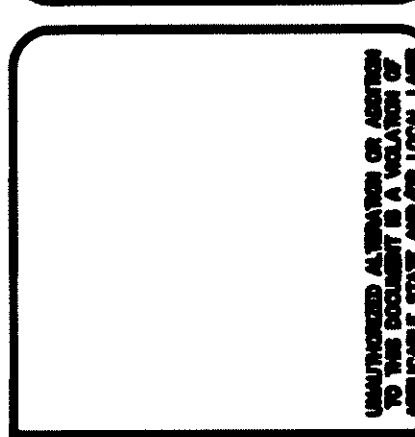
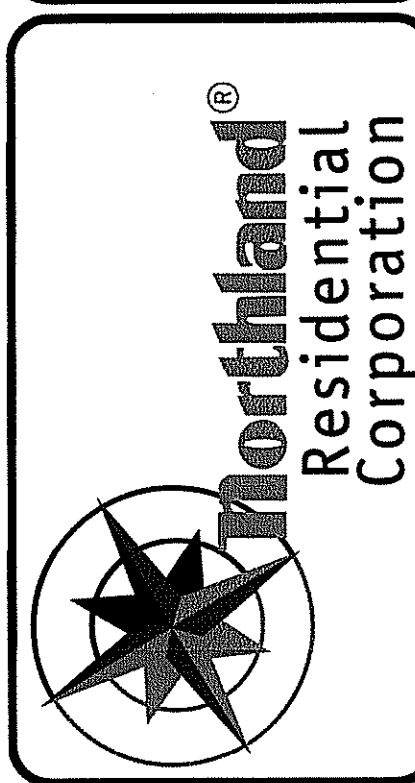
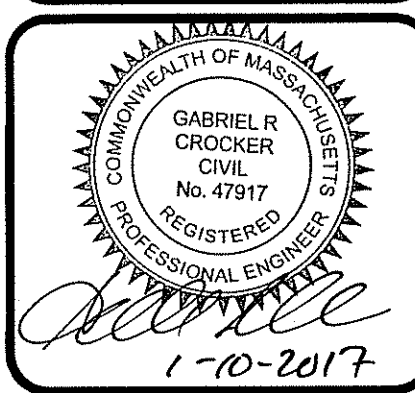


NOTES:
1. SEWER MANHOLE COVERS SHALL BE STAMPED "SEWER"

1 SEWER PUMP STATION - LOT 12
SCALE: NO SCALE



No.	Submitted / Revision	App'd	By	Date
0	DEFINITIVE SUBDIVISION SUBMITTAL	GRC	HD	07/01/15
1	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	GRC	JPM	04/04/16
2	REVISED SUBDIVISION LAYOUT / RESPONSE TO COMMENTS	GRC	JMPK	11/26/16
3	REVISED FOR DPW COMMENTS	GRC	JMPK	01/01/17



Designed: CHA	Drawn: JPM	Checked: SK
---------------	------------	-------------

135 GREAT PLAIN AVENUE WELLESLEY, MASSACHUSETTS	DETAILS	Issue Date: 07/01/15 Project No.: 28219 Scale: AS NOTED
--	---------	---






SUBDIVISION PLAN OF LAND IN WELLESLEY, MASSACHUSETTS		
APPROVED BY WELLESLEY PLANNING BOARD	preliminary application filed	NA
<i>[Signature]</i>	definitive application filed	7/2/2015
<i>[Signature]</i>	definitive plan filed	7/2/2015
<i>[Signature]</i>	public hearing date	OPEN 8/24/2015
	area regulation district	20,000
	project number	PB-15-F-1
	PB number	PB-15-F-1

DATE 1/17/2017

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature] DATE: 1-10-2017

Legend

-  Street Tree, Proposed
-  Evergreen Tree, Proposed
-  Flowering Tree, Proposed
-  Shrubs, Proposed
-  Existing Vegetation



Screening at Property Line, Typical Section

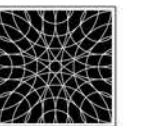


135 GREAT PLAIN AVE, WELLESLEY

Schematic Landscaping and Screening Plan

September 6, 2017

SCALE: 1"=100'-0"



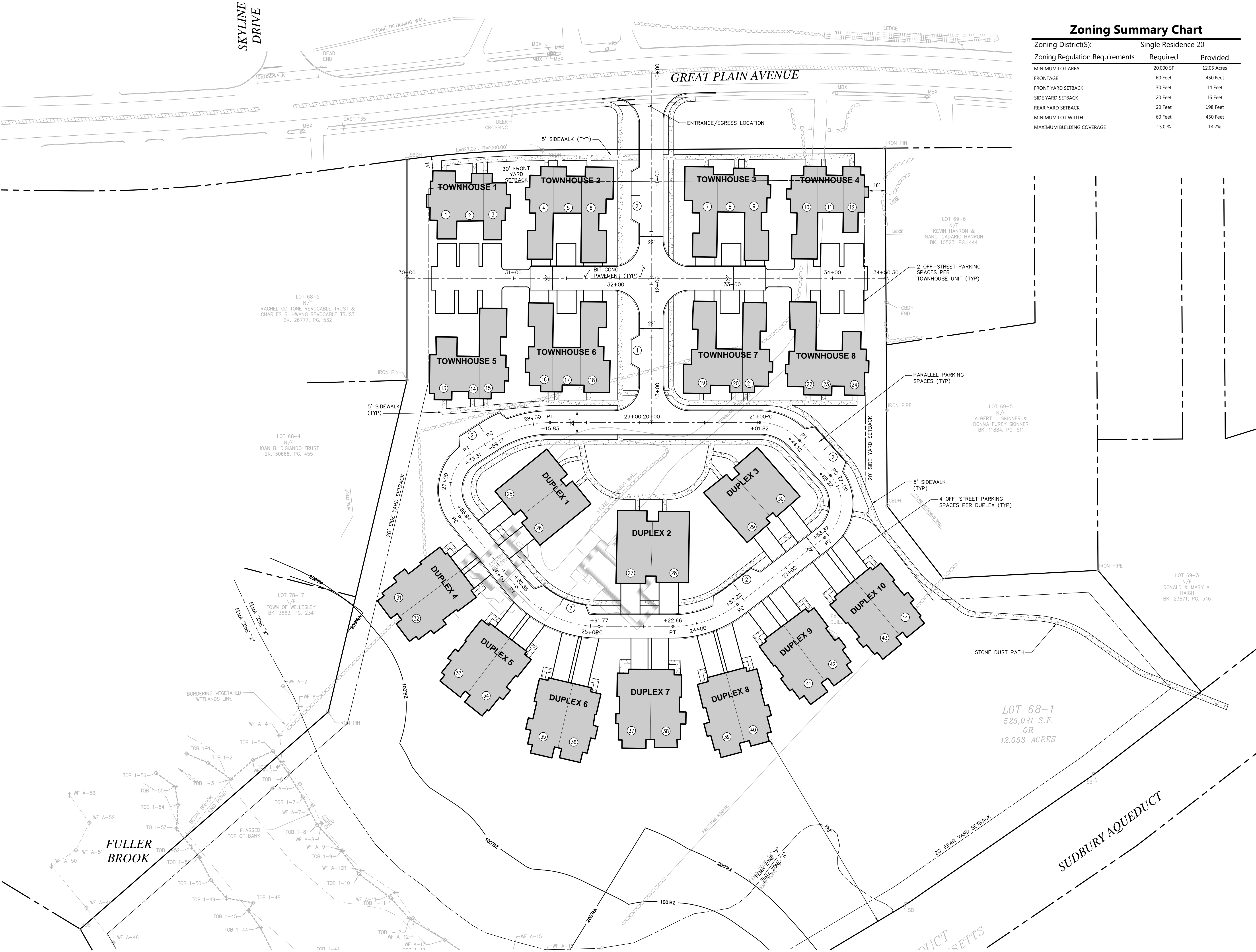
UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Zoning Summary Chart

Zoning District(S):	Single Residence 20	
Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA	20,000 SF	12.05 Acres
FRONTAGE	60 Feet	450 Feet
FRONT YARD SETBACK	30 Feet	14 Feet
SIDE YARD SETBACK	20 Feet	16 Feet
REAR YARD SETBACK	20 Feet	198 Feet
MINIMUM LOT WIDTH	60 Feet	450 Feet
MAXIMUM BUILDING COVERAGE	15.0 %	14.7%



135 Great Plain Avenue
Wellesley, Massachusetts

No.	Revision	Date	Appvd.

Designed by WNM Checked by CRQ
Issued for Date

Project Eligibility September 8, 2017

Not Approved for Construction
Drawing Title
Concept Layout
and Materials Plan



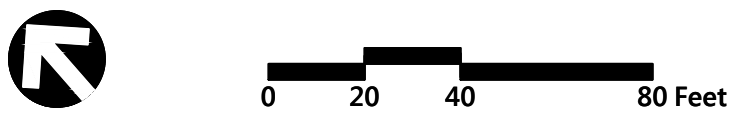
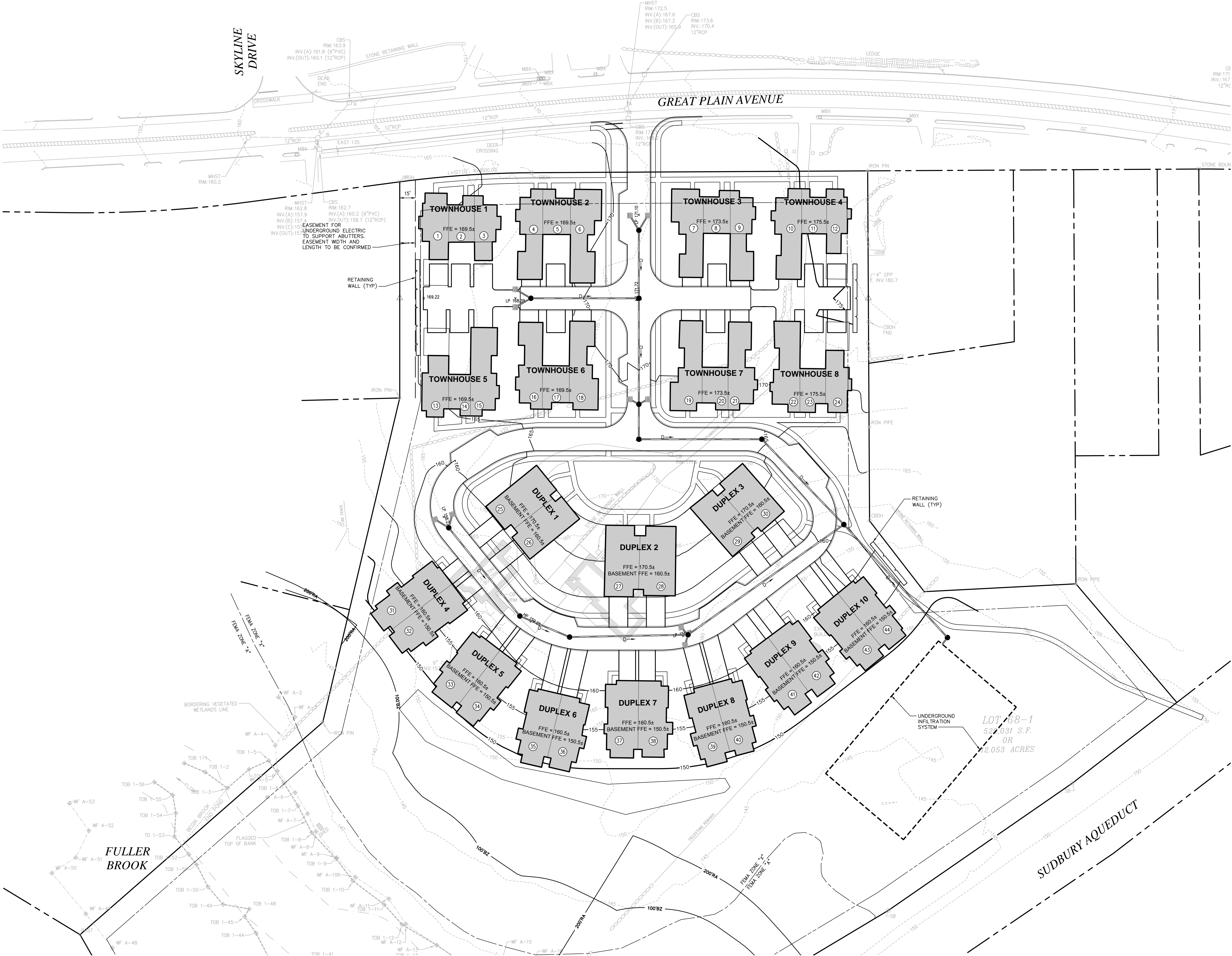
C-1

Sheet 1 of 3

Project Number
13936.00



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



135 Great Plain Avenue
Wellesley, Massachusetts

No.	Revision	Date	Appvd.

Designed by WNM Checked by CRQ
Issued for Date

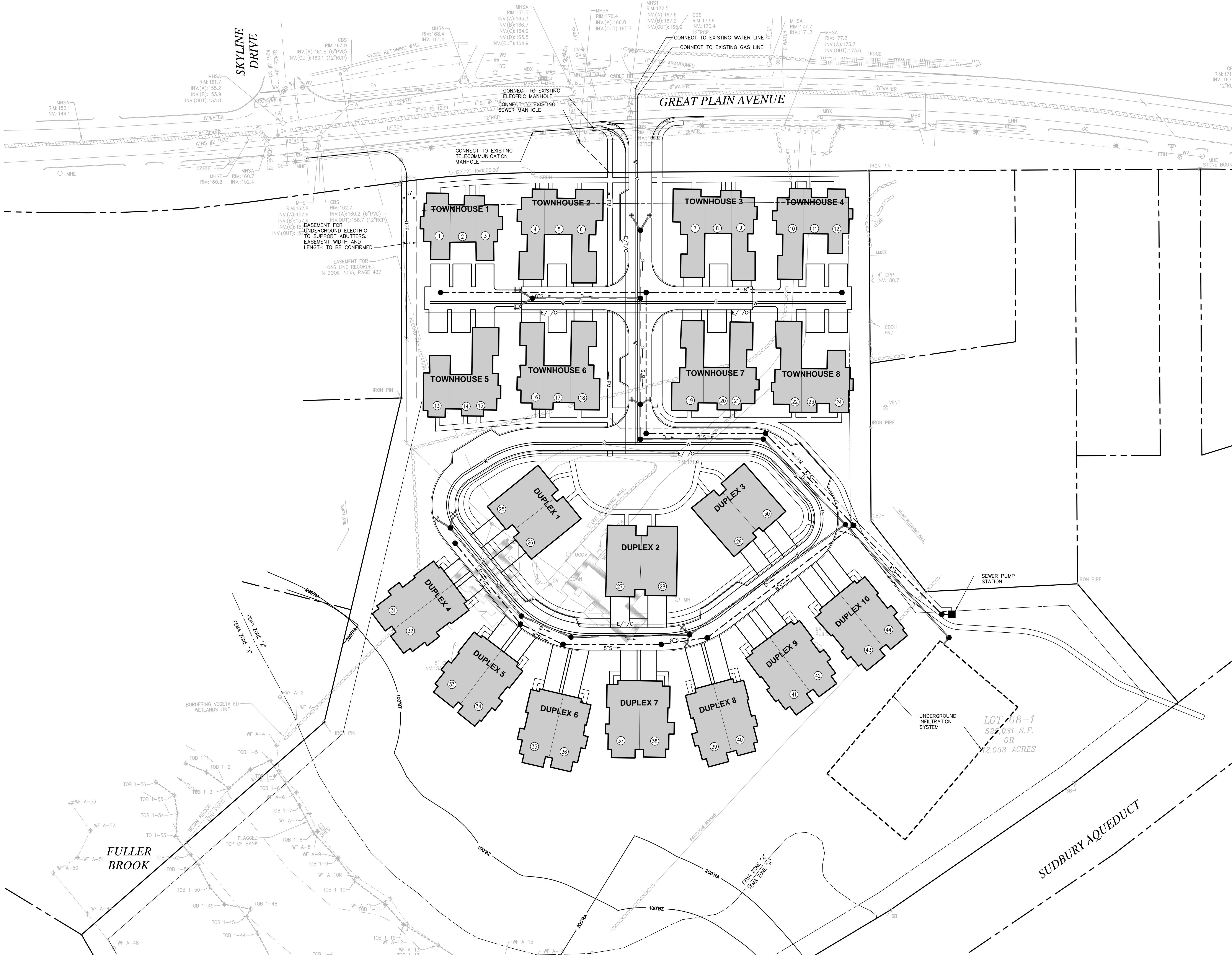
Project Eligibility September 8, 2017

Not Approved for Construction
Drawing Title
**Concept Grading and
Drainage Plan**

Drawing Number
C-2
Sheet 2 of 3
Project Number
13936.00



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



135 Great Plain Avenue
Wellesley, Massachusetts

No.	Revision	Date	Appr.

Designed by	Checked by
WNM	CRQ

Issued for
Project Eligibility
September 8, 2017

Not Approved for Construction
Drawing Title
Concept Utility Plan

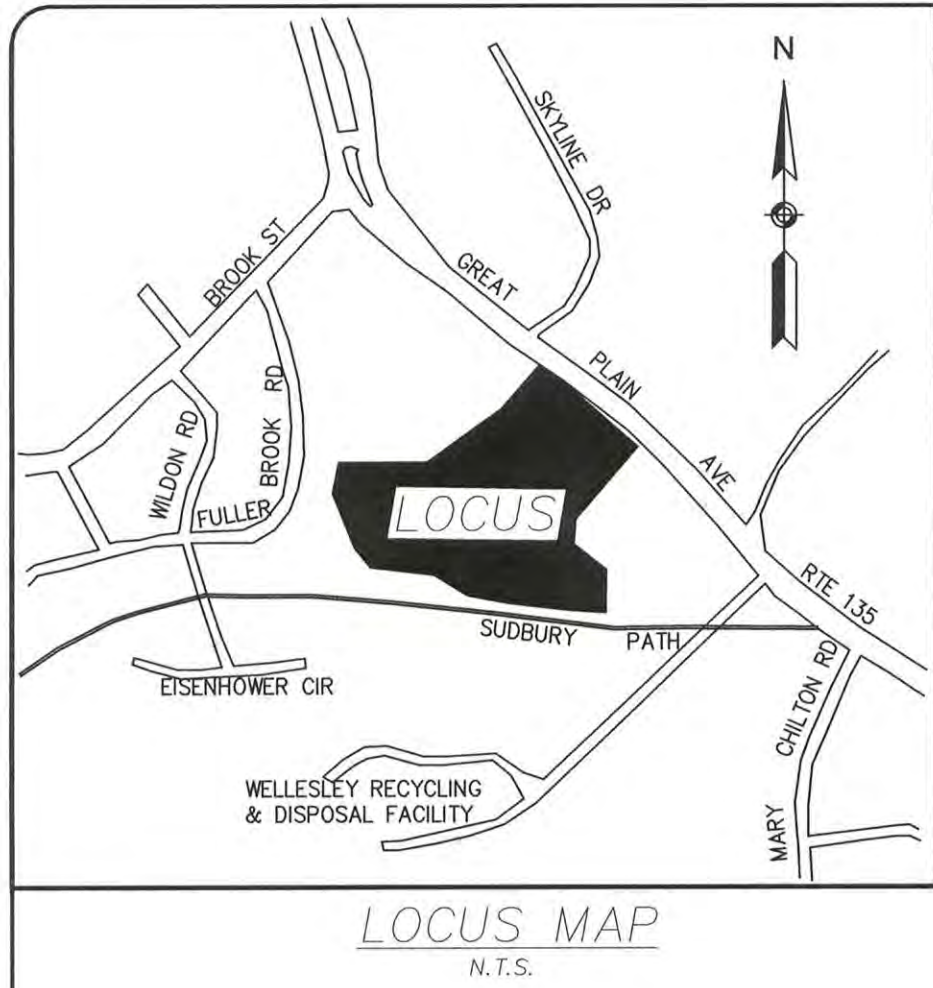


C-3

Sheet 3 of 3

Project Number
13936.00

File: V:\PROJECTS\MA78\SURVEY\PROJECT\MA WELLESLEY\GREAT PLAIN AVENUE\DWG-LD\BASE_28754.DWG

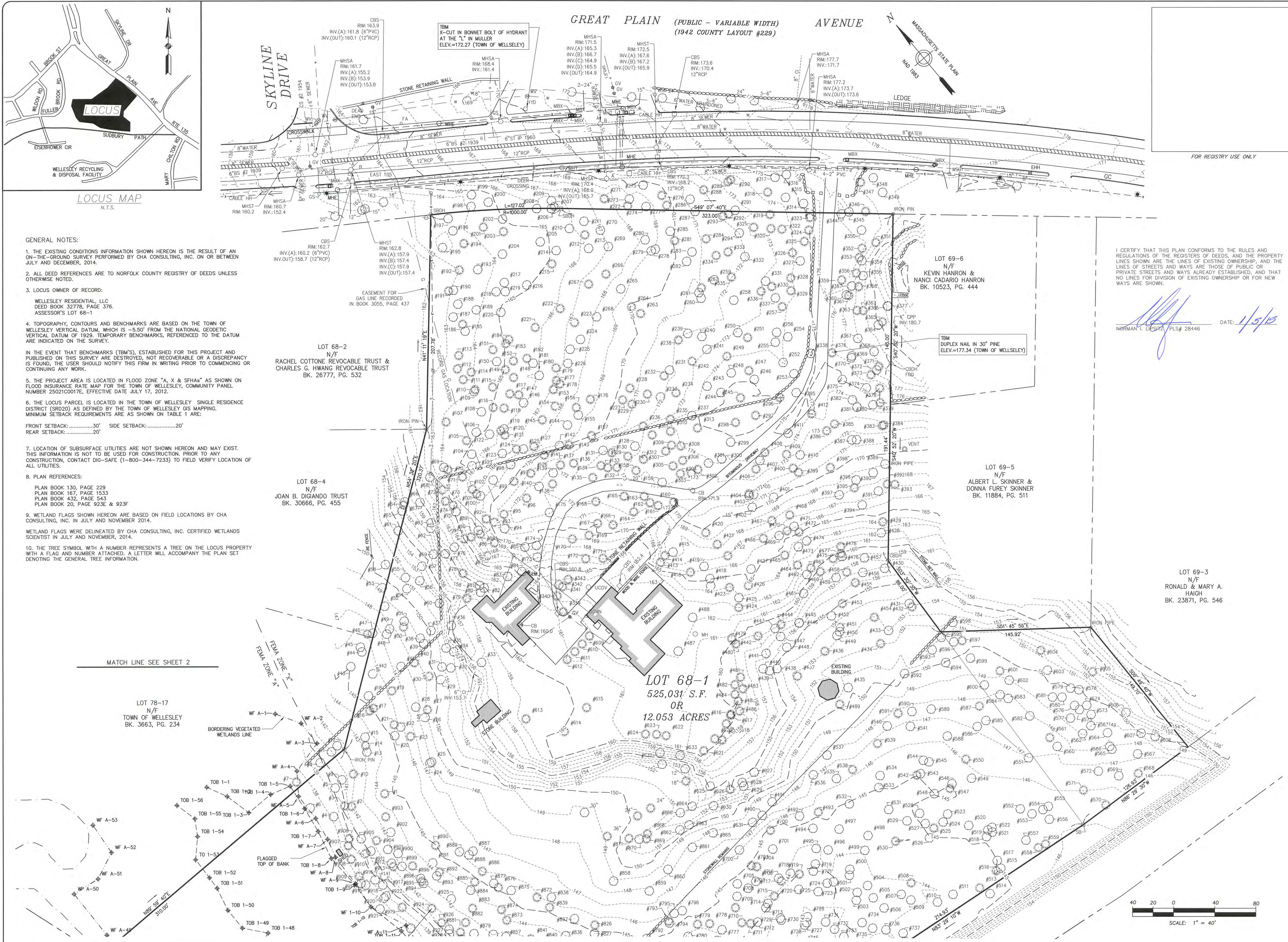


GENERAL NOTES:

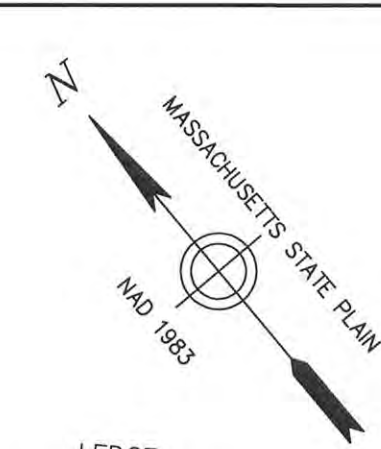
1. THE EXISTING CONDITIONS INFORMATION SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY CHA CONSULTING, INC. ON OR BETWEEN JULY AND DECEMBER, 2014.
2. ALL DEED REFERENCES ARE TO NORFOLK COUNTY REGISTRY OF DEEDS UNLESS OTHERWISE NOTED.
3. LOCUS OWNER OF RECORD:
WELLESLEY RESIDENTIAL, LLC
DEED BOOK 32778, PAGE 376.
ASSESSOR'S LOT 68-1
4. TOPOGRAPHY, CONTOURS AND BENCHMARKS ARE BASED ON THE TOWN OF WELLESLEY VERTICAL DATUM, WHICH IS -5.50' FROM THE NATIONAL GEODETIC VERTICAL DATUM OF 1929. TEMPORARY BENCHMARKS, REFERENCED TO THE DATUM ARE INDICATED ON THE SURVEY.

IN THE EVENT THAT BENCHMARKS (TBM'S), ESTABLISHED FOR THIS PROJECT AND PUBLISHED ON THIS SURVEY ARE DESTROYED, NOT RECOVERABLE OR A DISCREPANCY IS FOUND, THE USER SHOULD NOTIFY THIS FIRM IN WRITING PRIOR TO COMMENCING OR CONTINUING ANY WORK.
5. THE PROJECT AREA IS LOCATED IN FLOOD ZONE "A, X & SFHAs" AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF WELLESLEY, COMMUNITY PANEL NUMBER 25021C0017E, EFFECTIVE DATE JULY 17, 2012.
6. THE LOCUS PARCEL IS LOCATED IN THE TOWN OF WELLESLEY SINGLE RESIDENCE DISTRICT (SRD20) AS DEFINED BY THE TOWN OF WELLESLEY GIS MAPPING. MINIMUM SETBACK REQUIREMENTS ARE AS SHOWN ON TABLE 1 ARE:
FRONT SETBACK:.....30' SIDE SETBACK:.....20'
REAR SETBACK:.....20'
7. LOCATION OF SUBSURFACE UTILITIES ARE NOT SHOWN HEREON AND MAY EXIST. THIS INFORMATION IS NOT TO BE USED FOR CONSTRUCTION. PRIOR TO ANY CONSTRUCTION, CONTACT DIG-SAFE (1-800-344-7233) TO FIELD VERIFY LOCATION OF ALL UTILITIES.
8. PLAN REFERENCES:
PLAN BOOK 130, PAGE 229
PLAN BOOK 167, PAGE 1533
PLAN BOOK 432, PAGE 543
PLAN BOOK 20, PAGE 9232 & 923F
9. WETLAND FLAGS SHOWN HEREON ARE BASED ON FIELD LOCATIONS BY CHA CONSULTING, INC. IN JULY AND NOVEMBER 2014.

WETLAND FLAGS WERE DELINEATED BY CHA CONSULTING, INC. CERTIFIED WETLANDS SCIENTIST IN JULY AND NOVEMBER, 2014.
10. THE TREE SYMBOL WITH A NUMBER REPRESENTS A TREE ON THE LOCUS PROPERTY WITH A FLAG AND NUMBER ATTACHED. A LETTER WILL ACCOMPANY THE PLAN SET DENOTING THE GENERAL TREE INFORMATION.



GREAT PLAIN (PUBLIC - VARIABLE WIDTH) AVENUE (1942 COUNTY LAYOUT #229)



FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS, AND THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP, AND THE LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

NORMAN L. LIESZ/PLS# 28446

DATE: 1/5/16

Date	10/5/2015
By	MVC
Appd	NIL
Submitted / Revision	Issued as Final
No.	0



Prepared For:
NORTLAND RESIDENTIAL CORP.
20 BURLINGTON MALL ROAD
SUITE 220
BURLINGTON, MA 01803

CHA
Drawing Copyright © 2013
101 Accord Park Drive
Norwell, MA 02061
Main: (781) 982-5400 • www.chacompanies.com

NORTLAND RESIDENTIAL CORP.
135 GREAT PLAIN AVENUE
WELLESLEY, MA
EXISTING CONDITIONS PLAN

SHEET 1 OF 2

FOR REGISTRY USE ONLY

MATCH LINE SEE SHEET 1

LOT 78-17
N/F
TOWN OF WELLESLEY
BK. 3663, PG. 234

LOT 79-2
N/F
JEFFREY T. WARD &
MICHELLE THOMAS WARD
BK. 13981, PG. 387

LOT 79-3
N/F
ROBERT L. HUGHES &
JACQUELINE B. FINARD-HUGHES
BK. 22374, PG. 114

LOT 79-4-A
N/F
CHARLES R. PIERCE
BK. 9649, PG. 655

LOT 68-4
N/F
JOAN B. DIGIANDO TRUST
BK. 30666, PG. 455
























LOT 69-5
N/F
ALBERT L. SKINNER &
DONNA FUREY SKINNER
BK. 11884, PG. 511

LOT 69-3
N/F
RONALD & MARY A.
HAIGH
BK. 23871, PG. 546

LOT 68-1
525,031 S.F.
OR
12.053 ACRES

TBM
 DUPLEX NAIL SET IN 28" PINE
 ELEV.=143.79 (TOWN OF WELLSELEY)

LEGEND:

- | | | | |
|---|--------------------|---|----------------------------------|
|  | CONCRETE BOUND |  | TELEPHONE MANHOLE |
|  | STONE BOUND |  | GAS SHUT OFF |
|  | REBAR |  | GAS VALVE |
|  | DRILL HOLE |  | UTILITY POLE |
|  | IRON PIPE |  | LIGHT POLE |
|  | IRON ROD |  | MANHOLE |
|  | FLOOR DRAIN |  | MAILBOX |
|  | SQUARE CATCH BASIN |  | POST |
|  | STORM MANHOLE |  | BORDERING VEGETATED WETLAND FLAG |
|  | WATER SHUT OFF |  | TOP OF BANK FLAG |
|  | WATER VALVE |  | TREE AND NUMBER |
|  | HYDRANT | | |

- BUILDING LINE
- PARCEL BOUNDARY LINE
- ADJOINING PARCEL LINE
- EDGE OF ASPHALT
- STONE WALL
- OVERHEAD UTILITY LINES
- WATER UTILITY LINES
- DRAINAGE UTILITY LINES
- SEWER UTILITY LINES
- GAS UTILITY LINES

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS, AND THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP, AND THE LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

NORMAN I. LIPSITZ PLS# 28446

DATE: 1/5/15

[illegible]

Prepared For:

NORTLAND RESIDENTIAL CORP.
20 BURLINGTON MALL ROAD
SUITE 220
BURLINGTON, MA 01803

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OF THIS DOCUMENT IS A VIOLATION OF
APPLICABLE STATE AND/OR LOCAL LAWS

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Designed:	Drawn: MWC	Checked: NIL
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NORTHLAND RESIDENTIAL CORP.
135 GREAT PLAIN AVENUE
WELLESLEY, MA

EXISTING CONDITIONS PLAN

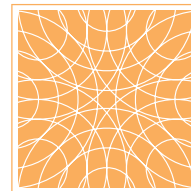
Date: 1-05-2015	Project No.: 29219	Scale: 1"=40'
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SHEET 2 OF 2

135 GREAT PLAIN AVE, WELLESLEY

CONCEPT ARCHITECTURE

AUGUST 28, 2017



UNION STUDIO

ARCHITECTURE & COMMUNITY DESIGN

www.unionstudioarch.com

140 Union Street Providence, RI 02903

t 401.272.4724 f 401.272.4825

TIER I
TOWNHOUSE TYPE A
3BR + OFFICE, 3.5BA

1st FLOOR	1,354 S.F.
2ND FLOOR	822 S.F.
TOTAL	2,176 S.F.



CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA
August 28, 2017



TIER I
TOWNHOUSE TYPE B

2BR, 1.5BA

1st FLOOR	974 S.F.
2ND FLOOR	802 S.F.
TOTAL	1,776 S.F.

FIRST FLOOR PLAN



SECOND FLOOR PLAN



CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA
August 28, 2017

SCALE: 3/32"=1'-0"

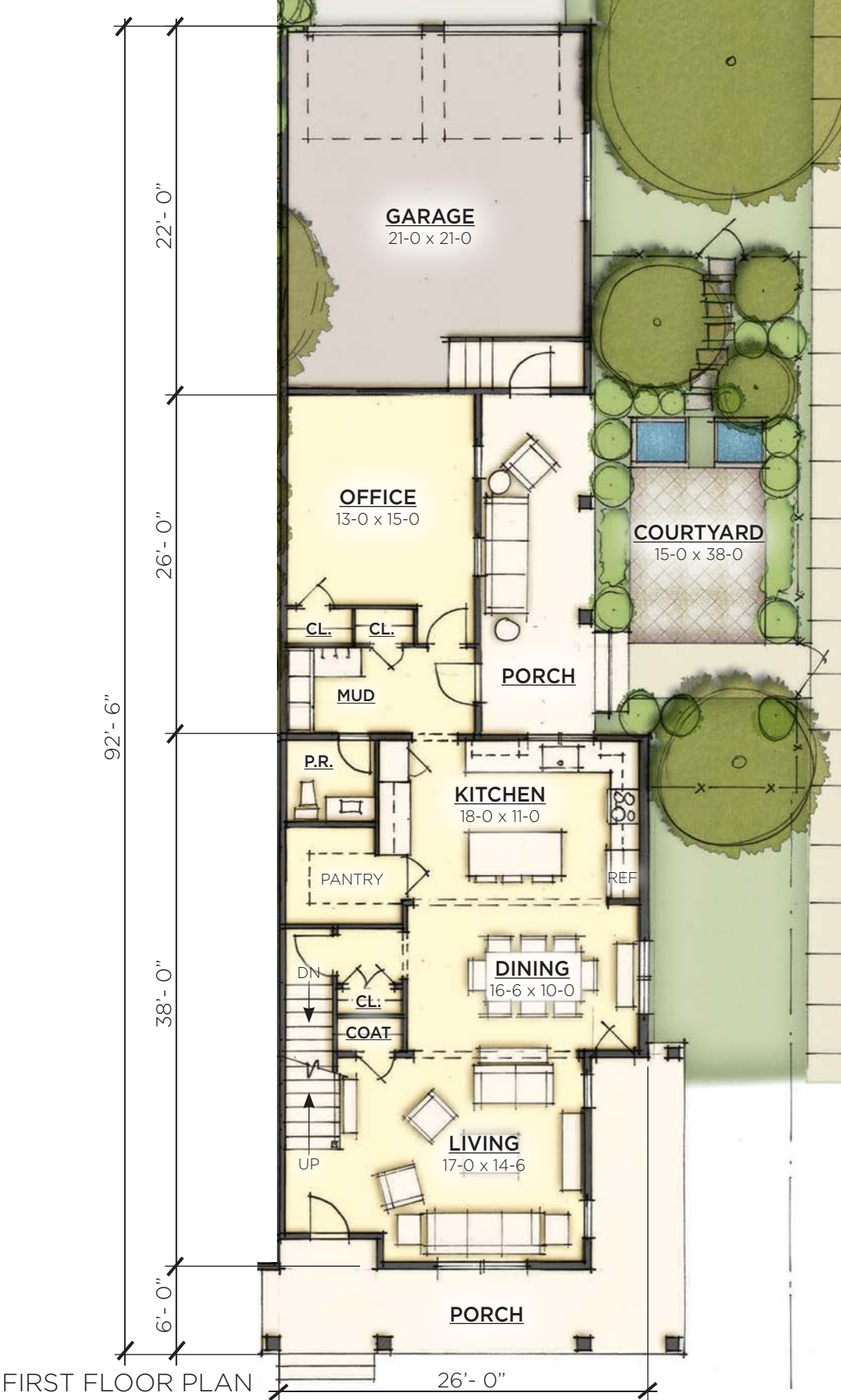


UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

TIER I
TOWNHOUSE TYPE C

3BR + OFFICE, 2.5BA

1st FLOOR	1,222 S.F.
2ND FLOOR	922 S.F.
TOTAL	2,144 S.F.



FIRST FLOOR PLAN



SECOND FLOOR PLAN

CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA
August 28, 2017

SCALE: 3/32"=1'-0"

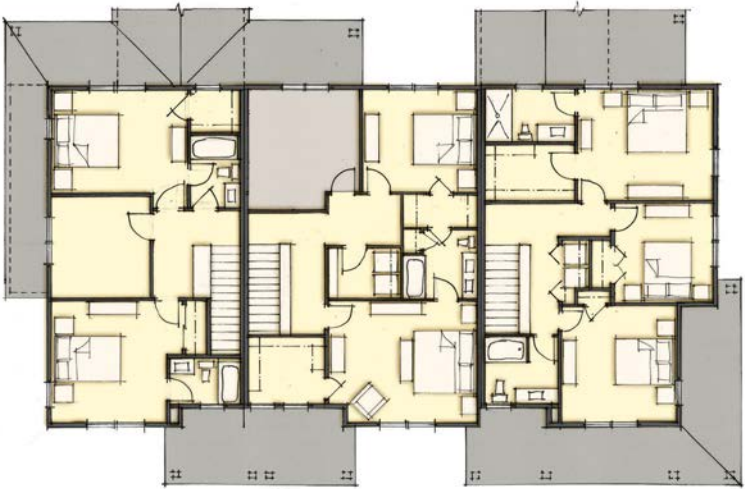


UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

TIER I
TOWNHOUSES TYPE A-B-C



FIRST FLOOR BLOCK PLAN



SECOND FLOOR BLOCK PLAN

CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA
August 28, 2017

SCALE: 3/64"=1'-0"

0' 4' 8' 16' 40' 80'



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

TIER I
TOWNHOUSE TYPES A-B-C



CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA
August 28, 2017

SCALE: 1/8"=1'-0"

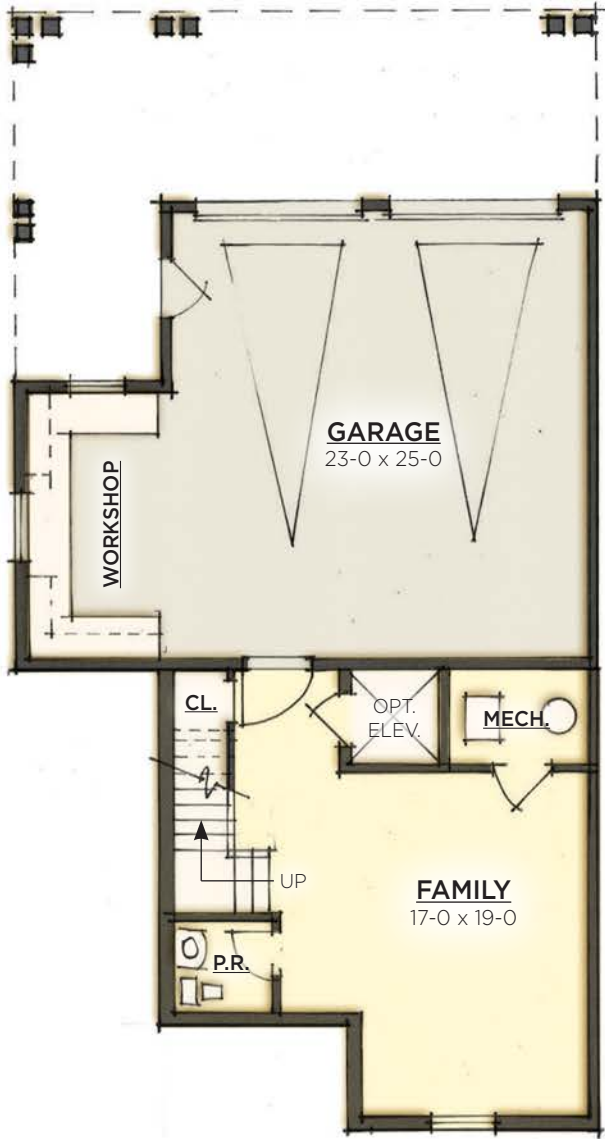


UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

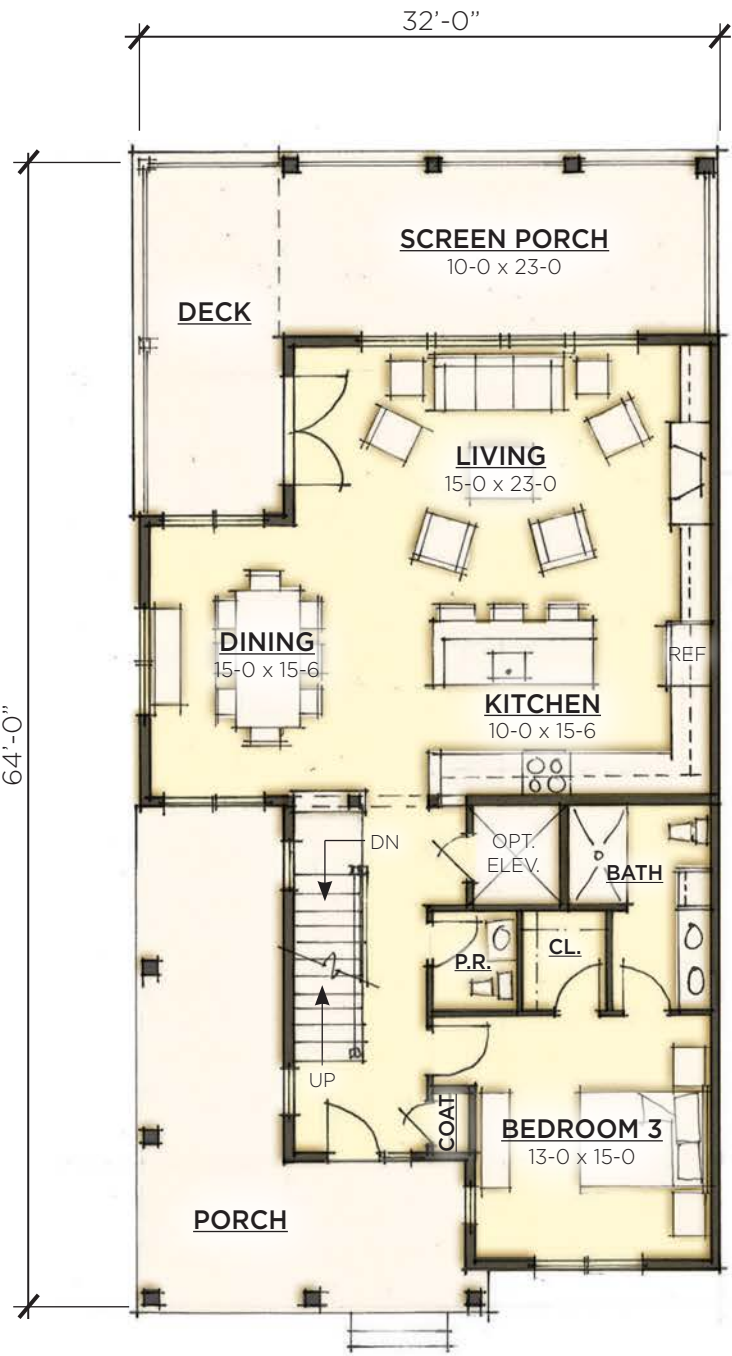
TIER II
DUPLEX TYPE A

3BR, 3 + 2 HALF BA

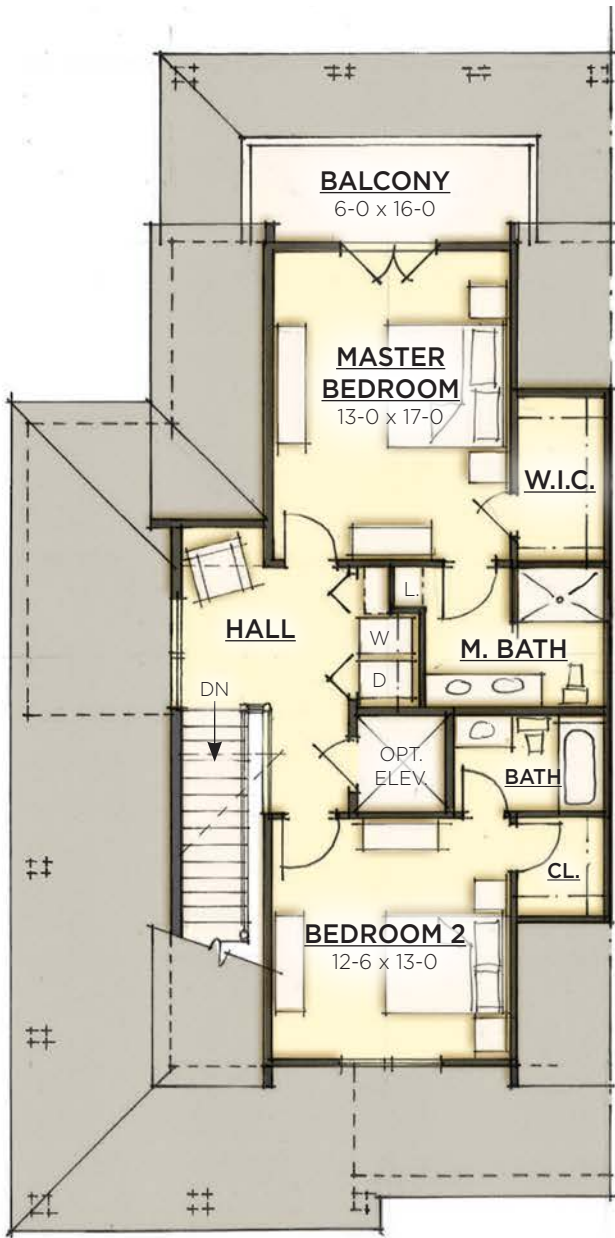
LOWER LEVEL	564 S.F.
1st FLOOR	1,316 S.F.
2ND FLOOR	886 S.F.
TOTAL	2,766 S.F.



LOWER LEVEL PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA

August 28, 2017

SCALE: 3/32"=1'-0"



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

TIER II
DUPLEX TYPE A-A



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA
August 28, 2017

SCALE: 1/8"=1'-0"

0' 1' 2' 4' 8' 16' 32'



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

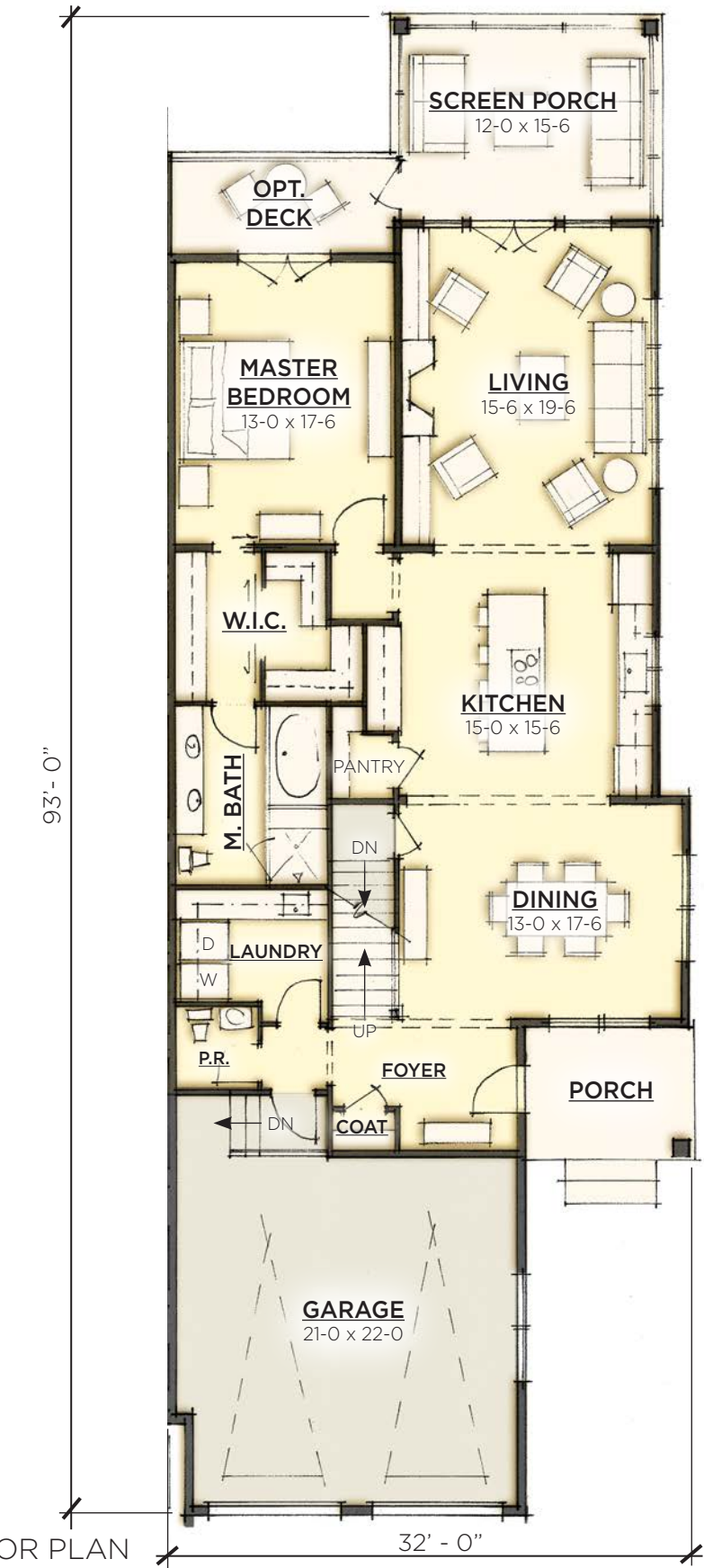
TIER III
DUPLEX TYPE B
3BR, 2.5BA

1st FLOOR	1,634 S.F.
2ND FLOOR	904 S.F.
TOTAL	2,538 S.F.

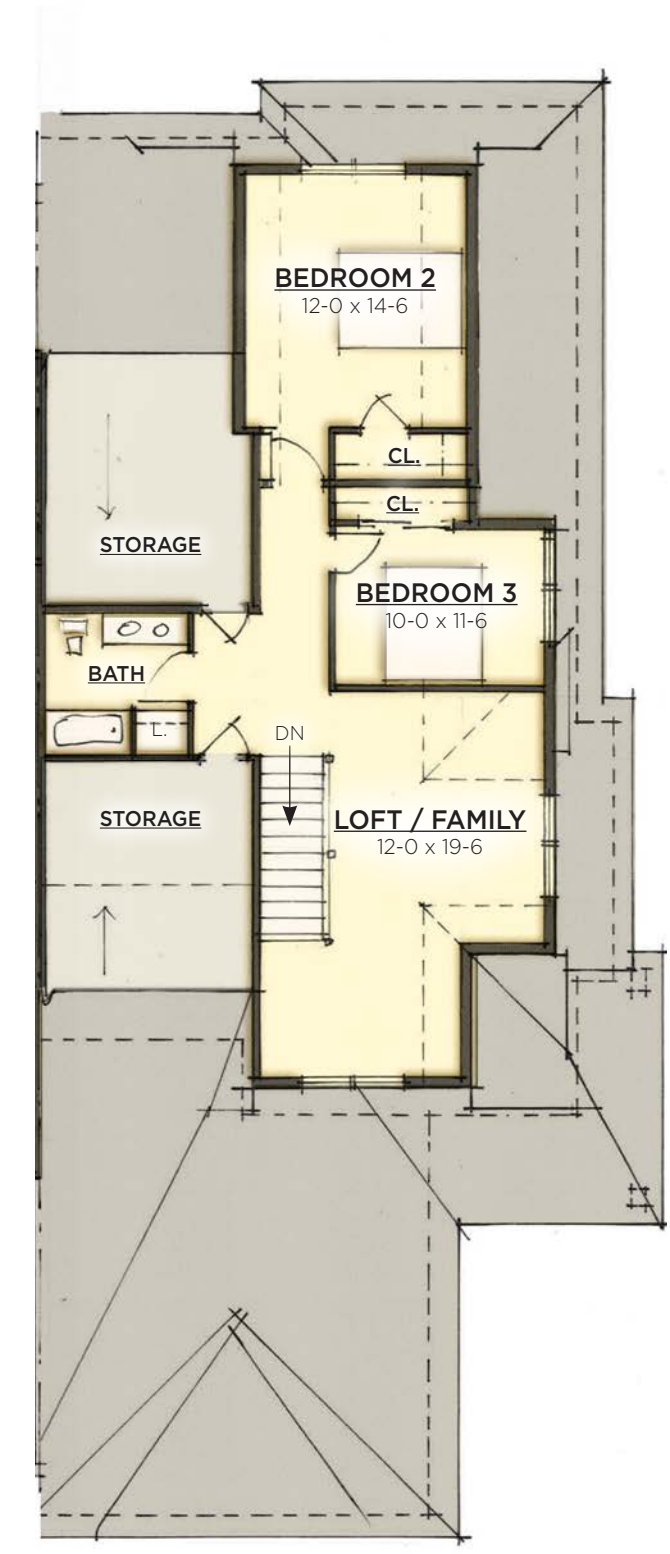
LOWER LEVEL 932 S.F.



LOWER LEVEL PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA
August 28, 2017

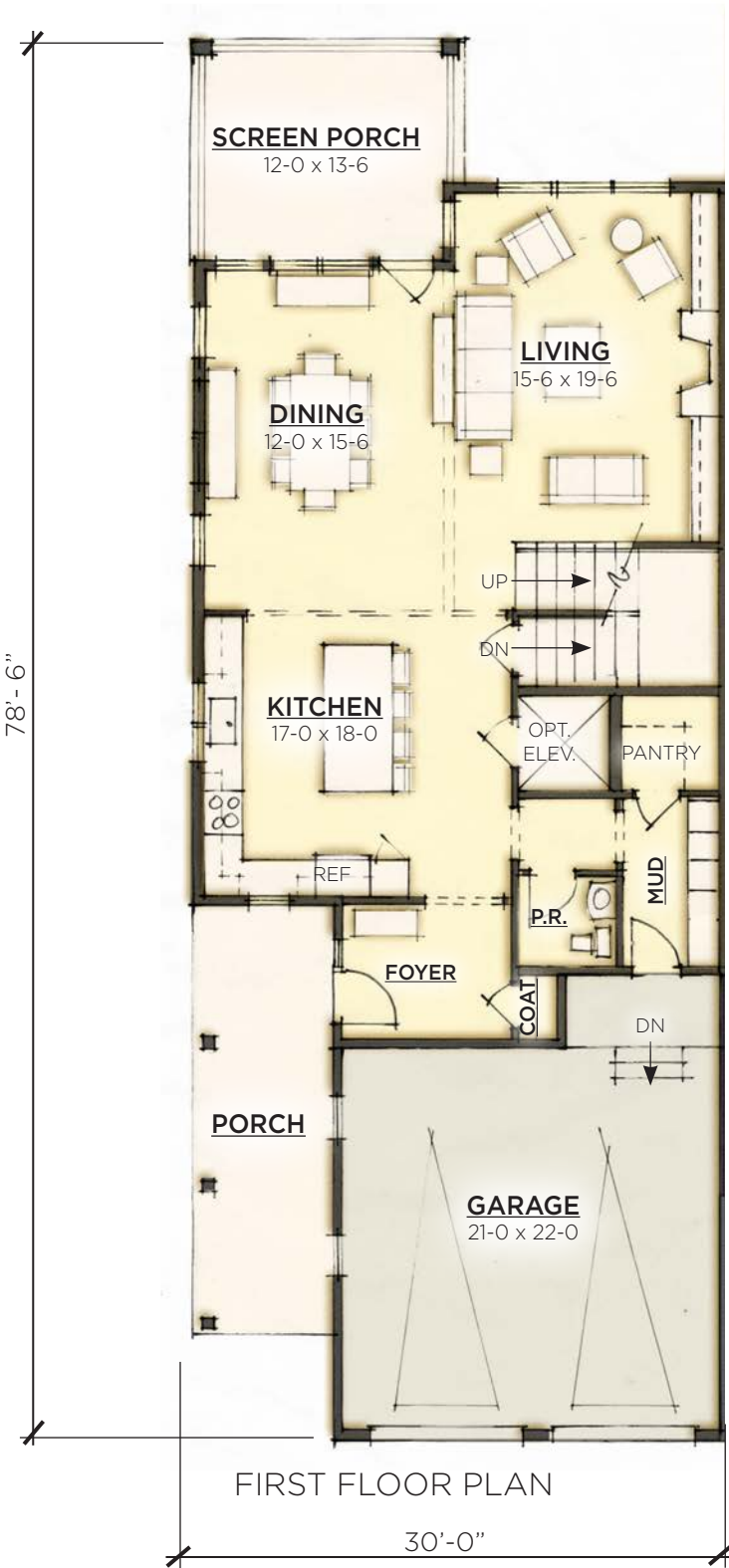


TIER III
 DUPLEX TYPE C
 3BR, 2.5BA

1st FLOOR	1,288 S.F.
2ND FLOOR	1,276 S.F.
TOTAL	2,588 S.F.
LOWER LEVEL	1,012 S.F.



LOWER LEVEL PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA
 August 28, 2017



TIER III
DUPLEX TYPE C-C



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

CONCEPT ARCHITECTURE

GREAT PLAIN AVENUE - WELLESLEY, MA
August 28, 2017

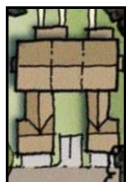
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0' 1' 2' 4' 8' 16' 32'



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

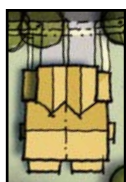
Proposed Program



- (24) Townhouse Types A, B, C
Primary Entry at Front
Parking Accessed from Rear Parking Lane



- (6) Duplex Type A
Primary Entry at Front/Upper Level
Parking Accessed from Rear/Lower Level



- (14) Duplex Type B
Primary Entry at Front/Upper Level
Parking Accessed from Front/Upper Level
Walkout to Rear/Lower Level

(44) Total Residential Units

* Including (11) Affordable Units



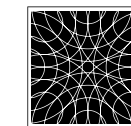
135 GREAT PLAIN AVE, WELLESLEY

PRELIMINARY SITE LAYOUT

AUGUST 28, 2017

SCALE: 1"=100'-0"

0 50' 100' 150' 200' 250' 300'





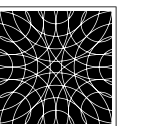
135 GREAT PLAIN AVE, WELLESLEY

PRELIMINARY SITE LAYOUT - PARKING

AUGUST 28, 2017

SCALE: 1"=100'-0"

0 50' 100' 150' 200' 250' 300'



Attachment 3.3 – Narrative Description of Design Approach

THE NEIGHBORHOOD

The neighborhood surrounding the Subject Property is predominantly single-family houses ranging in size from modest 3-bedroom ranches to large 5-bedroom houses. The existing zoning for this area requires a minimum lot size of 20,000 sq. ft. On these lots houses up to 5,900 sq. ft. can be constructed without being required to seek Planning Board approval under “Large House Review”. Due to the very high demand for new housing in Wellesley, many of the smaller, older homes throughout the town are being demolished and new, larger homes are being constructed in their place. This change is quickly altering the look of the neighborhoods throughout the town, and examples of it have begun to show up along this section of Great Plain Avenue. Due to the price developers can attain for a large house built to meet the demands of wealthy young families, the vast majority of the new homes being constructed are specifically designed for this cohort and often have five bedrooms and over 5,000 sq. ft. of living space. An example of this type of new construction is located at 115 Great Plain Avenue – two lots down from the Subject Property (see photo). A little further down Great Plain Avenue, another home was recently razed and construction has begun on a new home.



The Town of Wellesley has a rich history and there are a number of homes built around 1900 scattered throughout the town. Closer to Wellesley Square, there are many very nice examples of period architecture ranging from small cottages to large Victorians. The conceptual design for the proposed townhouses has been carefully crafted to allow the new buildings to blend well with the existing varied architecture along Great Plain Avenue, while borrowing some of the design elements found in the architecture surrounding the Wellesley Square area. The conceptual architecture shows elements such as gables, covered porches, varying rooflines and corbels. These elements will help blend the new current architecture with the established architecture found within the town.



The architecture for the proposed homes will borrow design elements from homes throughout the town, like these historical houses near Wellesley Square.

The design of the two and three-unit townhouse buildings will have varied and interesting rooflines with a peak height of no more than 36 feet, which is consistent with the houses nearby. With details to help reduce the massing of the buildings such as shed dormers and varied roof types, the new townhouses will integrate nicely within the surrounding neighborhood context. The buildings will also feature architectural details such as door and window treatments, corbels, carriage style garage doors and covered porches that will help reduce the bulk of the buildings and bring them down to a human scale.

The exterior cladding will resemble that traditionally used in New England such as clapboards, shingles and stone facing. The roof shingles will carefully be chosen to reflect a style and color that is harmonious with the siding. The overall color themes will reflect those commonly found in a New England village and will allow the structures to blend into the surrounding environment.



Careful attention will be given to the landscaping throughout the site. Existing vegetation will be retained where feasible, and supplemented with additional plantings (see conceptual landscaping plan). The goal is to create a natural landscape throughout the new community that fits well within the context of that commonly seen in New England landscape. Fieldstones from the primitive stonewalls on the site will be gathered and set aside to be used to create new stonewalls throughout the community. An existing fieldstone outbuilding (see photo) will be relocated to the Town Green, renovated and repurposed for the community to use as a common amenity. This style of stonework can be found in other neighborhoods in Wellesley and will establish a nice link to both the past and the surrounding neighborhoods.



SITE PLANNING FOR FIELDSTONE WAY

The topography of the Subject Parcel is relatively flat near Great Plain Avenue and then gradually falls off towards the rear where the wetland is located. In planning the site, we identified three distinct locations: Tier 1, Tier 2 and Tier 3. The townhouses for each Tier, or neighborhood, have been specifically designed to follow the contours of that Tier.

In Tier 1, the topography is fairly flat along the entire width, or frontage of the parcel and for about half of its depth. The 8 triplex buildings in this neighborhood are sited so that their front elevation will face either Great Plain Avenue, or the Common Green. Their garages will be located in the back of the buildings and accessed by a common alley. This will help hide the visibility of automobiles and associated garages and allow the front façades and pocket gardens to be the focal point.

In Tier 2, the common entry road winds to each side of the Common Green before heading down the grade to Tier 3. This will allow the Common Green and the front façades of the three duplexes that flank it to be the focal point as people enter into the heart of the community (see rendering above for a sense of the architecture in this area). Our plans also include relocating the old fieldstone outbuilding that exists on the site to the Common Green and feature it as a Common Social Room. With the grade falling approximately 10 feet from the Common Green to the rear of these buildings, it allows us to create "drive under" garages for these 6 homes. Locating the garages to the rear will allow the front elevation of these buildings to be "uncluttered" by an attached garage and creates the opportunity to design very inviting homes along the edge of the Common Green. Locating the garages under these duplexes and building the foundations into the grade will also allow us to minimize the mass of the buildings. And finally, the proposed site plan also has the added benefit of providing these homes with a southern orientation to maximize natural sunlight flooding into the living spaces.

In Tier 3, the private road loops past the front yards of the seven duplexes located in this part of the neighborhood. Since the natural topography continues to fall away towards the rear of the parcel, the duplexes in this Tier will take advantage of the ability to construct walk-out basements allowing a

Section 3.3

portion of the living area to be on the lower level with full height windows and doors to the outside. Owners will have the ability to walk out of their lower level and enjoy the beauty of the meadow that extends up to the edge of the woodlands. Due to the natural topography falling off as it does and the buildings being fanned out along this grade line, these homes will sit below the grade of Great Plain Avenue greatly reducing their mass and visibility from the Great Plain Avenue. Similar to the homes in Tier 2, the 14 homes in this area will have wonderful southern and western exposure allowing for natural sunlight to fill the living areas. The views from the rear of these homes will look out over protected meadows and wetlands. And the existing woodlands that will be preserved creates a natural buffer that shields the visibility of these homes from the few abutters to the rear of the property.

The topography also will aid us in the storm water drainage for the site. Our engineer has the storm water draining by gravity to a low point near the Sudbury Aqueduct, where it will be collected, stored underground and allowed to drain slowly into the ground. With the storm water field underground, this will allow us the opportunity to create a meadow above bordered by shrubs and wildflowers. This new meadow will connect to the existing meadow to the west and be a wonderful common amenity for the community. The proposed walking path to the Sudbury Aqueduct winds alongside this area allowing the neighborhood the opportunity to enjoy the natural beauty.

The Subject Parcel benefits greatly from Great Plain Avenue having an unusually wide Right-of-Way (ROW). Along the frontage of the parcel, the ROW is approximately 40 - 45 feet from the edge of pavement to the boundary line of the parcel. The ROW contains a sidewalk near the street and is mostly wooded up to the property line. When the 40-foot width of the ROW is added to the 14-foot building setback, the proposed buildings will be at least 54 feet from Great Plain Avenue, greatly reducing the scale of the buildings. The Applicant is also proposing to work with the Town to create a healthy natural buffer between the buildings and Great Plain Avenue.

The edges of the parcel are wooded and this offers the opportunity to provide a natural buffer in the side setback area between the proposed buildings and the abutters. The Applicant has consulted with an arborist and a landscape architect who have surveyed this area to determine the species of trees, their size and health as a first step in the creation of a Landscape Buffer Plan. The Plan will also suggest appropriate plantings that can be added to the area to enhance the desired buffer.

The townhouses at Fieldstone Way will be carefully designed to meet the needs of seniors, who want to remain living independently in a smaller, carefree environment. All the floor plans will either have first floor master bedrooms, or have the option to install an elevator to assist with movement from floor-to-floor. All of the townhouses will have front porches to allow the residents to interact with their neighbors in a very relaxed setting. Many of the townhomes will also feature a private garden area off the rear, or side of the house to allow residents to enjoy the tranquil beauty of their personal garden.

Section 3.4

Anticipated Waiver Requests	
Zoning Bylaw (review based on September 10, 2015 bylaw)	
Requirement	Requested Waiver
Section II. Single Residence Districts: Town House use is not permitted in Single Residence District	Waiver to allow Town House use in Single Residence District.
Section XVIA. Project Approval: Design Review, Site Plan Review, and Project of Significant Impact (PSI) Special Permit requirements.	Waiver from applicable requirements such that the Wellesley ZBA shall be the sole local permit granting authority under MGL c.40B for the project.
Section XVIC. Drainage Review:	Waiver from applicable requirements and procedures such that the Wellesley ZBA shall be the sole local permit granting authority under MGL c.40B for the project.
Section XVIIE. Tree Protection & Preservation: Town of Wellesley Tree Bank contributions (Section E.) and Protected Trees (Section F.)	Waiver requested to allow for the removal of Protected Trees to the extent the Project involves work within the Tree Yards based on advancement of plans and Applicant's final landscaping plans.
Section XVIII. Area Regulations: 15% maximum building coverage for lots containing at least 40,000 SF.	Waiver may be required for building coverage. Preliminary estimate of building coverage is 14.7% and is subject to change based on advancement of plans.
Section XIX. Yard Regulations: <ul style="list-style-type: none"> • Front Yard Depth: 30 feet • Side Yard Depth: 20 feet • XIX.C: No yard... shall at any time be considered as appurtenant to more than one building in computing the requirement for yards under this Bylaw. 	Waivers required for front yard and side yard depths. <ul style="list-style-type: none"> • Provided Front Yard Depth is 14 feet • Provided Side Yard Depth is 16 feet • Yards can count for various buildings within the project.
Section XX. Height of Buildings or Structures: Maximum building height is 36 feet	Waiver requested to allow the height of certain Town House buildings to exceed 36 feet, depending on grade.

Section XXI. Off-Street Parking: Part D, requires permit and procedures; subpart 3: Development Standards apply to parking areas devoted to off-street parking of 15 or more vehicles	Waiver requested from applicable requirements and procedures such that the Wellesley ZBA shall be the sole local permit granting authority under MGL c.40B for the project with parking provided for Town Houses as shown on project plans.
Section XXII. Design Review.	Waiver from applicable requirements and procedures such that the Wellesley ZBA shall be the sole local permit granting authority under MGL c.40B.
Section XXIIA. Signs.	Waivers from this section and sign permit requirements to the extent necessary to allow for project monument signage, which shall be established in the course of the Comprehensive Permit application/hearing.
Section XXIID. Retaining Walls. <ul style="list-style-type: none"> Retaining walls four feet or greater shall not be located within 10 feet of a property line Design review and permitting. Design Review shall be required for all retaining walls requiring a permit, as determined by the Inspector of Buildings, and retaining seven feet or more of unbalanced fill. A permit shall be required for all retaining walls that retain four or more feet of unbalanced fill. 	Waivers from permit requirements that may be required from Section XXIID for Project retaining walls as shall be established by the advancement of the project design in the course of the Comprehensive Permit application/hearing.
General Bylaws	
Wetlands Protection Bylaw	Waiver requested to the extent necessary to allow for construction of project as shown on plans. The project will comply with MA Wetlands Protection Act and MADEP regulations 310 CMR 10.
Rules and Regulations Governing the Subdivision of Land in the Town of Wellesley	
	Waiver requested from the potential application of subdivision rules and regulations to any portion of the project or project site as shown on the Site Plans.

SUSTAINABLE DEVELOPMENT CRITERIA SCORECARD

Project Name: Fieldstone Way
 Project Number: _____
 Program Name: _____
 Date: _____

MassHousing encourages housing development that is consistent with sustainable development designs and green building practices. Prior to completing this form, please refer to the Commonwealth's Sustainable Development Principles (adopted May 2007) available at: Sustainable Development Principles

DEVELOPER SELF-ASSESSMENT

(for consistency with the Sustainable Development Principles)

Redevelop First

Check "X" below if applicable

If Rehabilitation:

- Rehabilitation/Redevelopment/Improvements to Structure ☐
- Rehabilitation/Redevelopment/Improvements to Infrastructure ☐

If New Construction:

- Contributes to revitalization of town center or neighborhood ☐
- Walkable to: ☐
 - (a) transit ☐
 - (b) downtown or village center ☐
 - (c) school ☒
 - (d) library ☐
 - (e) retail, services or employment center ☒
- Located in municipally-approved growth center ☐

Explanation (Required)

Schools - From the subject property it is walkable to Babson College (1.25 miles) & Olin College of Engineering (0.8 miles) and to the Wellesley High School (0.85 miles).

Retail, Services or Employment Center - the Babson Hockey Rink & the Boston Sports Club facility is located approximately 0.4 miles from the site. The Wellesley Country Club is located 1.5 miles from the subject property.

Optional – Demonstration of Municipal Support:

Check "X" below if applicable

- Letter of Support from the Chief Elected Official of the municipality* ☐
- Housing development involves municipal funding ☐
- Housing development involves land owned or donated by the municipality ☐

**Other acceptable evidence: Zoning variance issued by ZBA for project; Minutes from Board of Selectman meeting showing that project was discussed and approved, etc.*

Explanation (Required)

Method 2: Development meets a minimum of five (5) of the Commonwealth's *Sustainable Development Principles*, as shown in the next section below.

If the development involves strong **municipal support** (evidence of such support must be submitted as an attachment), the development need only meet **four (4)** of the *Sustainable Development Principles*. However, one (1) of the Principles met must be **Protect Land and Ecosystems**.

Please explain at the end of each category how the development follows the relevant *Sustainable Development Principle(s)* and explain how the development demonstrates each of the checked "X" statements listed under the *Sustainable Development Principle(s)*.

(1) Concentrate Development and Mix Uses

Support the revitalization of city and town centers and neighborhoods by promoting development that is compact, conserves land, protects historic resources, and integrates uses. Encourage remediation and reuse of existing sites, structures, and infrastructure rather than new construction in undeveloped areas. Create pedestrian friendly districts and neighborhoods that mix commercial, civic, cultural, educational, and recreational activities with open spaces and homes.

Check "X" below if applicable

- Higher density than surrounding area ☒
- Mixes uses or adds new uses to an existing neighborhood ☒
- Includes multi-family housing ☒
- Utilizes existing water/sewer infrastructure ☒
- Compact and/or clustered so as to preserve undeveloped land ☒
- Reuse existing sites, structures, or infrastructure ☒
- Pedestrian friendly ☐
- Other (discuss below) ☐

Explanation (Required)

The proposed development will provide 44 units of for-sale, multi-family housing, which will be clustered so as to preserve Open Space including nearly 2 acres of a sensitive wetland corridor that is a tributary to Fuller Brook - a major amenity within the town of Wellesley. The development will utilize existing municipal sewer & water infrastructure. The surrounding area consists primarily of single-family home thus the development will be of higher density than the immediate surrounding neighborhood as well as add a new use (multi-family) to the neighborhood. There will be a walking trail connection to the Sudbury Aqueduct trail, which directly abuts the property and is a major walking path in the Town. The development will retain antique stone pillars at the existing entrance to the property as well as a fieldstone out building that will be renovated and re-purposed as the mail station for the new community.

(2) Advance Equity & Make Efficient Decisions

Promote equitable sharing of the benefits and burdens of development. Provide technical and strategic support for inclusive community planning and decision making to ensure social, economic, and environmental justice. Ensure that the interests of future generations are not compromised by today's decisions.

Promote development in accordance with smart growth and environmental stewardship.

Check "X" below if applicable

- Concerted public participation effort (beyond the minimally required public hearings) ☒
- Streamlined permitting process, such as 40B or 40R ☒
- Universal Design and/or visitability ☐
- Creates affordable housing in middle to upper income area and/or meets regional need ☒
- Creates affordable housing in high poverty area ☐
- Promotes diversity and social equity and improves the neighborhood ☒
- Includes environmental cleanup and/or neighborhood improvement in an Environmental Justice Community ☐
- Other (discuss below) ☐

Explanation (Required)

The Developer had a meeting (June 7, 2017) to discuss the proposed development with the following people: the Chair of the Board of Selectman, a Planning Board Member, the Planning Director, the Town's Executive Director & Assistant Executive Director and the Chair of the Town's Housing Development Corporation. Following this meeting, all were offered the opportunity view subject property on June 23, 2017. In attendance at the site walk were the Chair of the Selectman, the Assistant Executive Director and a Planning Board member. And finally, the Developer presented the proposed project to the Planning Board at their regularly scheduled meeting on June 27, 2017, which was attended by many of the residents living in the general area of the subject property.

(3) Protect Land and Ecosystems

Protect and restore environmentally sensitive lands, natural resources, agricultural lands, critical habitats, wetlands and water resources, and cultural and historic landscapes. Increase the quantity, quality and accessibility of open spaces and recreational opportunities.

Check "X" below if applicable

- Creation or preservation of open space or passive recreational facilities ☒
- Protection of sensitive land, including prime agricultural land, critical habitats, and wetlands ☒
- Environmental remediation or clean up ☐
- Responds to state or federal mandate (e.g., clean drinking water, drainage, etc.) ☐
- Eliminates or reduces neighborhood blight ☐
- Addresses public health and safety risk ☐
- Cultural or Historic landscape/existing neighborhood enhancement ☒
- Other (discuss below) ☐

Explanation (Required)

The subject parcel contains 12.05 acres. The new community of 44 homes will be clustered so as to preserve Open Space including the preservation of 1.97 acres of a valuable and sensitive wetlands resource. Another 0.58 acres will be preserved for potential flood storage of the stream that runs through the rear of the property. The subject property contains antique fieldstone pillars at the driveway, which will be preserved. An antique fieldstone outbuilding also exists and it will be renovated, preserved and re-purposed as a central mail station for the residents.

(4) Use Natural Resources Wisely

Construct and promote developments, buildings, and infrastructure that conserve natural resources by reducing waste and pollution through efficient use of land, energy, water and materials.

Check "X" below *if applicable*

- Uses alternative technologies for water and/or wastewater treatment ☐
- Uses low impact development (LID) or other innovative techniques ☒
- Other (discuss below)

Explanation (Required)

Through the use of Integrated Management Practices in the carefully planned landscape features of the development, the developer will incorporate Low Impact Development techniques into the overall storm water management for the site.

(5) Expand Housing Opportunities

Support the construction and rehabilitation of homes to meet the needs of people of all abilities, income levels and household types. Build homes near jobs, transit, and where services are available. Foster the development of housing, particularly multifamily and single-family homes, in a way that is compatible with a community's character and vision and with providing new housing choices for people of all means.

Check "X" below *if applicable*

- Includes rental units, including for low/mod households ☐
- Includes homeownership units, including for low/mod households ☒
- Includes housing options for special needs and disabled population ☒
- Expands the term of affordability ☒
- Homes are near jobs, transit and other services ☒
- Other (discuss below) ☐

Explanation (Required)

The development will create 44 homeownership units, of which 11 of the units will be deed restricted and preserved in perpetuity as affordable units. The development will provide a mix of 2-bedroom & 3-bedroom units, and a mix of product types, including duplex townhouses with a first floor master bedroom and 2-car garage as well as side-by-side townhouses incorporated into a triplex arrangement. This style of housing will help diversity the housing stock in Wellesley by providing a range of housing options and price points that are currently under served. Homes with first floor master bedrooms will have a high appeal to the seniors and empty nesters in town. According to the Town of Wellesley Comprehensive Plan Update 2007-2017, "Wellesley offers few alternatives to empty nesters who might want to sell their large homes yet still stay in town". First floor master bedrooms and one level living will also be attractive to folks who have difficulty managing stairs.

The location of the site makes it within walking distance to Babson College, Olin College of Engineering, and the Boston Sports Club. Nearby in Wellesley Square and Needham Center are a wide range of shopping and services.

(6) Provide Transportation Choice

Maintain and expand transportation options that maximize mobility, reduce congestion, conserve fuel and improve air quality. Prioritize rail, bus, boat, rapid and surface transit, shared-vehicle and shared-ride services, bicycling and walking. Invest strategically in existing and new passenger and freight transportation infrastructure that supports sound economic development consistent with smart growth objectives.

Check "X" below if applicable

- Walkable to public transportation ☐
- Reduces dependence on private automobiles (e.g., provides previously unavailable shared transportation, such as Zip Car or shuttle buses) ☒
- Increased bike and ped access ☒
- For rural areas, located in close proximity (i.e., approximately one mile) to a transportation corridor that provides access to employment centers, retail/commercial centers, civic or cultural destinations ☐
- Other (discuss below) ☐

Explanation (Required)

The Wellesley Council on Aging (COA) offers convenient door-to-door bus transportation services for seniors. The COA will pick seniors up at their home and take them anywhere within the Wellesley, or nearby towns. Rides are provided for medical appointments, social engagements, shopping, errands and more. The subject property also directly abuts the Sudbury Aqueduct (aka "Sudbury Path"), which is a very popular public walking & biking trail in Wellesley. The developer will construct a connection from Great Plain Avenue to the Sudbury Path across the subject property allowing the neighborhood easy access to the Sudbury Path and with it, easy access for recreational walking with the ability to connect to other public walking trails and the ability to avoid more heavily traveled streets in town to gain access to nearby neighborhoods and the center of Wellesley.

(7) Increase Job and Business Opportunities

Attract businesses and jobs to locations near housing, infrastructure, and transportation options. Promote economic development in industry clusters. Expand access to education, training and entrepreneurial opportunities. Support growth of local businesses, including sustainable natural resource-based businesses, such as agriculture, forestry, clean energy technology and fisheries.

Check "X" below if applicable

- Permanent jobs ☐
- Permanent jobs for low- or moderate-income persons ☐
- Jobs near housing, service or transit ☐
- Housing near an employment center ☒
- Expand access to education, training or entrepreneurial opportunities ☐
- Support local businesses ☐
- Support natural resource-based businesses (i.e., farming, forestry or aquaculture) ☐
- Re-uses or recycles materials from a local or regional industry's waste stream ☐
- Support manufacture of resource-efficient materials, such as recycled or low-toxicity materials ☐
- Support businesses that utilize locally produced resources such as locally harvested wood or agricultural products ☐
- Other (discuss below) ☐

Explanation (Required)

The subject parcel is close to shopping and services in Wellesley Center and Needham Center, and major employers such as Wellesley College, Sun Life Financial, the headquarters for Harvard Pilgrim Health Care, and the headquarters for TripAdvisor. The subject property is also in close proximity to the employment corridor along Route 128 and the significant employment center in the Framingham/Natick area.

(8) Promote Clean Energy

Maximize energy efficiency and renewable energy opportunities. Support energy conservation strategies, local clean power generation, distributed generation technologies, and innovative industries. Reduce greenhouse gas emissions and consumption of fossil fuels.

Check "X" below if applicable

- Energy Star or equivalent* ☒
- Uses renewable energy source, recycled and/or non-/low-toxic materials, exceeds the state energy code, is configured to optimize solar access, and/or otherwise results in waste reduction and conservation of resources ☐
- Other (discuss below) ☐

*All units are required by MassHousing to be Energy Star Efficient. Please include in your explanation a description of how the development will meet Energy Star criteria.

Explanation (Required)

The new townhouses will all be designed and constructed to meet the standards of Energy Star.

(9) Plan Regionally

Support the development and implementation of local and regional, state and interstate plans that have broad public support and are consistent with these principles. Foster development projects, land and water conservation, transportation and housing that have a regional or multi-community benefit. Consider the long term costs and benefits to the Commonwealth.

Check "X" below if applicable

- Consistent with a municipally supported regional plan ☐
- Addresses barriers identified in a Regional Analysis of Impediments to Fair Housing ☐
- Measurable public benefit beyond the applicant community ☒
- Other (discuss below) ☐

Explanation (Required)

The new development will consist of homeownership units that provide a diversity of housing types and affordability that is severely lacking in the Town of Wellesley and nearby towns.

For further information regarding 40B applications, please contact Greg Watson, Manager, Comprehensive Permit Programs, at (617) 854.1880 or gwatson@masshousing.com

Bk 32778 P376 #111329
12-17-2014 @ 02:45p

QUITCLAIM DEED

G. LAWRENCE LANGFORD, an unmarried man, of Wellesley, Norfolk County, Commonwealth of Massachusetts, for consideration of \$6,500,000 paid, grants to WELLESLEY RESIDENTIAL, LLC, a Massachusetts limited liability company, with a principal place of business at 20 Mall Road, Suite 220, Burlington, Massachusetts 01803, with quitclaim covenants, two certain parcels of land, together with all buildings and improvements thereon, bounded and described as follows:

PARCEL ONE:

A parcel of land with the buildings thereon situated on the southwesterly side of Great Plain Avenue, shown as Lot A on a plan entitled "Plan of Land in Wellesley, Property of Barbara C. Gregg, scale fifty feet to an inch, November 23, 1951," by Schofield Brothers, and recorded with the Norfolk County Registry of Deeds as Plan No. 1533 of 1951 in Plan Book 167 (the "1951 Plan"), containing according to the 1951 Plan eleven and a half acres, more or less, including the part beyond Fuller Brook so-called, and more fully bounded and described according to the 1951 Plan as follows:

Beginning at an iron pin at the southwesterly side of Great Plain Avenue distant 712.76 feet northwesterly from the town bound on the Wellesley-Needham town line at Great Plain Avenue; thence running South 40° 52' 40" West 336.44 feet by other land now or formerly of Joseph P. Knowles to an iron pin; thence running South 3° 30' 50" West 318.66 feet by other land now or formerly of Joseph P. Knowles to MDC bound at the land in which the Commonwealth of Massachusetts has an interest, known as the Sudbury Aqueduct; thence turning and running North 83° 28' 50" West 214.93 feet along said Sudbury Aqueduct to another MDC bound; thence running North 79° 42' 40" West 150.16 feet along said Sudbury Aqueduct to another MDC bound; thence running North 58° 04' 40" West along said Sudbury Aqueduct 138.91 feet to another MDC bound; thence running North 83° 31' 30" West 224.62 feet along said Sudbury Aqueduct across the brook to another MDC bound at corner of land now or formerly of Donna H. Partridge; thence turning and running North 39° 16' 40" West along said land of said Partridge 86.94 feet to a spike; thence running North 22° 13' 20" West along said land of said Partridge 155.17 feet to a drill hole in a concrete block at corner of land now or formerly of Edith Jane Partridge; thence running North 22° 05' 30" West 51.72 feet along said land of said Partridge to a corner; thence running North 11° 26' 30" East along said land of said Partridge and land now or formerly of Harry H. and Hazel C. Powers 111.81 feet to an iron pin; thence turning and running due East by other land now or formerly of

MASSACHUSETTS STATE EXCISE TAX
Norfolk Registry of Deeds
Date: 12-17-2014 @ 02:45pm
Ctl#: 1523 Doc#: 111329
Fee: \$29,640.00 Cons: \$6,500,000.00

WILLIAM P. O'DONNELL, REGISTER
NORFOLK COUNTY REGISTRY OF DEEDS
RECEIVED & RECORDED ELECTRONICALLY

Locus: 135 Great Plain Avenue, Wellesley

Joseph P. Knowles 310.00 feet to an iron pin; thence turning and running North 54° 32' 40" East 320.37 feet by other land now or formerly of Joseph P. Knowles to an iron pin; thence running North 41° 11' 40" East 207.79 feet to a stone bound at Great Plain Avenue, distant 907.46 feet southeasterly from another stone bound on Great Plain Avenue near the corner of Brook Street; thence along Great Plain Avenue near the corner of Brook Street; thence along Great Plain Avenue 450.02 feet to the point of beginning.

For title to Parcel One, see (a) deed of Joseph F. Knowles to G. Lawrence Langford and Emily K. Langford dated June 4, 1975 and recorded with said Deeds, Book 5134, Page 163, (b) Will of Joseph F. Knowles (Norfolk Probate No. N088P1804E1), and (c) Will of Margaret Knowles (Norfolk Probate No. N089P2481E1). Emily K. Langford died on September 10, 2011; see Death Certificate for Emily K. Langford recorded herewith.

PARCEL TWO:

A parcel of land, together with all buildings and improvements thereon, situated in Wellesley, Norfolk County, Massachusetts, being shown as Lot A3 on a plan entitled "Plan of Land in Wellesley, Mass." dated June 28, 1995, prepared by Needham Survey Associates, Inc. dated June 28, 1995 and recorded with said Deeds as Plan No. 543 of 1995 in Plan Book 432 (the "1995 Plan"), and bounded and described as follows:

NORTHEASTERLY	by Lot A2, as shown on the 1995 Plan, 145.92 feet;
EASTERLY	by land now or formerly of Ronald & Mary Haigh, 149.70 feet;
SOUTHERLY	by Sudbury Aqueduct, as shown on the 1995 Plan, 126.93 feet; and
WESTERLY	by land now or formerly of Lawrence & Emily Langford, 232.66 feet.


Together with the restriction, for the benefit of Lot A3, that Lot A2 as shown on the 1995 Plan shall not be further subdivided into two or more buildable lots nor combined with other adjoining land to create additional buildable lots, as set forth in the deed recorded at Book 11012, Page 689.

For title to Parcel Two, see deed of Robert A. Morvillo and Caterina C. Morvillo dated August 23, 1994 and recorded with said Deeds, Book 11012, Page 689. Emily K. Langford died on September 10, 2011; see Death Certificate for Emily K. Langford recorded herewith.

Parcel One and Parcel Two are conveyed subject and together with the benefit of all restrictions, rights, conditions, easements, reservations and other matters of record insofar as the same are in effect and applicable.

The grantor, G. Lawrence Langford, hereby releases all the right of homestead he may have in the above premises and affirms, under the penalties of perjury, that there is no other person entitled to claim the benefit of an estate of homestead in the premises conveyed hereby.


EXECUTED as a sealed instrument this 12th day of December, 2014.



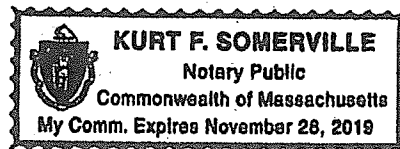
G. Lawrence Langford

COMMONWEALTH OF MASSACHUSETTS
COUNTY OF SUFFOLK

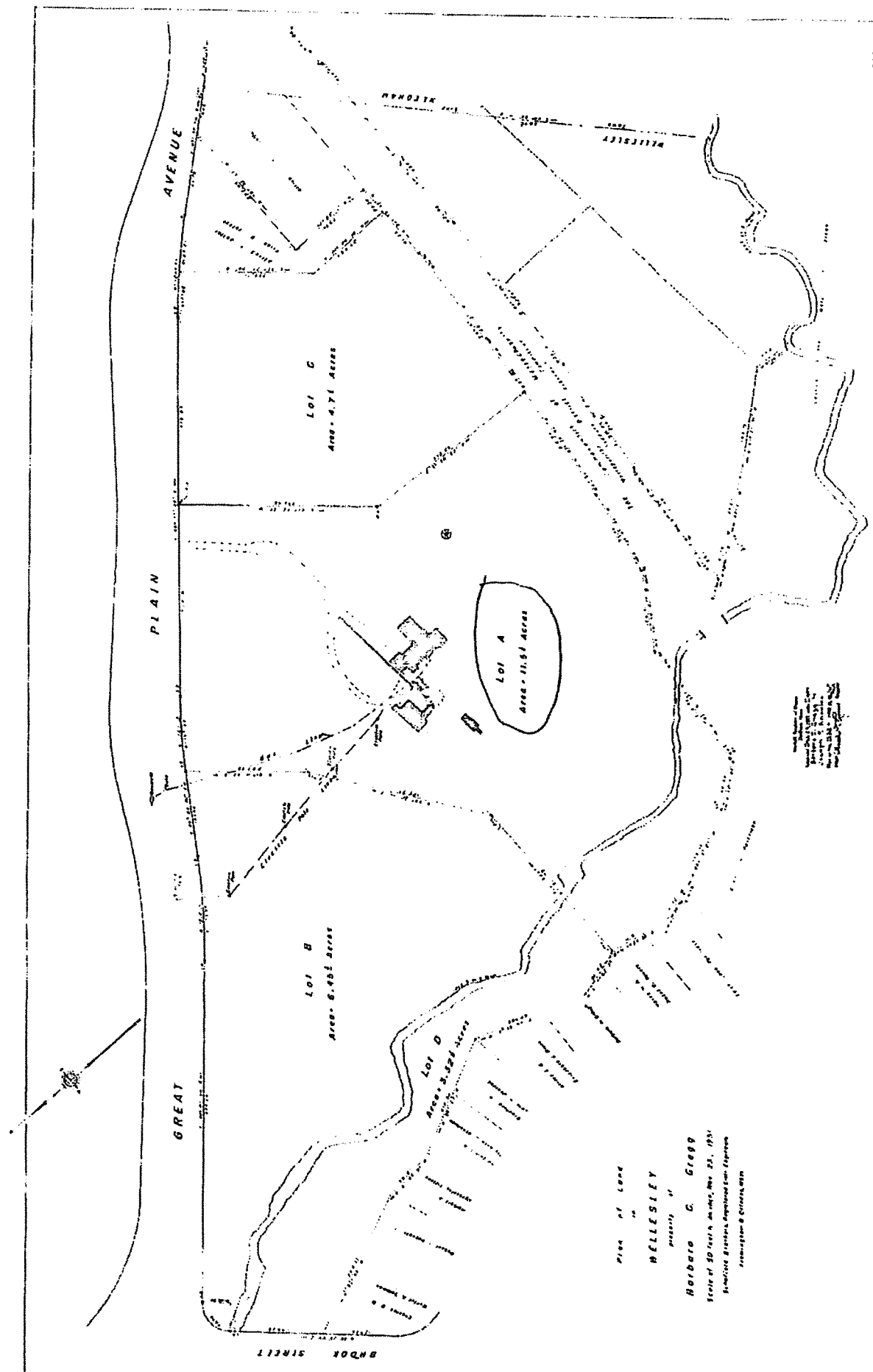
Before me, the undersigned notary public, on this 12th day of December, 2014, personally appeared G. Lawrence Langford who is personally known to me or was proved to me through a current document issued by a federal or state government agency bearing a photographic image of the signatory's face and signature, to be the person whose name is signed to the foregoing instrument and acknowledged to me that he signed it as his free act and deed for its stated purpose.



[notary seal]



ADDRESS OF PREMISES: 135 Great Plain Avenue, Wellesley, Massachusetts



Norfolk Registry of Deeds
Dedham, Mass.
Received Aug 24, 19 95
With Affid
Robert A. Morvillo
to Affidavit
Filed as No. 543 19 95
Pl. Bk. 432
Attest: [Signature]
Register

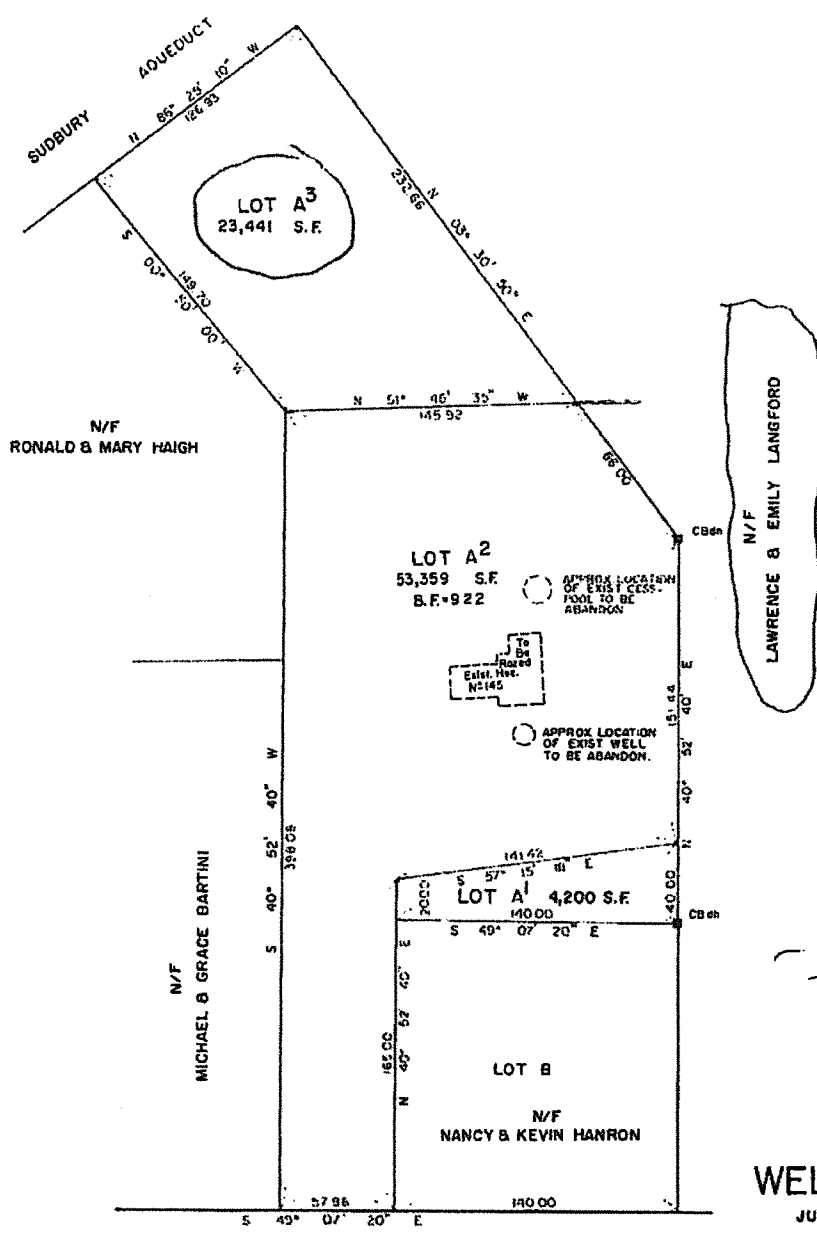
APPROVAL UNDER THE SUBDIVISION
CONTROL LAW NOT REQUIRED
WELLESLEY PLANNING BOARD
[Signature]
[Signature]
PSC-95-7
DATE 7/20/95

I CERTIFY THAT THIS PLAN WAS
MADE IN ACCORDANCE WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS
[Signature]

ZONING DISTRICT - SR 20,000
EXIST. BULD FACTOR - 7.11

NOTE: LOTS A¹ & A³ ARE NOT SEPARATE
BUILDING LOTS
LOT A¹ TO BE COMBINED WITH
LAND OF KEVIN & NANCY HANRON
LOT A³ TO BE COMBINED WITH
LAND OF LAWRENCE & EMILY
LANGFORD.

RECORD OWNER:
ROBERT A & CATERINA C MORVILLO



PLAN OF LAND
IN
WELLESLEY, MASS.
JUNE 28, 1995 SCALE 1" = 40'
NEEDHAM SURVEY ASSOCIATES, INC.
281 CHESTNUT STREET
NEEDHAM, MASS.





 EQUAL HOUSING LENDER MEMBER FDIC MEMBER DIF

July 10, 2017

Manager, Comprehensive Permit Program
Massachusetts Housing Finance Agency
One Beacon Street
Boston, MA 02108

Re: The Residences at Fieldstone
135 Great Plain Avenue
Wellesley, MA 02482
40B Project

This Letter of Interest does not constitute an offer, agreement or other commitment to lend. It is subject to satisfactory completion of due diligence, credit committee approval and such other terms and conditions as determined by Middlesex Savings Bank.

Dear Sirs,


Northland Residential Corporation has been customers of Middlesex Savings Bank for over 16 years. In that period of time the bank has financed many residential construction projects ranging from single family construction to multiple unit developments. All obligations to the bank have been handled in a most satisfactory manner.

Middlesex Savings Bank has reviewed the preliminary development plans for the proposed 44 home, 40B Townhome project on 12.05 acres at 135 Great Plain Avenue in Wellesley, Massachusetts to be known as The Residences at Fieldstone. We would be interested in potentially financing the project.

Middlesex Savings Bank is a current FHLBB member bank and would utilize NEF to fund the project.

If I can be of any further assistance please contact me at (978) 344-5065.

Very truly yours,



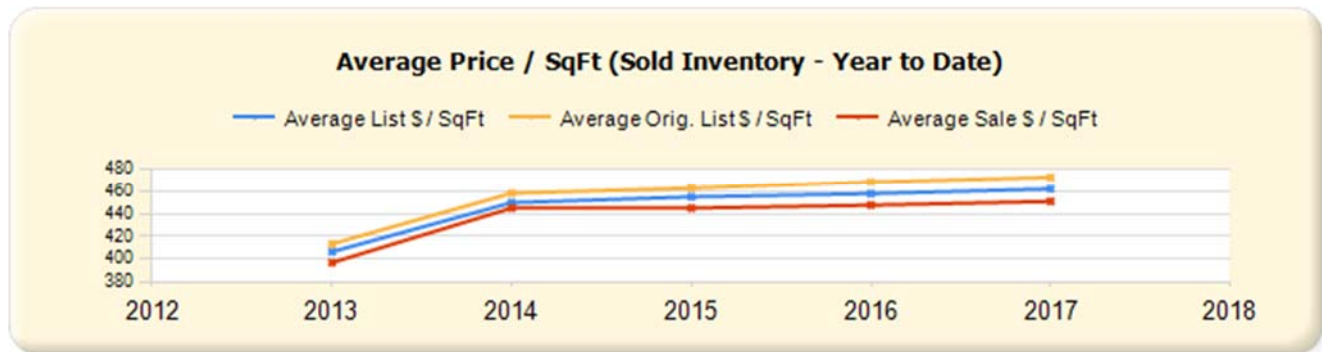
Richard P. Cole
Senior Vice President

Section 5.2 – Market Sale Comparables

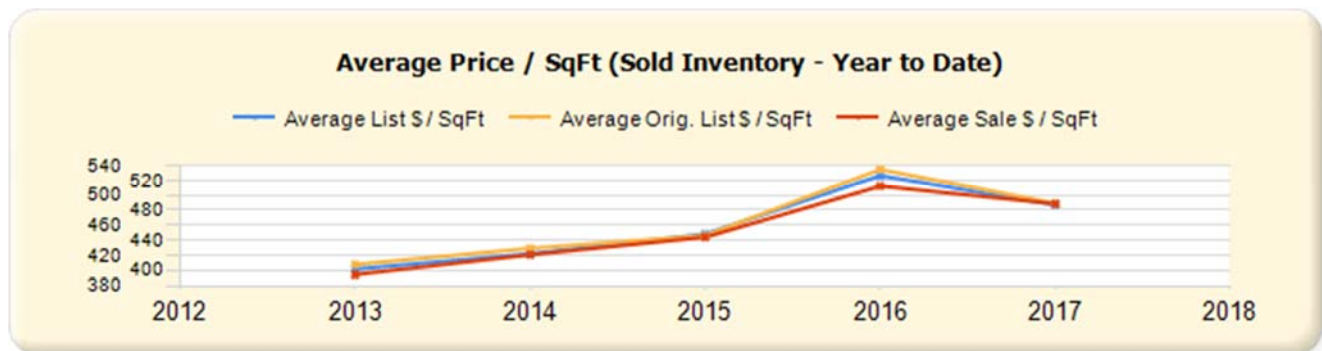
Housing market data for the western suburbs of Boston indicates the residential market to be robust with respect to both pricing and absorption. This is particularly evident in the more desirable communities such as Wellesley. Ideally situated just outside the Route 128 beltway and 14 miles from downtown Boston, Wellesley is recognized as one of the wealthiest suburbs in the metropolitan area with an average household income of \$251,108 and the fifth highest median household income in Massachusetts (\$146,852). The affluence of buyers attracted to Wellesley is readily apparent as shown by the steady upward trends of the data presented below, which summarizes both recent and 5-year absorption and the associated average prices paid for single-family homes and condominiums.

Residences Sold Wellesley, Massachusetts (source: MLS)	# of Single-Family Houses	Average Price	# of Condominiums	Average Price
Total Sold Units (past 6 months)	215	\$1,513,841	20	\$884,493
Total Sold Units (past 12 months)	371	\$1,538,096	33	\$972,859

Single Family Homes (source: MLS)



Condominiums (source: MLS)



New Condominium Sales located in Wellesley, MA



Belclare (Wellesley): Located in Wellesley Square, Belclare is a new mixed-use building with first floor retail space and 25 luxury residential units located on the floors above. It offers garage parking, a garden courtyard and concierge service. When these “to be built” condominium residences were released for sale in 2014, individuals who had registered on a “wait list” (established in 2008) were given first preference. In just three months, 22 reservations were secured for units priced from \$1,400,000 - \$3,000,000 (average price \$2,000,000). The sizes of these condominiums range from 1,500 - 3,000 sq. ft. There has been one re-sale to date. Unit # 206 originally sold for \$2,138,250 in November of 2015. Just a year later, this same unit sold for \$2,500,000. The introduction of Belclare to the marketplace and the subsequent response is considered to be a significant bellwether of the appetite for luxury condominiums in Wellesley. Note that over half of the condominiums at Belclare sold for prices in excess of \$1,000/sq. ft. – comparable to sales in downtown Boston.

Belclare Sales Data 2015-2017

			\$2 to \$3 million		
			>\$3 million		
Address	Style	Sales Date	Sq. Ft.	Price	PSF
576 Washington Street-201	Condo-Mid Rise	11/9/2015	1,874	\$1,725,000	\$920
576 Washington Street-103	Condo-Mid Rise	11/10/2015	2,581	\$2,415,980	\$936
576 Washington Street-202	Condo-Mid Rise	11/10/2015	1,859	\$1,577,925	\$849
576 Washington Street-104	Condo-Mid Rise	11/12/2015	1,800	\$1,975,000	\$1,097
576 Washington Street-101	Condo-Mid Rise	11/13/2015	1,918	\$1,820,355	\$949
576 Washington Street-203	Condo-Mid Rise	11/13/2015	1,835	\$1,921,520	\$1,047
576 Washington Street-204	Condo-Mid Rise	11/13/2015	1,935	\$1,945,670	\$1,006
576 Washington Street-303	Condo-Mid Rise	11/16/2015	1,832	\$1,748,605	\$954
576 Washington Street-206	Condo-Mid Rise	11/18/2015	2,250	\$2,138,250	\$950
576 Washington Street-205	Condo-Mid Rise	11/19/2015	2,537	\$2,376,885	\$937
576 Washington Street-302	Condo-Mid Rise	11/20/2015	1,859	\$1,900,000	\$1,022
576 Washington Street-305	Condo-Mid Rise	11/20/2015	2,534	\$2,409,420	\$951
576 Washington Street-304	Condo-Mid Rise	11/23/2015	1,937	\$2,100,000	\$1,084
576 Washington Street-208	Condo-Mid Rise	11/24/2015	1,667	\$1,475,000	\$885
576 Washington Street-307	Condo-Mid Rise	12/21/2015	3,054	\$2,775,000	\$909
576 Washington Street-405	Condo-Mid Rise	12/22/2015	2,919	\$3,025,502	\$1,036
576 Washington Street-401	Condo-Mid Rise	12/23/2015	1,850	\$1,977,425	\$1,069
576 Washington Street-404	Condo-Mid Rise	12/23/2015	1,938	\$2,048,146	\$1,057
576 Washington Street-406	Condo-Mid Rise	12/30/2015	2,357	\$2,624,440	\$1,113
580 Washington Street-207	Condo-Mid Rise	1/6/2016	1,536	\$1,443,940	\$940
580 Washington Street-403	Condo-Mid Rise	1/19/2016	1,834	\$2,012,890	\$1,098
580 Washington Street-402	Condo-Mid Rise	1/20/2016	1,846	\$2,103,925	\$1,140
580 Washington Street-306	Condo-Mid Rise	4/15/2016	2,251	\$2,200,000	\$977
580 Washington Street-301	Condo-Mid Rise	4/29/2016	1,872	\$1,975,000	\$1,055
580 Washington Street-102	Condo-Mid Rise	5/6/2016	1,775	\$1,850,000	\$1,042
576 Washington Street-206	Condo-Mid Rise	11/29/2016	2,221	\$2,500,000	\$1,126

Belclare Sales Summary

Year	# of Sales	Average	Av PSF
2015	19	\$2,104,217	\$986
2016	6	\$1,930,959	\$1,056



Pleasant Ridge (Wellesley): With Roche Brothers grocery store, a diverse variety of retail shops and restaurants, as well as the commuter rail station, Linden Square represents a very attractive and convenient location to live. Pleasant Ridge is a private enclave of six attached townhomes located within walking distance to Linden Square. These 3-bedroom units (with MBR on 2nd floor) were listed in MLS in January of 2016 and all were Under Agreement within 3 months. There has been one re-sale – Unit #2 at 24 Pleasant Street originally

transacted for \$1,300,000 in February of 2017 and was subsequently re-sold for \$1,509,000 in July. This exceptional pace of absorption has fueled the development firm, Capital Group Properties, to acquire more land in this neighborhood. Currently, they have listed the first of two units in a duplex at 11 Hollis Street. This 2,885 sq. ft. plan features a first floor master suite, two additional second floor bedrooms and 2.5 baths and is being offered at \$1,749,000.

Pleasant Ridge Sales Data 2016-2017

Address	Style	Sales Date	Sq. Ft.	Price	PSF
22 Pleasant Street-#3	Attached Townhome	10/12/2016	2,397	\$1,300,000	\$542
22 Pleasant Street-#1	Attached Townhome	10/19/2016	2,446	\$1,275,000	\$521
24 Pleasant Street-#3	Attached Townhome	1/5/2017	2,397	\$1,360,000	\$567
24 Pleasant Street-#1	Attached Townhome	1/18/2017	2,446	\$1,400,000	\$572
24 Pleasant Street-#2	Attached Townhome	2/17/2017	2,437	\$1,300,000	\$533
24 Pleasant Street-#2	Attached Townhome	7/20/2017	2,833	\$1,509,000	\$533



The Heights (Wellesley): The Heights consists of three duplex townhomes served by a common driveway. This 6-unit enclave is also within walking distance of Linden Square. The units feature 3 to 4 bedrooms (all with 2nd floor master suites), 3.5 baths and 500 sq. ft. of finished space on the lower level. All are presently under agreement and slated to close by September 30th of this year. The average list price is \$1,320,000.

The Heights Sales Data-2017

Address	Style	Sales Date	Sq. Ft.	List Price	PSF
11 Curve Street, #3	Attached Townhome	9/29/2017	3,275	\$1,375,000	\$420
9 Curve Street, #9	Attached Townhome	9/29/2017	3,275	\$1,400,000	\$600
1 Curve Street, #2	Attached Townhome	8/30/2017	3,024	\$1,325,000	\$438
3 Curve Street, #2	Attached Townhome	9/29/2017	2,842	\$1,300,000	\$457
7 Curve Street, #1	Attached Townhome	9/29/2017	2,489	\$1,275,000	\$512
5 Curve Street, #1	Attached Townhome	8/30/2017	2,489	\$1,250,000	\$502

Miscellaneous Wellesley Condominium Sales >\$1,000,000 (2015-2017)

A snapshot of the current market conditions indicates that in addition to the 25 units at Belclare, the 6 units at Pleasant Street, and the 6 units at The Heights, since 2015 there were 6 other condominium sales in Wellesley that exceeded \$1,000,000. These six sales, noted in the table below, averaged a total of 99 days on the market and an average of 55 days to an Offer.



75 Grove Street, Wellesley, MA

Grove Street (Wellesley): Of the 6 sales, 2 were at Grove Street, a location within walking distance to Wellesley Square. The complex, built between 1973 and 1974, is somewhat dated, but re-sales consistently command aggressive pricing. The community consists of low and mid-rise brick buildings with deeded garage parking under the buildings. Amenities include 24-hour security, Club Room and heated pool. Worthy of note is that 75 Grove Street was listed for \$885,000, went under agreement in 6 days and subsequently sold for \$1,025,000.



128 Walnut Street, Wellesley, MA

Walnut Street (Wellesley): 128 Walnut Street is sited overlooking woodlands and although not near Wellesley Square, it is in a convenient location near Route 128. The original home on the lot was torn down to build a duplex townhouse condominium. The first unit was under agreement 16 days after being listed and sold for \$1,303,000. The second is currently under agreement.

Oak Street (Wellesley): 33 Oak Street (Unit #1) is a 3-bedroom, 2.5 bath townhome, built in 2003 and is within walking distance to Linden Square. The 2,300 sq. ft. condominium sold for \$1,025,000.

Westerly (Wellesley): 20 Westerly (Unit A) is a newly built townhome, also in the Linden Square area. This 4-bedroom townhome sold for \$1,360,000 in July. The adjoining unit (Unit B) was listed for \$1,399,000 and is under agreement and scheduled to close in September.



20 Westerly Street, Wellesley, MA



40 Seaver Street, Wellesley, MA

Seaver Street (Wellesley): 40 Seaver Street (Unit #9) is in the Kingsbury School Condominium building, which was converted into 10 units in 1983. The building is serviced by an elevator and features common area patios, a roof deck and detached garages. According to the listing information, this 3-bedroom second floor unit was renovated in 2016. The list price for the 2,004 sq. ft. unit is \$1,175,000.

Hollis Street (Wellesley): As previously indicated, 11 Hollis Street is in the Linden Square neighborhood and being developed by Capital Group Partners. It is a 2,885 sq. ft. attached townhouse that is listed for \$1,749,000.

Wellesley Condominium Re-sale Data 2015-2017

Address	Product	Sales Date	SF	Price	PSF
128 Walnut Street - #128	Attached Townhome Duplex	4/14/2015	3,300	\$1,303,000	\$395
75 Grove Street - #422	Garden-Mid rise	7/2/2015	1,564	\$1,025,000	\$655
85 Grove Street - #410	Garden-Low rise	9/30/2016	3,114	\$1,460,000	\$469
33 Oak Street - #1	Attached Townhouse	5/25/2016	2,300	\$1,025,000	\$446
20 Westerly – Unit A	Attached Townhouse	7/7/2017	4,516	\$1,360,000	\$301
63 Garden Road	Garden Level	7/19/2017	2,342	\$1,195,000	\$510
20 Westerly – Unit B	Attached Townhouse	UAG	3,500	\$1,399,000	
40 Seaver Street - #9	Garden-Low rise	UAG	2,004	\$1,175,000	
11 Hollis Street - #1	Attached Townhouse	ACT	2,885	\$1,749,000	

Due to the limited number of larger scale condominium developments in the Town of Wellesley, we have considered sales data from other condominium communities in nearby comparable towns.

Highland Meadows (Weston): Highland Meadows is an age-restricted (55+) condominium community located on a 44-acre site, just off of Route 20. The award-winning community is comprised of freestanding homes and attached townhouses, all with 1st floor master suites. The floor plans range from 1,600 sq. ft. single level attached units to 5,500 sq. ft. freestanding homes. Highland Meadows offers lush landscaping, a community Meeting House, tennis courts and a fitness center and has consistently attracted affluent buyers throughout MetroWest, but in particular Weston and Wellesley. Permitted in 2004, the first closings took place in 2008. Since that time, there have been 69 closings at an average price point of \$2,065,335 and an average living area of 3,068 sq. ft. There is only one newly built home remaining at Highland Meadows – 17 Pine Summit Circle, which is listed for \$3,650,000.



Highland Meadows Meeting House

Highland Meadows Sales Data 2015-2017

Address	Product Type	Sales Date	Sq. Ft.	Price	Price/SF
6 Ridgehurst Circle	Freestanding	1/30/2015	3,235	\$2,000,000	\$618
29 Pine Summit Circle	Freestanding	2/17/2015	3,219	\$2,875,000	\$893
3 Fox Meadow Circle	Freestanding	7/29/2015	3,449	\$2,200,000	\$638
6 Somerset Place	Freestanding	10/6/2015	3,518	\$2,406,931	\$684
2 Fox Meadow Circle	Freestanding	11/2/2015	3,720	\$2,806,681	\$754
19 Pine Summit Circle	Freestanding	3/8/2016	3,657	\$4,005,225	\$1,095
2 Nolte Circle	Townhome	3/13/2016	2,643	\$1,505,000	\$569
4 Fox Meadow Circle	Freestanding	4/5/2016	2,169	\$2,120,681	\$978
11 Pine Summit Circle	Freestanding	5/27/2016	3,015	\$3,401,834	\$1,128
9 Pine Summit Circle	Freestanding	6/10/2016	3,414	\$3,157,012	\$925
8 Cutting Lane	Freestanding	6/22/2016	2,500	\$1,895,000	\$758
5 Pine Summit Circle	Freestanding	9/12/2016	3,657	\$3,200,000	\$875
7 Pine Summit Circle	Freestanding	8/4/2016	3,219	\$4,303,333	\$1,337
32 Highland Meadows Lane	Freestanding	10/19/2016	3,294	\$1,670,000	\$507
1 Fox Meadow Circle	Freestanding	10/18/2016	3,518	\$2,463,198	\$700
15 Pine Summit Circle	Freestanding	10/3/2016	4,093	\$4,291,402	\$1,173
25 Pine Summit Circle	Freestanding	12/19/2016	5,592	\$4,795,000	\$857
8 Fox Meadow Circle	Townhome	3/10/2017	2,803	\$1,175,000	\$419
2 Cutting Lane	Townhome	5/24/2017	3,420	\$1,925,000	\$563
14 Somerset Place	Freestanding	6/15/2017	4,515	\$2,625,000	\$581
21 Pine Summit Circle	Freestanding	7/20/2017	3,338	\$2,600,000	\$779
4 Cutting Lane	Freestanding	7/20/2017	2,891	\$1,700,000	\$588

Year	# of Sales	AVG Sales \$	AV PSF
2015	5	\$2,457,722	\$717
2016	12	\$3,067,307	\$903
2017	5	\$2,005,000	\$591
	22	\$2,687,332	\$790



The Woodlands at Belmont Hill (Belmont): The Woodlands at Belmont Hill is a 121-unit condominium community developed by the Applicant, Northland Residential, is located on the campus of McLean Hospital in Belmont. Phase I of the development (59 units) was launched in 2005 and was very well received by the market. In 2009, Phase II was launched. Phase II consists of 62 units (56 attached townhomes, one free-standing historic brick cottage and five “flats” located in the renovated historic brick mansion. Sales prices for new townhomes in Phase II averaged \$1,155,926 and ranged from \$823,000 to \$1,547,078. These two and three bedroom units (2,200 sq. ft. – 2,780 sq. ft.) feature 1st floor master bedroom suites, attached 2-car garages, decks and high-end finishes. Northland conveyed the final townhouse in March of 2014. A snapshot of recent re-sale activity reflects that 13 units have been sold from March of 2016 to date.

The Woodlands at Belmont Hill Re-sale Data 2016-2017

Address	Product	Sales Date	Sq. Ft.	Price	Price/SF
9 Summit Road	Attached Townhome	3/7/2016	2,715	\$1,230,000	\$453
8 South Cottage Road	Attached Townhome	3/29/2016	2,857	\$1,320,000	\$462
55 South Cottage	Attached Townhome	5/17/2016	2,800	\$1,240,000	\$443
10 Bayberry Lane	Attached Townhome	6/15/2016	3,582	\$1,375,000	\$384
46 Summit Road	Attached Townhome	6/16/2016	3,635	\$1,260,000	\$347
10 South Cottage	Attached Townhome	8/25/2016	2,779	\$1,283,000	\$462
2 South Cottage	Attached Townhome	10/7/2016	3,904	\$1,440,000	\$369
58 Summit Road	Attached Townhome	12/9/2016	2,880	\$1,140,000	\$396
71 South Cottage	Attached Townhome	12/15/2016	3,974	\$1,427,000	\$359
20 South Cottage Road	Garden-style	1/31/2017	1,810	\$1,450,000	\$801
29 South Cottage Road	Attached Townhome	5/9/2017	3,026	\$1,385,000	\$458
15 South Cottage Road	Attached Townhome	7/26/2017	2,979	\$1,370,000	\$460
67 South Cottage Road	Attached Townhome	8/9/2017	2,457	\$1,285,000	\$523

Year	# of Sales	Average	Av PSF
2016	9	\$1,301,666	\$402
2017	4	\$1,316,250	\$535

The Law Office of David J. Himmelberger

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Attorney David Himmelberger practices law locally in Wellesley, MA. A former two-term member of the Town of Wellesley's Board of Selectmen and current Town Meeting Member, Attorney Himmelberger has an extensive land use and zoning practice, appearing regularly before the Zoning Board of Appeals, Planning Board, and Board of Selectmen on behalf of individual and corporate clients.

Experience:

Law Office of David J. Himmelberger, Wellesley, Massachusetts Sole Practitioner concentrating in Real Estate Conveyancing, Estate Planning and Administration, Civil Litigation.	2000-Present
Sullivan, Sullivan & Himmelberger, LLP, Wellesley, Massachusetts Partnership specializing in Civil Litigation, Estate Planning, and Criminal Defense.	1999-2000
Law Office of F.J. McDonald, Boston, Massachusetts Staff Counsel to major property casualty insurer handling insurance defense matters.	1996-1999
Geary, Weafer & Garretson, Quincy, Massachusetts Staff Counsel to major property casualty insurer handling insurance defense matters.	1993-1996
Pasternak, Blankstein & Lund, Boston, Massachusetts Responsible for defense of professional malpractice claims.	1991-1993
Morrison, Mahoney & Miller, Boston, Massachusetts Responsible for representation of insurers in first party litigation.	1989-1991
Brooklyn District Attorney's Office, Brooklyn, New York Assistant District Attorney responsible for prosecutions including Homicide and Sex Crimes Bureaus.	1982-1989

Admitted to Practice in Massachusetts, New York, Rhode Island, and the Federal Court of Massachusetts

Professional Organizations:

Real Estate Bar Association for Massachusetts National Academy of Elder Law Attorneys Licensed Real Estate Broker, Massachusetts

Education:

Boston College Law School, J.D.	1982
University of Massachusetts, Amherst, B.A., cum laude	1977

Personal:

Married, father of two children. Town Meeting Member, Town of Wellesley

Goulston & Storrs, P.C.

400 Atlantic Avenue
Boston, MA 02110-3333
(617) 482-1776

Qualifications

Goulston & Storrs' work includes permitting in essentially every community in Massachusetts as well as innumerable projects in downtown Boston. In recent years, we have permitted over 30,000 units of housing in Massachusetts (including thousands of affordable units for a range of for-profit and nonprofit clients as Chapter 40B projects). The firm has the Commonwealth's leading practice for large Chapter 40B development. Our 40B experience includes a broad array of projects across the Commonwealth, with local experience on projects including those in Acton, Andover, Bedford, Billerica, Braintree, Brookline, Canton, Cohasset, Concord, Danvers, Dedham, Falmouth, Foxborough, Framingham, Haverhill, Hingham, Hopkinton, Lexington, Lynnfield, Mansfield, Marlborough, Marshfield, Maynard, Natick, Needham, Newton, Norwood, Peabody, Pembroke, Randolph, Sharon, Sherborn, Shrewsbury, Southborough, Stoughton, Sudbury, Tewksbury, Wayland, Westborough, Westford, Weymouth, Wilmington, Woburn and Yarmouth. In addition to 40B projects, Goulston & Storrs has worked on numerous mixed income projects, where affordable units are included under inclusionary zoning and other government programs.

In addition to permitting work on 40B projects, Goulston & Storrs has unique depth and breadth in litigating – and in avoiding litigation – over the issues that arise in development under Chapter 40B. We have extensive experience litigating on behalf of 40B developers at all levels including numerous cases at the Housing Appeals Committee, Superior Court and Land Court, Appeals Court and Supreme Judicial Court.



Northland[®]
Residential
Corporation



CORPORATE OVERVIEW



Woodmere at Brush Hill
Milton, MA

A Distinguished Legacy in Real Estate



At its inception nearly 46 years ago, Northland Residential adopted the Compass Rose as our signature icon. Known for providing guidance and direction, this symbol remains a strong representation of Northland's path – a steadfast commitment to the real estate principle of "highest and best use."

Recognized for its dedication to the environment, Northland Residential Corporation is a privately owned company which has become one of New England's premier developers of extraordinary real estate. Northland's diverse portfolio is comprised of oceanfront and lakefront developments, golf course communities, historic properties, private homes, vacation homes, and condominium communities.

For nearly 46 years, Northland has maintained a strong focus in the New England area. Our thorough knowledge and understanding of buyer demographics, economic conditions and trends in residential development are all important factors greatly influencing the quality of our work. In many of our projects, we work closely with conservation groups, municipalities and state environmental agencies to maintain extensive open space and protected conservation land.

NORTHLAND AT A GLANCE

- Award-winning privately owned residential developer headquartered in Concord, Massachusetts
- Nationally recognized developer of luxury properties throughout New England
- Named Builder of the Year by the Builders Association of Greater Boston

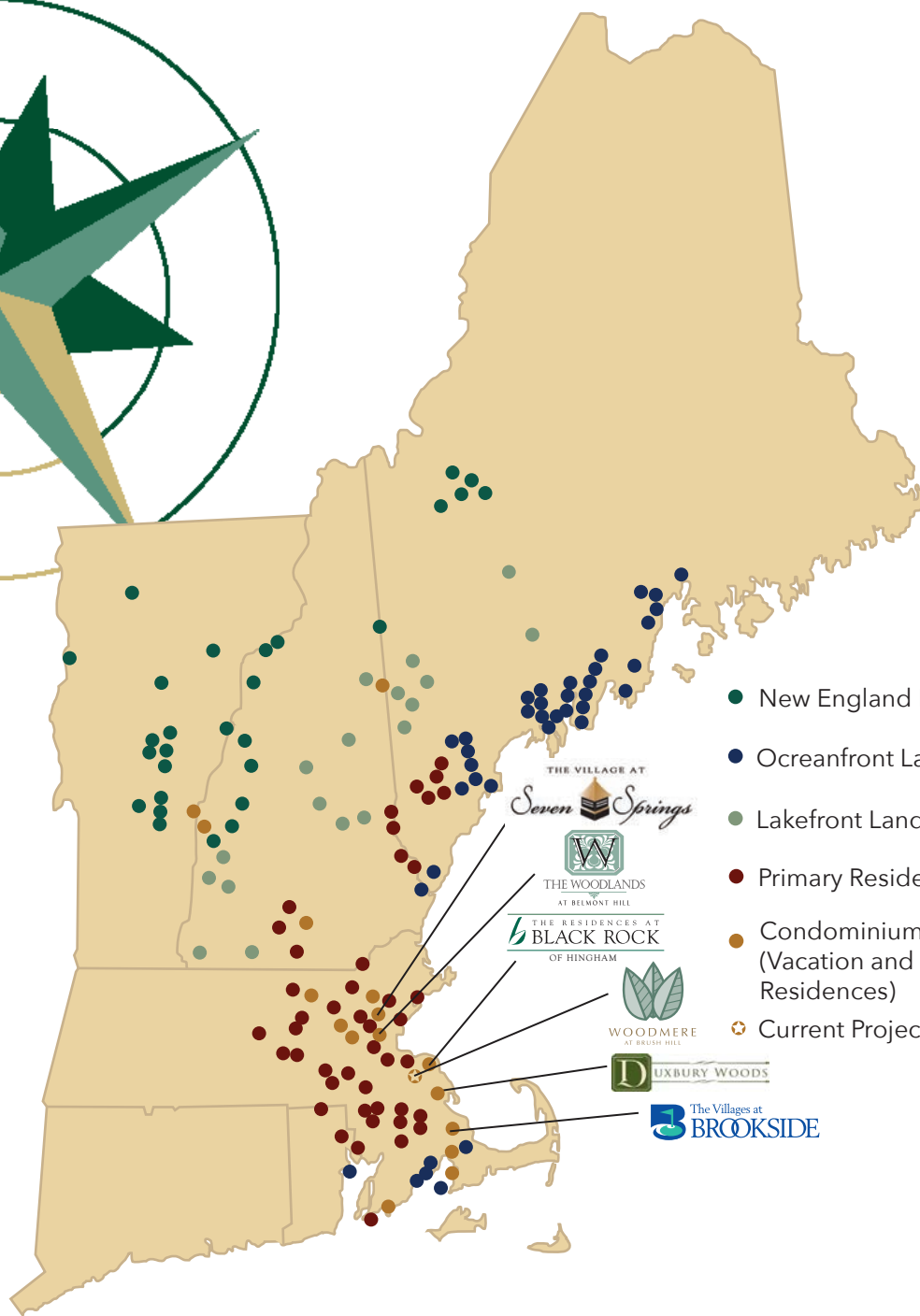


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www.northlandresidential.com

NORTHLAND IS NEW ENGLAND



- New England Farmland
- Oceanfront Land and Homes
- Lakefront Land and Homes
- Primary Residential Housing
- Condominiums (Vacation and Primary Residences)
- ★ Current Projects



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CORPORATE OFFICERS



The Residences at Black Rock
Hingham, MA

John C. Dawley

President and Chief Executive Officer

Mr. Dawley has been associated with Northland since 1985. As a principal of Northland Residential Corporation, he was named vice president in 1995. He holds a Master of Science degree in Real Estate from Massachusetts Institute of Technology. His experience in residential construction and project management has been celebrated throughout his tenure with Northland. Due to his remarkable forecasting abilities with trends in residential development, he is consistently credited with identifying winning acquisitions.

Richard A. Thomas

Vice President, Chief Financial Officer, and Treasurer

Mr. Thomas is a Certified Public Accountant and has provided services to clients in the real estate industry since 1983. He has been associated with Northland since 1986 as an outside auditor and joined the company in 1997. As Chief Financial Officer and Treasurer, and a principal of Northland Residential Corporation, he is responsible for all accounting matters, financial reporting, tax compliance, human resources, and managing banking and investor relations.

Peter D. Crabtree

Vice President, Director of Acquisitions & Development

Mr. Crabtree has more than 20 years of experience in the real estate industry with a wide range of accomplishments. His deep interest in the field led him to Massachusetts Institute of Technology, where, he attained his Master's Degree in Real Estate Development. Since joining Northland in 2001, Peter's responsibilities include identifying acquisition opportunities, financial and market analysis, due diligence, permitting, project management, and fee-for-service consulting activities.

Elaine F. Leonard

Vice President, Director of Sales and Marketing

Recognized for her accomplished track record in high-end residential sales and marketing, Ms. Leonard joined Northland in 2006. Her background includes a professional association with American Real Estate Partners and founding a successful entrepreneurial venture, a full-service marketing firm servicing the needs of large-scale residential developers. As V.P. of Sales and Marketing at Northland, she is responsible for orchestrating all of Northland's on-site sales and marketing operations and managing the company's sales personnel.



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BOARD OF DIRECTORS



The Village at Seven Springs
Burlington, MA

Throughout our company's history, one of the cornerstones of our success has been our distinguished Board of Directors. These individuals have shaped the growth of our firm, and their collective business acumen, depth of experience, and fundamental integrity serve to further solidify our legacy as one of New England's foremost developers of exceptional residential real estate.

Jack Dawley

Chairman of the Board
President & CEO, Northland Residential Corporation
Concord, Massachusetts

Richard Thomas

CFO, Northland Residential Corporation
Concord, Massachusetts

Frank M. Stewart

Former CEO, Northland Residential Corporation
Gloucester, Massachusetts

Robert Danziger

President and CEO Emeritus
Northland Investment Corporation
Newton, Massachusetts

Peter A. Bailey

International Director
Jones Lang LaSalle
Boston, Massachusetts
Former Chief Financing Officer
Spaulding & Slye Colliers

James P. Kelleher

Chief Investment Officer
New Boston Fund
Boston, Massachusetts

Patrick Callahan

President
Callahan Construction, Inc.
Bridgewater, Massachusetts



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Residential
Corporation

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INDUSTRY PARTNERS AND TESTIMONIALS

The Residences at Black Rock
Hingham, Massachusetts



Northland has developed strong working relationships with financial institutions and leaders

- Grazado Velleco Architects
- BSB Design
- CBT Architects
- Marcus, Errico, Emmer & Brooks, PC
- Leggat McCall Properties
- New Boston Fund
- Cape Cod 5
- Middlesex Savings Bank
- Eastern Bank
- Wells Fargo
- Roomscapes
- Ryan Associates
- Boston Private Bank & Trust
- Webster Bank
- Rogers and Gray Insurance Company
- The Dartmouth Group
- Stantec
- National Lumber
- Cape and Islands Kitchens
- J.J. O'Brien & Sons
- Kitchen Associates
- Morr Interiors
- Design East
- Setting the Space

"The hallmark of Northland's business success has been its strength and stability, regardless of the economic climate. Perhaps the best evidence of this is that it not only locates and develops prime development sites on its own, but is also sought out by other developers, institutional lenders, and marketing consultants in order to rescue troubled projects."

V. Douglas Errico
Marcus, Errico, Emmer & Brooks, P.C.

"The Northland name has been known as a responsible developer of New England properties for over a quarter century. In addition to providing construction financing, we have also provided mortgage loans for their buyers. This experience has given us the opportunity to hear first-hand the admiration of their customers for not only the quality of the end product, but also for the respectful nature of the customer relationship."

R. Bruce Hammatt, Jr.
Cape Cod 5 Savings Bank

"Northland has approached all of their projects with a professional attitude. Through the years, with the extremes that our industry endures, Northland kept its focus on creating quality housing in a gentlemanly manner. The principals have brought together a very talented and dedicated team to provide in-house development, construction and sales functions. This integrated approach has allowed Northland to be a builder that can act quickly when an opportunity warrants, to respond to customer input during construction, and to stay flexible during challenging economic times."

James A. Velleco, AIA



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Web: www.northlandresidential.com

ADVISORY SERVICES

Northland Residential Corporation is recognized as New England's pre-eminent developer of extraordinary residential real estate. We are well-positioned to serve as advisors to a select clientele who will benefit from the breadth of our experience, expertise, and resources. Our reputation is that of a firm which delivers exceptional service, sound advice, and solid professional leadership. Each consulting assignment is managed by a senior member of the firm, who expertly pilots the project through to successful completion.

In addition to our staff's broad range of expertise, we have access to a vast network of industry experts. Over the course of the past four decades, we have cultivated relationships with conservation groups, municipalities, family estates, attorneys, planning boards, review committees, historical commissions, regulatory entities, and financial institutions. Our advisory services are offered in a menu format, allowing us to create customized programs specifically tailored to each client's goals and timelines.

- Project Feasibility Analysis
- Project and Construction Management
- Debt and Equity Financing Coordination
- New Profit Center Development
- Land planning
- Permitting Coordination
- Green Building and Sustainability
- Brokerage
- Real Estate Marketing
- Design Center Operations
- Sales and Marketing



We have provided advisory services to a distinguished group of organizations, including:

A.D. Makepeace	Leggatt McCall Properties
Archdiocese of Boston	National Development
Benfield Family Trust	Nelson Kinder Mosseau & Saturley, PC
Boise Cascade	New Boston Fund
Boston University	New Bridge on the Charles
Cedemere Ventures	Peoples Heritage Bank
Charles Green Estate	Smith Family Trust
Choate Hall & Stewart, LLP	Sudbury Valley Trustees
Curvey Family Trust	The Grossman Companies
Dahl Properties	The Meridian Group
Dartmouth College Real Estate Office	The Paine Trust
E.M. Loew Estate	The Residences at Black Rock
Greater Boston YMCA	Trust for Public Lands
Hebrew Senior Life	U.S. Trust Company
ING/Clarion	
James River Corporation	



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NATIONAL AND REGIONAL AWARDS

NATIONAL ASSOCIATION OF HOME BUILDERS

- 2013 Silver Award for Marketing Manager of the Year – Lorraine DeVaux
- 2013 Best Integration of Nature and Landscape – The Residences at Black Rock
- 2012 Best Architectural Design of a One-of-A-Kind Detached Home – The Residences at Black Rock
- 2012 Best Product Design of a Multi-Family Community – The Villages at Brookside
- 2012 Best Staging of a New Home – The Residences at Black Rock
- 2012 Best Staging of a new Home – The Woodlands at Belmont Hill
- 2012 Professional Builder Magazine Silver Award for Best Community (The Village at Seven Springs)
- 10th Best Building/Development Firm to Work For in the U.S. – Professional Builder Magazine
- 2008 Building W/ Trees Awards of Excellence – NAHB National Green Building Conference (a joint project with the National Arbor Day Foundation). One of only two developers nationally to win this award.

BUILDER/ARCHITECT OF THE MONTH

- The Woodlands at Belmont Hill
- White Cliffs Condominiums
- Stratford Ponds
- The Villages at Brookside

CONSERVATION AWARDS & RECOGNITIONS

- Donation of Fowler's Beach, Long Island, ME – Oceanside Conservation Trust of Casco Bay
- Largest Single Private Conservation Transaction, Carlisle, MA – Carlisle Conservation Foundation
- Master Conservation Plans of Goodnow Farm, Sudbury, MA – Sudbury Valley Trustees & Sudbury Conservation Commission
- 440 Acre Public Open Space Donation at King Ridge, Sutton, NH – Ausbon Sargent Conservation Trust & Sutton Conservation Commission

BUILDERS ASSOCIATION OF GREATER BOSTON

- 2012 Silver and Gold Awards for Best Print Ad (Community) – The Residences at Black Rock and The Villages at Brookside newspaper advertisements
- 2012 Silver Award for Best Historic Renovation – The Carriage House Residences at Belmont Hill
- 2012 Gold Award for Best Single-Family Home (2500 to 4000 sq ft) – custom home at The Residences at Black Rock
- 2012 Silver Award for Best Brochure (Commercial or Residential) – for a brochure for The Woodlands at Belmont Hill
- 2012 Silver Award for Best Multi-Family or Single-Family Reuse/Conversion – The Carriage House Residences at Belmont Hill
- 2012 Silver Award for Best 55+ Community – The Villages at Brookside
- 2012 Gold Award for Project Manager of the Year – Peter Crabtree
- 2011 Builder of the Year
- Best Innovative Land Planning Design – Goodnow Farm
- Best Multi-Family Design under \$250,000 – Stratford Ponds
- Community Service Award – land preservation at King Ridge, NH
- Best Brochure for a Community with an average value over \$300,000 – Owl's Head, Maine
- Best Brochure for a Community with an average value under \$300,000 – Long Island, Maine



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PROJECT SUMMARIES

THE VILLAGE AT SEVEN SPRINGS

Burlington, Massachusetts



The Village at Seven Springs integrates the development of a new residential apartment and condominium community on approximately a 70-acre parcel, formerly used as a sand, gravel and concrete processing plant. Approximately 40 acres of the site was developed into a residential community consisting of 425 residential units (94 condos and 331 apartments [developed by National Development of New England]) arranged in a "New England village style" design. The remaining approximately 30 acres of the site was preserved as open space with a bicycle path, walking trails, wooded areas, and several water features. The Master Plan clusters the proposed apartment and townhouse condo buildings around a landscaped central water amenity located inside a central loop road



SEVEN SPRINGS AT A GLANCE

- Acquisition Date:August 2005
- Total number of Units: 94
- Completion Date: 2013
- Target Market:Active Adults
- Gross Sales:\$48,500,000



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PROJECT SUMMARIES

THE WOODLANDS AT BELMONT HILL

Belmont, Massachusetts



The Upham House



The Carriage House



South Cottage

The Woodlands at Belmont Hill is located in the town of Belmont, Massachusetts, a highly desirable suburb of Boston with accessibility to downtown in just 15 minutes. These elegant townhomes feature exceptional architectural design and craftsmanship. Most units have a first-floor owner's bedroom suite, attached 2-car garage, gourmet kitchen, luxurious living and dining rooms, and private outdoor space.

This community also celebrates the past with the extensive renovation of three historic buildings on site: the South Cottage, the McLean Hospital Horse Stables (Carriage House), and Upham House, transforming each into unique condominiums.

THE WOODLANDS AT A GLANCE

- Acquisition Date:..... March 2005
- Total number of Units: 121
- Completion Date: 2015
- Target Market: Active Adults
- Gross Sales: \$148,000,000



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PROJECT SUMMARIES

THE RESIDENCES AT BLACK ROCK Hingham, Massachusetts



Nestled amongst granite hillsides and pine woods in the heart of historic Hingham, Massachusetts, The Residences at Black Rock evoke the warmth and charm of a classic New England village while providing the contemporary amenities of the finest resort communities. This award-winning community features thoughtfully planned home sites designed to capture the stunning natural features found throughout the championship golf course at the Black Rock Country Club. After two previous developers' unsuccessful attempts at the project, Northland was selected to complete the remaining build-out of 52 homes. These elegant free-standing homes, ranging in size from 2,400 to 3,700 square feet, reflect exceptional architectural design and craftsmanship. Most homes feature a first-floor owner's bedroom suite, attached 2-car garage with optional golf cart bay, gourmet kitchen, luxurious living and dining rooms, private outdoor spaces, and spectacular vista views across the privately owned golf course.

BLACK ROCK AT A GLANCE

- Acquisition Date:..... December 2009
- Total number of Units:138 (52 Units Built by Northland)
- Completion Date: 2016
- Target Market:Active Adults
- Gross Sales:\$70,000,000



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PROJECT SUMMARIES

THE VILLAGES AT BROOKSIDE Bourne, Massachusetts



The Villages at Brookside reflect the seaside characteristics that Cape Cod is so well known for, yet the living space is architecturally distinctive with a warm, welcoming ambiance. The design is targeted for active adults and features a first-floor owner's bedroom suite. A total of 232 townhomes are clustered into several villages to create neighborhoods within the overall community. Careful planning allowed two-thirds of the townhouses to rest along the edges of the fairways capturing the picturesque views. Additional recreational amenities include a pool complex, putting green, and walking trails.

BROOKSIDE AT A GLANCE

- Acquisition Date:April 2003
- Total number of Units:232
- Completion Date: 2017
- Target Market:Active Adults
- Gross Sales: \$102,000,000

Our sales center and model home complex at The Villages at Brookside were the first throughout Massachusetts, New Hampshire and Rhode Island to be recognized by the U.S. Green Building Council with the coveted LEED (Leadership in Energy and Environmental Design) Certification.



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PROJECT SUMMARIES

DUXBURY WOODS

Duxbury, Massachusetts



Duxbury is a quintessential seaside New England town, known for its exceptional town services, pristine shore line and historic architectural character. Prior to the introduction of Duxbury Woods, affluent empty nesters and retirees in the Town had few maintenance free communities to choose from. Duxbury Woods' condominiums were designed by an award-winning architectural firm known for its luxurious waterfront estate homes. Residents embraced these townhomes for their distinctive elevations, expansive light filled floor plans, soaring ceilings and expertly packaged specifications.

DUXBURY WOODS AT A GLANCE

- Acquisition Date: 2013
- Total number of Units: 40
- Completion Date: 2016
- Target Market: Active Adults
- Gross Sales: \$22,000,000



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PROJECT SUMMARIES

WOODMERE AT BRUSH HILL Milton, Massachusetts



Woodmere at Brush Hill offers a unique blend of suburban serenity in an estate setting with its classic architecture, stone walls, and lush landscaping. Located on historic Brush Hill Road on the grounds of a former estate in Milton, Massachusetts, there will be a total of 34 townhomes built as well as two single level condominiums in the renovated Dupee Mansion. Each will incorporate exceptional architectural design and craftsmanship. The Townhomes will feature first-floor owner's bedroom suite, attached 2-car garage, gourmet kitchen, luxurious living and dining rooms, and private outdoor space. The condominiums located in the Dupee Mansion will offer open light-filled living spaces, attached garage parking, and private terraces.

WOODMERE AT A GLANCE

- Acquisition Date:..... 2015
- Total number of Units: 36
- Anticipated Completion Date: 2018
- Target Market: Active Adults
- Projected Gross Sales: \$32,000,000



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Peter L. Tamm



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Fax: (617) 574-7517

Boston
400 Atlantic Avenue
Boston, MA 02110-3333

Overview

Permitting of commercial, residential, industrial and office development projects is the focus of Peter Tamm's practice. As a Director in the firm's Real Estate group, Peter's work frequently involves technical and strategic advice on complex land use, entitlement and regulatory matters.

Representative Experience

- Counsel to major national wholesale club in connection with the acquisition, permitting and development retail centers and distribution facilities.
- Representation of national developer with general permitting and environmental matters for a 3,037 acre planned community development in Plymouth, Massachusetts.
- Representation of national residential development companies in the permitting and development of multifamily housing and mixed-use developments.
- Counsel to Gillette Stadium / New England Patriots' ownership relating to acquisitions, land use, planning, zoning and regulatory matters.
- Counsel to large wholesale data center provider in land use and regulatory matters.
- Assisting landowners and nonprofit organizations in the negotiation and implementation of agricultural, conservation and historic preservation restrictions.
- Representation, on a pro bono basis, of Nuestra Comunidad community development corporation, in connection with leasing, acquisitions and entitlements for various mixed-use urban redevelopment projects.

Practices/Industries

Real Estate
Development/Land Use
Regulatory
Retail, Restaurant &
Consumer

Education

University of Michigan Law
School, J.D., 2002,
Gussin Prize for Trial Work
Boston University, B.A.,
1997, *magna cum laude*

Admissions

Massachusetts

Professional and Community Involvement

- NAIOP, Government Affairs Committee

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- The Trustees of Reservations
- Boston Bar Association

Awards and Recognition

- Massachusetts Super Lawyers Rising Star, 2007-2008

Press Releases

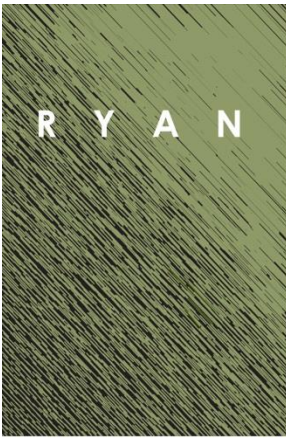
- Goulston & Storrs Promotes Six to Director, April 2015

Blogs

- Trouble in the Village. Community Banks Face New NIMBYism, October 2012

Publications / Mentions

- "Town allows stadium to call an audible," The Foxboro Reporter, December 2013
- Permit Extension Law Was A Help, But Was It Enough?, May 2013



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RYAN ASSOCIATES
LANDSCAPE ARCHITECTURE AND PLANNING

Alan J. Aukeman, ASLA
aaukeman@ryan-assoc.com

Senior Associate
RYAN ASSOCIATES
2005 – Present

RECENT PROJECTS:

Duxbury Woods
Duxbury, MA

Project: 40b townhouse community
Client: Northland Residential
Architect: Grazado Velleco Architects.
Services: Planning, Design and Documentation, and Construction Administration

Transit Oriented Housing
Norwood, Norton, &
Ashland, MA

Project: Upland Woods, East Main, and Cirrus Apartments
Client: Thorndike Development/Campanelli
Architect: Cube 3
Services: Planning, Design and Documentation, and Construction Administration

Dorset Park
Weymouth, MA

Projects: Townhouse development on the site of a former naval air station
Client: Northland Development
Architect: Union Studios
Services: Planning, Design and Documentation, and Construction Administration

The Residences at
Turner Hill
Ipswich, MA

Project: Redesign of golf oriented housing
Client: Silver Oak Management
Architect: Grazado Velleco Architects, Kao Design Group.
Services: Planning, Permitting, Documentation, and Construction Administration

Pondview
Apartments
Gloucester, MA

Projects: Senior housing school conversion
Client: LePage Affordable Housing LLC / The Caleb Foundation
Architect: The Architectural Team
Services: Landscape architecture services

The Coolidge
School
Watertown, MA

Projects: Senior housing school conversion
Client: Mitchell Properties
Architect: The Architectural Team
Services: Landscape architecture services

The Residences at
Black Rock
Hingham, MA

Projects: Residential golf community
Client: Northland Development
Architect: CBT Architects
Services: Landscape architecture and planning services

The Woodlands at
Belmont Hill
Belmont, MA

Projects: Townhouse development on the site of an historic Hospital grounds
Client: Northland Development
Architect: Grazado Velleco Architects
Services: Landscape architecture services

The Villages at Seven Springs Burlington, MA	Projects: Townhouse development on the site of a former industrial site Client: Northland Development Architect: BSB Design Services: Landscape architecture services
<i>The Villages at Brookside Falmouth, MA</i>	<i>Projects: Townhouse gold club development Client: Northland Development Architect: Grazado Velleco Architects Services: Landscape architecture services</i>
Red Mill Village Housing Norton, MA	Projects: Mixed use of retail and housing with public open space Client: Thorndike Development Architect: Devereaux and Associates and Gleysteen Associates Services: Design, contract documentation, and construction administration
<i>Johnston Square and Sharp Leadenhall Apartment Renovations Baltimore, MD</i>	<i>Project: Low Income and Market rate housing renovations Client: The Architectural Team Architect: The Architectural Team Services: Design, contract documentation, and construction administration</i>
Skyview Apartments Apartment Renovations Scranton, PA	Project: Low Income housing renovations Client: The Architectural Team Architect: The Architectural Team Services: Design, contract documentation, and construction administration
13 Elm Newton, MA	Projects: Townhouse infill development Client: A. Bonadio Architect: Helena Eckert Services: Landscape architecture services

PRESENTATIONS / PUBLICATIONS

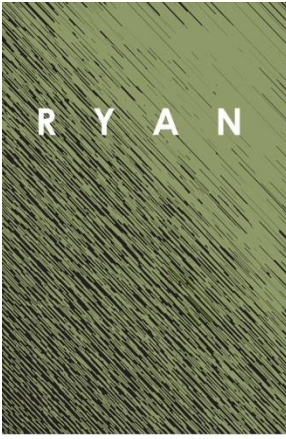
2016	Presenter, <i>Bridging the Design / Construction Divide: Framework and Strategies for Improving Landscape Visions</i> at 2016 ASLA Annual Meeting, New Orleans
2007	"Site Maintenance: Landscape management is essential for operational efficiencies and positive results," <i>Today's Facility Manager</i> . June 2007 with Tom Ryan and Kimberly Turner.

EDUCATION

2002 – 2005	School of Architecture, Master of Landscape Architecture University of Virginia Charlottesville, VA
1995 – 1997	<i>School of Arts and Sciences</i> , Master of Arts, English Michigan State University East Lansing, MI
1991 – 1995	Calvin College, Bachelor of Arts, English Grand Rapids, MI

MASSACHUSETTS REGISTRATION

Registration: # 1577	Since: 2009
American Society of Landscape Architects, Member	Since: 2005



RYAN
ASSOCIATES
LANDSCAPE ARCHITECTURE AND PLANNING

Building 4
144 Moody Street
Waltham, MA 02453
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FX: 781-314-0401

RECENT PROJECTS: HOUSING

Duxbury Woods
Duxbury, MA

Project: 40b townhouse community
Client: Northland Residential
Architect: Grazado Velleco Architects.
Services: Planning, Design and Documentation, and Construction Administration

Boyde's Crossing
Norfolk, MA

Project: Pocket Neighborhood Transit Oriented Design
Client: Powerhead LLC
Architect: BKA Architects
Services: Design, documentation and Construction Phase services

Transit Oriented Housing
Norwood, Norton, &
Ashland, MA

Project: Upland Woods, East Main, and Cirrus Apartments
Client: Thorndike Development/Campanelli
Architect: Cube 3
Services: Planning, Design and Documentation, and Construction Administration

Dorset Park
Weymouth, MA

Projects: Townhouse development on the site of a former naval air station
Client: Northland Development
Architect: Union Studios
Services: Planning, Design and Documentation, and Construction Administration

The Residences at
Turner Hill
Ipswich, MA

Project: Redesign of golf oriented housing
Client: Silver Oak Management
Architect: Grazado Velleco Architects, Kao Design Group.
Services: Planning, Permitting, Documentation, and Construction Administration

Pondview
Apartments
Gloucester, MA

Projects: Senior housing school conversion
Client: LePage Affordable Housing LLC / The Caleb Foundation
Architect: The Architectural Team
Services: Landscape architecture services

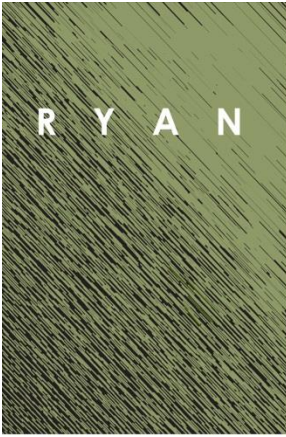
Silk Mill
Pittsfield, MA

Project: Mill renovation for housing
Client: Rees Larkin Development and TAT
Architect: The Architectural Team (TAT)
Services: Design, and permit services

The Coolidge
School
Watertown, MA

Projects: Senior housing school conversion
Client: Mitchell Properties
Architect: The Architectural Team
Services: Landscape architecture services

The Residences at Black Rock <i>Hingham, MA</i>	Projects: Residential golf community Client: Northland Development Architect: CBT Architects Services: Landscape architecture and planning services
The Woodlands at Belmont Hill <i>Belmont, MA</i>	Projects: Townhouse development on the site of an historic Hospital grounds Client: Northland Development Architect: Grazado Velleco Architects Services: Landscape architecture services
The Villages at Seven Springs <i>Burlington, MA</i>	Projects: Townhouse development on the site of a former industrial site Client: Northland Development Architect: BSB Design Services: Landscape architecture services
<i>The Villages at</i> Brookside <i>Falmouth, MA</i>	Project: <i>Townhouse gold club development</i> Client: Northland Development Architect: Grazado Velleco Architects Services: Landscape architecture services
Red Mill Village Housing <i>Norton, MA</i>	Projects: Mixed use of retail and housing with public open space Client: Thorndike Development Architect: Devereaux and Associates and Gleysteen Associates Services: Design, contract documentation, and construction administration
<i>Johnston Square and</i> Sharp Leadenhall Apartment Renovations Baltimore, MD	Project: <i>Low Income and Market rate housing renovations</i> Client: The Architectural Team Architect: The Architectural Team Services: Design, contract documentation, and construction administration
Skyview Apartments Apartment Renovations <i>Scranton, PA</i>	Project: Low Income housing renovations Client: The Architectural Team Architect: The Architectural Team Services: Design, contract documentation, and construction administration
13 Elm Newton, MA	Projects: Townhouse infill development Client: A. Bonadio Architect: Helena Eckert Services: Landscape architecture services
Stonebridge Commons <i>Hanson, MA</i>	Projects: 114 townhouse units, affordable and market rate housing development Client: Mark Ridder Services: Site planning and design



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RYAN ASSOCIATES
LANDSCAPE ARCHITECTURE AND PLANNING

Thomas R. Ryan, FASLA
tryan@ryan-assoc.com

Principal
RYAN ASSOCIATES
1998 – Present

RECENT PROJECTS:

Boyde's Crossing
Norfolk, MA

Project: Pocket Neighborhood Transit Oriented Design
Client: Powerhead LLC
Architect: BKA Architects
Services: Design, documentation and Construction Phase services

Transit Oriented Housing
Norwood, Norton, &
Ashland, MA

Project: Upland Woods, East Main, and Cirrus Apartments
Client: Thorndike Development/Campanelli
Architect: Cube 3
Services: Planning, Design and Documentation, and Construction Administration

Smith College Library
Northampton, MA

Project: Development of a new Library
Client: Smith College
Architect: Shepley Bullfinch
Artist: Maya Lin Studios
Services: Design review, documentation and Construction Phase services

Tower Hill Botanical
Garden
Boylston, MA

Project: Development of Gardens within Reach
Client: Tower Hill Botanical Garden
Services: Design, documentation and Construction Phase services

Partners Healthcare
Somerville, MA

Project: Tech Center and support facilities for healthcare provider
Client: The Office of James Burnett
Architect: Gensler Boston
Services: Landscape technical review and construction phase services

Mount Ida College
Newton, MA

Project: Redevelopment of 3 Courtyards and Landscape Master Planning
Client: Mount Ida College
Architect: Imai, Keller, Moore
Services: Site Planning

Seton Highlands
Ph. 2 & 3
Plymouth, MA

Project: Planning for housing at the PineHills
Client: Design Housing
Architects: D Michael Collins Architects
Services: Planning and site design

Turner Hill
Ipswich, MA

Project: Redesign of golf oriented housing
Client: Silver Oak Management
Architect: Grazado Velleco Architects.
Services: Design, and permit services

The Rice Silk Mill Pittsfield, MA	Project: Mill renovation for housing Client: Rees Larkin Development and TAT Architect: The Architectural Team (TAT) Services: Design, and permit services
The Residences at Black Rock <i>Hingham, MA</i>	Projects: Residential golf community Client: Northland Development Architect: CBT Architects Services: Landscape architecture and planning services
Granada Highlands <i>Malden, MA</i>	Projects: Site analysis, inventory, rehab master plan and implementation of plan for 40 acre apartment complex built in the 1970s Client: Equity Residential Services: Full services
The Villages at Seven Springs <i>Burlington, MA</i>	Projects: Townhouse development on the site of a former industrial site Client: Northland Development Architect: BSB Design Services: Full landscape architecture services
<i>The Villages at</i> Brookside <i>Bourne, MA</i>	Projects: Townhouse golf club development Client: Northland Development Architect: Grazado Velleco Architects Services: Full landscape architecture services
Red Mill Village Housing <i>Norton, MA</i>	Projects: Mixed use of retail and housing with public open space Client: Thorndike Development Architect: Devereaux and Associates and Gleysteen Associates Services: Detail design, construction documentation and administration
WestRidge Retirement Community <i>Hudson, MA</i>	Projects: Mixed use of recreation and housing with public open space Client: Thorndike Development Architect: Devereaux and Associates and Gleysteen Associates Services: Planning, detail design, construction documentation and administration
PineHills Housing <i>Plymouth, MA</i>	Projects: 5 phases of housing at the PineHills Client: Thorndike Development Architect: Devereaux and Associates and Gleysteen Associates Services: Site planning, design, construction documentation and admin.
Chapman's Reach at Marina Bay <i>Quincy, MA</i>	Projects: Neo-traditional housing development Client: Thorndike Development and Richard Burck and Associates Architect: Devereaux Associates Bradford Saivetz and Gleysteen Associates Services: Design development, construction documentation, and administration
The Woodlands at Belmont Hill <i>Belmont, MA</i>	Projects: Townhouse development on the site of an historic Hospital grounds Client: Northland Development Architect: Grazado Velleco Architects Services: Landscape architecture services
GreatBrook Senior Housing Norton, MA	Projects: 116-unit senior housing development with public gardens Client: Thorndike Development Architect: Devereaux and Associates and Gleysteen Associates Services: Site planning, design, construction documentation and administration
Stonebridge Commons <i>Hanson, MA</i>	Projects: 114 townhouse units, affordable and market rate housing development Client: Mark Ridder Services: Site planning and design

PREVIOUS EXPERIENCE

1995 – 1998	HARGREAVES ASSOCIATES, Principal Cambridge, MA; San Francisco, CA
1989 – 1995	BURCK RYAN ASSOCIATES, Principal Watertown, MA
1988-1989	RYAN ASSOCIATES, Principal Lexington, MA
1982 – 1988	SASAKI ASSOCIATES, Senior Associate Watertown, MA
1981 – 1982	S.W.A. GROUP Boston, MA
1979 – 1981	CAROL R. JOHNSON & ASSOCIATES Cambridge, MA
1975 – 1977	DUANE E. LINDEN & ASSOCIATES Chicago, IL

RECENT AWARDS

2015	Named Distinguished Alumnus 2015 - Univ. of Wisconsin Department of Landscape Architecture
2013	ASLA Design Honor Award – The Highline Section 2 (Field Operations) – Tech. Consult
2010	Named Fellow of the American Society of Landscape Architects,
2010	ASLA Design Honor Award – The Highline Section 1 (Field Operations) – Tech. Consultant
2008	Arbor Day Foundation & NAHB: Building w/ Trees Award of Excellence – The Woodlands
2007	ASLA Design Honor Award - Mesa Arts Center (Martha Schwartz Inc) – Tech. Consultant
2006	Builder's Magazine Builder's Choice Grand Award: Active Adult Community - Red Mill Village
2006	NAHB Gold Award for Best Overall Community (under 200 homes) - Red Mill Village
2005	Builder's Magazine Builder's Choice Design Award - "Chilton" at the PineHills
2005	NAHB Silver Award, Best Active Adult Community- GreatBrook Senior Community

RECENT PUBLICATIONS / PRESENTATIONS

2014	Panelist, My Eyes/My Ears discussion of presentation by O/A on sound in the City
2014	Presenter, <i>Landscape Forensics, Why Natural Systems-based Design Solutions Sometimes Fail</i> at 2014 ASLA Annual Meeting
2013	Presenter, <i>Landscape Forensics, Why things fail</i> at 2013 ASLA Annual Meeting
2013	Presenter, <i>Contract Documents in a Digital Age</i> at 2013 ASLA Annual Meeting
2013	Presenter, Webinar on <i>Forgiving Landscape Details for Ease of Construction</i> for Land8
2012	Presenter, Lecture on <i>Building Landscapes near Water</i> , Ball State University
2011	Presenter, Lecture on <i>Landscape Architectural Detailing</i> at Temple University
2011	Contributor to <i>Hardscaping Your Condo</i> in New England Condominium Magazine April issue
2011	Published <i>Landscape Architectural Detailing</i> for Wiley Publishing

RECENT TEACHING EXPERIENCE

Instructor: 2013- present	Practices in Landscape Architecture, Documentation and Project Delivery Landscape Architecture Program, <i>Harvard University Graduate School of Design, Cambridge, MA</i>
Instructor: 2014- 2016	Ecologies, Techniques, Technologies II, Drainage Landscape Architecture Program, <i>Harvard University Graduate School of Design, Cambridge, MA</i>
Instructor: 2012- 2016	Ecologies, Techniques, Technologies II, Grading Landscape Architecture Program, <i>Harvard University Graduate School of Design, Cambridge, MA</i>
Instructor: 2008 - 2012	Advanced Construction Techniques, Detailing and Construction Documents Landscape Architecture Program <i>University of Pennsylvania, Philadelphia, PA</i>

EDUCATION

- | | |
|-------------|---|
| 1977 – 1979 | Graduate School of Design, Master of Landscape Architecture
Harvard University
Cambridge, MA |
| 1970 – 1975 | <i>School of Agriculture & Life Science</i> , Bachelor of Science in Landscape Architecture
University of Wisconsin
Madison, WI |

MASSACHUSETTS REGISTRATION

Registration: # 590

Since: 1978

Steven Schwartz



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sschwartz@goulstonstorrs.com

Fax: (617) 574-7636

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400 Atlantic Avenue
Boston, MA 02110-3333

Overview

Steven Schwartz is co-chair of the firm's Real Estate practice group. With more than 25 years of continuous practice at Goulston & Storrs, Steve has a national real estate practice in which he counsels clients in the acquisition, development, sale, leasing and financing (both debt and equity) of commercial real estate.

Steve provides counsel to national developers and investors in the multifamily housing area in a wide variety of matters, including acquisitions, dispositions, development and finance, including large portfolio transactions, joint ventures and construction and permanent mortgage loans. He also regularly advises clients on structuring complex mixed use transactions throughout the country. Steve provides counsel with respect to large-scale commercial projects throughout the New England region and satisfying the many land use and environmental laws and regulations that such developments face. A significant portion of Steve's current development practice involves working with clients on complex multifamily residential projects, including both market rate and mixed-income developments, large mixed-use projects and projects constructed under the Massachusetts affordable housing statute, Chapter 40B. In addition to his involvement with traditional forms of real estate mortgage loans and refinancings, Steve has considerable experience in representing lenders in workouts of troubled real estate loans, including restructurings, deed-in-lieu transactions and foreclosures.

In addition to his role as Co-Chair of the firm's Real Estate practice group, Steve is a member of the firm's Executive Committee.

Practices/Industries

Real Estate

Development/Land Use

Distressed Debt

Affordable Housing &
Economic Development

Multifamily

Education

Harvard College, A.B.,
1986

Harvard Law School, J.D.,
1989

Admissions

Massachusetts

New York

Representative Experience

- General representation of one of the largest multifamily REITs in the country in all aspects of acquisition, development and financing of numerous multifamily residential communities, including both stand alone and parts of large mixed use developments.
- Representation of real estate fund in its acquisition of more than 75 multifamily, industrial and office properties nationally, totaling more than \$1.5 billion.

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counsellors at law
thinkresults

goulstonstorrs.com

- Representation of the greater Boston region's leading furniture retailer on all of its real estate related matters, including acquisition and development of destination furniture and family entertainment location, and 1,000,000 square foot warehouse and distribution facility.
- Numerous mortgage loans for national insurance, including financings of significant hotel, office, retail and multifamily properties throughout the New England region.

Professional and Community Involvement

- Advisory Committee Member, National Multifamily Housing Council
- Member, Government Affairs Committee and Director, Rental Housing Association of the Greater Boston Real Estate Board

Awards and Recognition

- Martindale Hubbell Peer Review Rated AV Preeminent™
- Martindale Hubbell™ Top Rated Lawyer in 'Land Use And Zoning', 2013
- Massachusetts Super Lawyer, 2006 - 2013

Press Releases

- Goulston & Storrs Real Estate Practice Captures Spot in Top Ten, Law360 Annual Survey, November 2014
- Goulston & Storrs Captures 47 Spots on the 2013 Massachusetts Super Lawyers List; 14 on the 2013 Massachusetts Rising Stars List, October 2013

Advisories

- Massachusetts Lawmakers Tackle Zoning Reform, June 2013
- Commonwealth Considers Rule Changes to Impact Multifamily Owners Under Affordable Housing Preservation Law Chapter 40T: Considerations Prior to Marketing a Massachusetts Apartment Complex, February 2013
- Affordable Housing Preservation Law Imposes New Notice Requirements, Right of First Refusal and Right of First Offer, February 2010

Publications / Mentions

- "Developers Poised to Pull Triggers," Boston Business Journal, November 2010
- "The Misplaced Attack on 40B," Boston Business Journal, March 2007



FIRM PROFILE

Union Studio is a nationally practicing, award-winning architecture and community design firm located in Providence, RI. With a growing office of 22 architects and urban designers, we focus on the design of exceptional communities and buildings.

Union Studio brings a comprehensive approach to the design of neighborhoods - infusing traditional neighborhood planning with beautiful architecture that is both memorable and firmly grounded in the realities of today's market driven real estate world.

This unique combination of talents has attracted clients from across the U.S. and Canada. With projects in Texas, Arkansas, New York, Virginia, Washington State, and throughout New England, Union Studio has developed a national reputation in perfecting techniques for distilling the nuances of local character combined with a traditionally inspired view of economy and simplicity.



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

DONALD POWERS AIA, LEED AP, CNU FOUNDING PRINCIPAL



Donald has over 25 years of experience in urban and town planning, multi-family housing, commercial and institutional buildings, adaptive re-use and single-family residences. Through a longstanding commitment to the principles of New Urbanism, Donald

has integrated mixed-use planning and architectural design with the goal of creating diverse, walkable neighborhoods. Donald received his B.S. in Architecture from University of Virginia and his Masters in Architecture from Harvard University's Graduate School of Design. He founded Union Studio Architecture & Community Design (formerly named Donald Powers Architects) in 2001.

DOUGLAS KALLFELZ AIA, LEED AP, CNU MANAGING PRINCIPAL



Douglas has over 20 years of broad experience in architectural practice in New England and New York. His experience encompasses urban planning and design, architecture and interiors. Since joining Union in 2003, Douglas has been the project architect for several of the firm's award winning

traditional neighborhood developments, civic buildings and private residences. Douglas received his Bachelors of Architecture from Syracuse University and his Masters of Design Studies from Harvard University's Graduate School of Design, where he focused his studies in real estate finance and business/strategic management.



UNION STUDIO

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Concord Riverwalk



Cottages on Greene



Tiverton Library



North Elmwood Revitalization

AWARDS LIST

2017

- The Congress for the New Urbanism: National Charter Award
Keeping History Above Water: Planning for Sea Level Rise in Newport's Historic Point Neighborhood
- American Planning Association: Rhode Island Chapter Project Award
Keeping History Above Water: Planning for Sea Level Rise in Newport's Historic Point Neighborhood

2016

- National Association of Home Builders: Best in American Living Award
"Community of the Year" - *Heritage Sands*
- National Association of Home Builders: Best in American Living Award
"Best Residential Community (under 100 homes)" - *Heritage Sands*
- National Association of Home Builders: Best in American Living Award
"Best Project in North Atlantic Region" - *Heritage Sands*
- National Association of Home Builders: Best in American Living Award
"Best Project in Pacific Northwest Region" - *Ludlow Cove*
- National Association of Home Builders: Best in American Living Award
"Platinum Award for Best Single-Family Detached Home Under 2,000 sf" - *Ludlow Cove*
- Congress for the New Urbanism: New England Chapter Urbanism Award
Keeping History Above Water: Planning for Sea Level Rise in Newport's Historic Point Neighborhood
- Professional Builder Design Awards: Silver Award for Single-Family Production, 2,000 sf or Below - *Ludlow Cove*
- Providence Preservation Society: Preservation Project Award - *East Long Pond Apartments*
- AIA New England Design Awards: Merit Award in Institutional Category - *Tiverton Public Library*
- Rhode Island Monthly Design Award: GOLD in Commercial Interior Design - *Tiverton Public Library*
- Grow Smart RI: Outstanding Smart Growth Project Award - *Tiverton Public Library*
- Professional Builder Design Awards: "Gold Award for Modular Homes" and "Gold Award for Production Home Under 2,000 sf" - *Heritage Sands*

2015

- International Property Awards 2015 "Best Residential Development,"
Massachusetts - *Heritage Sands*
- Pacific Coast Builder's Conference "Grand Award: Single Family Detached Under 2,000 sf" - *Ludlow Cove*
- Grow Smart RI: Outstanding Smart Growth Project Award - *North Cove Landing*

2014

- Builder Magazine: Builder's Choice "Project of the Year" - *Riverwalk*
- Professional Builder Design Awards: "Project of the Year" and "Platinum Award: New Community" - *Riverwalk*
- National Association of Home Builders: Best in American Living Award
"Community of the Year" - *Riverwalk*
- AIA New England Design Awards: Honorable Mention - *Riverwalk*
- National Association of Home Builders: Best in American Living Award,
"Green Community" Platinum Award - *Riverwalk*
- Boston Society of Architects: John Clancy Honor Award for Socially Responsible Housing - *Sandywoods*
- Providence Preservation Society: Neighborhood Revitalization Award - *Trinity Place*



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN



Sandywoods Farm



Edenville Cottage

AWARDS LIST

2013

- AIA Rhode Island: Merit Award for Urban Design - *Newburyport, MA Waterfront Master Plan*
- Grow Smart RI: Outstanding Smart Growth Project Award - *Sweetbriar*

2012

- Builder Magazine: Wm S. Marvin "Hall of Fame" for Design Excellence - *Donald Powers*
- AIA Rhode Island: Honor Award for Sustainable Design - *Riverwalk*
- Grow Smart RI: Outstanding Smart Growth Project Award - *Sandywoods*
- Providence Preservation Society: Project Award - *Smith Hill Visions II*

2011

- Multifamily Executive: 2011 Project of the Year, Best Re-Use of Land, Merit Award - *Sandywoods*
- APA MA Chapter: Project Planning Award - *Riverwalk*
- APA RI Chapter: Neighborhood Planning Award - *Cottages on Greene*
- Congress for the New Urbanism: National Charter Award, Honorable Mention - *Cottages on Greene*
- Congress for the New Urbanism: New England Chapter Urbanism Award - *Riverwalk*

2010

- Builder Magazine: 2010 Builder's Choice Grand Award - *San Juan Passage*

2009

- American Planning Assoc., RI Chapter: Mixed Use Award - *Sandywoods*
- Builder Magazine: "One of the Coolest Houses of 2009" - *Lake House*

2008

- Providence Preservation Society: Annual Historic Preservation Award Recipient, Neighborhood Revitalization Award - *N. Elmwood Revitalization*
- Professional Builder Magazine: Best in American Living Award - Best Single-Family Detached Home, 1,801 to 2,400 SF - *East Beach Residence*

2007

- National Housing & Rehabilitation Association: J. Timothy Anderson Award for Excellence in Historic Rehabilitation, Mixed-Income Housing Category - *N. Elmwood Revitalization*
- Congress for the New Urbanism, New England: Charter Award - *Sandywoods*

2006

- NAHB: Best in American Living Award, Gold Award for Best Single Family Home & Best in North Atlantic Region - *Edenville Cottage*

2003

- Builder Magazine: Production House of the Year - *Onderdonk Residence*
- Professional Builder Magazine: Platinum Award - *Onderdonk Residence*
- NAHB, Senior Housing Council: House of the Year - *Onderdonk Residence*
- Residential Architect: Merit Award - *Onderdonk Residence*

DONALD POWERS

AIA, LEED AP, CNU

FOUNDING PRINCIPAL



Donald W. Powers has over 30 years of experience in all aspects of architectural practice. His completed work includes urban and town planning, commercial and institutional buildings, affordable housing, historic restoration of landmark buildings and single-family residences. In recent years his work has concentrated on integrated, mixed-use planning and architectural design with the goal of creating truly diverse and vibrant neighborhoods. A 20 year association with the Congress for the New Urbanism and frequent collaboration with some of the best firms in the country doing traditional urban design (including the noted firm of Duany Plater-Zyberk) has brought an expertise in the technique and art of creating livable communities and cherished places. Donald has a single minded vision to restore communities and save the world from sprawl.

REGISTRATIONS

Registered Architect: Licensed in Rhode Island, Connecticut, Massachusetts, and Virginia. LEED AP.

EDUCATION

Harvard University, Graduate School of Design - Cambridge, MA
Master of Architecture

University of Virginia, School of Architecture - Charlottesville, VA
Bachelor of Science in Architecture
Awarded Annual Design Prize

PROFESSIONAL HISTORY

2000 - Present **Union Studio Architecture & Community Design**
Providence, RI
Principal & Founder

1993 - 1998 **Graham Gund Architects - Cambridge, MA**
Project Architect/Designer

1992 - 1993 **Kyu Sung Woo Architects - Cambridge, MA**
Architectural Designer

1987 - 1989 **Cooper Robertson + Partners - New York, NY**
Architectural Intern/Designer



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DONALD POWERS AIA, LEED AP, CNU

FOUNDING PRINCIPAL

Page 2

AFFILIATIONS

Grow Smart Rhode Island - *Board of Directors*

Congress for New the New Urbanism (CNU) - *Member*

CNU | New England Chapter - *Board of Directors*

Institute for Classical Architecture | New England Chapter - *Founding Board Member*

City of Providence Zoning Commission, Subcommittee for Form Based Zoning - *Committee Chairman*

CNU IX Providence (held in June of 2006) - *Executive Committee & Program Co-Chair*

SPEAKING ENGAGEMENTS

Small Housing Trends: Recession Survival Tactics & Moving Forward

Presented at the 12th Annual New Partners for Smart Growth Conference 2013

**Innovating Community Design and Mass Market Housing - and -
Deconstructing the Mass Appeal and Continued Relevance of Traditional Architecture**

Presented at Residential Architect magazine's *Reinvention* 2012

The Real Deal: Implemented Incremental Urbanism

Presented at CNU 20, 2012

Cottage Housing & Innovative Zoning

Presented at the 6th Annual Massachusetts Housing Institute

Principles of Compact Cottage Court Development

Presented at Build Boston 2011

Utopias: A Conversation

Presented at the List Art Gallery at Brown University 2011

(a panel discussion responding to the David Winton Bell Gallery exhibition
Building Expectation: Past & Present Visions of the Architectural Future)

Planning and Designing Successful Mixed-Use Centers

Presented at the Healthy Places by Design Community Workshops 2011

Small Site Development: Resources and Best Practices

Presented at the Massachusetts Municipal Association Conference 2011

The "New" Increment of Urbanism: Opportunity & Technique

Presented at CNU NE 2009 (Donald Powers & Douglas Kallfelz)

The Details of the New Urbanism: From Curb to Cupola - The Case for Simplicity

Presented at CNU 2007, CNU 2008, & CNU 2009 (with Douglas Kallfelz)



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JEREMY LAKE AIA, LEED AP, CNU

SENIOR ASSOCIATE



Jeremy brings over 16 years of experience of affordable and market rate neighborhood design, HOPE VI neighborhood revitalization projects, town planning and urban design. He specializes in project management, with a talent for serving as a versatile liaison between planning and architecture. Jeremy joined Union Studio in July of 2012 after eleven years at Torti Gallas and Partners in Silver Spring, Maryland. He earned a Master of Architecture in Suburb and Town Design from the University of Miami, a Master of Architecture from the University of Miami, and a Bachelor of Arts with a major in Anthropology from Bowdoin College. He formerly served on the Board of Directors of the Rhode Island Chapter of the American Institute of Architects and is an active member of the Congress for the New Urbanism.

REGISTRATIONS/AFFILIATIONS

Board of Directors, American Institute of Architects RI Chapter 2013 - 2016

Registered Architect in State of Maryland

Member: American Institute of Architects (AIA); Congress for the New Urbanism (CNU)

LEED Accredited Professional (LEED AP)

Construction Documents Technologist (CDT)

EDUCATION

University of Miami - Miami, FL

Master of Architecture in Suburb and Town Design

Master of Architecture

Bowdoin College - Brunswick, ME

Bachelor of Arts, Anthropology Major, Biology Minor

PROFESSIONAL HISTORY

2012 - Present **Union Studio Architecture & Community Design**

Providence, RI

Senior Associate (2016 - Present)

Associate (2012 - 2016)

2001 - 2012

Torti Gallas and Partners, Inc.

Silver Spring, MD

Senior Associate

1997 - 2000

University of Miami, School of Architecture

Miami, FL

Part Time Faculty Member and Teaching Assistant



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CHRISTINA CARLSON AIA, LEED AP, CNU

ARCHITECT



Christina joined Union Studio in the summer of 2008 to contribute to our social and civic-oriented design projects. She has a strong background in traditional architecture, planning and sustainability with a passion for applying these skills to build community. Prior to joining Union, Christina worked on architectural design and community planning at Historical Concepts in Atlanta. She earned her Master's Degree in New Urbanism at the University of Miami and her Bachelor's Degree in Classical Architecture at the University of Notre Dame, where she was the class Valedictorian and received the Henry Adams Medal.

Christina serves on the Board of Directors of Rhode Island's ACE Mentor Program, which introduces high school students to careers in architecture, engineering and construction. She was awarded the ACE Mentor of the Year Award in 2011. She also serves on the Board of Directors for the Congress for the New Urbanism's New England Chapter. Christina is a registered architect in the Commonwealth of Massachusetts.

REGISTRATIONS

Registered Architect: Licensed in Massachusetts. LEED AP.

EDUCATION

University Of Miami - Miami, FL

Masters of Architecture in Suburb and Town Design

University Of Notre Dame - Notre Dame, IN

Bachelor of Architecture

Valedictorian - Summa Cum Laude

AIA Henry Adams Medal

PROFESSIONAL HISTORY

2008 – present **Union Studio (Formerly Donald Powers Architects)**

Providence, RI

Architect

2005 – 2008 **Historical Concepts**

Peachtree City, GA

Architectural Intern

2007 - 2008 **University Of Miami**

Miami, FL

Teaching Assistant



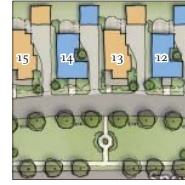
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ARCHITECTURE & COMMUNITY DESIGN

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DORSET PARK

AT SOUTHFIELD

WEYMOUTH, MA



Rendering by Union Studio

Located in the Union Point development in Weymouth, MA, Dorset Park features 26 new, single family homes ranging in size from 1,800 - 2,200 sf. Union Studio designed the master plan of this front-porch community to share a common green. The prototype options include two unit types with the master bedroom(s) on the first floor, and one unit type with all bedrooms on the second floor. Each unit type has at least two distinct elevation options.



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ARCHITECTURE & COMMUNITY DESIGN

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DORSET PARK

PROJECT DATA

USE

New, clustered neighborhood of 26 single family cottage-style prototype homes

SIZE

Approximately 7 acres

DATE

Completed 2017

COST

N/A

CLIENT TYPE

Private Developer

REFERENCE

Peter Crabtree, VP, Director of Acquisitions & Development
Northland Residential
(781) 229-4706

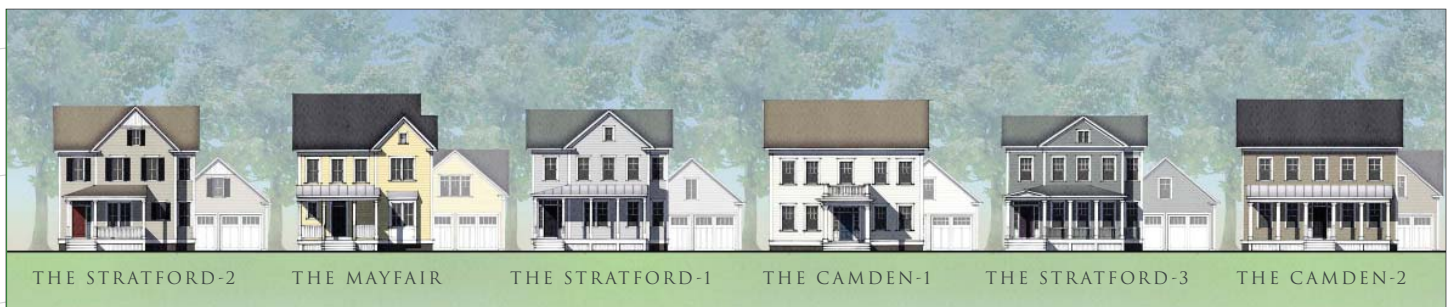
UNION STUDIO SCOPE

Master Planning, architectural design, and marketing collateral



Top: The Camden

Bottom: The Stratford



SAN JUAN PASSAGE

ANACORTES, WA



Photo: Courtesy of Gilbane Development

AWARDS

2010 *Builder Magazine: Builder's Choice Grand Award*

This unique neighborhood of 100 homes has been designed in its entirety by Union Studio to be the first LEED rated neighborhood of its type in the region. Situated on 24 acres overlooking the San Juan Islands in Anacortes Washington, this neighborhood has succeeded in providing an alternative for small sustainable design that represents the state of the art in sustainable technology, while preserving the traditional character of coastal architecture that is so important to the region.

Thorough energy modeling and careful administration of the LEED certification process was instrumental in the early design phases - effort that has been more than recouped in payback to the environment and the overall quality of this remarkable place. For more information visit <http://www.sanjuanpassage.com>.



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ARCHITECTURE & COMMUNITY DESIGN

140 Union Street Providence, Rhode Island 02903 p. 401.272.4724

SAN JUAN PASSAGE

PROJECT DATA

USE

100 Prototype homes in a masterplanned community,
LEED for Homes Certified

SIZE

23 acres

DATE

First units completed in 2010, remaining phases are
under construction.

COST

Approximately \$45 million total construction cost

CLIENT TYPE

Private developer

REFERENCE

Russell Lindquist, Senior Development Manager
Gilbane Development Company
(401) 456-5892

UNION STUDIO SCOPE

Masterplanning, prototype building design &
detailing, interior design, construction documents &
construction administration, LEED consultation &
coordination



MOUNT HOPE BAY

TIVERTON, RI



All images © Union Studio 2013

Located on a tight, sloping waterfront site, the Villages at Mount Hope Bay will feature 23 duplexes (46 units), 3 triplexes (9 units), and 11 single-family cottages, creating a total of 66 market-rate condominiums. This is the second phase of development in this small community with views overlooking Mount Hope Bay. The living units are targeted to the 55 and over market. Union Studio has designed three prototypes that will be situated throughout the 20 acre site.



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ARCHITECTURE & COMMUNITY DESIGN

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MOUNT HOPE BAY

PROJECT DATA

USE

66 Market-rate condominiums designed for the 55+ community

SIZE

20 acres

DATE

Estimated completion 2014

COST

TBD

CLIENT TYPE

Private Developer

REFERENCE

Jordan Stone, Principal
Peregrine Group LLC
(401) 270-0707

UNION STUDIO SCOPE

Master planning and full architectural services



HERITAGE SANDS

DENNISPORT, MA



Photo: Alison Caron All images © Union Studio 2015

AWARDS

2016 National Association of Home Builders: Best in American Living Awards "Community of the Year," "Best Project in North Atlantic Region" and "Best Residential Community Under 100 Homes"

2016 Professional Builder Design Awards: "Gold Award for Production Home Under 2,000 sf" and "Gold Award for Modular Homes"

2015 International Property Awards "Best Residential Development, Massachusetts"

Designed in the tradition of a New England seaside cottage colony, this new market-rate community exemplifies casual seaside summer living on Cape Cod, MA. The 65 modestly-sized, 1-3 bedroom seasonal cottages are designed to maximize privacy while bringing the outdoors inside. They offer exterior spaces that function as outdoor rooms and create common areas to connect the community to itself and to the seaside. Walking paths, community parks and pavilions connect the cottages to each other and offer settings from which to enjoy ocean views, while a community pool and recreational building create additional places for gatherings and celebrations.



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ARCHITECTURE & COMMUNITY DESIGN

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HERITAGE SANDS

PROJECT DATA

USE

Summer residential cottage community with pavilions, walking paths and a community center

SIZE

65 one, two and three bedroom cottages ranging from 900-1,300 sf

DATE

Partial completion Spring 2015

COST

TBD

CLIENT TYPE

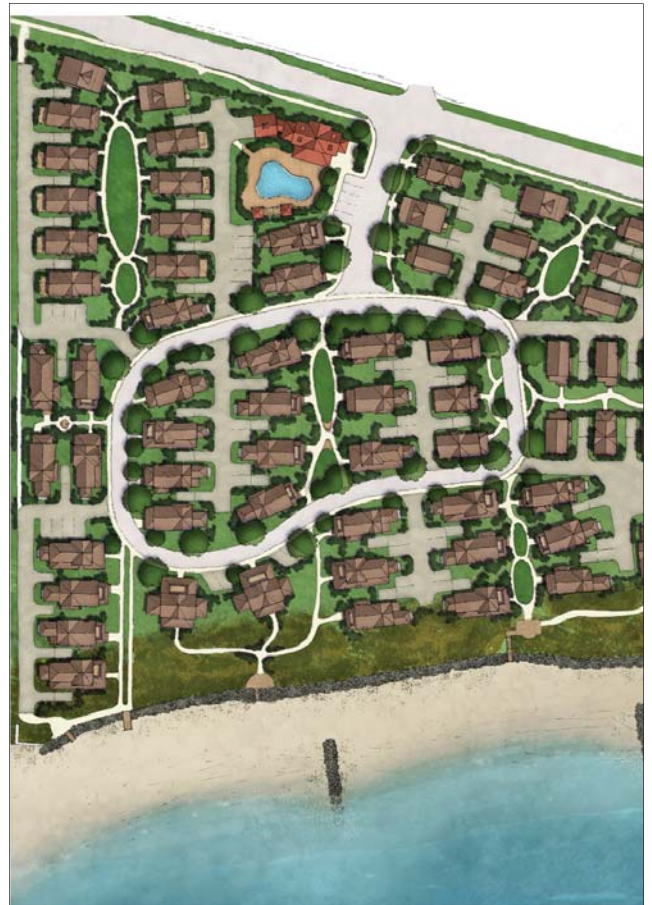
Private Developer

REFERENCE

Rob Brennan
MS Ocean View, LLC
978-255-4600

UNION STUDIO SCOPE

Architectural design and masterplan collaboration



CONCORD RIVERWALK

NET ZERO POSSIBLE COMMUNITY

CONCORD, MA



All images © Union Studio 2011

AWARDS

2014 Builder Magazine: Project of the Year

2014 National Association of Homebuilders: Community of the Year

2014 Professional Builder: Project of the Year

2014 National Association of Homebuilders: Green Community Platinum Award

2012 AIA Rhode Island: Honor Award for Sustainable Design

2011 APA MA Chapter: Project Planning Award

2011 Congress for the New Urbanism: New England Chapter Urbanism Award



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

Riverwalk is a compact “pocket neighborhood” of 13 Net Zero possible homes, carefully designed with details and systems that enable energy-conscious residents to have all of their daily energy needs met by renewable, on-site solar collection. The market-rate cottages each feature 2 or 3 bedroom layouts and range from 1,340 to 1,760 sf. Building upon a site plan concept developed by celebrated cottage neighborhood planner Ross Chapin, Union Studio was asked by the client to refine and expand the initial master plan while developing the aesthetic and details for the Net Zero cottages themselves.

The project received EnergyStar certification, a third-party HERS index score of 20 for units with renewable energy systems (50 for the units that did not install renewable energy systems), and a Uniform Energy Rating System of 5 Stars+.

CONCORD RIVERWALK

PROJECT DATA

USE

Compact neighborhood of 13 Net Zero possible homes

SIZE

3.7 acre site

DATE

Completed 2012

COST

\$7.5 million

CLIENT TYPE

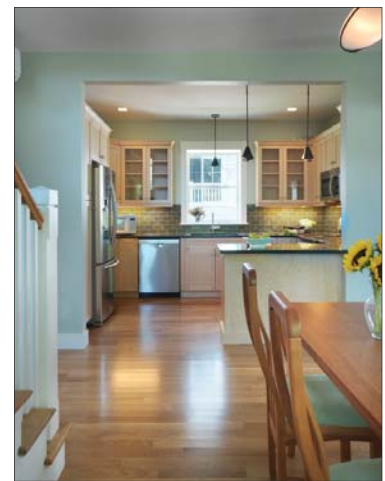
Private developer

REFERENCE

Dan Gainsboro
NOW Communities
(978) 369-6200

UNION STUDIO SCOPE

Masterplan collaboration (with Ross Chapin Architects) & full architectural services for all buildings from conceptual design through construction administration.



COTTAGES ON GREENE

EAST GREENWICH, RI



Photo: Nat Rea, all images © Union Studio 2011

AWARDS

2011 APA RI Chapter: Neighborhood Planning Award

2011 Congress for the New Urbanism: National Charter Award, Honorable Mention

Located in the waterfront, “main street” town of East Greenwich on a 0.85 acre lot, fifteen units of mixed-income condominiums have been organized into a compact cottage court development. These 2-bedroom, 1,000 SF cottages are a mix of building types consisting of free-standing single units, duplexes, and a 3-unit townhouse structure. Despite 9 of the units being attached, the overall neighborhood appears as a cluster of 1 1/2 story free-standing cottages organized around a linear court and gardens. Bio-swales and rain gardens have been used not only as stormwater management, but as the landscape theme of the neighborhood. Small bridges and boardwalks cross and re-cross the spillways creating a defining image of the landscape. The common spaces are anchored by community gardens, well contained behind white picket fences, and a more formal sod linear court which provides a setting for neighborhood gatherings as well as a fittingly formal address on the public street. The front porch community offers a unique alternative for home buyers looking for a safe, walkable neighborhood with shared upkeep.



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ARCHITECTURE & COMMUNITY DESIGN

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COTTAGES ON GREENE

PROJECT DATA

USE

Fifteen mixed-income condominiums

SIZE

0.85 acres

DATE

Completed in 2010

COST

\$3.1 million

CLIENT TYPE

Private developer

REFERENCE

Lenny Iannuccilli
Co-Developer
(401) 451-3333

UNION STUDIO SCOPE

In addition to being the co-developer on this project, Union Studio provided full architectural services.



BREWSTER COTTAGES

BREWSTER, MA



All images © Union Studio 2015

Working with Cape View Development, Union Studio designed a mixed-income cottage community clustered around a common green in Brewster, MA. The building styles include 2 carriage house units, 22 detached cottages, and 4 cottage duplexes. Of the 9.5 acre site, two-thirds is preserved open space. The project is a Massachusetts 40B affordable housing development.



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BREWSTER COTTAGES

PROJECT DATA

USE

28 units of market-rate and affordable housing

SIZE

9.5 acres

DATE

Estimated completion 2017

COST

TBD

CLIENT TYPE

Private Developer

REFERENCE

Mark Smith
Cape View Development
(508) 889-5431

UNION STUDIO SCOPE

Master planning and full architectural services



EMERSON GREEN

AT DEVENS

DEVENS, MA



Rendering by Union Studio

Union Studio's involvement began working directly with MassDevelopment, developing a master plan for the 70 acre parcel that could serve as the basis for a residential development RFP. As part of the development team of NOW Communities, Ajax Partners, and Union Studio, we have refined the master plan and developed the architecture for "Emerson Green", a new 'Net Zero possible" neighborhood featuring 120+ units of housing in single-family homes, duplexes, and multi-family apartments. Phase One was completed in Spring 2017.

The project has included meetings with local residents, MassDevelopment, and the local approval authority (Devens Enterprise Commission). As master planner, architect and a member of the development team, Union Studio has helped to coordinate all parties to creatively balance the project's design against both the DEC's goals and the project's market realities. The new development features pedestrian-friendly streets, ample green space, and easy access to hiking trails, ponds, and other recreational amenities.



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ARCHITECTURE & COMMUNITY DESIGN

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EMERSON GREEN

PROJECT DATA

USE

120+ units of net zero possible housing in single-family homes, duplexes, townhomes, and multi-family apartments.

SIZE

70 acres

DATE

Master Plan completed in 2014, Phase 1 completed Spring 2017

COST

N/A

CLIENT TYPE

Quasi-Public Economic Development Corporation

REFERENCE

Edmund Starzec, Director of Land Entitlements
MassDevelopment
(617) 330-2035

UNION STUDIO SCOPE

Master Planning, architecture, and co-developer on team



This Old House Magazine 2016 "Idea Home" at Emerson Green, June 2016



Kitchen area in This Old House Magazine 2016 "Idea Home" at Emerson Green,



KETTLE POINT 2012

CONCEPTUAL MASTERPLAN

EAST PROVIDENCE, RI



All images © Union Studio 2012

The 2012 Kettle Point masterplan for private developer Churchill & Banks includes roughly 47 acres on the eastern bank of the Providence River. Union Studio's proposed design on remediated land would create a pedestrian-friendly residential community of as many as 436 units clustered on roughly 20 total acres, preserving approximately half of the site as formal, informal and natural open space. All roads will be open to the public with parking for access to the East Bay Bike Path. The varied housing types include multi-family buildings, duplexes, townhouses and single-family detached homes. For-sale and rental units will be available. A community building is also being designed on the site.



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KETTLE POINT 2012

PROJECT DATA

USE

A new market-rate residential neighborhood of 436 units

SIZE

Overall site: 47 acres; Neighborhood: 20 acres

DATE

Masterplan completed in 2012

COST

Not available

CLIENT TYPE

Private developer

REFERENCE

Raymond T. Lavey, Senior VP, Development
Churchill and Banks, Ltd.
(401) 273-8010

UNION STUDIO SCOPE

Masterplan, concept visualization and architectural drawings



Conceptual design - Duplex



Conceptual design - Townhouses



LUDLOW COVE

COTTAGES

PORT LUDLOW, WA



AWARDS

2016 National Association of Home Builders: Best in American Living Awards "Best Project in Pacific Northwest Region" and "Platinum Award for Best Single-Family Detached Home Under 2,000 sf"

2016 Professional Builder Design Awards "Silver Award for Single-Family Production 2,000 sf or below"

2015 Pacific Coast Builder's Conference "Grand Award: Single Family Detached Under 2,000 sf"

Following on the heels of our work in Anacortes, WA, Union Studio designed a new prototype neighborhood of 42 cottages at the Resort of Port Ludlow in Washington State. Located on the eastern side of the Olympic Peninsula, this new neighborhood offers a selection of woodland, park-front and waterfront homes. For more information, visit www.ludlowcovecottages.com.



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LUDLOW COVE COTTAGES

PROJECT DATA

USE

New neighborhood of 42 cottages

SIZE

14.7 acres

DATE

Fall 2016

COST

N/A

CLIENT TYPE

Private developer

REFERENCE

Diane Smeland, President
Port Ludlow Associates
(360) 437-8342

UNION STUDIO SCOPE

Architectural services



SANDYWOODS FARM

TIVERTON, RI



Photo: Rupert Whiteley, all images © Union Studio 2011

AWARDS

2013 Boston Society of Architects:
John Clancy Award for Socially
Responsible Housing

2012 Grow Smart RI: Outstanding
Smart Growth Project Award

2011 Multifamily Executive
Magazine Project of the Year: Best
Re-Use of Land, Merit Award

2009 American Planning Assoc., RI
Chapter: Mixed Use Award



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

Sandywoods Farm is a unique arts and agricultural community designed to combine affordable rental and market-rate housing with a working farm, mixed-use/retail as well as studio, gallery, and performance space for artists, taking a multi-use approach that fosters a strong community identity. Sandywoods includes 50 affordable cottages for rent and a future phase of 24 single-family homes for ownership. In addition, the project preserves 147 acres of land for a working farm, open space, community gardens. Due to the compact planning of the neighborhood, the remaining site has been donated to The Nature Conservancy. A community “Grange Hall” – and other community space within the development – features theater performances, potlucks, cooking classes, and other group events. Power will be provided for nearly all of Sandywoods residents by a 250 kW wind turbine on site. Working with a local nonprofit developer to bring the project to fruition, Union Studio created the masterplan and designed all of the buildings that populate this agri-arts community.

SANDYWOODS FARM

PROJECT DATA

USE

Rural, affordable agricultural-artists' community with mixed-use/retail space, artist studios, 50 rental cottages and a future phase of 24 single-family homes for ownership. Agricultural uses include a working farm, community gardens & preserved open space.

SIZE

175 acres total, of which 28 acres are housing / mixed-use and the remaining 147 acres are preserved open space & active agricultural use.

DATE

Completed 2011

COST

\$13.94 million

CLIENT TYPE

Non-Profit Community Development Corporation

REFERENCE

Stephen Ostiguy, Executive Director
Church Community Housing
(401) 846-5114

UNION STUDIO SCOPE

Masterplanning & full architectural services for all buildings on the site.



Community fire pit



Sandywoods art gallery opening



"Grange Hall" community building



Community gardens



WARWICK GROVE

WARWICK, NY



Photo: Herbert Studios, all images © Union Studio 2011

AWARDS

2006 National Association of Home Builders: Best in American Living Award, Gold Award for Best Single Family Home & Best in North Atlantic Region (Edenville Cottage Prototype)

As members of the master planning team led by Duany Plater-Zyberk, Union Studio worked with a private developer to design homes and architecture that would fit seamlessly with the traditional upper Hudson River community of Warwick, NY. Building on the forms and materials found within the existing community, Union developed award-winning housing design that recalls the past while providing amenities of modern living. Union Studio designed all of the single-family housing prototypes for this 240 unit, mixed-use, traditional neighborhood, in addition to designing the community building, pool and gym – which form the physical and communal heart of Warwick Grove.



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

140 Union Street Providence, Rhode Island 02903 p. 401.272.4724

WARWICK GROVE

PROJECT DATA

USE

New mixed-use, traditional neighborhood with 240 homes

SIZE

130 acres

DATE

Completed in 2007

COST

Approximately \$50 million total construction cost

CLIENT TYPE

Private developer

REFERENCE

Steve Maun, President
Leyland Alliance
(845) 351-2900

UNION STUDIO SCOPE

Masterplan collaboration with Duany Plater-Zyberk,
design of all single-family house prototypes, and
design of the community building, pool and gym.



"Edenville Cottage"



Warwick Grove Community Center



Masterplan by Duany Plater-Zyberk



Who We Are



VHB's passionate professionals include engineers, scientists, planners, and designers who partner with public and private clients in the transportation, real estate, institutional, and energy industries, as well as federal, state, and local governments.

Together, we work to improve mobility, enhance communities and economic vitality, and balance development and infrastructure needs with environmental stewardship.

We're a team—1,300 strong—eager to deliver value by embracing our clients' goals, anticipating challenges, building lasting partnerships, and always providing an exceptional experience.

We're passionate about making meaningful contributions to the world through the work we do, and we are proud, yet humbled, to have been doing this for more than 35 years.



VHB's innovative thinking leads to creative, practical solutions for our clients.

We bring collective knowledge, technical excellence, and a wide network of trusted relationships across our footprint to deliver value. When you have a team with such a broad range of expertise, it's only natural to look at projects from every angle, and ask the types of questions that lead to better solutions. That's what we do at VHB—we help our clients make the right decisions to move their projects forward.

Our team has an open-minded approach to projects, and we are committed to listening and truly understanding our clients' needs—we see the whole picture, not just one piece. We integrate the right people and resources from our four core service areas to help clients initiate and complete intricate, challenging, and significant projects.

Transportation Planning & Engineering

Transportation is constantly on our minds: will I make the train, can my child ride her bike to the library, will the school bus be on time, will there be enough parking at the store? For stewards of transportation infrastructure, it's a demanding balance between maintaining safe, quality facilities and assets with tighter and tighter budgets. At VHB, we know the challenges facing our transportation clients, and we know what it takes to deliver smart solutions that keep people moving. Our transportation practice is focused on sustainable planning, design, construction, and operation for all modes.

Related Services | Roadway & Highway Engineering | Bridge Design & Engineering | Bicycle/Pedestrian Planning & Engineering | Traffic Engineering | Alternative Delivery | Transit & Rail

Land Development

When it's time to grow, add, expand, or move, clients look for someone they can trust. At VHB, it's our priority to understand operating environments and infrastructure challenges so we can navigate site permitting and approvals. We provide solutions designed to get customers, visitors, and employees in and out with ease—so clients can focus on their business, their community, and the bottom line. Bringing together the right skills and experience, our team delivers creative and practical solutions that bring value to our clients and provide confidence that their projects are not only moving forward, but that everything is going smoothly.

Related Services | Civil Engineering | Community Planning | Due Diligence Research & Analysis | Land Survey | Land Use Planning, Engineering & Analysis | Stormwater Design & Engineering | Utilities Design | Master Planning

Planning & Design

Our planners and designers routinely sit around the table with communities, developers, and regulators to brainstorm, plan, revise, revisit, and wrestle with all sorts of ideas. Where will we live? Where will we shop? How will we cross the street? Can we make it functional and beautiful? Can we just make it better? We listen to hundreds of questions like this before identifying the right answers. Together, we find the most compelling idea: the one that unites everyone around a vision of how to make the neighborhood, town, or project more than they ever imagined.

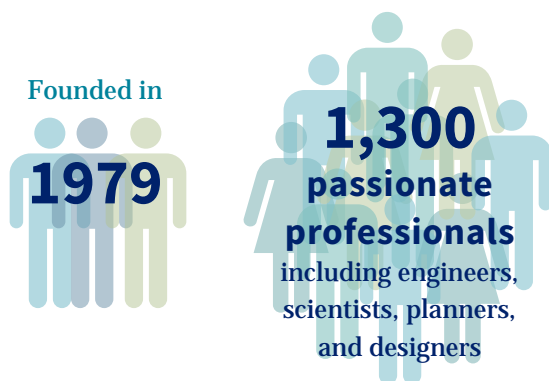
Related Services | Community Planning | Comprehensive Plans | Entitlement Services | Landscape Architecture | Public Outreach | Zoning Analysis

Environmental

Balancing development and infrastructure needs with stewardship of the environment is what we do—we see the big picture and understand how to move projects through tough regulatory processes. Air, noise, stormwater, groundwater, wetlands, coastal/tidal zones, wildlife, endangered species, compliance—our experience is broad. VHB focuses on navigating the regulatory waters so clients can focus on completing their projects.

Related Services | Environmental Assessment & Compliance | Natural Resource Assessment & Analysis | NEPA Documentation & Analysis | Water Resources Analysis | Wetlands Delineation, Mitigation & Permitting | Climate Adaptation Planning

VHB@a Glance



24
offices
on the east coast

71
on ENR
Top US Design
Firms List

Markets

Transportation Agencies
Real Estate
State and Local Governments
Institutions
Federal Government
Energy

Core Services

Transportation Planning
& Engineering
Land Development
Planning & Design
Environmental



Olmsted Green Low Impact Development

Boston, Massachusetts

Client

Lena New Boston

VHB Schedule

Started: May 2004

Completed: Oct. 2015

VHB is leading the site/civil design and engineering effort for the Olmsted Green mixed-use project on 42 acres in the Mattapan section of Boston. This 500-unit housing redevelopment on the former site of the Boston City Hospital is a showcase for Low Impact Development (LID) techniques. Site constraints such as high groundwater, contaminated soils, the presence of inconsistent fill, and isolated land subject to flooding called for flexibility and site-specific application of the LID techniques which were utilized across the site.

Our engineers worked to reduce runoff and improve stormwater quality by minimizing impervious surface areas wherever possible. We accomplished this through the use of pervious pavement, dense vegetation, improved soils, mature tree preservation, and limited lawn areas. In addition to surface runoff control, the team focused on maximizing stormwater storage and infiltration with stormwater management practices distributed throughout the site including both vegetated components (such as rain gardens, vegetated swales, and bioretention areas), as well as structural components (including subsurface infiltration and detention systems). VHB worked diligently to create an environment that reflects the site's natural heritage through the use of indigenous plant species, mature trees, and wildflower meadows as buffers.

Early and thoughtful environmental planning has resulted in Olmsted Green being a development where ecology works in sync with nature, even given the project's urban setting. The benefits of site sustainability and the increased aesthetic and economic value of the project's landscape make Olmsted Green a milestone Low Impact Development project.



© Mark Flannery

The Pinehills: A Natural Development

Plymouth, Massachusetts

Client

Pinehills, LLC

VHB Schedule

Started: Sept. 1997

Completed: March 2006

The Pinehills is a ground-breaking 3,000-acre residential development in the picturesque Town of Plymouth—the largest town in the Commonwealth—offering luxury living in a serene and sustainably-designed and constructed community. Since 1997, Pinehills LLC, a joint venture partnership of The Green Company, New England Development and a local developer, have been working to create an award-winning “town within a town” that maximizes open space and minimizes impacts to natural resources—an exemplary model of Smart Growth. With a forward-thinking vision for this sustainable master-planned development, the Pinehills Master Development Plan successfully reserves 70% of its area as open space yet offers more than 3,000 homes, a 178-acre Village Center, up to four golf courses, and 1.3 million-plus square feet of commercial development. Targeted as an “empty nester” community, the Pinehills features clustered neighborhoods each unique in nature connected by narrow and winding roadways, and adjacent to golf, ponds, trail systems, and wildlife corridors. A trusted consultant since the project began, VHB contributed to the project’s success by navigating the complex subdivision and zoning regulations; streamlining the state permitting process; and offering an innovative and flexible master plan for roadways, wastewater, and stormwater. Our efforts helped to articulate the client’s vision for the Pinehills which yielded a profitable and award-winning community that is a national model for Smart Growth upholding a unique balance for growth and preservation.



© 2005 Dermot Conlan Photography

Redbrook

Plymouth, Massachusetts

Client

A.D. Makepeace Company

VHB Schedule

Started: Sept. 2004

Ongoing

In operation for decades and respected as the largest grower of cranberries in the Ocean Spray group, the A.D. Makepeace Company's primary focus is agriculture. However, in the mid-1990s the selling price for cranberries plummeted and ADM opted to diversify to increase its financial stability. ADM's real estate division was created aimed to develop its non-agricultural land for residential use—also fulfilling a need of the growing communities in Southern Massachusetts.

Familiar with the award-winning Pinehills community in Plymouth and VHB's prominent role as lead civil engineer, ADM turned to VHB to help guide the development process for Redbrook—a New England community inspired by nature. Redbrook offers a unique opportunity to enjoy life on 1,300 acres surrounded by cranberry bogs, preserved forest, and open water. To date, 324 single family homes have been permitted for construction of the 1,175 total number of allowed units. The community boasts a full-service YMCA, village green with gathering space and restaurant. At build-out—which will span a decade—Redbrook will include single family homes, townhomes, condominiums and apartments, and approximately 60,000 SF of commercial space. In connection with the project, more than 700 acres will be conserved open space.

Engaged since 2004, VHB has provided a breadth of strategic planning, engineering and design services to help ADM overcome significant challenges—community opposition at Redbrook's onset, the economic downturn in 2008, political and regulatory change due to project duration, and complex permitting on the local, state, and federal level. VHB's efforts enabled ADM to successfully implement the first transfer of development rights in the Commonwealth that directly yielded a higher density, a \$10M increase in financial performance, and more than 700 acres of conserved open space. As ADM's trusted advisor, VHB's key contributions also included reengagement with the community and Town of Plymouth, extensive environmental permitting efforts with multiple regulatory agencies, and an innovative stormwater management plan. Throughout the course of the project, VHB's survey and GIS mapping efforts helped ADM to track and identify unknown parcels of land and streamline agricultural production processes.



Alta at Legacy Farms

Hopkinton, Massachusetts

Client

Wood Partners

VHB Schedule

Started: Nov. 2010

Ongoing

VHB is providing due diligence support, conceptual design layout, site/civil engineering, landscape design, environmental permitting, survey, and traffic engineering services for a new Alta development at Legacy Farms. This is the first development project within Legacy Farms in accordance with a Master Plan special permit, as defined by a new Open Space Mixed-Use Development (OSMUD) zoning district adopted by the Town of Hopkinton to redevelop the former Weston Nursery property. Development and design objectives of the OSMUD District are to balance conservation and development goals, as well as to protect and enhance the character of the Town's natural and cultural resources.

The development project encompasses an approximately 18-acre site, including approximately 6.5 acres of restricted land for passive and active recreation. A part of the larger master-planned Legacy Farms, Alta fulfills the increasing demand for housing options within the greater Boston area featuring 244 premier rental units with high-end amenities. The project also contains a clubhouse building with recreational amenities and more than 400 parking spaces in surface lots and six-car garages. Construction began in fall 2012.

The project site has posed a few challenges throughout the planning and design process. The site has a high ledge profile, so VHB developed a responsive concept organizing building placement and grading to minimize ledge removal, saving the developer \$1.5 million. The site also contains two distinct plateaus at different elevations, requiring a site plan that connects both sides of the site and incorporates steps and accessible walkways to moderate grading impacts and improve circulation. Finally, VHB developed and executed a permitting strategy and impact mitigation plan that successfully combines stormwater management and wetland buffer restoration to combat unique changes to wetland boundaries and groundwater levels associated with ceased agricultural irrigation practices.



The Ridge Housing Development

Waltham, Massachusetts

Client

Lincoln Property Company

VHB Schedule

Started: July 2002

Ongoing

The City of Waltham, like many growing areas, faces the challenge of providing adequate housing for its residents. Located near Boston, with accessibility to major roadways, the City's location is highly attractive to a diverse population of residents, businesses, and educational facilities. Lincoln Property Company determined that a site off Lexington Street would make an ideal housing development. In order to provide the city with much-needed affordable housing, Lincoln Property Company developed the project under Massachusetts General Laws Chapter 40B, allowing the project to be reviewed under a "comprehensive permit."

To help move the project toward completion, Lincoln called on the permitting and environmental professionals of VHB. In addition to working with city officials on permitting issues, VHB staff was called on to meet the Massachusetts Environmental Policy Act and other environmental regulations. A key issue revolved around access: the team worked to gain approval for access to the site, which was hindered by a perennial stream and its associated river-front area.

The project was successfully permitted and construction began, soon to be a 264-unit housing complex with 25% of the units designated as affordable.

Curtis R. Quitzau, PE, ENV SP

Senior Project Manager



Curt is a Senior Project Manager in VHB's Land Development Group. With extensive civil engineering experience in site development, highway planning and design, traffic engineering, and utility infrastructure design, he is responsible for managing multidisciplinary teams on complex land development projects. His most recent project experience has included planning, permitting and design of mixed-use communities and complex pharmaceutical campuses.

Education

BS, Civil Engineering, University
of Rhode Island, 1985

Registrations/Certifications

Professional Engineer (Civil)
MA, 2000

Professional Engineer (Civil) RI,
1995

Envision™ Sustainability
Professional, 2013

Affiliations/Memberships

Society of American Military
Engineers, Boston Post, 2011

30 years of professional experience

The Pinehills, Plymouth, MA

Curt has provided Site engineering of a new planned mixed-use community utilizing innovative land use with a focus on protection of natural features of a 3,000 acre site in Plymouth, MA. The project will include 2,800 homes, 4 golf courses, upwards of 1.3 million square feet of commercial uses including conference centers; lodging; assisted living; small scale retail; office and R&D. Design responsibility includes roadways, utilities, Marriott's Pinehills Hotel and Conference Center Resort site design, Pinehills Golf Club House site design, overall site stormwater management, sanitary sewer collection system and sewage pump station, and residential neighborhood clusters for developers including Green Company and Hanover Company. Project challenges include the preservation of the unique environmental and historic integrity of the site requiring innovative designs respectful of topography and vegetation. The project has been recognized with many local and National awards within the planning and engineering communities, and was named the nation's only "Community of the Year" in the 2015 Best in American Living™ Awards (BALA) by the National Association of Home Builders (NAHB) as the benchmark for innovation in residential and neighborhood design.

Wayland Commons, Wayland, MA

Curt was the Project Manager for an affordable housing project on land formerly owned by Raytheon. The project involved intensive strategic planning, permitting, and community outreach. Site constraints included freshwater wetlands and riverfront area, Aquifer Protection Zoning, flood plain, site contamination concerns, wastewater treatment limitations, and topography. The project also required extensive coordination with Raytheon and the Town for shared access and disposition of a deed restriction that prohibited residential use of the land.

Station Landing, Medford, MA

Curt was the Project Manager for this vibrant, mixed-use, transit-oriented redevelopment project on the Mystic River with office, residential, retail, and hotel uses. The project involved master planning, re-zoning, off-site water, traffic and roadway improvements, Massachusetts Water Resources Authority and Department of Conservation and Resources permitting, and wetlands permitting for 650 units of housing, 100,000 SF of retail, 165,000 SF of office, and a 150-key hotel.

Redbrook, Plymouth, MA

Curt is the Project Manager responsible for land planning, design, and permitting of a mixed-use pedestrian-friendly village of 1,175 homes, a full-service YMCA and community center, a village green, and a small retail and office component of up to 90,000 square feet of commercial space on a 1,300-acre parcel amongst active cranberry farms. The project features land stewardship and extraordinary land conservation through innovative zoning utilizing Transfer of Development Rights. The village is designed to maximize the preservation of open space by concentrating development through higher densities than those permitted under by-right zoning. The project provides its own water supply and wastewater systems, as well as solid waste collection.





80 Beharrell Street - Suite E

Concord, MA 01742

Tel: 781-229-4700

Fax: 781-229-7676

WWW.NORTHLANDRESIDENTIAL.COM

September 5, 2017

Mr. Gregory Watson
Manager of Comprehensive Permit Programs
MassHousing
One Beacon Street
Boston, MA 02108

RE: Applicant Entity 40B Experience

Dear Mr. Watson,

Northland Residential Corporation, through its affiliate, Duxbury Residential LLC, was the developer of "Duxbury Woods" – a 40-unit for-sale townhouse condominium community located in Duxbury, MA. The community consisted of thirty (30) market-rate townhouses and ten (10) affordable townhouses. Permits for the development were attained under Chapter 40B. Construction for the community began in 2013 and the final certificate of occupancy was attained on November 21, 2016. The cost examination for Duxbury Woods has been completed and submitted to MassHousing.

Northland Residential Corporation, through its affiliate, Seven Springs Residential LLC, developed "The Village at Seven Springs" – a 90-unit for-sale townhouse condominium community located in Burlington, MA. The townhouse community consisted of eighty-one (81) market-rate townhouses and nine (9) affordable townhouses. The Village at Seven Springs was the for-sale condominium component of the overall development permitted by National Development. National Development constructed and rented "Arborpoint at Seven Springs" – a 331-unit apartment community on the abutting site. The overall project was a LIP with 10 percent of the units being designated as affordable. The project was completed in 2013.

If you have any questions, please feel free to contact me.

Sincerely,

Northland Residential Corporation

Peter D. Crabtree
VP, Director of Acquisitions & Development

Section 6.3 – Applicant's Certification

The entities, Northland Residential Corporation and Northland Residential LLC, have been named in two pending matters, Woodlands at Belmont Hill II Condominium Trust v. The Woodlands at Belmont Hill II LLC, et al., Middlesex, MA: Case No. 1581CV04829; and The Commerce Insurance Company v. Signori Construction and Remolding, et al. Superior Court, Middlesex, MA C.A. No. 1781CV01678, with respect to construction work performed by Signori Construction and Remodeling.

Fieldstone Way

135 Great Plain Avenue
Wellesley, Massachusetts

Attachment 7.1 – Meetings with Municipal Officials

June 7, 2017:

The Applicant along with his co-counsel, Peter Tamm & David Himmelberger, met with a representative group of municipal officials to present the proposed development. The group of officials included the following people:

- Chair of the Board of Selectmen (Ellen F. Gibbs);
- Executive Director (Blythe C. Robinson);
- Assistant Executive Director (Meghan C. Jop);
- Planning Board Member (James Roberti);
- Planning Board Director (Michael Zehner); and
- Chairman of the Wellesley Housing Development Corporation (Robert E. Kenney).

June 23, 2017:

A site walk was conducted by the Applicant and his counsel, Peter Tamm, at 135 Great Plain Avenue and was attended by the following municipal officials:

- Chair of the Board of Selectmen (Ellen F. Gibbs);
- Assistant Executive Director (Meghan C. Jop); and
- Planning Board Member (Catherine Johnson).

June 27, 2017:

The Applicant and his co-counsel, Peter Tamm & David Himmelberger, attended a regularly scheduled Planning Board meeting and presented the proposed development. At this meeting were approximately twenty people who reside in the general neighborhood of the subject property.

Comprehensive Permit Site
Approval Application
135 Great Plain Ave.
Wellesley, MA

2017 SEP 11 P 4:16

TOWN OF WELLESLEY
BOARD OF SELECTMAN
RECEIVED

=====

MANCHESTER
15 BEACH ST
MANCHESTER
MA
01944-9998
2442840944
09/12/2017 (800)275-8777 1:17 PM
=====

Product Description	Sale Qty	Final Price
PM 1-Day	1	\$13.60
Med FR Box		
(Domestic)		
(BOSTON, MA 02114)		
(Flat Rate)		
(Expected Delivery Day)		
(Wednesday 09/13/2017)		
(USPS Tracking #)		
✓ (9505 5106 8951 7255 1359 54)		
Insurance	1	\$0.00
(Up to \$50.00 included)		
US Flag Bklt/2	1	\$9.80
0		
(Unit Price:\$9.80)		

← Notice of Application
Sent to DHC

Total \$23.40

Credit Card Remitd \$23.40

(Card Name:MasterCard)
(Account #:XXXXXXXXXX4355)
(Approval #:01293Z)
(Transaction #:591)

Includes up to \$50 insurance

BRIGHTEN SOMEONE'S MAILBOX. Greeting
cards available for purchase at select
Post Offices.

Text your tracking number to 28777
(2USPS) to get the latest status.
Standard Message and Data rates may
apply. You may also visit USPS.com
USPS Tracking or call 1-800-222-1811.

Save this receipt as evidence of
insurance. For information on filing

NORTHLAND RESIDENTIAL LLC

80 BEHARRELL STREET, SUITE E
CONCORD, MA 01742

BOSTON PRIVATE BANK & TRUST COMPANY
BOSTON, MASSACHUSETTS 02110

5-234/110

49212

DATE

8/21/2017

AMOUNT

**2,500.00

PAY

Massachusetts Housing Finance Agency

Two Thousand Five Hundred and 00/100*****

TO THE
ORDER
OF

Massachusetts Housing Finance Agency

VOID
WITH
WATER
MARK

Paul A. Brown

THE BACK OF THIS DOCUMENT CONTAINS CHECKS SECURITY WATERMARK AND COIN REACTIVE INK

⑈049212⑈

⑈011002343⑈

4017330⑈

NORTHLAND RESIDENTIAL LLC

80 BEHARRELL STREET, SUITE E
CONCORD, MA 01742

BOSTON PRIVATE BANK & TRUST COMPANY
BOSTON, MASSACHUSETTS 02110

5-234/110

49213

DATE

AMOUNT
8/21/2017

PAY

Massachusetts Housing Partnership

**4,700.00

Four Thousand Seven Hundred and 00/100*****

TO THE ORDER OF
Massachusetts Housing Partnership

VOID WITH
SERIAL

Michael Thomas

THE BACK OF THIS DOCUMENT CONTAINS SECURITY WATERMARK AND COINTEGRATIVE INK

⑈049213⑈ ⑆011002343⑆

4017330⑈

Request for Taxpayer Identification Number and Certification

Give Form to the
requester. Do not
send to the IRS.

Print or type
See Specific Instructions on page 2.

1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank. Northland Residential Construction, LLC	
2 Business name/disregarded entity name, if different from above	
3 Check appropriate box for federal tax classification; check only one of the following seven boxes: <input type="checkbox"/> Individual/sole proprietor or single-member LLC <input checked="" type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=partnership) ▶ P Note. For a single-member LLC that is disregarded, do not check LLC; check the appropriate box in the line above for the tax classification of the single-member owner. <input type="checkbox"/> Other (see instructions) ▶	4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from FATCA reporting code (if any) _____ <i>(Applies to accounts maintained outside the U.S.)</i>
5 Address (number, street, and apt. or suite no.) 80 Beharrell Street	Requester's name and address (optional)
6 City, state, and ZIP code Concord, MA 01742	
7 List account number(s) here (optional)	

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the Part I instructions on page 3. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN* on page 3.

Note. If the account is in more than one name, see the instructions for line 1 and the chart on page 4 for guidelines on whose number to enter.

Social security number								
			-					
or								
Employer identification number								
7	6		-	0	7	0	2	2 6 4

Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions on page 3.

Sign Here	Signature of U.S. person ▶ <i>Cynthia Spurrella, Acctg Mgr</i>	Date ▶ <i>6/27/17</i>
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General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. Information about developments affecting Form W-9 (such as legislation enacted after we release it) is at www.irs.gov/fw9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following:

- Form 1099-INT (interest earned or paid)
- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)

- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding? on page 2.

By signing the filled-out form, you:

- Certify that the TIN you are giving is correct (or you are waiting for a number to be issued),
- Certify that you are not subject to backup withholding, or
- Claim exemption from backup withholding if you are a U.S. exempt payee. If applicable, you are also certifying that as a U.S. person, your allocable share of any partnership income from a U.S. trade or business is not subject to the withholding tax on foreign partners' share of effectively connected income, and
- Certify that FATCA code(s) entered on this form (if any) indicating that you are exempt from the FATCA reporting, is correct. See *What is FATCA reporting?* on page 2 for further information.

Request for Taxpayer Identification Number and Certification

Give Form to the
requester. Do not
send to the IRS.

Print or type
See Specific Instructions on page 2.

1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank. NORTHLAND RESIDENTIAL LLC		
2 Business name/disregarded entity name, if different from above		
3 Check appropriate box for federal tax classification; check only one of the following seven boxes: <input type="checkbox"/> Individual/sole proprietor or single-member LLC <input type="checkbox"/> C Corporation <input type="checkbox"/> S Corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input checked="" type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=partnership) ▶ P Note. For a single-member LLC that is disregarded, do not check LLC; check the appropriate box in the line above for the tax classification of the single-member owner. <input type="checkbox"/> Other (see instructions) ▶	4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from FATCA reporting code (if any) _____ (Applies to accounts maintained outside the U.S.)	
5 Address (number, street, and apt. or suite no.) 20 Mall Road Suite 220	NORTHLAND RESIDENTIAL 80 BEHARRELL STREET SUITE E CONCORD, MA 01742	Requester's name and address (optional)
6 City, state, and ZIP code Burlington, MA 01803		
7 List account number(s) here (optional)		

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the Part I instructions on page 3. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN* on page 3.

Note. If the account is in more than one name, see the instructions for line 1 and the chart on page 4 for guidelines on whose number to enter.

Social security number								
			-			-		
or								
Employer identification number								
0	4	-	3	2	8	0	6	1 2

Part II Certification

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions on page 3.

Sign Here	Signature of U.S. person ▶ <i>Anthony P. Parrella, Attorney at Law</i>	Date ▶
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General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. Information about developments affecting Form W-9 (such as legislation enacted after we release it) is at www.irs.gov/fw9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following:

- Form 1099-INT (interest earned or paid)
- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)

- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See *What is backup withholding?* on page 2.

By signing the filled-out form, you:

1. Certify that the TIN you are giving is correct (or you are waiting for a number to be issued),
2. Certify that you are not subject to backup withholding, or
3. Claim exemption from backup withholding if you are a U.S. exempt payee. If applicable, you are also certifying that as a U.S. person, your allocable share of any partnership income from a U.S. trade or business is not subject to the withholding tax on foreign partners' share of effectively connected income, and
4. Certify that FATCA code(s) entered on this form (if any) indicating that you are exempt from the FATCA reporting, is correct. See *What is FATCA reporting?* on page 2 for further information.

WTP
Great Plain Ave

WELLESLEY RESIDENTIAL LLC
% NORTHLAND RESIDENTIAL LLC SOLE MB
20 MALL RD STE 220
BURLINGTON, MA 01803

Date of this notice: 12-02-2014

* Employer Identification Number:
47-2440153

Form: SS-4

Number of this notice: CP 575 G

For assistance you may call us at:
1-800-829-4933

IF YOU WRITE, ATTACH THE
STUB AT THE END OF THIS NOTICE.

WE ASSIGNED YOU AN EMPLOYER IDENTIFICATION NUMBER

Thank you for applying for an Employer Identification Number (EIN). We assigned you EIN 47-2440153. This EIN will identify you, your business accounts, tax returns, and documents, even if you have no employees. Please keep this notice in your permanent records.

When filing tax documents, payments, and related correspondence, it is very important that you use your EIN and complete name and address exactly as shown above. Any variation may cause a delay in processing, result in incorrect information in your account, or even cause you to be assigned more than one EIN. If the information is not correct as shown above, please make the correction using the attached tear off stub and return it to us.

A limited liability company (LLC) may file Form 8832, *Entity Classification Election*, and elect to be classified as an association taxable as a corporation. If the LLC is eligible to be treated as a corporation that meets certain tests and it will be electing S corporation status, it must timely file Form 2553, *Election by a Small Business Corporation*. The LLC will be treated as a corporation as of the effective date of the S corporation election and does not need to file Form 8832.

To obtain tax forms and publications, including those referenced in this notice, visit our Web site at www.irs.gov. If you do not have access to the Internet, call 1-800-829-3676 (TTY/TDD 1-800-829-4059) or visit your local IRS office.

IMPORTANT REMINDERS:

- * Keep a copy of this notice in your permanent records. **This notice is issued only one time and the IRS will not be able to generate a duplicate copy for you.** You may give a copy of this document to anyone asking for proof of your EIN.
- * Use this EIN and your name exactly as they appear at the top of this notice on all your federal tax forms.
- * Refer to this EIN on your tax-related correspondence and documents.

If you have questions about your EIN, you can call us at the phone number or write to us at the address shown at the top of this notice. If you write, please tear off the stub at the bottom of this notice and send it along with your letter. If you do not need to write us, do not complete and return the stub.

Your name control associated with this EIN is WELL. You will need to provide this information, along with your EIN, if you file your returns electronically.

Thank you for your cooperation.